



BARGHAUSEN

September 9, 2021
Electronic Transmittal
(505) 924-3994

Mr. Jay Rodenbeck
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

RE: Application for Administrative Amendment
Costco Wholesale – ADA Improvements
500 Eubank Blvd. SE, Albuquerque, NM 87123
Costco Loc. No. 667 / Our Job No. 10897

Dear Mr. Rodenbeck:

On behalf of Costco Wholesale, Barghausen Consulting Engineers, Inc. is submitting documentation for an Administrative Amendment to the approved Site Development Plan at the Costco Wholesale facility referenced above. The project includes ADA accessibility improvements to the Costco parking lot.

The following items are enclosed for your review and approval:

1. One (1) PDF copy of the signed Application Form
2. One (1) PDF copy of the signed Form P3
3. One (1) PDF copy of the project narrative
4. One (1) PDF copy of the current approved Site Development Plan package.
5. One (1) PDF copy of the previous Notice of Decision for this project.
6. One (1) PDF copy of the proposed Site Development Plan package including:
 - a. Architectural Plan Set prepared by MG2, Inc., dated August 27, 2021
 - b. Civil Plan Set prepared by Barghausen Consulting Engineers, Inc., dated October 20, 2020
7. One (1) PDF copy of Zone Atlas Page L-21-Z
8. One (1) PDF copy of the Letter of Authorization

It is our understanding that the items listed above constitute a complete submittal package. Should you require further information, please contact me at (425) 656-7448 or bjager@barghausen.com. Thank you for your prompt attention to this matter.

Respectfully,

Breyden Jager
Assistant Planner

enc: As Noted
cc: Ms. Amy Hart, MG2, Inc.
Mr. Jay S. Grubb, Barghausen Consulting Engineers, Inc.
Mr. Chris S. Ferko, Barghausen Consulting Engineers, Inc.
Ms. Megan Palmer, Barghausen Consulting Engineers, Inc.

BARGHAUSEN CONSULTING ENGINEERS, INC.

18215 72ND AVENUE SOUTH KENT, WA 98032 P) 425.251.6222 F) 425.251.8782
BRANCH OFFICES: TUMWATER, WA KLAMATH FALLS, OR LONG BEACH, CA RICHLAND, WA ROSEVILLE, CA



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Megan Palmer, Barghausen Consulting Engineers, Inc.		Phone: (425) 251-6222
Address: 18215 72nd Avenue South, Kent, WA 98032		Email: mpalmer@barghausen.com
City: Kent	State: WA	Zip: 98032
Professional/Agent (if any): Same as applicant		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site: Civil Engineer		List all owners: Costco Wholesale Corporation

BRIEF DESCRIPTION OF REQUEST

The project includes ADA accessibility modifications to the Costco warehouse parking lot. Including re-stripping, new accessible pathways, and ADA signage.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A1	Block: 0000	Unit: N/A
Subdivision/Addition: Costco Development	MRGCD Map No.: N/A	UPC Code: 102105606037420201
Zone Atlas Page(s): L-21-Z	Existing Zoning: High Intensity (MX-H)	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: N/A	Total Area of Site (acres): 17.63

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 500 Eubank Blvd. SE	Between: Eubank Blvd. SE	and: Southern Ave. SE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Megan Palmer</i>	Date: 9/3/21
Printed Name: Megan Palmer	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01494	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2021-006005

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 9/7/21</p>
<p>Printed Name: Megan Palmer</p>	<p><input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number:</p>	<p>Case Numbers</p>
<p>PR-2021-006005</p>	<p>SI-2021-01494</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



B A R G H A U S E N

PROJECT NARRATIVE ADMINISTRATIVE AMENDMENT

Costco Wholesale ADA Improvements

**500 Eubank Blvd. SE
Albuquerque, NM 87123**

Costco No. 667

Prepared for
Costco Wholesale
999 Lake Drive
Issaquah, Washington 98027

September 9, 2021

Our Job No. 10897

BARGHAUSEN CONSULTING ENGINEERS, INC.

18215 72ND AVENUE SOUTH KENT, WA 98032 P) 425-251-6222 F) 425-251-8782
BRANCH OFFICES: TUMWATER, WA KLAMATH FALLS, OR LONG BEACH, CA ROSEVILLE, CA SAN DIEGO, CA
barghausen.com

Project Location:

The project site for the ADA site improvements at the Costco Warehouse is limited to the existing parking area near the Warehouse entrance. The overall project disturbance area is approximately 8,528 square feet, with 72 square feet of new pervious surface. The property is zoned High Intensity (MX-H) and the project is subject to an Administrative Amendment.

Project Description:

Overview

Costco Wholesale (Costco) is seeking an Administrative Amendment to allow for ADA accessibility modifications to the Warehouse parking lot. The project will relocate 19 existing accessible stalls and associated loading areas to be closer to the Warehouse entrance. The project will result in the removal of three (3) parking stalls, for a new total of 809 parking stalls for the Costco development. The existing Site Development Plan requires a minimum of 743 stalls and allows a maximum of 818 stalls for the Costco parcel. Therefore, the project will remain compliant with the Site Development Plan's parking standards.

New accessible pathways will be provided from the accessible stalls to the Warehouse entrance, and minor site grading will be performed to provide ADA compliant grades within all accessible stalls, loading areas, and accessible pathways. The project includes minor modifications to existing landscape, including the removal of two (2) trees, and no modifications to lighting or structures within the Costco development.

Grading

Site grading to improve accessibility within the parking lot will be minimal and will include approximately 20 cubic yards of cut, 5 cubic yards of fill, and 15 cubic yards of export material.

Construction

Construction of the ADA improvements will be completed in a single phase and commence after approval of the applicable permits.

Purpose of Request:

Administrative Amendment:

Pursuant to Integrated Development Ordinance Section 14-16-6-4(Z)(1)(a), the Planning Director may grant a minor amendment to a site development plan that meets the following requirements:

1. *The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.*

Response: The project is simply a modification to a developed parking area and proposes only nonstructural improvements to accessibility features, including accessible parking stalls and pathways, which will be relocated to be closer to the Warehouse entrance. The project does not change the existing use of the site and will not modify any of the requirements of the existing site development plan, other than parking.

The Costco development was originally approved on January 17, 2002 under Site Development Plan 01128 01757. A previous Administrative Amendment was approved on March 13, 2006 and included the addition of roll-up doors with glass panels to the front entry canopy area. The existing Site Development Plan requires 743 stalls for the Costco parcel. As discussed above, the project will result in the net removal of three (3) parking stalls, for a new total of 809 parking stalls for the

Costco parcel. The project will continue to meet the original requirements of the existing Site Development Plan.

2. *The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.*

Response: The project is within the thresholds for minor amendments established in Table 6-4-4, as indicated in the table below:

<u>Standard</u>	<u>Maximum Threshold (Cumulative of Earlier Approved Deviations and/or Amendments)</u>	<u>Response</u>
Building gross floor area	10%	The project will not modify any building floor areas.
Front setback, minimum	15%	The project will not modify any required setback areas.
Side setback, minimum	15%	The project will not modify any required setback areas.
Rear setback, minimum	10%	The project will not modify any required setback areas.
Building height, maximum	Increase: 10% Decrease: any amount	The project will does not affect building heights.
Any other numerical standard	10%	As discussed above, the project will result in the net removal of three (3) parking stalls, for a new total of 809 parking stalls for the Costco parcel.
Any other addition or revision that would otherwise be decided as a Permit – Sign, Permit – Wall or Fence – Minor, or Site Plan – Administrative	Any amount that meets requirements specified in the approved Permit or Site Plan or, if the Permit or Site Plan is silent, the IDO	As discussed above, the project is a modification to a developed parking area and proposes only nonstructural improvements to accessibility features, including accessible parking stalls and pathways, which will be relocated to be closer to the Warehouse entrance.
All rooftop installations and ground mounted installations of solar or wind energy generation on premises less than 5 acres	Any amount to accommodate the installation that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	The project does not involve the installation of any rooftop or ground mounted installations of solar or wind energy generation.

<u>Standard</u>	<u>Maximum Threshold (Cumulative of Earlier Approved Deviations and/or Amendments)</u>	<u>Response</u>
All additions or modifications of battery storage on premises less than 5 acres	Any amount to accommodate the addition that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	The project does not propose any battery storage.
Changing the site layout of an electric facility other than an electric generation facility	Any amount to accommodate the change that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	This criterion is non-applicable.
Any standard cited in an application for “reasonable accommodation” or “reasonable modification” under the federal Fair Housing Act Amendments of 1998 (or as amended)	The minimum deviation necessary to comply with the federal Fair Housing Act Amendments	This criterion is non-applicable.

3. *The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.*

Response: The project does not require or propose any modifications to public infrastructure. Additionally, the project will not result in any changes to vehicular access or circulation patterns throughout the site. Pedestrian circulation will be improved by providing new accessible pathways near the Warehouse entrance.

4. *No deviations, Variances, or Waivers shall be granted for minor amendments.*

Response: The project does not include a request for any deviation, variance or waiver approval.

Conclusion:

The responses above and application materials demonstrate that the ADA improvements meet the approval criteria for an Administrative Amendment. The City’s approval of this application is respectfully requested.

Proposed Site Development Plan

COSTCO WHOLESALE

500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

COSTCO
WHOLESALE
ALBUQUERQUE II, NM
#687

500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

COSTCO
WHOLESALE
CORPORATION
190 LAKE AVENUE
ISSAQUAH, WA 98027
T: 425.313.6100
www.costco.com

PROJECT GENERAL NOTES

1. THESE GENERAL NOTES APPLY TO THE ENTIRE PROJECT AND APPLY TO ALL TRADES, SUBCONTRACTORS, AND VENDORS.
2. SEE CIVIL DRAWINGS FOR FULL SCOPE INCLUDING DIMENSIONS AND GRADING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.
4. VERIFY ALL EXISTING UTILITIES AT POINTS OF CONNECTION WITH THE NEW WORK PRIOR TO STARTING ANY WORK.
5. VERIFY ALL EXISTING UTILITIES AT POINTS OF CONNECTION WITH THE NEW WORK PRIOR TO STARTING ANY WORK.
6. IF NECESSARY TO LOCATE UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.
7. WHERE NECESSARY, ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING AS SHOWN ON THE DRAWINGS.
8. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING AS SHOWN ON THE DRAWINGS.
9. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING AS SHOWN ON THE DRAWINGS.
10. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING AS SHOWN ON THE DRAWINGS.
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12. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING AS SHOWN ON THE DRAWINGS.
13. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING AS SHOWN ON THE DRAWINGS.
14. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING AS SHOWN ON THE DRAWINGS.
15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.
16. ALL WORK IS TO COMPLY WITH THE APPLICABLE CODES. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSIDERED TO CONTRADICT A GOVERNING REGULATION.

PROJECT DATA

CLIENT: COSTCO WHOLESALE
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

PROJECT ADDRESS: 500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

SITE AREA: 15.12 ACRES (111,857 S.F.)

SUBDIVISION: CITY OF ALBUQUERQUE

BUILDING DATA:
GROSS BUILDING AREA: 150,000 S.F.
GROSS FLOOR AREA: 150,000 S.F.
TOTAL FLOOR AREA: 150,000 S.F.

NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.
SUBSECTIONAL PARKING: 4 STALLS (1,000 S.F.)

PROJECT DIRECTORY

OWNER: COSTCO WHOLESALE
500 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.6100

ARCHITECT: MGT CORPORATION
1000 CENTRAL AVENUE
SUITE 100
ALBUQUERQUE, NM 87102
T: 505.262.8000

CIVIL: BARGHAUSEN ENGINEERING
18215 72ND AVENUE S
SUITE 100
ALBUQUERQUE, NM 87122
T: 425.251.8222
PROJECT MANAGER: MEGAN PALMER

DRAWING INDEX

ARCHITECTURAL:
TS101 TITLE SHEET & SITE PLAN
TS102 ACCESSIBILITY FEATURES & SIFT DETAILS
TS103 COVER SHEET
TS104 EXISTING CONDITIONS MAP
TS105 EXISTING CONDITIONS MAP
TS106 EXISTING CONDITIONS MAP
TS107 SITE PLAN, EROSION PLAN
TS108 SITE PLAN DETAILS
TS109 GRADING PLAN

CODE SUMMARY

CITY OF ALBUQUERQUE ADAPTED CODES
CITY OF ALBUQUERQUE
2009 CITY OF ALBUQUERQUE NEW MEXICO CODE OF ORDINANCES
2009 INTERNATIONAL FIRE
2009 INTERNATIONAL PLUMBING

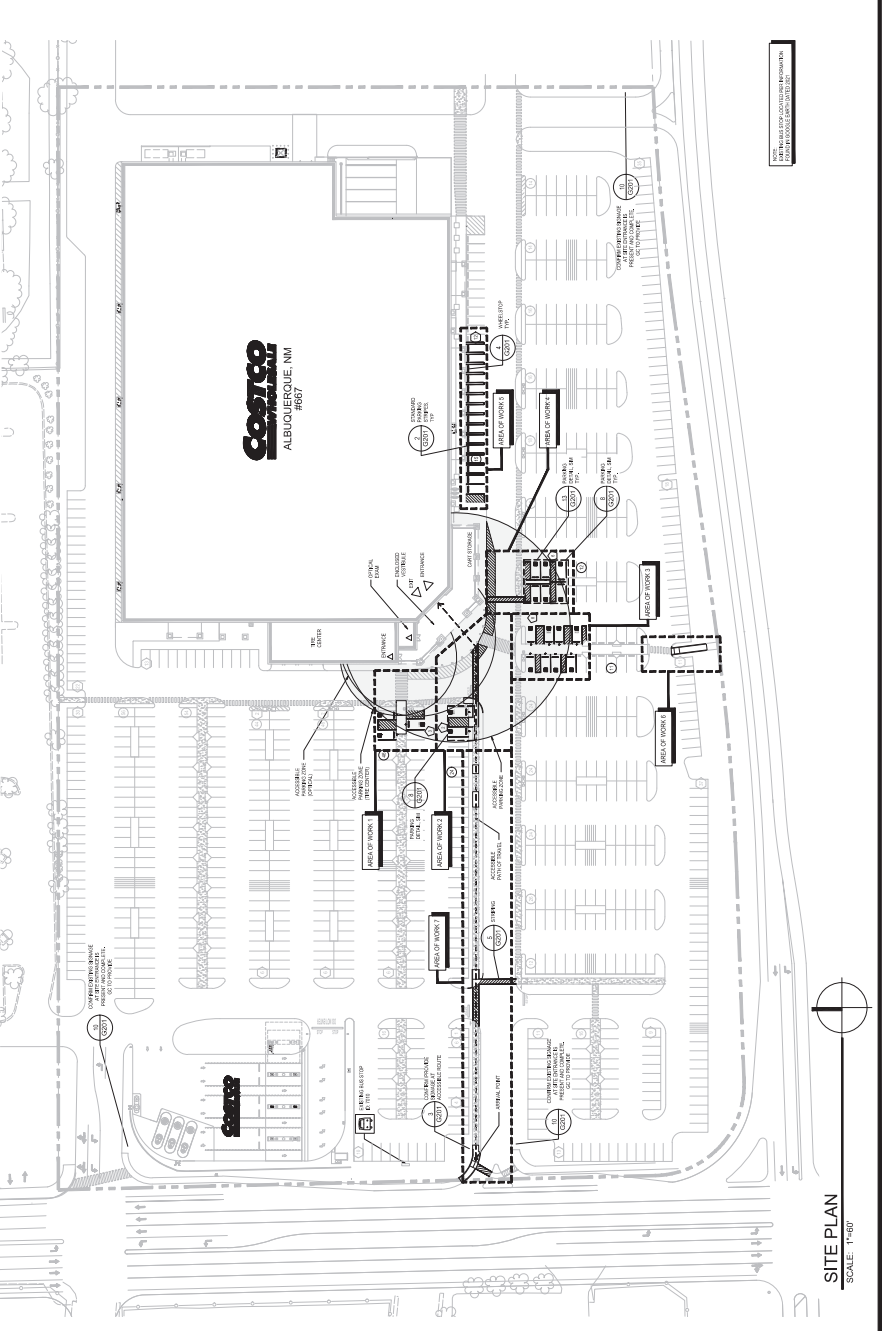
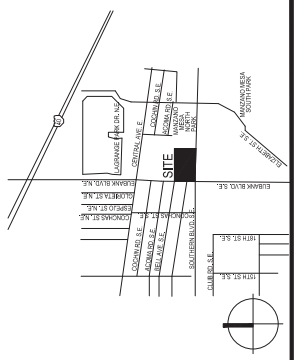
PROJECT DESCRIPTION

PARKING AND SITE UPGRADE FOR ADA COMPLIANCE

SCOPE OF WORK

SCOPE:
THE WORK CONSISTS OF THE REMOVAL OF EXISTING STRIPING, MARKING SYMBOLS, SIGNPOSTS, CURB STRIPS AND THE INSTALLATION OF ACCESSIBILITY MARKING TO PROVIDE ADA COMPLIANT PARKING AND PARKING STRIPS. THE WORK ALSO INCLUDES THE INSTALLATION OF ADA COMPLIANT CURB RAMP ALONG THE ACCESSIBLE ROUTE.

VICINITY MAP



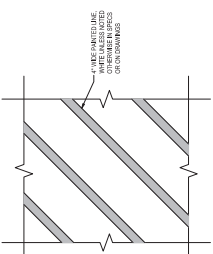
SITE PLAN
SCALE: 1"=40'



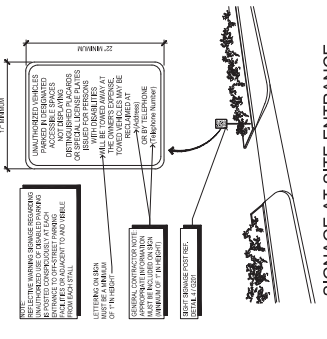
DATE: 08/20/2019
PROJECT: COSTCO WHOLESALE
DRAWN BY: ALFONSO MCGLELLAN
CHECKED BY: ALFONSO MCGLELLAN
DATE: 08/20/2019

TITLE SHEET & SITE PLAN

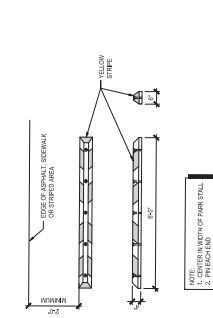
TS101



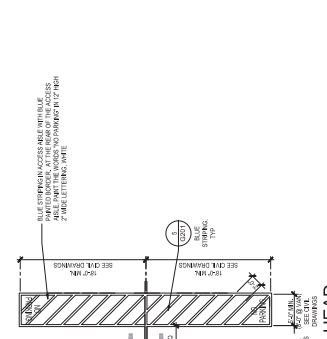
⑤ PAINTED STRIPE
SCALE: 1/2" = 1'-0"



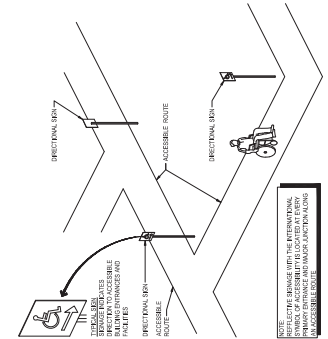
⑩ SIGNAGE AT SITE ENTRANCE
SCALE: NOT TO SCALE



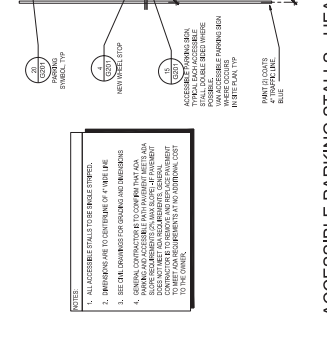
④ WHEEL STOP
SCALE: 1/2" = 1'-0"



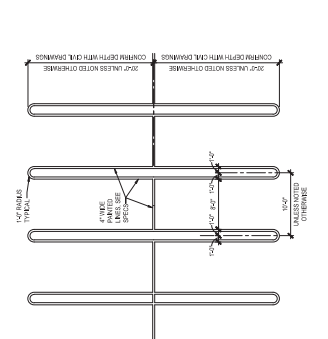
③ SIGNAGE AT ACCESSIBLE ROUTE
SCALE: NOT TO SCALE



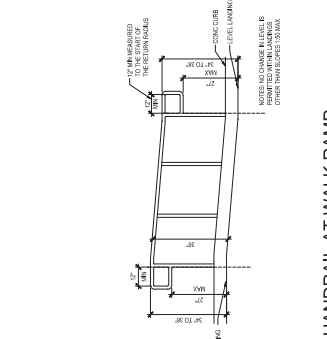
② TYPICAL PARKING STALL
SCALE: 1/8" = 1'-0"



⑦ HANDRAIL AT WALK RAMP
SCALE: 1/2" = 1'-0"



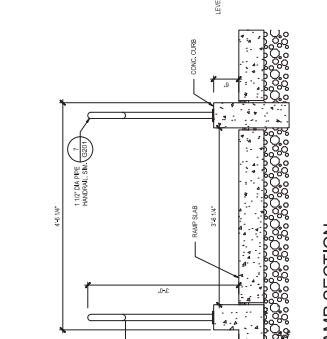
⑥ RAMP SECTION
SCALE: 1" = 1'-0"



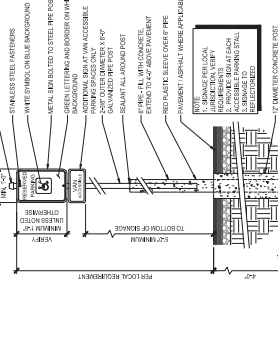
⑫ TYPICAL EXTERIOR BOLLARD
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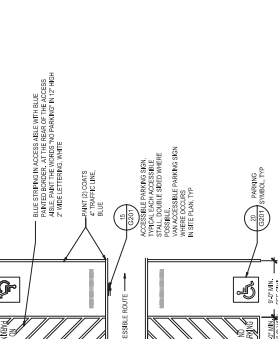
⑬ ADA PARKING SLOPE MEASUREMENT
SCALE: NOT TO SCALE



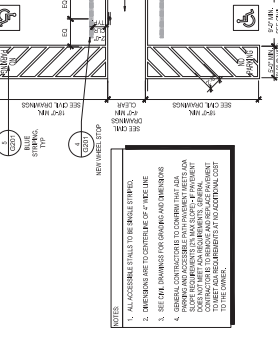
⑬ SLOPE MEASUREMENT
SCALE: NOT TO SCALE



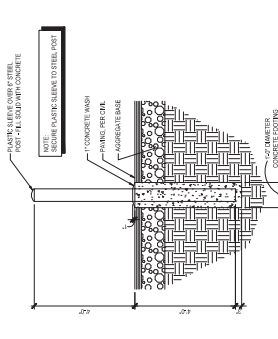
⑮ ACCESSIBLE PARKING SIGN
SCALE: 1/2" = 1'-0"



⑧ ACCESSIBLE PARKING STALLS - HEAD TO HEAD
SCALE: 1/8" = 1'-0"



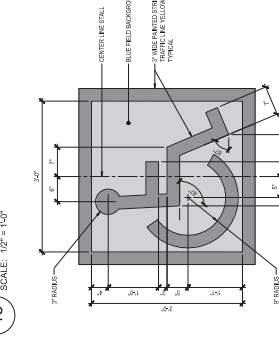
⑧ ACCESSIBLE PARKING STALLS - WITH ACCESSIBLE WALK
SCALE: 1/8" = 1'-0"



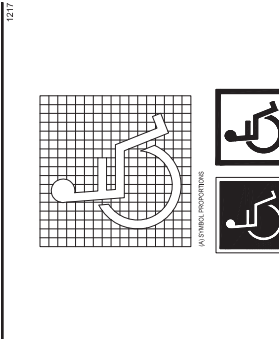
⑦ HANDRAIL AT WALK RAMP
SCALE: 1/2" = 1'-0"



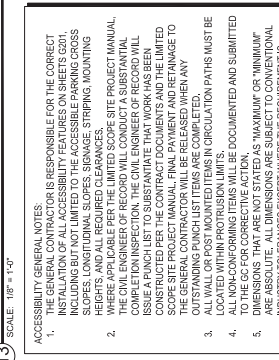
⑬ ADA PARKING SLOPE MEASUREMENT
SCALE: NOT TO SCALE



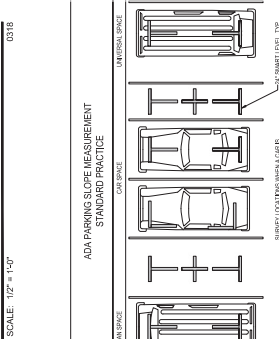
⑰ INTERNATIONAL ACCESSIBILITY SYMBOL
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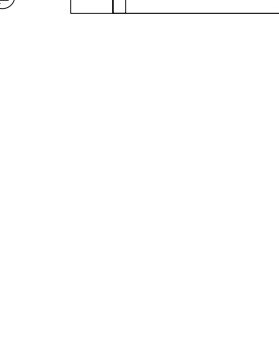
⑰ INTERNATIONAL ACCESSIBILITY SYMBOL
SCALE: 1" = 1'-0"



⑬ ADA PARKING SLOPE MEASUREMENT
SCALE: NOT TO SCALE



⑦ HANDRAIL AT WALK RAMP
SCALE: 1/2" = 1'-0"



⑬ ADA PARKING SLOPE MEASUREMENT
SCALE: NOT TO SCALE

PROPERTY: COSTCO WHOLESALE

NO.	DATE	DESCRIPTION
1	08/20/21	PERMIT SUBMITTAL

DESIGNED BY: [NAME]
CHECKED BY: [NAME]
DATE PLOTTED: 08/20/21

PROJECT: COSTCO WHOLESALE

SCALE: 1" = 1'-0"

PROPERTY: COSTCO WHOLESALE

NO.	DATE	DESCRIPTION
1	08/20/21	PERMIT SUBMITTAL

DESIGNED BY: [NAME]
CHECKED BY: [NAME]
DATE PLOTTED: 08/20/21

PROJECT: COSTCO WHOLESALE

SCALE: 1" = 1'-0"

PROPERTY: COSTCO WHOLESALE

NO.	DATE	DESCRIPTION
1	08/20/21	PERMIT SUBMITTAL

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1	08/20/21	PERMIT SUBMITTAL

DESIGNED BY: [NAME]
CHECKED BY: [NAME]
DATE PLOTTED: 08/20/21

PROJECT: COSTCO WHOLESALE

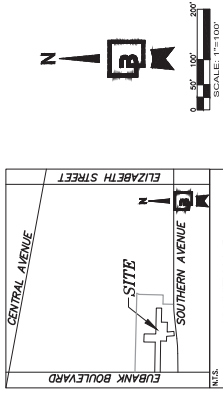
SCALE: 1" = 1'-0"

COSTCO WHOLESALE

COVER SHEET

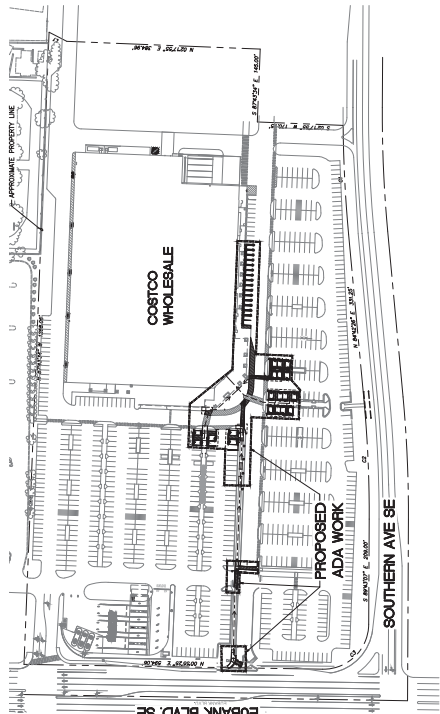
ADA SITE IMPROVEMENTS

500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667



GENERAL SITE DEVELOPMENT NOTES:

1. AGENCY STAMPS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. ALL EXISTING UTILITIES MARKED TO CONSTRUCTION WITHIN THE BOUNDARY SHOWN ARE THE BEST OF THE CONTRACTOR'S KNOWLEDGE. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND TYPE OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITY RECORDS AND FOR THE ACCURACY OF THESE RECORDS. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OF THE PERMITS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THESE PERMITS. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER FOR APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFETY SIGNS, SAFETY DEVICES, TRAFFIC CONTROL, AND TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO OBTAIN ADEQUATE RECORDS FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.
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LEGEND

(Symbol)	EXISTING CONCRETE
(Symbol)	EXISTING CURB
(Symbol)	EXISTING GUTTER
(Symbol)	EXISTING EDGE OF PAVEMENT
(Symbol)	EXISTING GROUND DRAINAGE
(Symbol)	EXISTING STORM DRAIN
(Symbol)	EXISTING METAL LINE
(Symbol)	MARKED EXISTING STORM DRAIN
(Symbol)	EXISTING LOT ELEVATION
(Symbol)	EXISTING STORM CLEANOUT
(Symbol)	EXISTING SIGN
(Symbol)	EXISTING TOLERANCE LINE
(Symbol)	EXISTING SHAWTTW OCKER
(Symbol)	EXISTING POWER
(Symbol)	EXISTING TREE
(Symbol)	EXISTING TRANSFORMER
(Symbol)	EXISTING FIRE HYDRANT

PROJECT TEAM

OWNER
COSTCO WHOLESALE
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

CIVIL ENGINEER
BARBERSHAW CONSULTING ENGINEERS, INC.
1005 25TH AVENUE, SE
ALBUQUERQUE, NM 87123

ARCHITECT
TOTAL SECOND AVENUE, SUITE 100
DENVER, CO 80202
CONTACT: JOHN NICHOLSON

SURVEYOR
SARGENT & Lundy ENGINEERING, INC.
1005 25TH AVENUE, SE
ALBUQUERQUE, NM 87123

- C10 - COVER SHEET
- C11 - STATIONED NOTES
- C12 - EXISTING CONDITIONS MAP
- C13 - EXISTING CONDITIONS MAP
- C14 - EXISTING CONDITIONS MAP
- C20 - TIE-IN AND DEMOLITION PLAN
- C30 - SITE PLAN
- C40 - GRADING PLAN
- C50 - DETAILS

GRADING QUANTITIES:

TOTAL CUT (CY) = 20
TOTAL FILL (CY) = 15
TOTAL EXCESS (CY) = 5
EXCESS QUANTITIES ARE APPROXIMATE
BASED ON THE EXISTING TOPOGRAPHY AND
PROPOSED GRADING. THE CONTRACTOR SHALL
VERIFY THE EXISTING TOPOGRAPHY AND
PROPOSED GRADING PRIOR TO CONSTRUCTION.

PROJECT DATA:

PROJECT ADDRESS: 500 EUBANK BLVD. SE, ALBUQUERQUE, NM 87123
CITY OF ALBUQUERQUE, NM 87123
JOB NUMBER: 1021020001100001
JOB DATE: 10/20/2023

PROJECT AREA SUMMARY:

TOTAL WORK AREA = 8,477 SF
TOTAL PAVED AREA = 6,233 SF
TOTAL UNPAVED AREA = 2,244 SF

PROPOSED ADA WORK

THE PROPOSED ADA WORK IS SHOWN IN RED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHY AND PROPOSED GRADING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.

BASIS OF ELEVATIONS:

THE BASIS OF ELEVATIONS IS THE MIDDLE OF THE CURB AT THE INTERSECTION OF EUBANK BLVD. SE AND SOUTHERN AVE. SE.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS THE MIDDLE OF THE CURB AT THE INTERSECTION OF EUBANK BLVD. SE AND SOUTHERN AVE. SE.

FEMA FLOODPLAIN:

THE PROJECT IS LOCATED WITHIN FLOOD ZONE X (FROM FIRM NO. 2001C0030A). THE PROJECT IS NOT IN A SPECIAL FLOOD HAZARD AREA.

MONUMENT PROTECTION NOTE

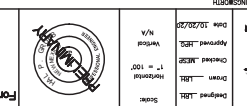
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FROM ANY AGENCIES THAT HAVE JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.

Sheet: 10987
Job Number: 1021020001100001
Date: 10/20/23
Scale: 1" = 100'

Barbershaw Consulting Engineers, Inc.
7274 Avenue South
Farm, WA 98135
Barbershaw Consulting Engineers, Inc.
1005 25th Avenue SE
Albuquerque, NM 87123

EXISTING TOPOGRAPHY/SURVEY INFORMATION NOTE:
THIS PLAN WAS PREPARED AS THE EXISTING TOPOGRAPHY WAS OBTAINED FROM BARBERSHAW CONSULTING ENGINEERS, INC. THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHY AND PROPOSED GRADING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.

UTILITY CONFLICT NOTE:
THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND TYPE OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OWNERS AND RECORD COMPANIES OF ANY PROPOSED CUTTING AND/OR BURIAL OF ANY UTILITIES PRIOR TO CONSTRUCTION.



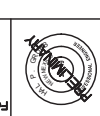
COSTCO WHOLESALE
999 LAUREL DRIVE
ISSAQUAH, WA 98027

COVER SHEET
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667



Bergthausen Consulting Engineers, Inc.
1055 7th Avenue South
Farm, WA 98765
10/20/23

Checked	Drawn	Approved
1/23/2023	1/23/2023	1/23/2023



FOR
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

STANDARD NOTES
500 EUBANK BLVD SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667

UTILITY CONFLICT NOT
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND DENSITY OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION.

STANDARD NOTES

ADA SITE IMPROVEMENTS

500 EUBANK BLVD SE

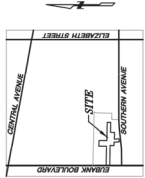
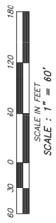
ALBUQUERQUE, NM 87123

COSTCO WAREHOUSE #667

- #### TRANSPORTATION
- 31. CURB & GUTTER DIMENSIONS AND SPACING SHALL MATCH THE LINE AND GRADE OF EXISTING CURBS AND GUTTERS AS SHOWN ON THE PLANS OR AS SPECIFIED BY THE PROJECT ENGINEER.
 - 32. THE SURFACE PREPARATION SHALL EXTEND ONE (1) FOOT BEYOND THE FREE EDGE OF NEW CURB & GUTTERS TO THE EXISTING SURFACE.
 - 33. CONSTRUCTION SHALL TEST SURFACE FINISHES PRIOR TO CONSTRUCTION. IN THE EVENT THE FINISH IS NOT ACCEPTABLE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND FINISHING OF THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER GRABBES.
 - 34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND DENSITY OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION.
 - 35. CONSTRUCTOR SHALL DESIRE THE AGENCY PREP A SURVEY, UTILITY LOCUS WITH SPACING AND SHOWN SHALL BE REPEATED AND RECHECKED AFTER THE FULL SECTION BEING REPAIRED. CONTRACTOR SHALL MAINTAIN AN OPEN RECORD OF THE SURVEY AND SPACING OF THE REPAIRED SECTION ON THE CONSTRUCTION SITE.
 - 36. WHEN THESE PROJECTS ARE UNDERWAY, THE CONTRACTOR SHALL MAINTAIN THE PROGRESS OF ANY OTHER PROJECTS WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL MAINTAIN THE PROGRESS OF ANY OTHER PROJECTS WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL MAINTAIN THE PROGRESS OF ANY OTHER PROJECTS WITHIN THE PROJECT AREA.
- #### OTHER COMMON NOTES
- 37. APPROVE MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDATIONS SHOULD BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. APPROVE MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDATIONS SHOULD BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. APPROVE MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDATIONS SHOULD BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
 - 38. CONTRACTOR SHALL PROVIDE A TYPICAL PERFORMANCE REPORT TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. CONTRACTOR SHALL PROVIDE A TYPICAL PERFORMANCE REPORT TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. CONTRACTOR SHALL PROVIDE A TYPICAL PERFORMANCE REPORT TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
 - 39. CONTRACTOR SHALL OBTAIN AN ORDER OF PROTECTION FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN AN ORDER OF PROTECTION FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN AN ORDER OF PROTECTION FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION.
 - 40. CONTRACTOR SHALL PROVIDE A TYPICAL PERFORMANCE REPORT TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. CONTRACTOR SHALL PROVIDE A TYPICAL PERFORMANCE REPORT TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. CONTRACTOR SHALL PROVIDE A TYPICAL PERFORMANCE REPORT TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
 - 41. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY; LINES MAY EXIST BENEATH THE EXISTING SURFACE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION.
 - 42. EXISTING UNDERGROUND UTILITY LINES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. CONTRACTOR SHALL MAINTAIN ALL EXISTING UNDERGROUND UTILITIES THROUGHOUT THE PROJECT. CONTRACTOR SHALL MAINTAIN ALL EXISTING UNDERGROUND UTILITIES THROUGHOUT THE PROJECT.
 - 43. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT.
 - 44. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT.
 - 45. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT.
- #### WATER AND SEWER
- 14. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING WELLS AND SERVICE LINES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. EXISTING WELLS AND SERVICE LINES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. EXISTING WELLS AND SERVICE LINES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
 - 15. MANHOLE RIMS, FIRE HYDRANT ELVATIONS, AND DRAINAGE ELVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO POWER, GAS, WATER, AND TELEPHONE, PRIOR TO CONSTRUCTION.
 - 16. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT.
 - 17. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT.
 - 18. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT.
 - 19. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING THE PROJECT.
- #### CITY OF ALBUQUERQUE GENERAL NOTES
- 1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED, OR OTHERWISE NOTED, SHALL BE CONSIDERED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED, OR OTHERWISE NOTED, SHALL BE CONSIDERED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES.
 - 2. ALL CONSTRUCTION WITHIN CITY BOUNDARIES AND PUBLIC PLAZAS MUST BE DONE FROM APPROVED PLANS AND PERMITS. THE CITY ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING AND APPROVING ALL PLANS AND PERMITS. THE CITY ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING AND APPROVING ALL PLANS AND PERMITS.
 - 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - 4. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND ALL CONSTRUCTION ACTS AND OMISSIONS. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND ALL UTILITIES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND ALL UTILITIES.
 - 5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPANIED BY A REGISTERED PROFESSIONAL ENGINEER. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND ALL UTILITIES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND ALL UTILITIES.
 - 6. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPANIED BY A REGISTERED PROFESSIONAL ENGINEER. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND ALL UTILITIES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND ALL UTILITIES.
 - 7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER FOR CITY PROJECTS MANAGER NOT LESS THAN 72 HOURS BEFORE THE BEGINNING OF ANY CONSTRUCTION ACTS AND OMISSIONS. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER FOR CITY PROJECTS MANAGER NOT LESS THAN 72 HOURS BEFORE THE BEGINNING OF ANY CONSTRUCTION ACTS AND OMISSIONS.
 - 8. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER FOR CITY PROJECTS MANAGER NOT LESS THAN 72 HOURS BEFORE THE BEGINNING OF ANY CONSTRUCTION ACTS AND OMISSIONS. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER FOR CITY PROJECTS MANAGER NOT LESS THAN 72 HOURS BEFORE THE BEGINNING OF ANY CONSTRUCTION ACTS AND OMISSIONS.
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TOPOGRAPHIC SURVEY

OF A PORTION OF THE NORTHWEST QUARTER OF SECTION 28,
TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO
PRINCIPAL BASE AND MERIDIAN, BERNALILLO COUNTY,
NEW MEXICO



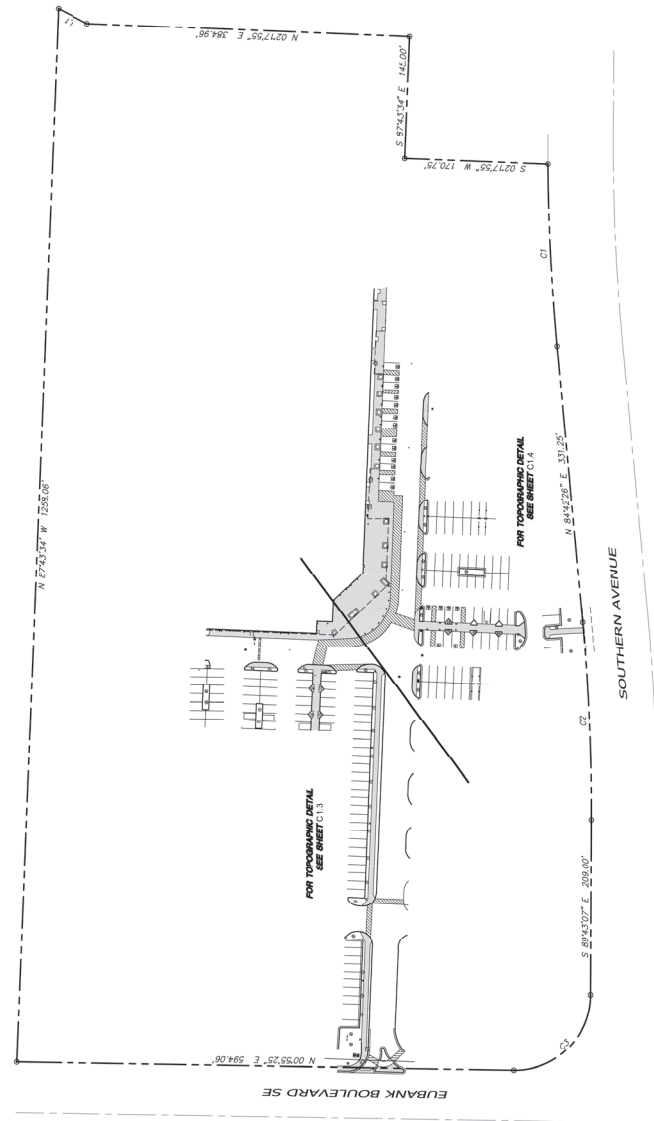
VICINITY MAP
NOT TO SCALE

OWNER

COSTO WALSH LLC
OWNER: COSTO WALSH LLC, CORPORATION, PROPERTY TAX REPT. 667
DEED: 2020-025853 02/20 B.C.C.

NOTES

- The survey was conducted for the benefit of a title report, and is subject to all covenants and restrictions of record.
- The ends of bearing is NAD 83, New Mexico State Plane Central Zone as measured using City of Albuquerque benchmarks L_A20 and L_A20.
- The boundaries used for this survey is the 4' City of Albuquerque lines located in the northeast quadrant of the intersection of Eubank Street and Southern Avenue, and the 4' City of Albuquerque lines located in the southeast quadrant of the intersection of Eubank Street and Southern Avenue.
- The number of cubic parking spaces on the subject property are as follows:
 Above: 864
 Below: 0
 Total: 864
 Additional: 0
- The City of Albuquerque, File No. 16-01031866, dated September 26, 2008, and Map Number 350103208, dated August 11, 2009, are hereby incorporated by reference into this instrument as if they were set forth in full herein.
- The Surveyor has not obtained any information relating to, and has no knowledge of, any proposed, pending, existing, or anticipated easements or other interests in the property, or any other information that might affect the use of the information contained in this instrument, for other than the specific purpose for which it was prepared, it is intended to be used for that purpose only. The Surveyor, therefore, disclaims any liability for any such unauthorized use of the information without their written consent.



LEGEND

- MONUMENT LINE
- - - - - CENTER LINE OF MONUMENT LINE
- ADJACENT PROPERTY
- CENTER OF PROPERTY
- (UNLESS OTHERWISE NOTED)

LINE	BEARINGS	DISTANCES
L1	S 27°12'51\"/>	

CUR. R.	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DEL. A.	ANG. E.
C1	50.00'	162.38'	127.89'	S 44°57'51\"/>		

CERTIFICATION

I, Remy S. DeBarge, being duly sworn, depose and say that I am a registered land surveyor in the State of New Mexico and that I have personally supervised the preparation of the above described survey, that the same was completed under my direct supervision during the month of July, 2020, and is true and correct to the best of my knowledge and belief, and that the measurements shown hereon were made by me or under my direct supervision.

Remy S. DeBarge
R.L.S. #2137



EXPIRES 12/31/2026

DATE	DESCRIPTION

TESC AND DEMOLITION PLAN

ADA SITE IMPROVEMENTS

500 EUBANK BLVD. SE ALBUQUERQUE, NM 87123 COSTCO WAREHOUSE #667

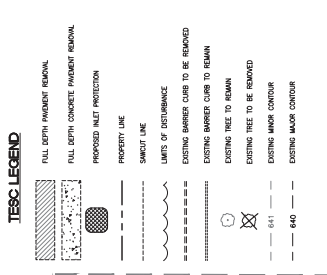
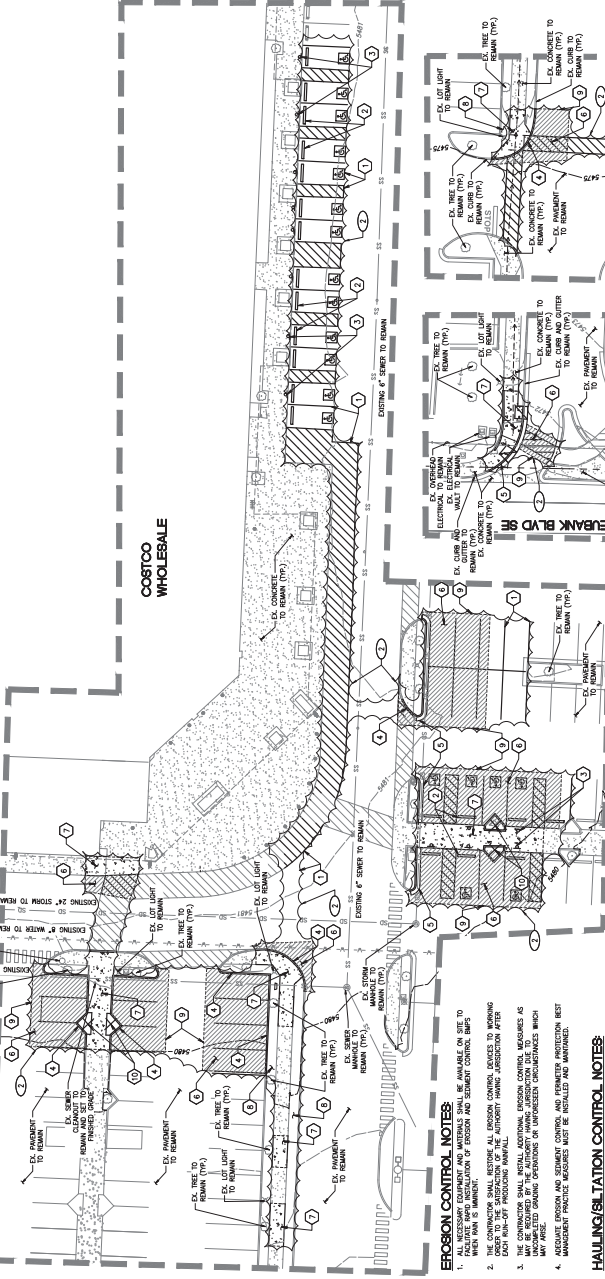
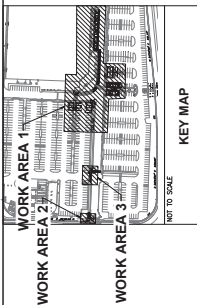
TESC AND DEMOLITION PLAN
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667

COSTCO
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



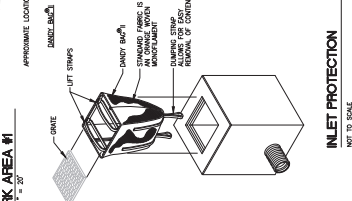
Sheet	9
Date	8/1/2021 B.A.M. L4111508BPH
Project	4852754222
Client	Benjamin Bergthaus
Address	1025 7th Avenue South Albuquerque, NM, 87102
Scale	AS SHOWN
Author	N/A
Checker	MLC
Appr. Date	10/20/21

Job Number	10987
Sheet	9
Date	8/1/2021 B.A.M. L4111508BPH
Project	4852754222
Client	Benjamin Bergthaus
Address	1025 7th Avenue South Albuquerque, NM, 87102
Scale	AS SHOWN
Author	N/A
Checker	MLC
Appr. Date	10/20/21



- ### DEMOLITION CALLOUTS
- EXISTING DRIVE MARKING TO BE REMOVED. CONTRACTOR TO SANDBLAST PavEMENT.
 - EXISTING CURB AND GUTTER TO BE REMOVED AND DISPOSED OF OFF-SITE.
 - EXISTING WALK STOP TO BE REMOVED AND DISPOSED OF OFF-SITE.
 - EXISTING SIGN TO BE REMOVED AND DISPOSED OF OFF-SITE.
 - EXISTING BARRIER CURB TO BE REMOVED AND DISPOSED OF OFF-SITE.
 - EXISTING CURB AND GUTTER TO BE REMOVED AND DISPOSED OF OFF-SITE.
 - EXISTING CONCRETE FAVANDET TO BE REMOVED AND DISPOSED OF OFF-SITE.
 - EXISTING LANDSCAPING DISTURBED DURING CONSTRUCTION TO BE REPLACED IN KIND.
 - PROPOSED SANDLOT (TPC), WHICH PROPOSED ASPHALT MEETS EXISTING ASPHALT. PROVIDE LAP JOINT DETAIL ON SHEET 02A.
 - EXISTING TREE TO BE REMOVED AND DISPOSED OF OFF-SITE.

- ### CONTROL CALLOUTS
- CONTRACTOR TO INSTALL STORM SWAIN INLET PROTECTION AT ALL DOWNSTREAM LOCATIONS. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING STORM SWAIN INLETS. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING STORM SWAIN INLETS AND IS SUBJECT TO THE JURISDICTION OF THE AUTHORITY HAVING JURISDICTION. SEE DETAIL THIS SHEET.
 - APPROXIMATE LIMITS OF DISTURBANCE.



- ### DEMOLITION NOTES
- CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL UTILITIES TO BE REMOVED. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING STORM SWAIN INLETS AND IS SUBJECT TO THE JURISDICTION OF THE AUTHORITY HAVING JURISDICTION. SEE DETAIL THIS SHEET.
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- ### HAULING/DEMOLITION CONTROL NOTES
- WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING STORM SWAIN INLETS AND IS SUBJECT TO THE JURISDICTION OF THE AUTHORITY HAVING JURISDICTION. SEE DETAIL THIS SHEET.
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- ### SITE PLAN NOTE
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- ### STAGING AREA NOTE
- CONTRACTOR SHALL REMOVE ALL ACCUMULATED MATERIALS FROM THE SITE AFTER EACH DEMOLITION EVENT. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING STORM SWAIN INLETS AND IS SUBJECT TO THE JURISDICTION OF THE AUTHORITY HAVING JURISDICTION. SEE DETAIL THIS SHEET.
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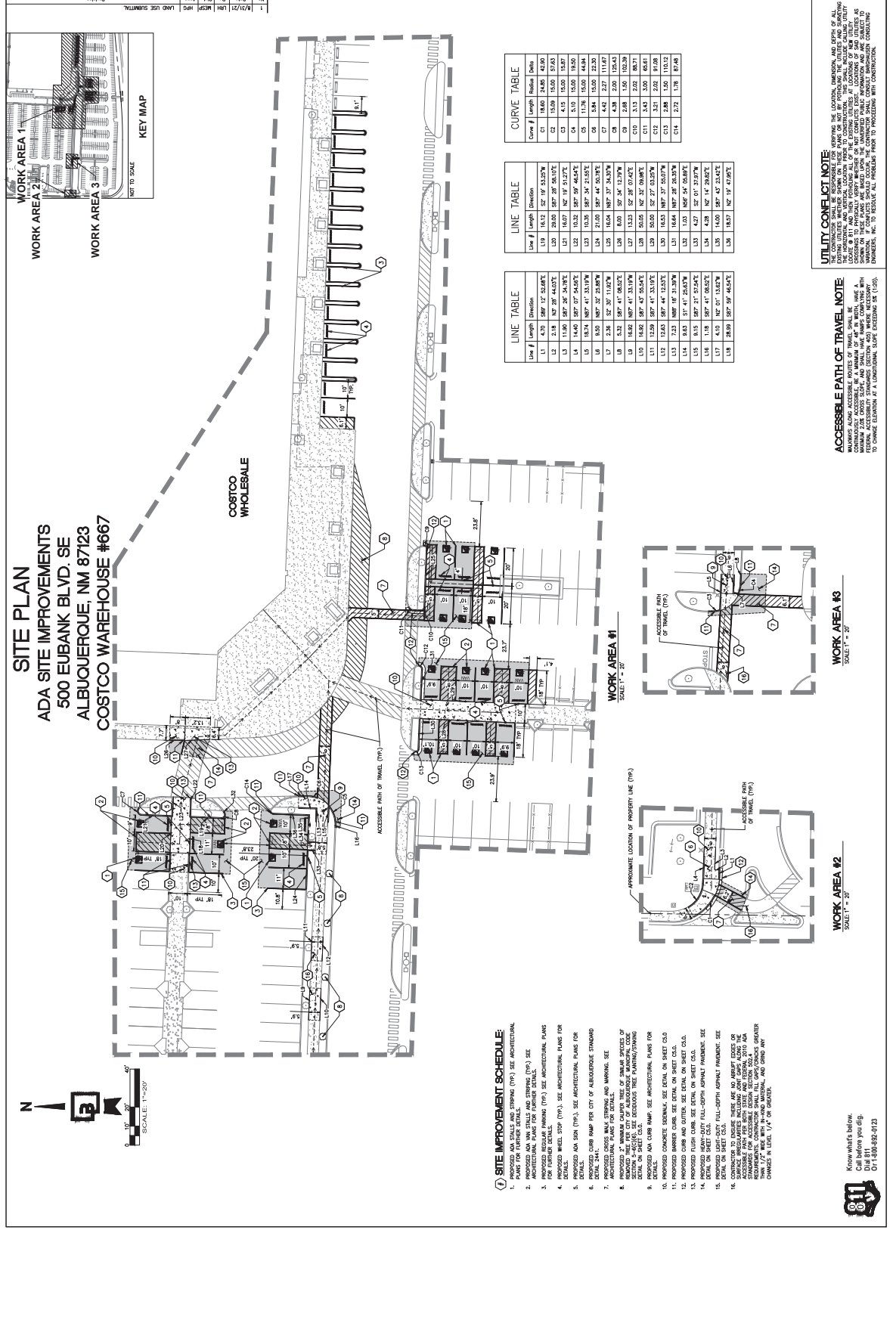
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DATE: 10/20/23
 CHECKED: JLB
 DRAWN: JLB
 APPROVED: JLB
 WORKSHEET: 1/20



FOR
COSTCO
 COSTCO WWHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027
 SITE PLAN
 500 EUBANK BLVD SE
 ALBUQUERQUE, NM 87123
 COSTCO WAREHOUSE #667



CURVE TABLE

Curve #	Length	Radius	Delta
C1	18.60	24.85	43.09
C2	15.09	19.50	24.62
C3	4.15	15.00	13.87
C4	5.10	15.00	15.00
C5	3.81	12.00	10.44
C6	4.42	22.57	13.87
C7	4.38	2.00	126.43
C8	2.68	1.51	102.39
C9	3.43	3.50	86.31
C10	3.13	2.02	80.71
C11	3.43	3.50	86.31
C12	3.00	2.00	71.62
C13	2.84	1.50	110.17
C14	2.72	1.78	124.48

LINE TABLE

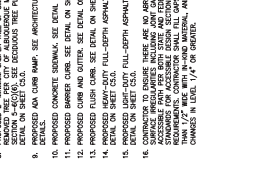
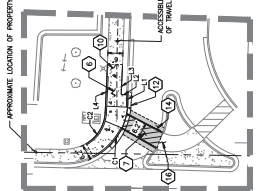
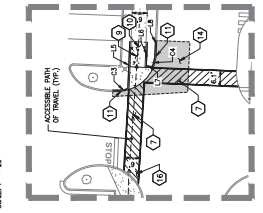
Line #	Length	Elevation
L1	14.70	587.17 53.07%
L2	2.18	587.39 44.07%
L3	11.08	587.39 34.76%
L4	14.60	587.07 54.07%
L5	18.74	587.41 33.19%
L6	9.50	587.37 29.89%
L7	2.58	52.30 11.92%
L8	16.62	587.41 33.63%
L9	18.80	587.42 34.43%
L10	11.69	587.41 33.19%
L11	13.63	587.41 33.19%
L12	7.23	587.18 31.39%
L13	8.83	57.47 25.87%
L14	8.15	587.41 33.19%
L15	11.18	587.41 33.19%
L16	4.13	52.07 13.62%
L17	26.81	587.39 44.07%

LINE TABLE

Line #	Length	Elevation
L19	16.52	52.17 53.07%
L20	3.00	587.26 56.17%
L21	16.07	587.17 51.27%
L22	10.32	587.39 44.47%
L23	10.28	587.34 21.67%
L24	3.30	52.30 11.92%
L25	16.68	587.37 33.37%
L26	1.52	52.30 11.92%
L27	1.52	52.30 11.92%
L28	6.68	52.30 11.92%
L29	5.00	52.27 03.97%
L30	16.63	587.37 33.37%
L31	16.64	587.26 26.37%
L32	1.03	587.41 33.19%
L33	4.27	52.07 13.62%
L34	4.28	587.17 29.87%
L35	13.00	587.42 33.47%
L36	18.57	587.17 47.87%

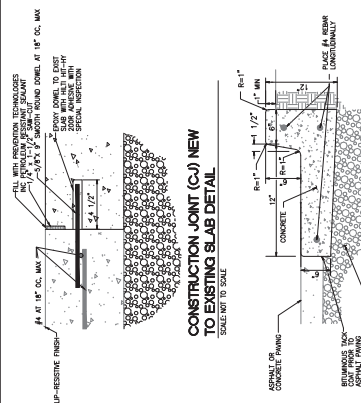
UTILITY CONFLICT NOTE
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND EXTENT OF ALL UTILITIES AND CONFLICTS WITH THE PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING AND VERIFYING ALL UTILITIES IN THE AREA OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN. ANY UTILITIES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY UTILITIES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY UTILITIES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY UTILITIES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

ACCESSIBLE PATH OF TRAVEL NOTE
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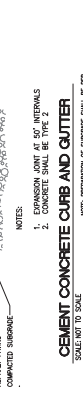


- 1. SITE IMPROVEMENT SCHEDULE:**
- PROPOSED ADA WALLS AND STRIPS (TPS) SEE ARCHITECTURAL PLANS FOR PARTIAL DETAILS.
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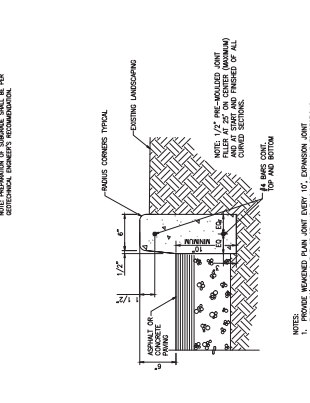
SCALE: 1"=20'
 N
 KEY MAP
 WORK AREA 1
 WORK AREA 2
 WORK AREA 3
 NET TO SCALE



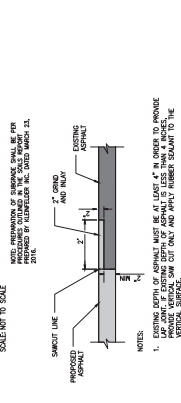
CONSTRUCTION JOINT (C-J) NEW TO EXISTING SLAB DETAIL
SCALE: NOT TO SCALE



CEMENT CONCRETE CURB AND GUTTER
SCALE: NOT TO SCALE

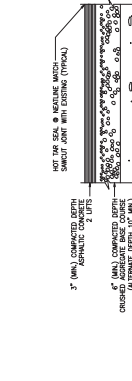


CEMENT CONCRETE BARRIER CURB
SCALE: NOT TO SCALE



LAP JOINT
SCALE: NOT TO SCALE

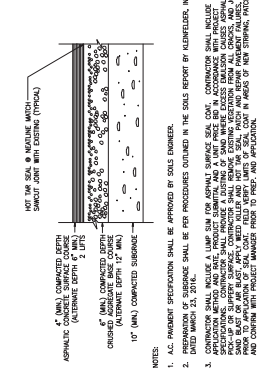
DETAILS
ADA SITE IMPROVEMENTS
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667



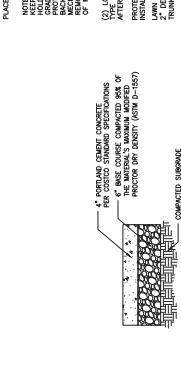
ASPHALT PAVEMENT SECTION (LIGHT)
SCALE: NOT TO SCALE



ASPHALT PAVEMENT SECTION (HEAVY)
SCALE: NOT TO SCALE



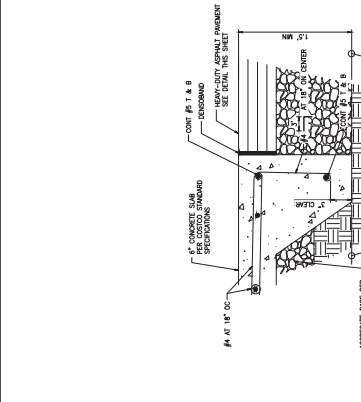
FLUSH CURB REINFORCED CONCRETE SIDEWALK SECTION
SCALE: NOT TO SCALE



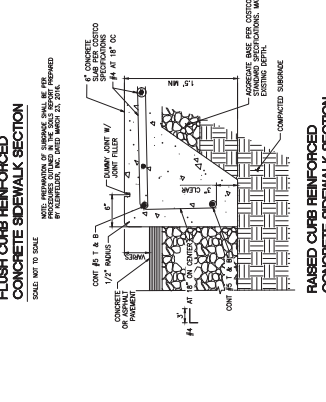
RAISED CURB REINFORCED CONCRETE SIDEWALK SECTION
SCALE: NOT TO SCALE



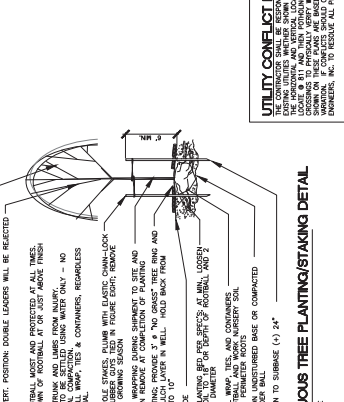
CONCRETE SIDEWALK SECTION
SCALE: NOT TO SCALE



UTILITY COVER LOT NOTE
SCALE: NOT TO SCALE

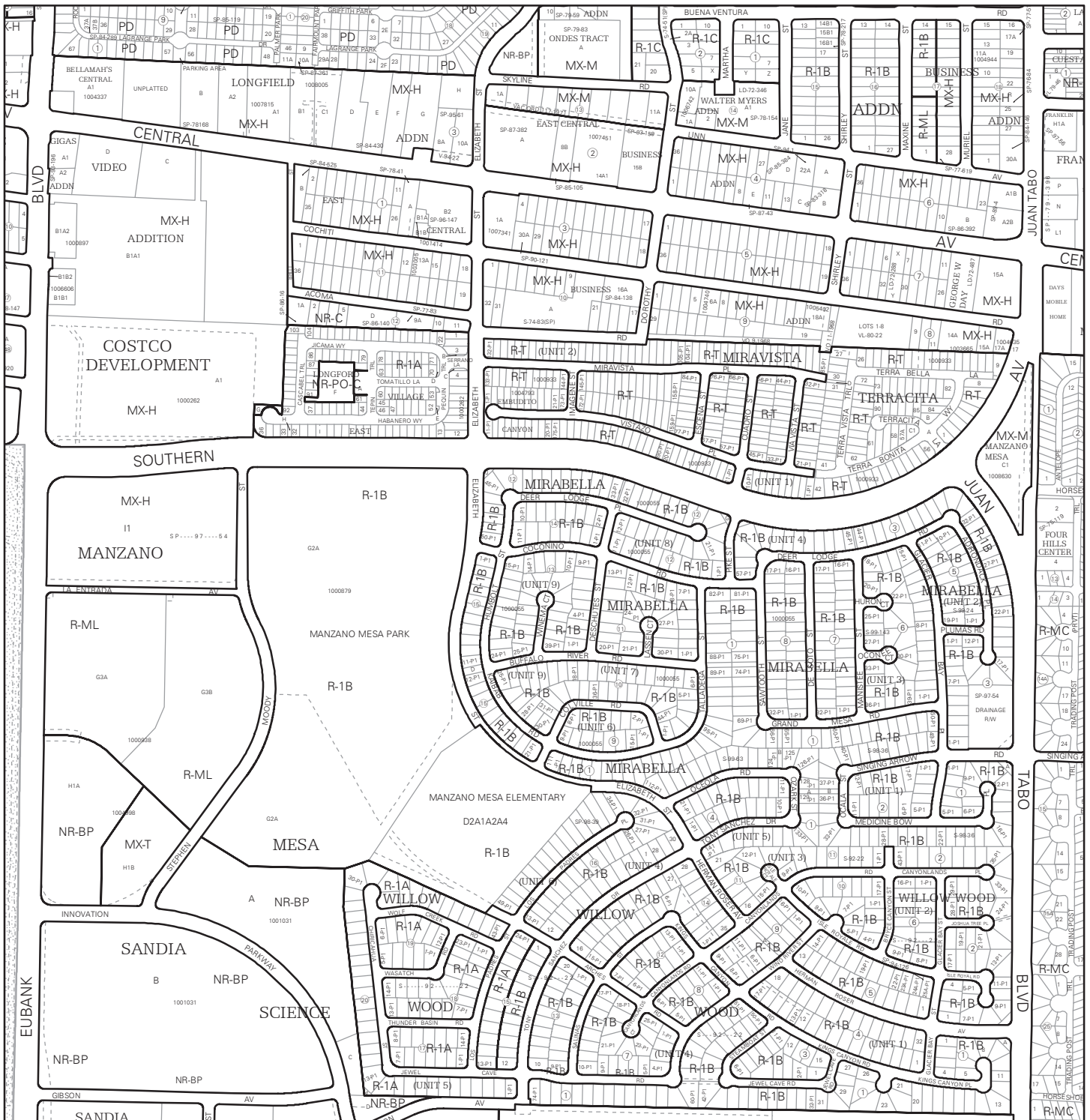


DECIDUOUS TREE PLANTING/STAKING DETAIL
SCALE: NOT TO SCALE



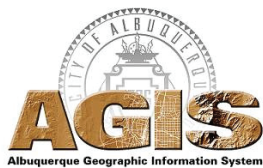
CONCRETE SIDEWALK SECTION WITH UTILITY COVER
SCALE: NOT TO SCALE

BRUGHMAN CONSULTING ENGINEERS, INC. ACCEPTS NO LIABILITY FOR THE CONSTRUCTION OF ANY PART OF THE PROJECT UNLESS IT IS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

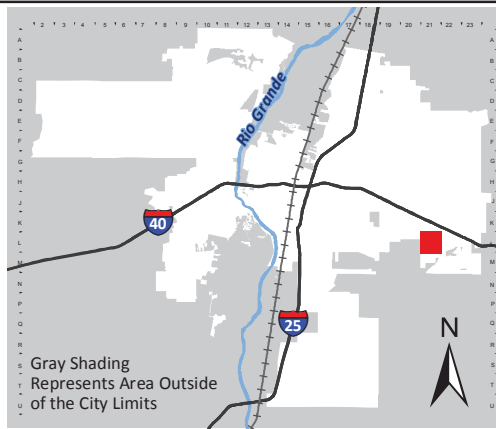


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
L-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Eubank Blvd ADA Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: NA

City Address: 500 Eubank Blvd SE

Applicant: Barghausen Consulting Engineers, Inc. Contact: Megan Palmer

Address: 18215 72nd Avenue South, Kent, WA 98032

Phone#: 425-656-1072 Fax#: 425-251-8782 E-mail: mpalmer@barghausen.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR O APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



August 27, 2021

City of Albuquerque
Planning Department Development Services
600 2nd Street NW
Albuquerque, NM 87102

**Re: Costco Wholesale – SE Albuquerque, NM
500 Eubank Blvd. SE
Albuquerque, NM 87123
Project Number: 99-0780-19**

Subject: ADA Site Upgrade – Permit

To Whom It May Concern:

This letter is to give authorization for Megan Palmer of Barghausen Consulting Engineers, Inc. to submit permit for the Costco Wholesale located in SE Albuquerque, NM.

Should you require any additional information regarding this matter, please contact Alison McClellan, MG2 Project Manager, at 206.962.6515. Thank you.

Sincerely,

Mostafa Ahanchi
Authorized Agent for Costco Wholesale

MA/JB

State of Washington
County of King



The foregoing instrument was acknowledged before me by means of physical presence this 27th day of August 2021, by Mostafa Ahanchi, who is personally known to me, as Authorized Agent for Costco Wholesale.

NOTARY PUBLIC SIGNATURE – STATE OF WASHINGTON

Commissioned Notary Name: CHARLESE JACKSON-PARKER



January 13, 2022

Jeanne Wolfenbarger, P.E.
Transportation Manager
Development Review Services
City of Albuquerque
600 2nd Street NW
Albuquerque NM 87102

RE: Responses to Comments
Costco Gasoline - Project No. PR-2021-006005
500 Eubank Boulevard S.E., Albuquerque, New Mexico 87123
Costco Loc. No. 667 / Our Job No. 10897

Dear Jeanne:

Barghausen Consulting Engineers, Inc. has revised the plans and technical documents for the above-referenced project in accordance with your comment letter dated September 17, 2021. Enclosed are the following documents for your review and approval:

1. One (1) copy of the Civil Plans prepared by Barghausen Consulting Engineers dated December 01, 2021
2. One (1) copy of the Architectural Plans prepared by MG2 dated November 18, 2021
3. One (1) completed Drainage and Transportation Information Sheet

The following outline provides each of your comments in italics exactly as written, along with a narrative response describing how each comment was addressed:

1. *Include parking calculations on new site plan along with the required handicapped spaces and van accessible spaces to ensure compliance. Required parking spaces and provided spaces shall all be listed.*

Response: The parking calculations can be found on Architectural Sheet TS101 under the Project Data Table.

2. *Minimum 6-foot wide ADA pathways are required from the handicapped spaces to the building. Adjust the crosswalk widths as needed.*

Response: The site plan has been revised to incorporate 6-foot-wide pathways

3. *The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." If that language is present it is not visible in the detail.*

Response: The architectural plans have been updated accordingly.

Jeanne Wolfenbarger, P.E.
Transportation Manager
Development Review Services
City of Albuquerque

-2-

January 13, 2022

4. *Include "Stop for Pedestrian" signage before crosswalks.*

Response: The architectural plans have been updated accordingly.

5. *Crosswalks should not be within the driving aisle. In lieu of placing a crosswalk within a driving aisle, in the one case, route it through the island instead.*

Response: The accessible path has been updated accordingly.

6. *Include the new curb ramp details within the set.*

Response: Curb ramp details have been provided on Sheet C5.0.

We believe that the above responses, together with the enclosed revised plans and technical documents, address all of the comments in your letter received on September 17, 2021. Please review and approve the enclosed at your earliest convenience. If you have questions or need additional information, please do not hesitate to contact me at this office. Thank you.

Sincerely,

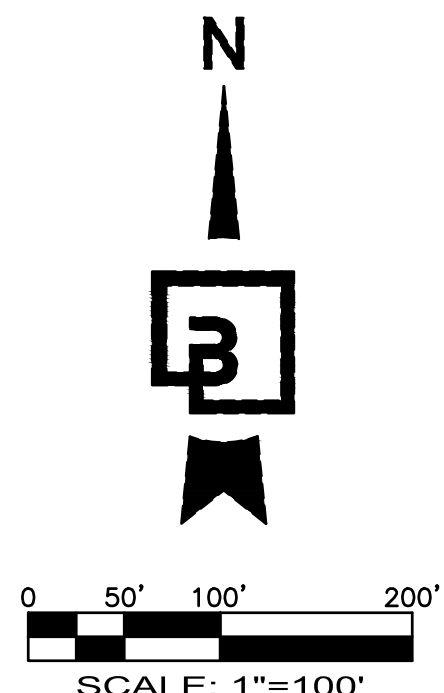
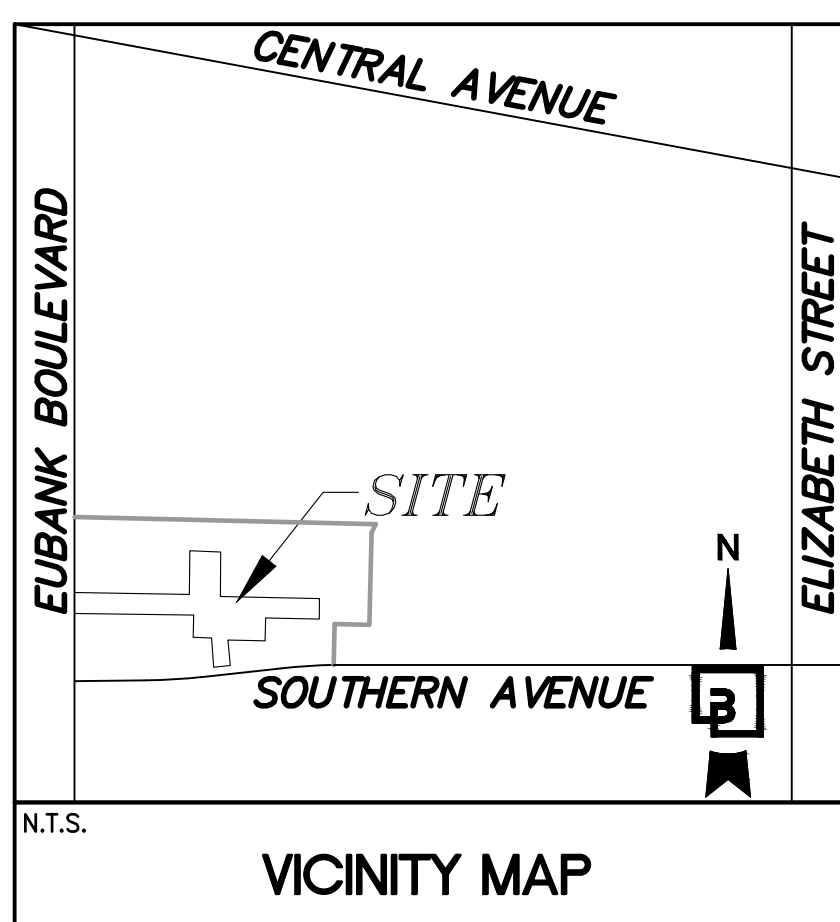


Megan E.S. Palmer
Project Engineer

MESP/jd
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enc: As Noted

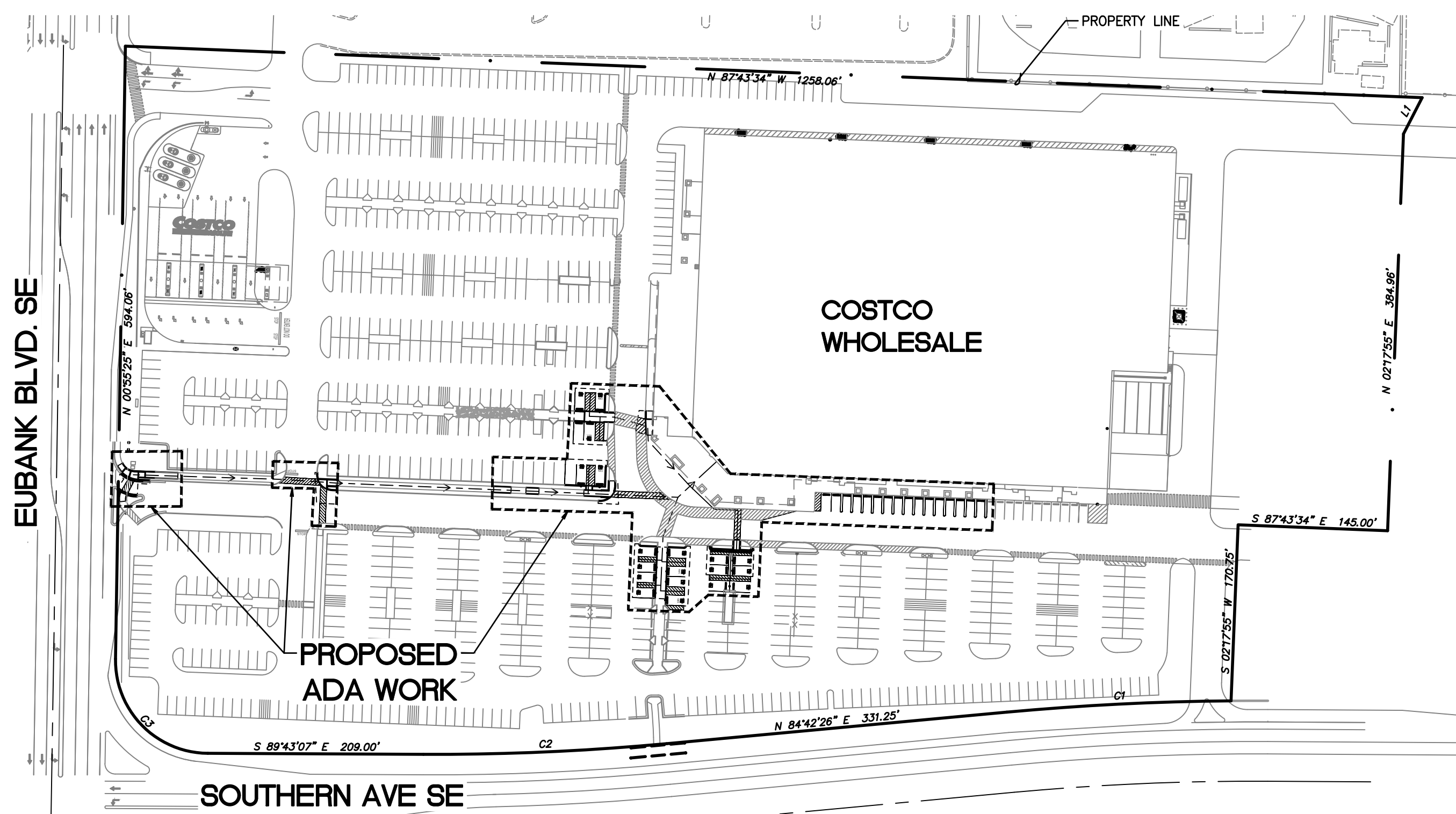
COSTCO WHOLESAL

COVER SHEET ADA SITE IMPROVEMENTS 500 EUBANK BLVD. SE ALBUQUERQUE, NM 87123 COSTCO WAREHOUSE #667



GENERAL SITE DEVELOPMENT NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
6. INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
8. THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS, ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
12. CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
13. CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.



LEGEND			
[Symbol]	EXISTING CONCRETE	[Symbol]	PROPOSED CONCRETE
[Symbol]	EXISTING CURB	[Symbol]	PROPOSED FULL-DEPTH ASPHALT
[Symbol]	EXISTING CURB AND GUTTER	[Symbol]	PROPOSED HEAVY DUTY FULL-DEPTH ASPHALT
[Symbol]	EXISTING EDGE OF PAVEMENT	[Symbol]	PROPOSED BARRIER CURB
[Symbol]	EXISTING CANOPY DRIPLINE	[Symbol]	ACCESSIBLE PATH OF TRAVEL
[Symbol]	EXISTING STORM DRAIN	[Symbol]	SAWCUT LINE
[Symbol]	EXISTING WATER LINE	[Symbol]	PROPOSED SPOT GRADE
[Symbol]	EXISTING STORM DRAIN MANHOLE	[Symbol]	PROPOSED GRADE LABEL
[Symbol]	EXISTING CATCH BASIN	[Symbol]	MATCH EXISTING GRADE
[Symbol]	EXISTING LOT LIGHT	[Symbol]	PROPOSED TOP OF CURB/ TOP OF PAVEMENT
[Symbol]	EXISTING STORM CLEANOUT	[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EXISTING SIGN	[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING TELECOM LINE	[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	EXISTING SANITARY SEWER	[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	EXISTING POWER	[Symbol]	
[Symbol]	EXISTING TREE	[Symbol]	
[Symbol]	EXISTING TRANSFORMER	[Symbol]	
[Symbol]	EXISTING FIRE HYDRANT	[Symbol]	

PROJECT TEAM:

OWNER
COSTCO WHOLESAL
999 LAKE DRIVE
ISSAQUAH, WA 98027

CIVIL ENGINEER
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. S.
KENT, WA 98032
PHONE: (425) 251-6222
FAX: (425) 251-8782
CONTACT: MEGAN E.S. PALMER

SURVEYOR
SUPERIOR SURVEYING SERVICES, INC.
2122 W. LONE CACTUS DRIVE, SUITE 11
PHOENIX, AZ 85027
PHONE: (602) 869-0223
FAX: (602) 869-0726
CONTACT: RANDY DELBRIDGE

ARCHITECT
MG2
1101 SECOND AVENUE, SUITE 100
SEATTLE, WA 98101
PHONE: (206) 962-6500
FAX: (206) 962-6499
CONTACT: ALISON MCCLELLAN

SHEET INDEX

- C1.0 - COVER SHEET
- C1.1 - STANDARD NOTES
- C1.2 - EXISTING CONDITIONS MAP
- C1.3 - EXISTING CONDITIONS MAP
- C1.4 - EXISTING CONDITIONS MAP
- C2.0 - TESC AND DEMOLITION PLAN
- C3.0 - SITE PLAN
- C4.0 - GRADING PLAN
- C5.0 - CONSTRUCTION DETAILS

GRADING AND DRAINAGE NARRATIVE:

THE SITE IS CURRENTLY DEVELOPED WITH AN EXISTING COSTCO WAREHOUSE, FUEL FACILITY, PARKING, STORMWATER FACILITIES, AND LANDSCAPING. STORMWATER RUNOFF FROM THE DISTURBED AREA IS DETAINED ON-SITE IN PARKING LOT PONDS AND THEN CONVEYED THROUGH A CLOSED CONVEYANCE SYSTEM TO THE STORM SYSTEM IN EUBANK BOULEVARD. THE EXISTING STORM SYSTEM WAS DESIGNED IN THE ORIGINAL WAREHOUSE SITE PLAN DATED FEBRUARY 15, 2000. EXISTING GRADES WITHIN THE PAVED AREAS ARE RELATIVELY FLAT WITH SLOPES RANGING FROM 0.5 TO 4 PERCENT.

THE PROPOSED IMPROVEMENTS TO THE COSTCO PARKING LOT INCLUDE RELOCATING AND REPAVING ADA STALLS AND REPAVING RAMPS, AND SIDEWALKS WITHIN THE DESIGNATED PATH OF ACCESSIBILITY TO UPGRADE THE PARKING LOT TO LATEST ADA STANDARDS. ADDITIONAL PARKING LOT RELATED SITE IMPROVEMENTS INCLUDE REMOVING AND REPLACING TREES PER THE CITY OF ALBUQUERQUE STANDARDS.

THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR NET INCREASE OF 160 SQUARE FEET OF IMPERVIOUS AREA ON THE SITE TO ACCOMMODATE FOR ADA STANDARDS. GIVEN THE LIMITED SCOPE AND NEGLIGIBLE IMPACT TO THE NET IMPERVIOUS AREA, THE IMPROVEMENTS ARE NOT ANTICIPATED TO NEGATIVELY IMPACT THE EXISTING STORM SYSTEM.

THE SUBJECT SITE IS NOT LOCATED WITHIN A FLOOD ZONE PER FEMA FIRM NO. 35001C0138H DATED AUGUST 16, 2012.

EXISTING TOPOGRAPHY/SURVEY INFORMATION NOTE:

A TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SUPERIOR SURVEYING SERVICES, INC. DATED JULY 2, 2020, HAS BEEN PROVIDED AS THE EXISTING CONDITIONS MAP TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE SITE DESIGN HAS BEEN BASED ON THE ABOVE-NOTED SURVEYS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

BASIS OF ELEVATIONS:

4" CITY OF ALBUQUERQUE BRASS DISK, STAMPED "ACS BM 5-K20", EPOXIED TO THE TOP OF CONCRETE CURB LOCATED IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF MOON STREET AND CENTRAL AVENUE NE, HAVING AN ELEVATION OF 5429.99' NAVD 88.

BASIS OF BEARINGS:

NAD 83, NEW MEXICO STATE PLANE CENTRAL ZONE AS MEASURED USING CITY OF ALBUQUERQUE BENCHMARKS 5_K20 AND 13_K20.

FEMA FLOODPLAIN:

THE SUBJECT SITE IS LOCATED WITHIN ZONE X (FEMA FIRM NO. 35001C0359G, DATED SEPTEMBER 26, 2008 AND FEMA FIRM NO. 35001C0358H, DATED AUGUST 16, 2012).

SITE PLAN NOTE:

A SITE PLAN PREPARED BY MG2 HAS BEEN PROVIDED TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THAT THE SITE PLAN IS COMPLIANT WITH ALL CITY OR COSTCO STANDARDS.

PROJECT DATA:

PROJECT ADDRESS: 500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

JURISDICTION: CITY OF ALBUQUERQUE

APN: 102105606037420201

ZONING: HIGH INTENSITY MIXED-USE (MX-H)

PROJECT AREA SUMMARY:

TOTAL WORK AREA = 16,300 SF
TOTAL DISTURBED AREA = 8,830 SF
TOTAL NEW/REPLACED IMPERVIOUS AREA = 8,830 SF

	EXISTING	PROPOSED
IMPERVIOUS:	8,670 SF	8,830 SF
PERVIOUS:	160 SF	0 SF

GRADING QUANTITIES:

TOTAL CUT (CY) = 20
TOTAL FILL (CY) = 10
TOTAL EXPORT (CY) = 10

EARTHWORK QUANTITIES ARE APPROXIMATE AND HIGHLY DEPENDANT ON SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHOULD PERFORM INDEPENDENT ESTIMATE FOR BIDDING.

CAUTION:

POTENTIAL UTILITY CONFLICT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND NEW UTILITIES PRIOR TO CONSTRUCTION. SEE UTILITY CONFLICT NOTE. THE EXISTING WATER, STORM, AND SANITARY SEWER SERVICE SHOWN IS APPROXIMATE, BASED ON FIELD SURVEYS AND "AS-BUILT" RECORDS. THE GENERAL CONTRACTOR SHALL "POT-HOLE" THE EXISTING UTILITIES TO VERIFY THE DIAMETER AND LOCATION (INCL. ELEVATIONS) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES IN THE LOCATION OF THE EXISTING PIPE OR INCOMPATIBILITY OF THE DESIGN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNERS REPRESENTATIVE, AND BARGHAUSEN CONSULTING ENGINEERS, INC. (425-251-6222).

MONUMENT PROTECTION NOTE:

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

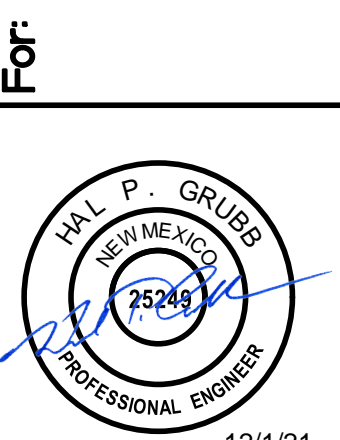


Know what's below.
Call before you dig.
Dial 811
Or 1-800-892-0123

No.	Date	By	Clad.	Appr.	Revision
2	12/17/21	LRH	MESH	HPS	RESPONSE TO COMMENTS
1	9/17/21	LRH	MESH	HPS	LAND USE SUBMITTAL/ BID RELEASE

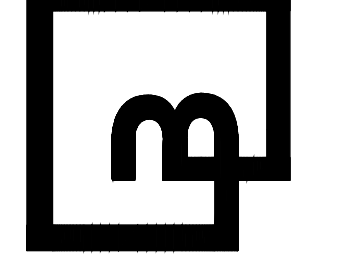
The
COVER SHEET
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667

COSTCO WHOLESAL
COSTCO WHOLESAL
999 LAKE DRIVE
ISSAQUAH, WA 98027



Scale:	Horizontal	Vertical
1" = 100'	1" = 100'	N/A

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number: 10987
Sheet: C1.0 of 9
Date: 11/27/2021 11:35 AM

STANDARD NOTES

ADA SITE IMPROVEMENTS

500 EUBANK BLVD SE ALBUQUERQUE, NM 87123 COSTCO WAREHOUSE #667

CITY OF ALBUQUERQUE GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."
2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS ISSUED BY THE CITY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROTECTION OF PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650, SUBPART "P".
6. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR CITY PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATION SECTION 4.4.
8. FOR CIP PROJECTS: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD, CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD, CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRIQUADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
9. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
10. CONTRACTOR SHALL ASSIST THE ENGINEER / INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND APPURTENANCES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS-BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES OR APPURTENANCES UNTIL ALL DATA HAVE BEEN RECORDED.
11. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB & GUTTER, A.D.A. RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
12. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.

WATER AND SEWER:

14. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER; RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER C.O.A. STANDARD DRAWINGS 2460 AND 2461.
15. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
16. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER-PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ON LINE AT: http://abcwa.org/water_shut_off_and_turn_on_procedures.aspx
22. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND / OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH AFFECTED UTILITY COMPANIES AS REQUIRED.
26. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECT-ORIZED PAVEMENT MARKING BY CONTRACTOR AT THE SAME LOCATION AS EXISTING OR AS INDICATED ON THIS PLAN SET.
28. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
29. ANY DAMAGE TO THE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALKS, STRIPING, OR SIGNAGE DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
30. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

TRANSPORTATION:

31. CURB & GUTTER, SIDEWALKS, AND DRIVEPADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
32. THE SUBGRADE PREPARATION SHALL EXTEND ONE (1) FOOT BEYOND THE FREE EDGE OF NEW CURB & GUTTER AND SIDEWALK.
33. CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE TWO FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50, OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
34. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
35. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB & GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR SHALL SAW-CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING No. 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.
36. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROJECT WILL HAVE ON THE TRANSIT SYSTEM, SUCH AS CAUSING A DETOUR OR THE CLOSURE OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS COFF, OFFICE PHONE 724-3137, CELL PHONE 206-0151, OR E-MAIL: DCOFF@CABQ.GOV

OTHER COMMON NOTES:

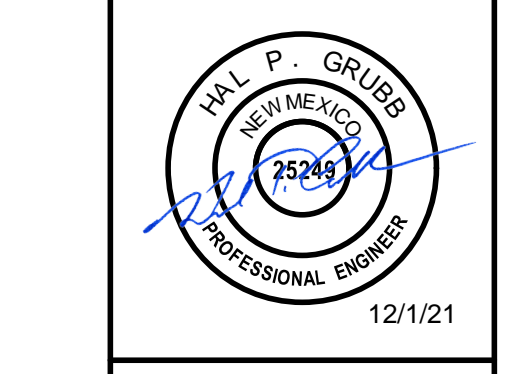
37. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE PIPE. RCP JOINTS SHALL NOT BE GROUDED UNLESS DIRECTED BY THE ENGINEER WITH CITY APPROVAL.
38. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING WORK.
39. CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, GLYS, ETC., ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTIONS TO CONSTRUCTION OPERATIONS ARE PRESENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
40. PNM WILL PROVIDE, AT NO COST TO THE CITY OR THE CONTRACTOR, THE NECESSARY PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
41. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY; LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION BEGINS.
42. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES; MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS/HER FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
43. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO STORM SEWER, WATER LINE, AND/OR SEWER LINE COSTS.
44. CONTRACTOR SHALL SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES, COMMUNICATION CABLES, AND CABLE-TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE SHALL BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE ANY NECESSARY PAYMENT TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES, OR SUPPORT OF CABLES BY THE UTILITY OWNER.
45. ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING No. 2465.
46. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
47. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
48. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPT-ABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
49. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
50. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED, AND RE-SET BY THE CONTRACTOR.
51. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PRE-HISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-3320.
52. IF OBJECTS OF HISTORICAL, ARCHEOLOGICAL, PALEONTOLOGICAL, OR OTHER OBJECTS OF ANTIQUITY ARE ENCOUNTERED, CONTRACTOR SHALL CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER AND PROJECT ENGINEER.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

The: **STANDARD NOTES**
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667

For: **COSTCO WHOLESALE**
999 LAKE DRIVE
ISSAQUAH, WA 98027



Scale: Horizontal 1/4" = 1'-0"
Vertical 1/4" = 1'-0"

Designed: LRH
Drawn: LRH
Checked: MESB
Approved: MESB
Date: 10/20/21

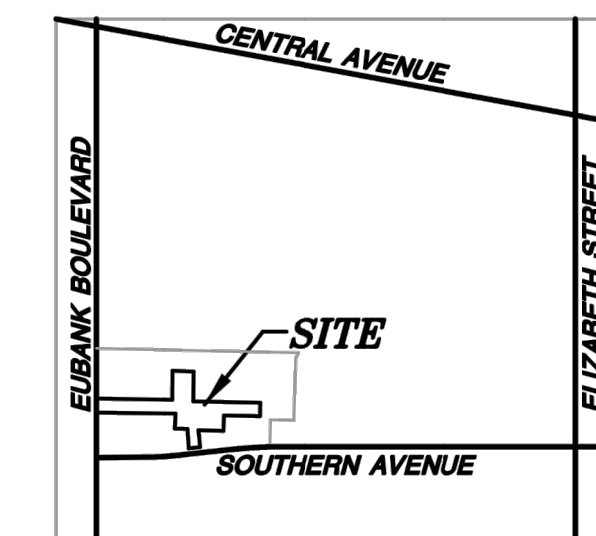
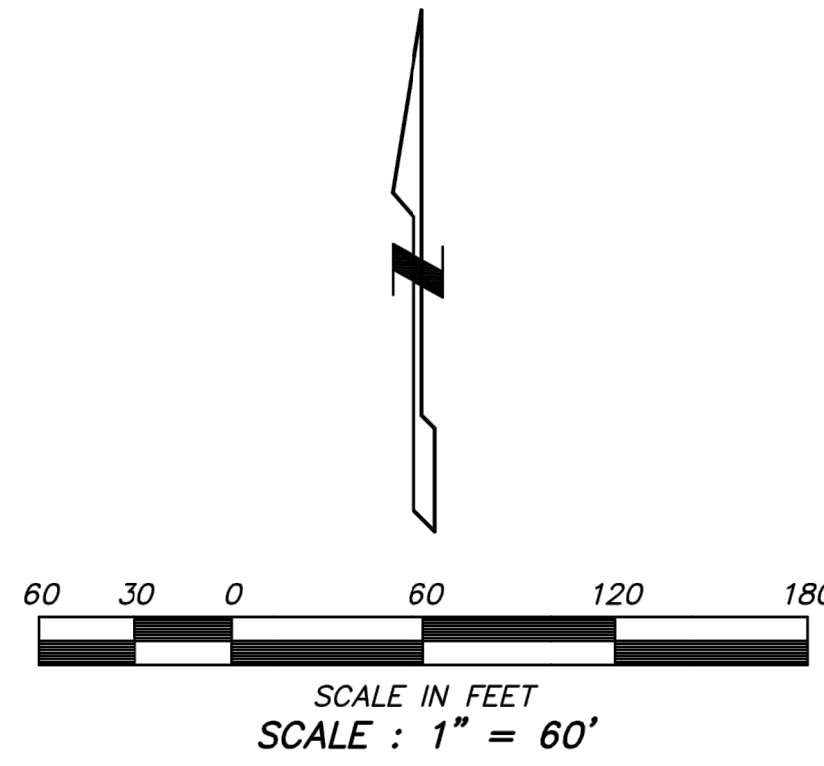
Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number: 10987
Sheet: C11.9

Know what's below.
Call before you dig.
Dial 811
Or 1-800-892-0123

TOPOGRAPHIC SURVEY

OF A PORTION OF THE NORTHWEST QUARTER OF SECTION 28,
TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO
PRINCIPAL BASE AND MERIDIAN, BERNALILLO COUNTY,
NEW MEXICO



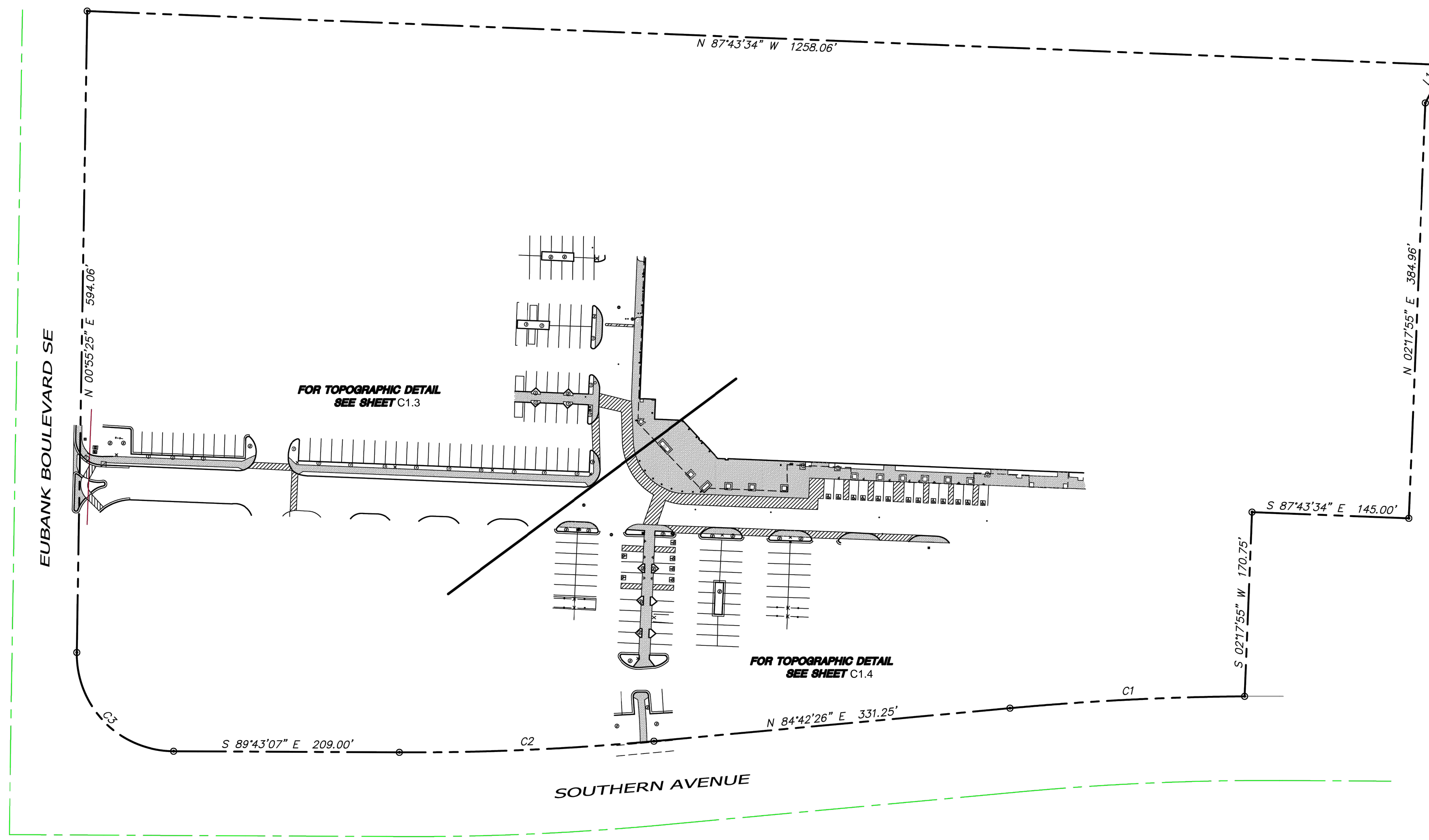
VICINITY MAP
NOT TO SCALE

OWNER

A.P.N.: 102105606037420201
OWNER: COSTCO WHOLESALE CORPORATION PROPERTY TAX DEPT 667
DEED: 2020-012853 020720 B.C.R.

NOTES

- 1) This survey has been prepared without the benefit of a title report, and is subject to all easements of record.
- 2) The basis of bearing is NAD 83, New Mexico State Plane Central Zone as measured using City of Albuquerque benchmarks 5_K20 and 13_K20.
- 3) The Benchmark used for this survey is the 4" City of Albuquerque brass disk, stamped "ACS BM 5-K20", epoxied to the top of concrete curb located in the northeast quadrant of the intersection of Moon Street and Central Avenue NE, having an elevation of 5429.99' NAVD 88.
- 4) The number of striped parking spaces on the subject property are as follows:
Regular: 804
Handicapped: 20
Total: 824
- 5) According to FEMA Flood Insurance Rate Map, Map Number 35001C0359G, dated September 26, 2008, and Map Number 35001C0358H, dated August 16, 2012, the subject property is located in Zone X. Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain".
- 6) The Surveyor has not obtained any information relating to, and has no knowledge of any proposed right of ways, easements, or dedications that any municipality, individual or governmental agency may require.
- 7) Use of the information contained in this instrument for other than the specific purpose for which it was intended is forbidden unless expressly permitted in writing in advance by Superior Surveying Services, Inc. Superior Surveying Services, Inc. shall have no liability for any such unauthorized use of this information without their written consent.



LINE	BEARING	DISTANCE
LT	S 27°13'23" W	39.54'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	2578.00'	217.68'	217.60'	S 87°06'48" W	45°01'5"
C2	2422.00'	236.00'	235.91'	N 87°29'03" E	5°34'59"
C3	90.00'	142.38'	127.99'	S 44°23'51" E	90°58'30"

LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- ⊙ INDICATES BOUNDARY CORNER NOTHING FOUND OR SET (UNLESS OTHERWISE NOTED)

CERTIFICATION

I, Randy S. Delbridge, hereby certify that I am a registered land surveyor in the State of New Mexico and that the survey shown hereon was completed under my direct supervision during the month of July, 2020, and is true and correct to the best of my knowledge and belief and the monuments shown actually exist.

Randy S. Delbridge
R.L.S. #42137



EXPIRES 12/31/20

REVISIONS	DESCRIPTION
DATE	

TOPOGRAPHIC SURVEY
500 EUBANK BOULEVARD SE
ALBUQUERQUE, NM 87123

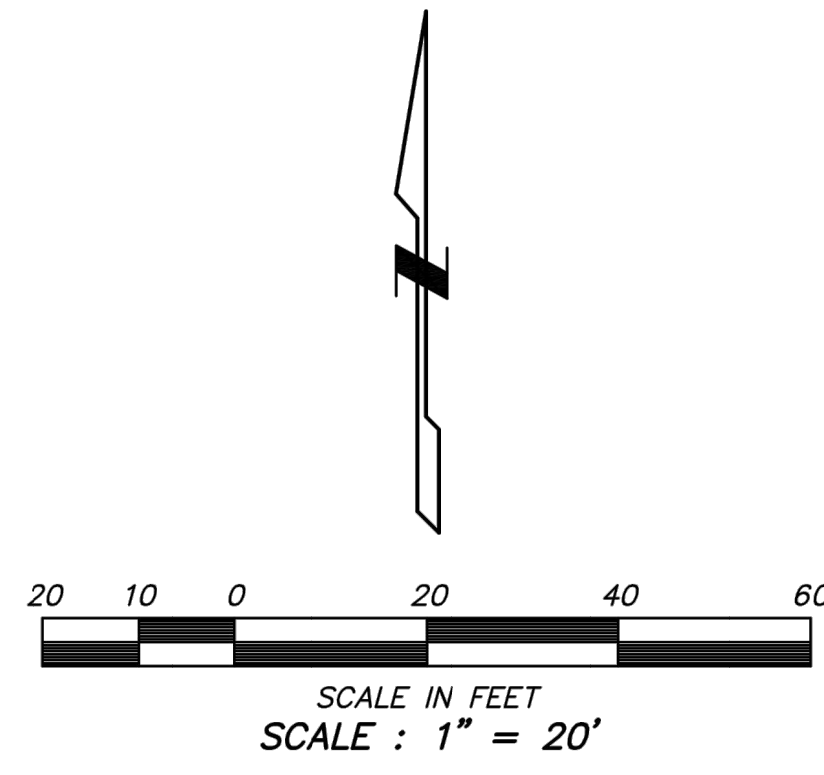
2122 W. Lone Cactus Drive, Suite 11
Phoenix, AZ 85027
www.superiorsurveying.com
623-869-0223 (office) 623-869-0726 (fax)
info@superiorsurveying.com

SUPERIOR
SURVEYING SERVICES, INC.

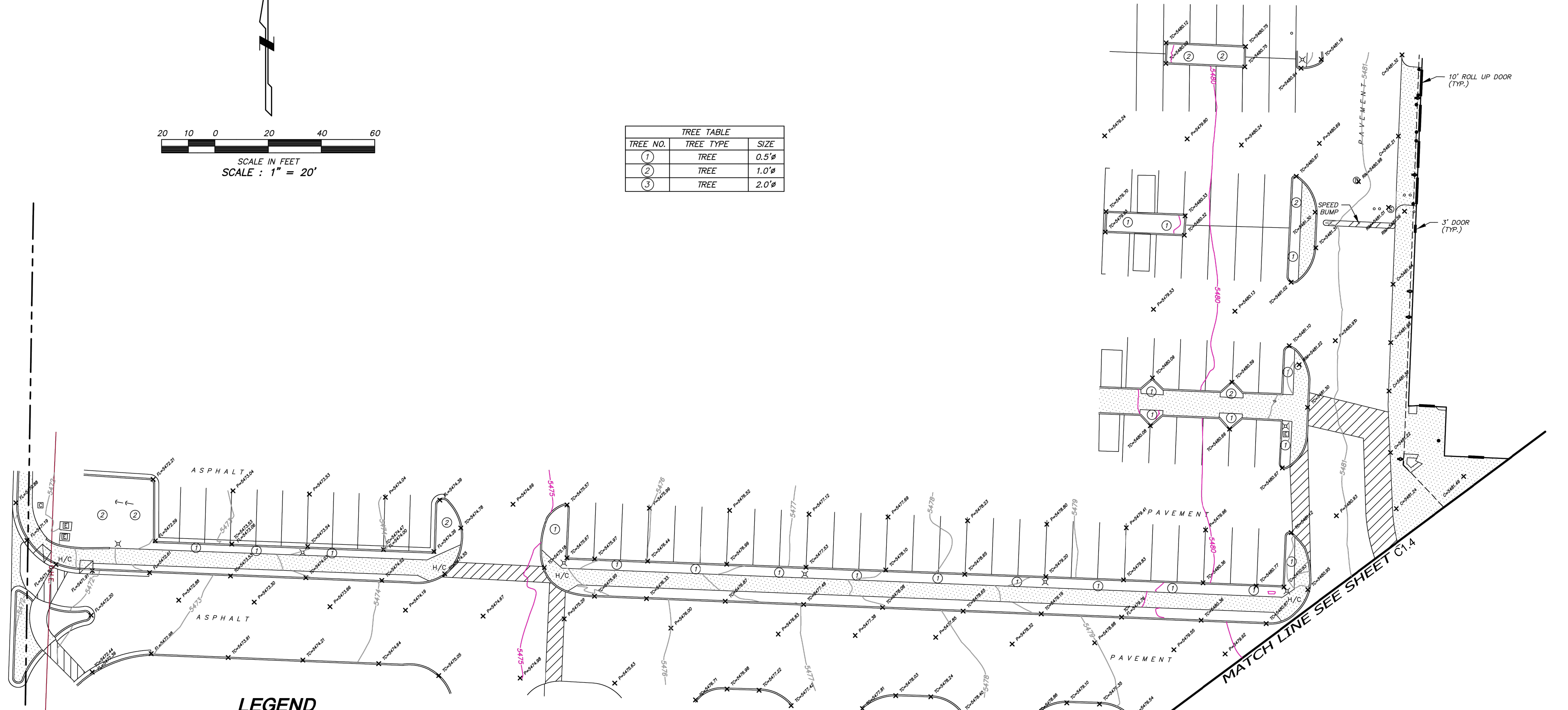
DWN: CB CHK: DK
DATE: 7/2/2020
JOB: 202006033

C12 OF 7

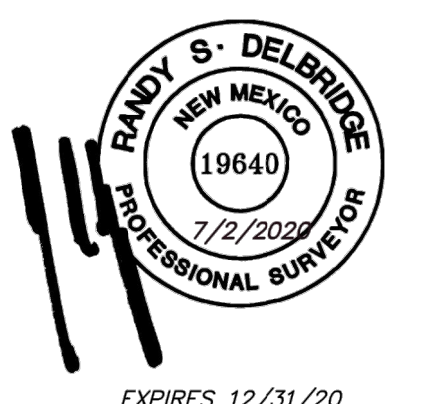
EUBANK BOULEVARD SE



TREE TABLE		
TREE NO.	TREE TYPE	SIZE
1	TREE	0.5'
2	TREE	1.0'
3	TREE	2.0'



- LEGEND**
- BOUNDARY LINE
 - CENTER LINE OR MONUMENT LINE
 - ⊙ INDICATES BOUNDARY CORNER NOTHING FOUND OR SET (UNLESS OTHERWISE NOTED)
 - ▨ CONCRETE SURFACE
 - ▨ 24 INCH VERTICAL CURB & GUTTER
 - ▨ 6 INCH CONCRETE CURB
 - X- FENCE
 - O.H.E.- OVERHEAD ELECTRIC LINE
 - HHH BIKE RACK
 - COMMUNICATION JUNCTION BOX
 - ⊥ DOWN CLY
 - ELECTRIC BOX
 - FIRE HYDRANT
 - GUARD POST OR GATE POST
 - HANDICAPPED SPACE
 - METAL GRATE (RECTANGULAR)
 - X LIGHT POLE
 - LANDSCAPE LIGHT
 - MANHOLE
 - H/C PEDESTRIAN ACCESS RAMP
 - SEWER CLEAN OUT
 - STORM DRAIN MANHOLE
 - SEWER MANHOLE
 - △ STREET SIGN
 - FL FLOW LINE
 - FF FINISHED FLOOR
 - TC TOP OF CURB
 - NG NATURAL GROUND
 - P PAVEMENT
 - C CONCRETE
 - RIM TOP OF RIM
 - INV INVERT ELEVATION



DATE	REVISIONS	DESCRIPTION

TOPOGRAPHIC SURVEY
500 EUBANK BOULEVARD SE
ALBUQUERQUE, NM 87123

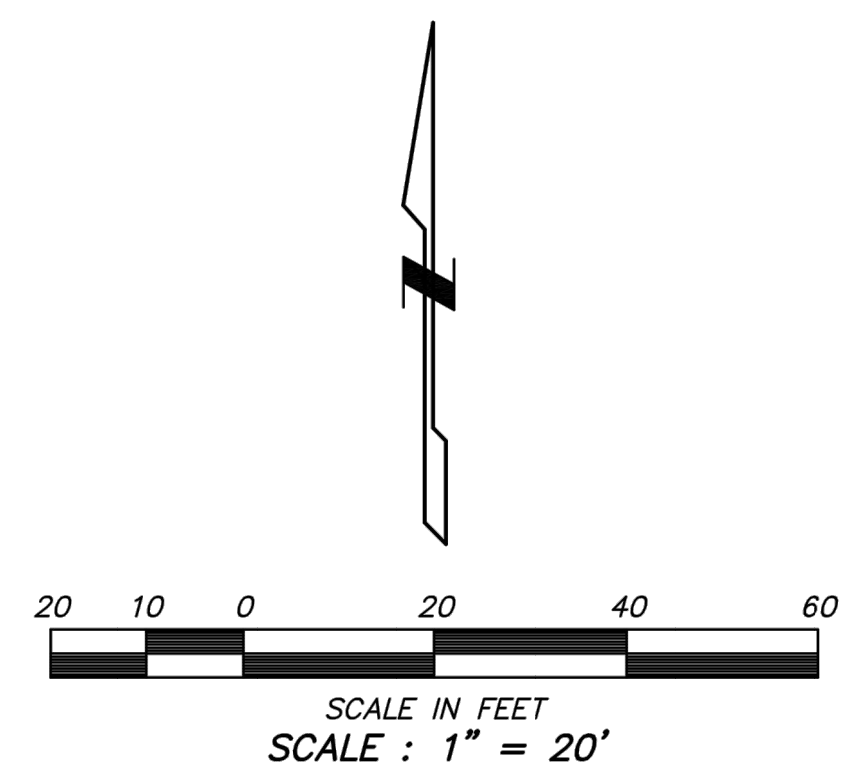
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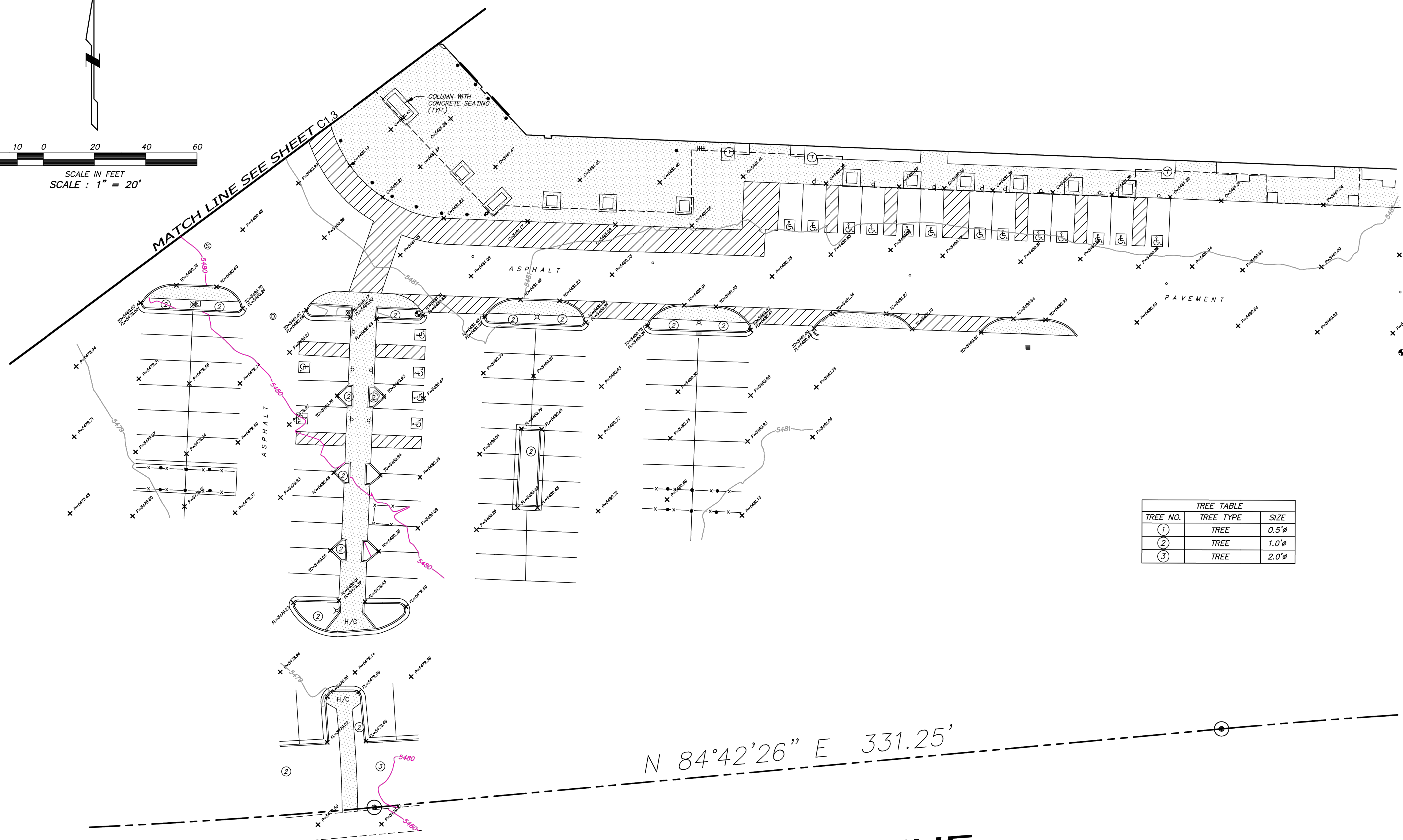
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DATE: 7/2/2020
JOB: 202006033

C13 OF 7

EXPIRES 12/31/20



MATCH LINE SEE SHEET C1.3



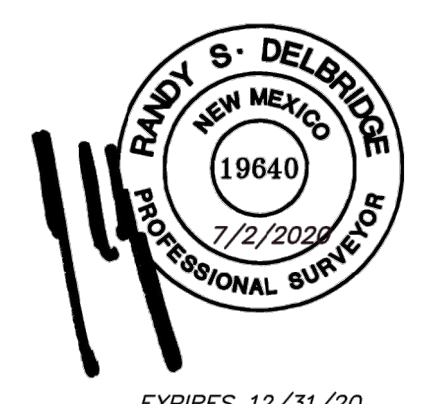
TREE TABLE		
TREE NO.	TREE TYPE	SIZE
1	TREE	0.5'φ
2	TREE	1.0'φ
3	TREE	2.0'φ

LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- ⊙ INDICATES BOUNDARY CORNER NOTHING FOUND OR SET (UNLESS OTHERWISE NOTED)
- ▨ CONCRETE SURFACE
- ▨ 24 INCH VERTICAL CURB & GUTTER
- ▨ 6 INCH CONCRETE CURB
- X- FENCE
- OVERHEAD ELECTRIC LINE
- BIKE RACK
- COMMUNICATION JUNCTION BOX
- ↑ DOWN GUY
- ELECTRIC BOX
- FIRE HYDRANT
- GUARD POST OR GATE POST
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- ⊙ STORM DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- △ STREET SIGN
- FL FLOW LINE
- FF FINISHED FLOOR
- TC TOP OF CURB
- NG NATURAL GROUND
- P PAVEMENT
- C CONCRETE
- RM TOP OF RIM
- INV INVERT ELEVATION

N 84°42'26" E 331.25'

SOUTHERN AVENUE



DATE	REVISIONS	DESCRIPTION

TOPOGRAPHIC SURVEY
500 EUBANK BOULEVARD SE
ALBUQUERQUE, NM 87123

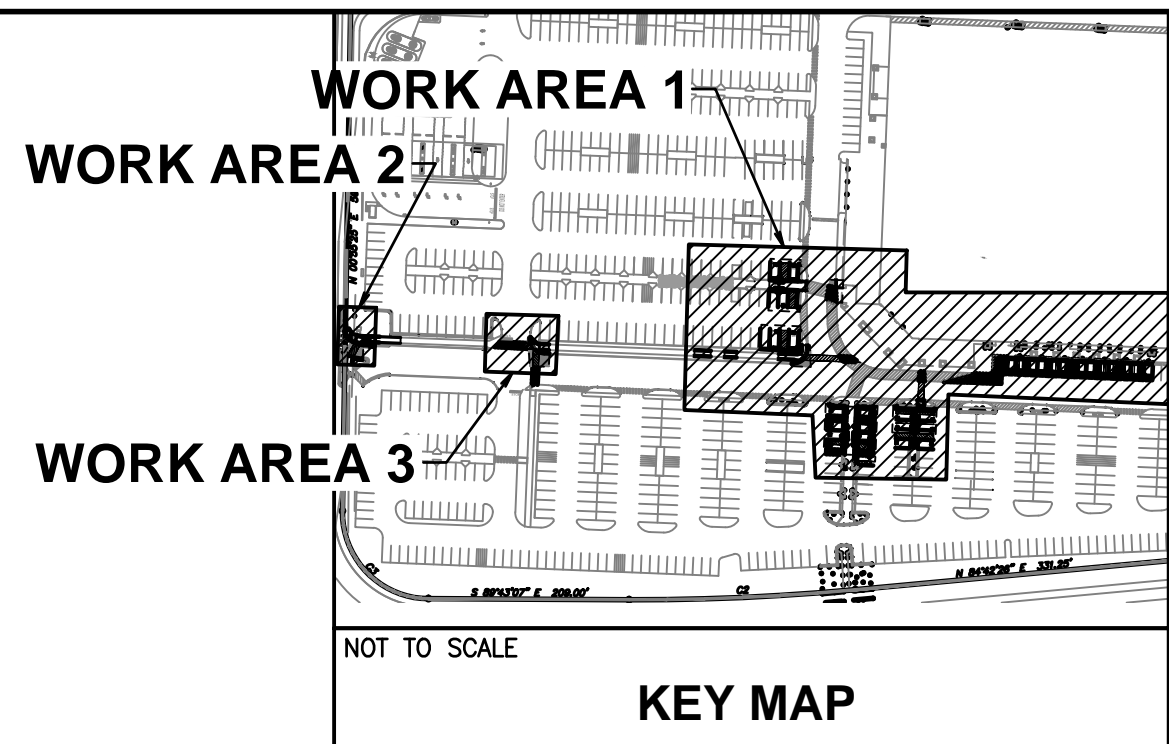
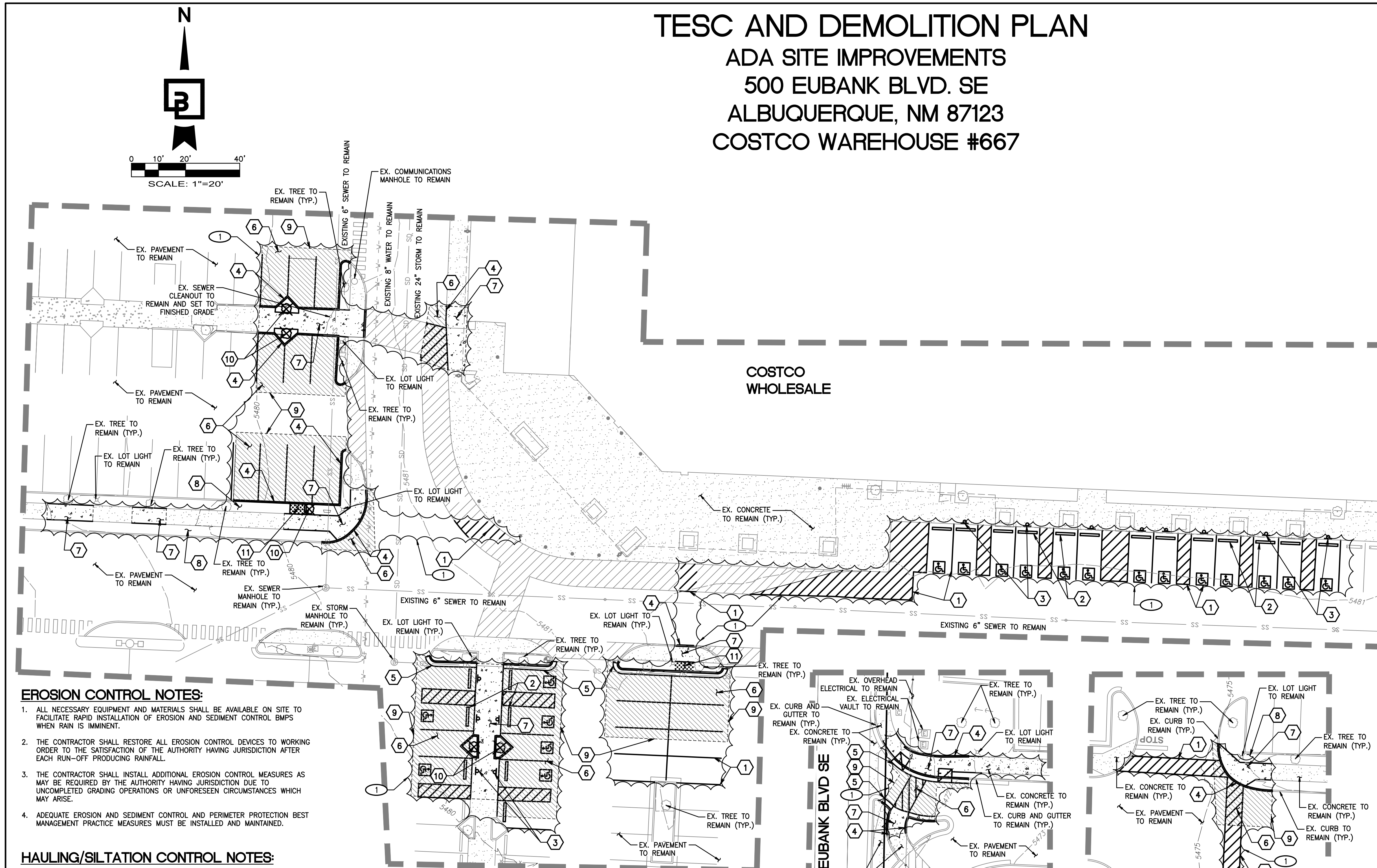
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TESC AND DEMOLITION PLAN

ADA SITE IMPROVEMENTS

500 EUBANK BLVD. SE ALBUQUERQUE, NM 87123 COSTCO WAREHOUSE #667



TESC LEGEND

- FULL DEPTH PAVEMENT REMOVAL
- FULL DEPTH CONCRETE PAVEMENT REMOVAL
- PROPOSED INLET PROTECTION
- PROPERTY LINE
- SAWCUT LINE
- LIMITS OF DISTURBANCE
- EXISTING BARRIER CURB TO BE REMOVED
- EXISTING BARRIER CURB TO REMAIN
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- 641 EXISTING MINOR CONTOUR
- 640 EXISTING MAJOR CONTOUR

DEMOLITION CALLOUTS:

1. EXISTING PAINT MARKING TO BE REMOVED. CONTRACTOR TO SANDBLAST PAVEMENT TO REMOVE EXISTING PAINT STRIPING.
2. EXISTING WHEEL STOP TO BE REMOVED AND DISPOSED OF OFF-SITE.
3. EXISTING SIGN TO BE REMOVED AND DISPOSED OF OFF-SITE.
4. EXISTING BARRIER CURB TO BE REMOVED AND DISPOSED OF OFF-SITE.
5. EXISTING CURB AND GUTTER TO BE REMOVED AND DISPOSED OF OFF-SITE.
6. EXISTING PAVEMENT TO BE REMOVED AND DISPOSED OF OFF-SITE.
7. EXISTING CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF OFF-SITE.
8. EXISTING LANDSCAPING DISTURBED DURING CONSTRUCTION TO BE REPLACED IN KIND.
9. PROPOSED SAWCUT (TYP.), WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT, PROVIDE LAP JOINT PER DETAIL ON SHEET C5.0.
10. EXISTING TREE TO BE REMOVED AND DISPOSED OF OFF-SITE.
11. EXISTING LANDSCAPE TO BE REMOVED AND DISPOSED OFF-SITE.

EROSION/SEDIMENT CONTROL CALLOUTS:

1. APPROXIMATE LIMITS OF DISTURBANCE.

EROSION CONTROL NOTES:

1. ALL NECESSARY EQUIPMENT AND MATERIALS SHALL BE AVAILABLE ON SITE TO FACILITATE RAPID INSTALLATION OF EROSION AND SEDIMENT CONTROL BMP'S WHEN RAIN IS IMMINENT.
2. THE CONTRACTOR SHALL RESTORE ALL EROSION CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AFTER EACH RUN-OFF PRODUCING RAINFALL.
3. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
4. ADEQUATE EROSION AND SEDIMENT CONTROL AND PERIMETER PROTECTION BEST MANAGEMENT PRACTICE MEASURES MUST BE INSTALLED AND MAINTAINED.

HAULING/SILTATION CONTROL NOTES:

1. PUBLIC STREETS ARE TO BE KEPT CLEAN OF DIRT AND DEBRIS GENERATED BY WORK. CLEANUP SHALL BE BY SWEEPING AND/OR OTHER APPROVED METHODS ON A DAILY BASIS.
2. CONTRACTOR SHALL PROVIDE SILT BAGS OR OTHER SILTATION CONTROL MEASURES ON EXISTING CATCH BASIN(S) IN PROXIMITY OF WORK WHICH HAVE POTENTIAL TO RECEIVE SURFACE RUNOFF FROM THE WORK AREA OR ANY LOCATIONS THAT MAY BE DESIGNATED BY THE AUTHORITY HAVING JURISDICTION DURING THE COURSE OF THE WORK.
3. EFFORTS SHALL BE MADE DURING CONSTRUCTION ACTIVITIES TO STABILIZE ALL DISTURBED AREAS AS QUICKLY AS POSSIBLE TO MINIMIZE EROSION.
4. ITEMS FOR DEMOLITION ARE DEPICTED PER DESIGN DRAWINGS. CONTRACTOR TO VERIFY AND LOCATE ANY ITEMS FOR DEMOLITION PRIOR TO START OF CONSTRUCTION AND NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. IMMEDIATELY OF ANY DISCREPANCIES.
5. CONTRACTOR TO REVIEW AS-BUILT DRAWINGS IN PROJECT AREA AND REMOVE AND/OR RELOCATE ANY SITE APPURTENANCES IN PROJECT AREA THAT IMPACT THE PROJECT.

DUST CONTROL NOTES:

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
3. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
4. SWEEP DAILY (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
5. SWEEP STREETS DAILY (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

UTILITY NOTE:

ALL UNDERGROUND UTILITIES AND SERVICES TO REMAIN UNDISTURBED UNLESS OTHERWISE SHOWN. ALL RIMS AND/OR LIDS WITHIN REPLACED ASPHALT OR CONCRETE TO BE ADJUSTED TO FINISHED GRADE.

SITE PLAN NOTE:

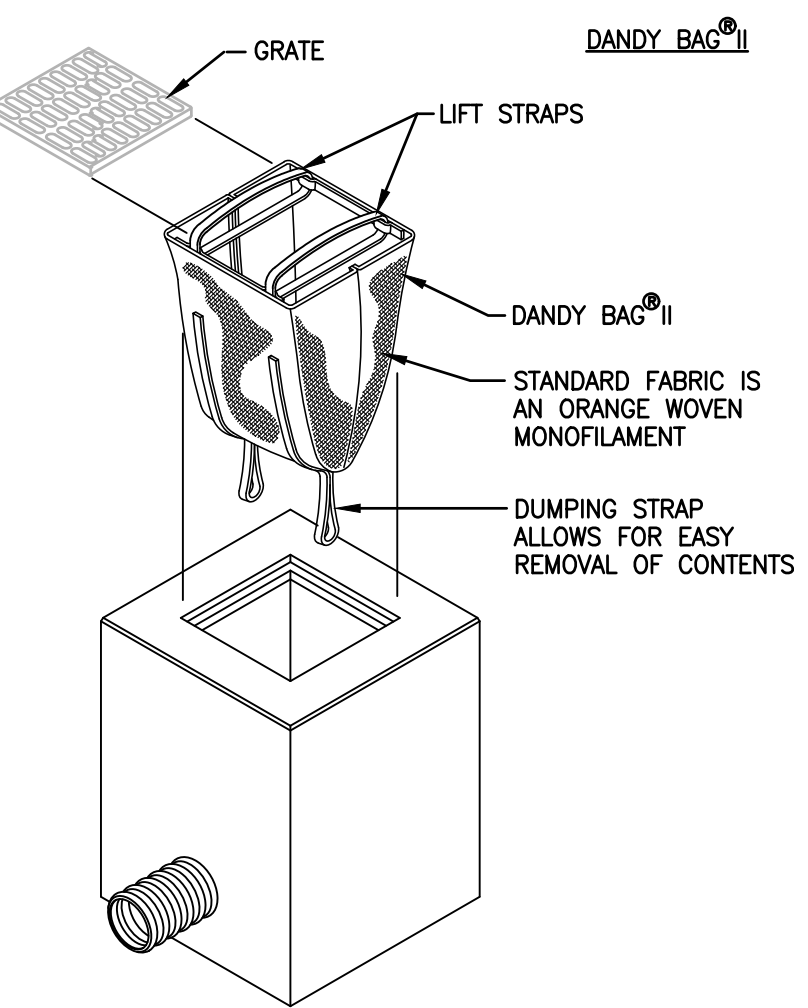
PRIOR TO SAWCUTTING ANY ASPHALT/CONCRETE OR COMMENCING WITH ANY DEMOLITION ACTIVITY, COORDINATE AND VERIFY EXTENT OF NECESSARY DEMOLITION WITH GRADING AND SITE PLAN. IT MAY BE NECESSARY TO REMOVE MORE PAVEMENT/CURBING THAN IS SHOWN TO MEET ADA REQUIREMENTS.

STAGING AREA NOTE:

CONTRACTOR TO COORDINATE WITH ARCHITECT, COSTCO CONSTRUCTION PROJECT MANAGER AND WAREHOUSE MANAGER TO DETERMINE APPROPRIATE STAGING AREA. STAGING AREA TO COMPLY WITH COSTCO PROPERTY MANAGEMENT STAGING REQUIREMENTS.

DEMOLITION NOTES:

1. CONTRACTOR SHALL CONTACT AND COORDINATE WITH THE VARIOUS UTILITY COMPANIES ON REQUESTING DISCONNECTIONS, REMOVALS AND/OR RELOCATION OF EXISTING SERVICE.
2. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND CONSTRUCTION APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL REPLACE ALL EXISTING CURB, PAVEMENT AND/OR LANDSCAPING DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY.
4. CONTRACTOR SHALL, PRIOR TO CONSTRUCTION OR REMOVAL OF IMPROVEMENTS, FIELD VERIFY AND CONFIRM LIMITS OF DEMOLITION AS WELL AS EXISTING UTILITIES AND IMPROVEMENTS TO REMAIN.



INSTALLATION AND MAINTENANCE GUIDELINES:

INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG® II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG® II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

INLET PROTECTION NOTE:

CONTRACTOR TO INSTALL STORM DRAIN INLET PROTECTION AT ALL DOWNSTREAM RECEIVING STORM INLET LOCATIONS AS REQUIRED TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM, AND AS DIRECTED BY INSPECTOR OF AUTHORITY HAVING JURISDICTION. SEE DETAIL THIS SHEET.

TREE PROTECTION NOTE:

EXISTING TREES TO REMAIN WITHIN LIMITS OF DISTURBANCE ARE TO BE PROTECTED IN PLACE AS NECESSARY AND PER ANY APPLICABLE LOCAL JURISDICTIONAL STANDARDS. TREES DAMAGED DURING CONSTRUCTION MUST BE REPLACED IN KIND.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAND UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

No.	Date	By	Appr.	Revision
2	12/17/21	LRH	MESH	HPS RESPONSE TO COMMENTS
1	9/17/21	LRH	MESH	HPS LAND USE SUBMITTAL/ BID RELEASE

The
TESC AND DEMOLITION PLAN
 500 EUBANK BLVD. SE
 ALBUQUERQUE, NM 87123
 COSTCO WAREHOUSE #667

Costco Wholesale
 COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

For

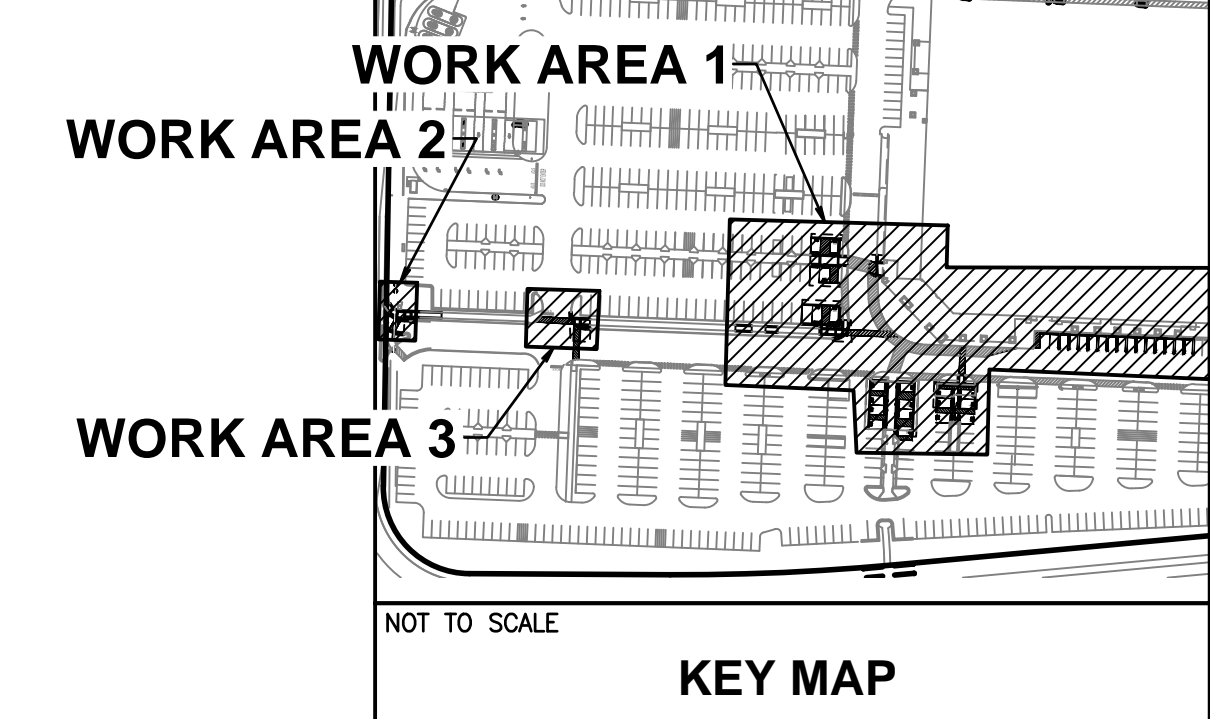
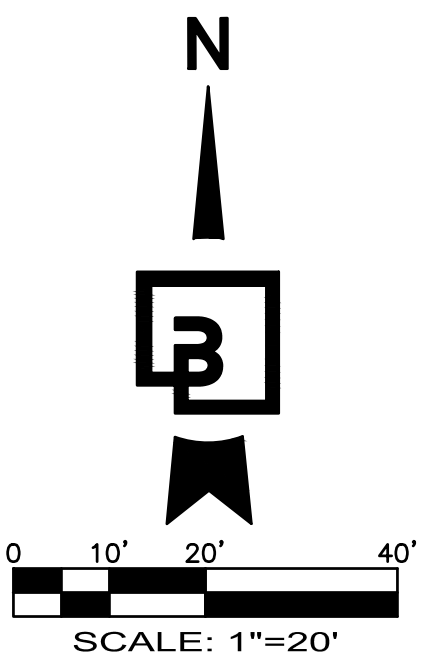
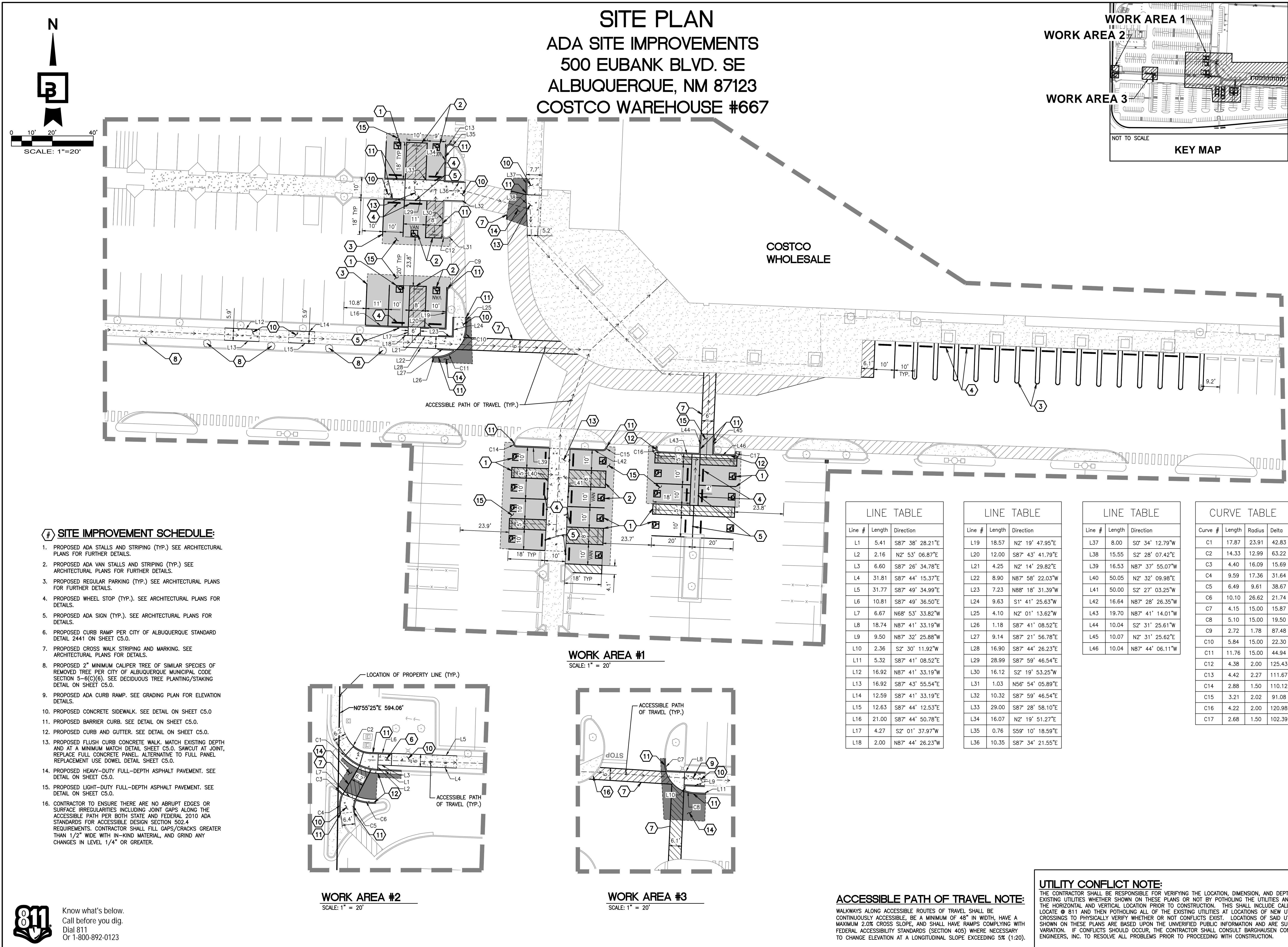
Scale:	Horizontal	Vertical
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Designed LRH	Checked MESH	Date 10/20/20
Drawn LRH	Approved JHS	

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 Kent, WA 98032
 425.251.6222
 barghausen.com

Job Number
10987

Sheet
C20 of 9

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SITE PLAN
ADA SITE IMPROVEMENTS
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667

16 SITE IMPROVEMENT SCHEDULE:

1. PROPOSED ADA STALLS AND STRIPING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
2. PROPOSED ADA VAN STALLS AND STRIPING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
3. PROPOSED REGULAR PARKING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
4. PROPOSED WHEEL STOP (TYP.), SEE ARCHITECTURAL PLANS FOR DETAILS.
5. PROPOSED ADA SIGN (TYP.). SEE ARCHITECTURAL PLANS FOR DETAILS.
6. PROPOSED CURB RAMP PER CITY OF ALBUQUERQUE STANDARD DETAIL 2441 ON SHEET CS.0.
7. PROPOSED CROSS WALK STRIPING AND MARKING. SEE ARCHITECTURAL PLANS FOR DETAILS.
8. PROPOSED 2" MINIMUM CALIPER TREE OF SIMILAR SPECIES OF REMOVED TREE PER CITY OF ALBUQUERQUE MUNICIPAL CODE SECTION 5-6(c)(6). SEE DECIDUOUS TREE PLANTING/STAKING DETAIL ON SHEET CS.0.
9. PROPOSED ADA CURB RAMP. SEE GRADING PLAN FOR ELEVATION DETAILS.
10. PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET CS.0.
11. PROPOSED BARRIER CURB. SEE DETAIL ON SHEET CS.0.
12. PROPOSED CURB AND GUTTER. SEE DETAIL ON SHEET CS.0.
13. PROPOSED FLUSH CURB CONCRETE WALK. MATCH EXISTING DEPTH AND AT A MINIMUM MATCH DETAIL SHEET CS.0. SINGOUT AT JOINT. REPLACE FULL CONCRETE PANEL. ALTERNATIVE TO FULL PANEL REPLACEMENT USE DOWEL DETAIL SHEET CS.0.
14. PROPOSED HEAVY-DUTY FULL-DEPTH ASPHALT PAVEMENT. SEE DETAIL ON SHEET CS.0.
15. PROPOSED LIGHT-DUTY FULL-DEPTH ASPHALT PAVEMENT. SEE DETAIL ON SHEET CS.0.
16. CONTRACTOR TO ENSURE THERE ARE NO ABRUPT EDGES OR SURFACE IRREGULARITIES INCLUDING JOINT GAPS ALONG THE ACCESSIBLE PATH PER BOTH STATE AND FEDERAL 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 402.4 REQUIREMENTS. CONTRACTOR SHALL FILL GAPS/CRACKS GREATER THAN 1/2" WIDE WITH IN-KIND MATERIAL, AND GRIND ANY CHANGES IN LEVEL 1/4" OR GREATER.

Line #	Length	Direction
L1	5.41	S87° 38' 28.21"E
L2	2.16	N2° 53' 06.87"E
L3	6.60	S87° 26' 34.78"E
L4	31.81	S87° 44' 15.37"E
L5	31.77	S87° 49' 34.99"E
L6	10.81	S87° 49' 36.50"E
L7	6.67	N68° 53' 33.82"W
L8	18.74	N87° 41' 33.19"W
L9	9.50	N87° 32' 25.88"W
L10	2.36	S2° 30' 11.92"W
L11	5.32	S87° 41' 08.52"E
L12	16.92	N87° 41' 33.19"W
L13	16.92	S87° 43' 55.54"E
L14	12.59	S87° 41' 33.19"E
L15	12.63	S87° 44' 12.53"E
L16	21.00	S87° 44' 50.78"E
L17	4.27	S2° 01' 37.97"W
L18	2.00	N87° 44' 26.23"W

Line #	Length	Direction
L19	18.57	N2° 19' 47.95"E
L20	12.00	S87° 43' 41.79"E
L21	4.25	N2° 14' 29.82"E
L22	8.90	N87° 58' 22.03"W
L23	7.23	N88° 18' 31.39"W
L24	9.63	S1° 41' 25.63"W
L25	4.10	N2° 01' 13.62"W
L26	1.18	S87° 41' 08.52"E
L27	9.14	S87° 21' 56.78"E
L28	16.90	S87° 44' 26.23"E
L29	28.99	S87° 59' 46.54"E
L30	16.12	S2° 19' 53.25"W
L31	1.03	N56° 54' 05.89"E
L32	10.32	S87° 59' 46.54"E
L33	29.00	S87° 28' 58.10"E
L34	16.07	N2° 19' 51.27"E
L35	0.78	S59° 10' 18.59"E
L36	10.35	S87° 34' 21.55"E

Line #	Length	Direction
L37	8.00	S0° 34' 12.79"W
L38	15.55	S2° 28' 07.42"E
L39	16.53	N87° 37' 55.07"W
L40	50.05	N2° 32' 09.98"E
L41	50.00	S2° 27' 03.25"W
L42	16.64	N87° 28' 26.35"W
L43	19.70	N87° 41' 14.01"W
L44	10.04	S2° 31' 25.61"W
L45	10.07	N2° 31' 25.62"E
L46	10.04	N87° 44' 06.11"W

Curve #	Length	Radius	Delta
C1	17.87	23.91	42.83
C2	14.33	12.99	63.22
C3	4.40	16.09	15.69
C4	9.59	17.36	31.64
C5	6.49	9.61	38.67
C6	10.10	26.62	21.74
C7	4.15	15.00	15.87
C8	5.10	15.00	19.50
C9	2.72	1.78	87.48
C10	5.84	15.00	22.30
C11	11.76	15.00	44.94
C12	4.38	2.00	125.43
C13	4.42	2.27	111.67
C14	2.88	1.50	110.12
C15	3.21	2.02	91.08
C16	4.22	2.00	120.98
C17	2.68	1.50	102.39

ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 48" IN WIDTH, HAVE A MAXIMUM 2.0% CROSS SLOPE, AND SHALL HAVE RAMP COMPLIING WITH FEDERAL ACCESSIBILITY STANDARDS (SECTION 405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20).

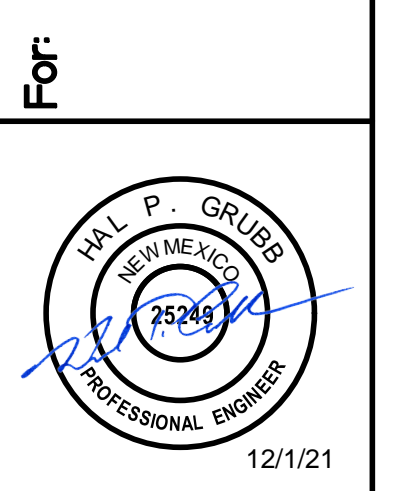
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Title:
SITE PLAN
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667

Costco Wholesale
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



Scale:
 Horizontal 1" = 20'
 Vertical N/A

Designed: LRH
Drawn: LRH
Checked: MESH
Approved: HPS
Date: 10/20/20

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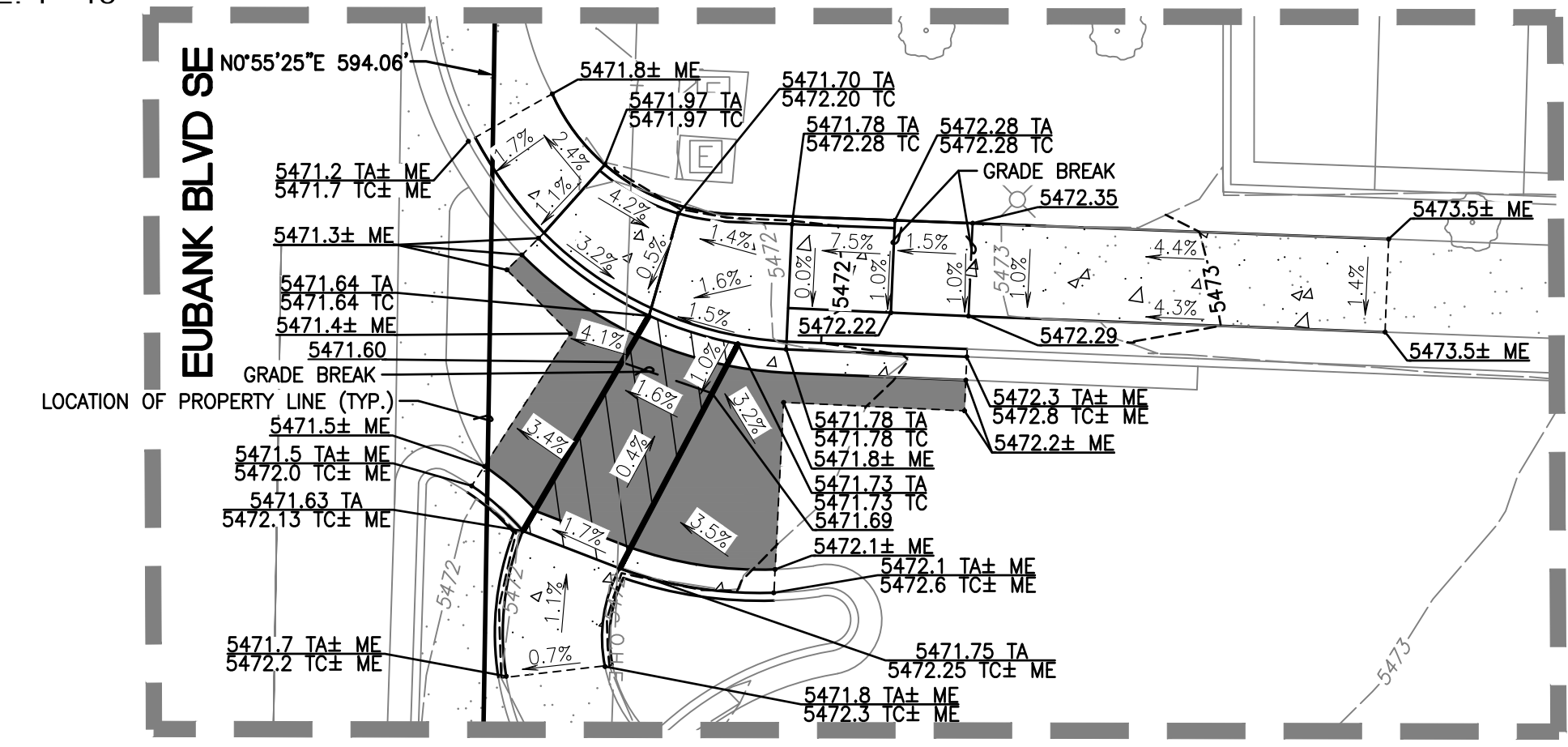
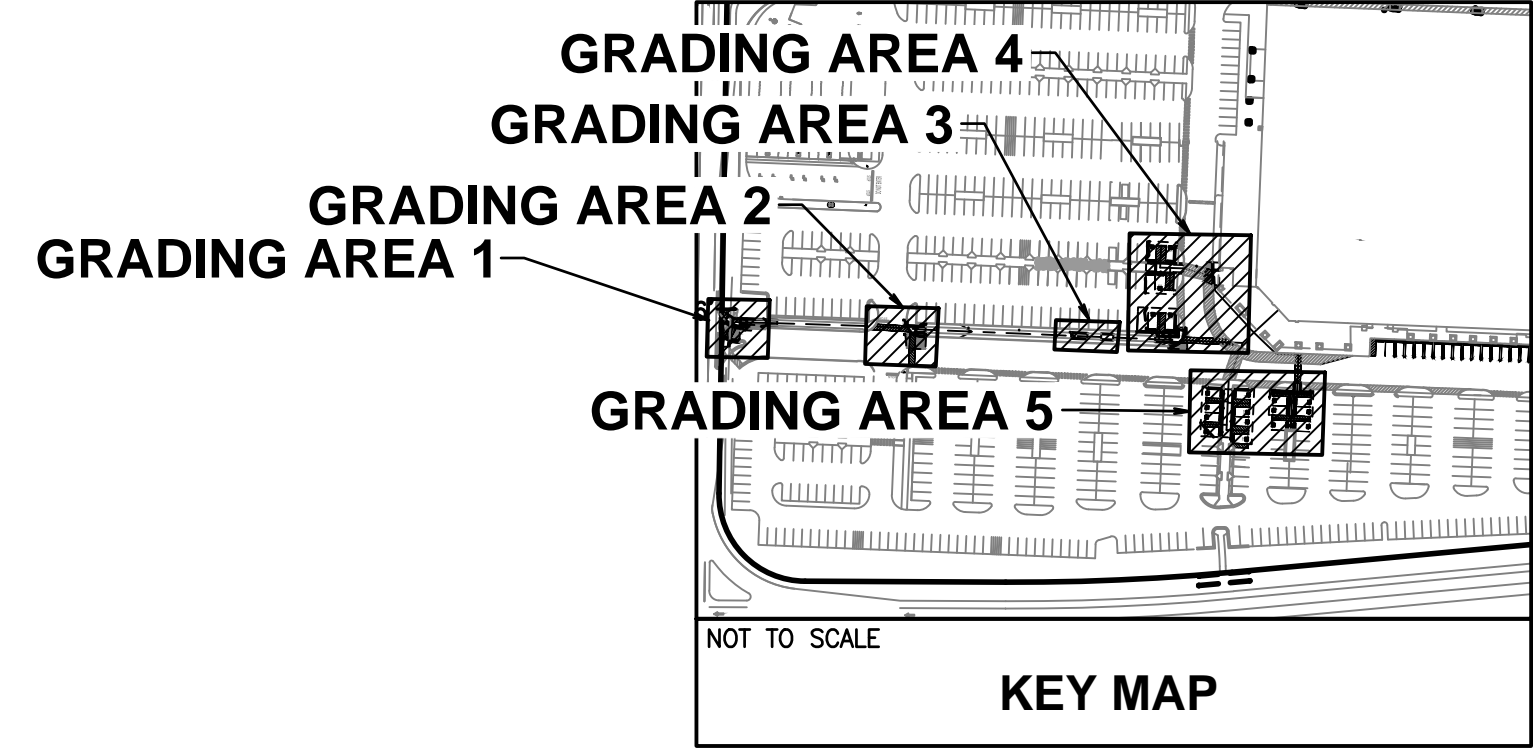
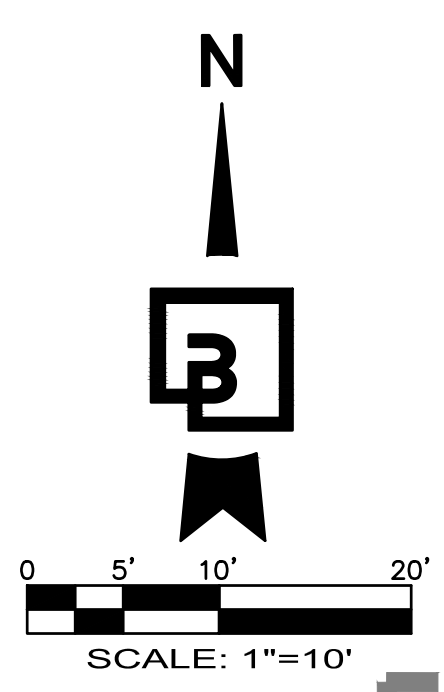
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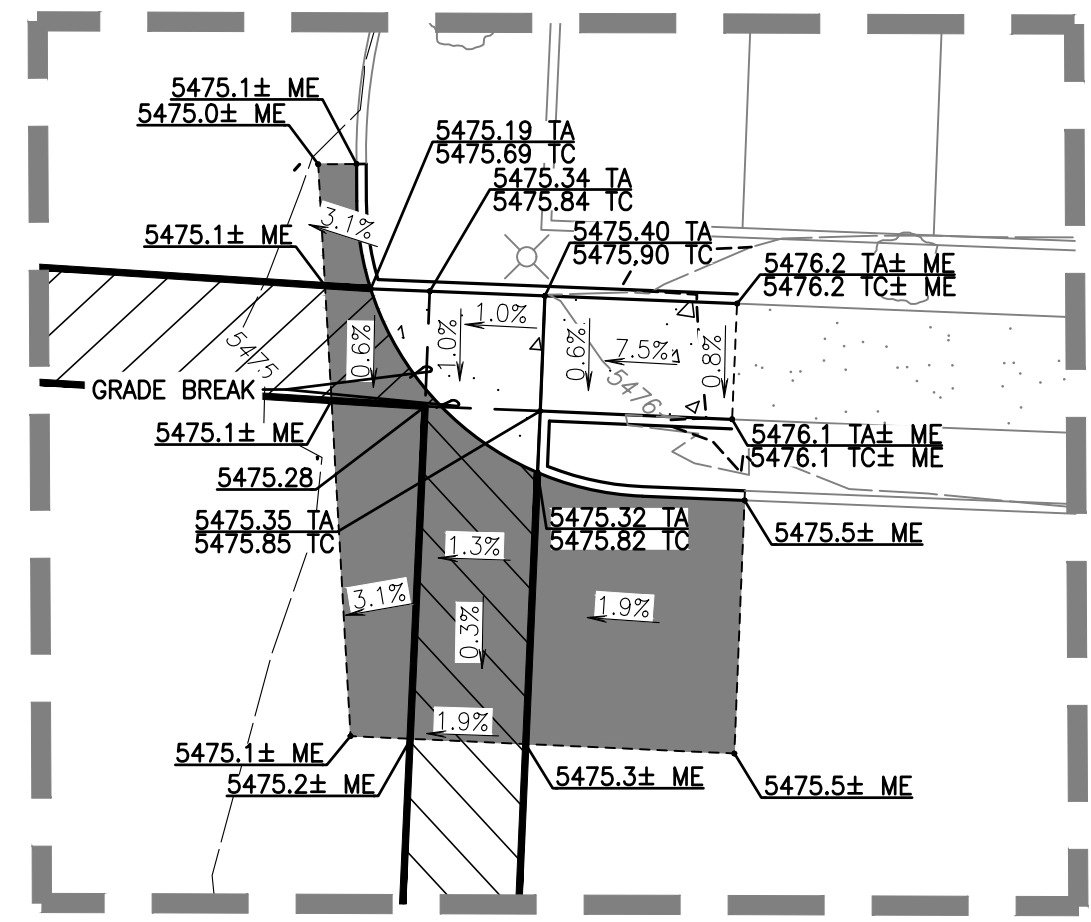
GRADING PLAN

ADA SITE IMPROVEMENTS

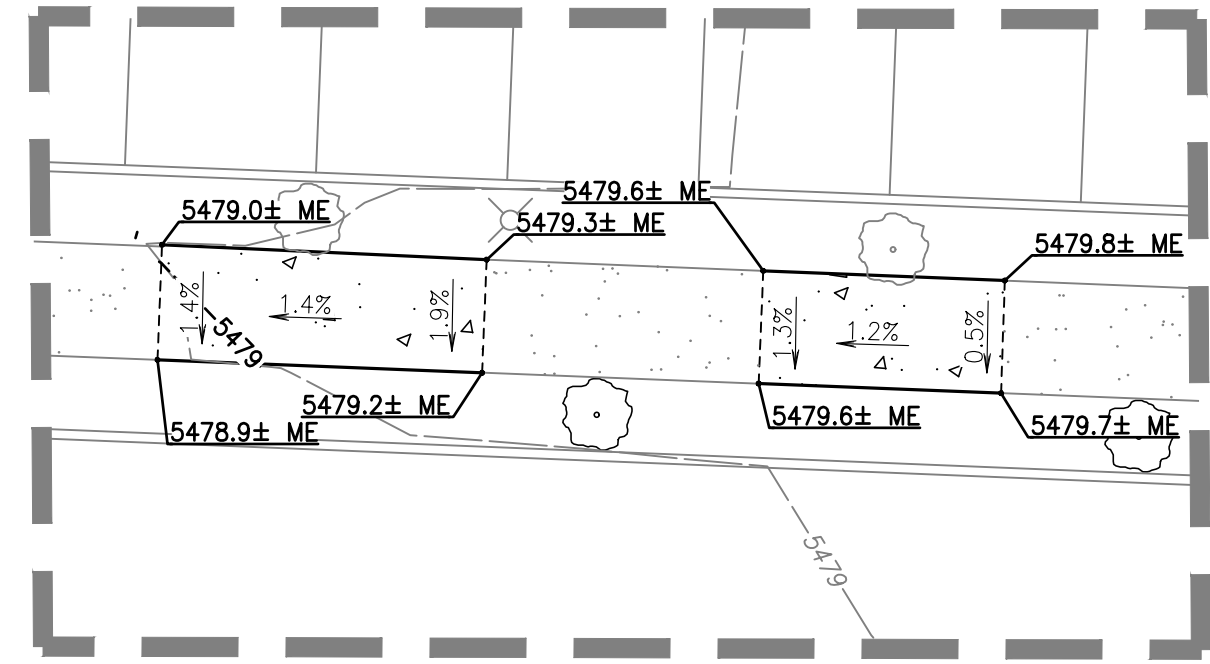
500 EUBANK BLVD. SE ALBUQUERQUE, NM 87123 COSTCO WAREHOUSE #667



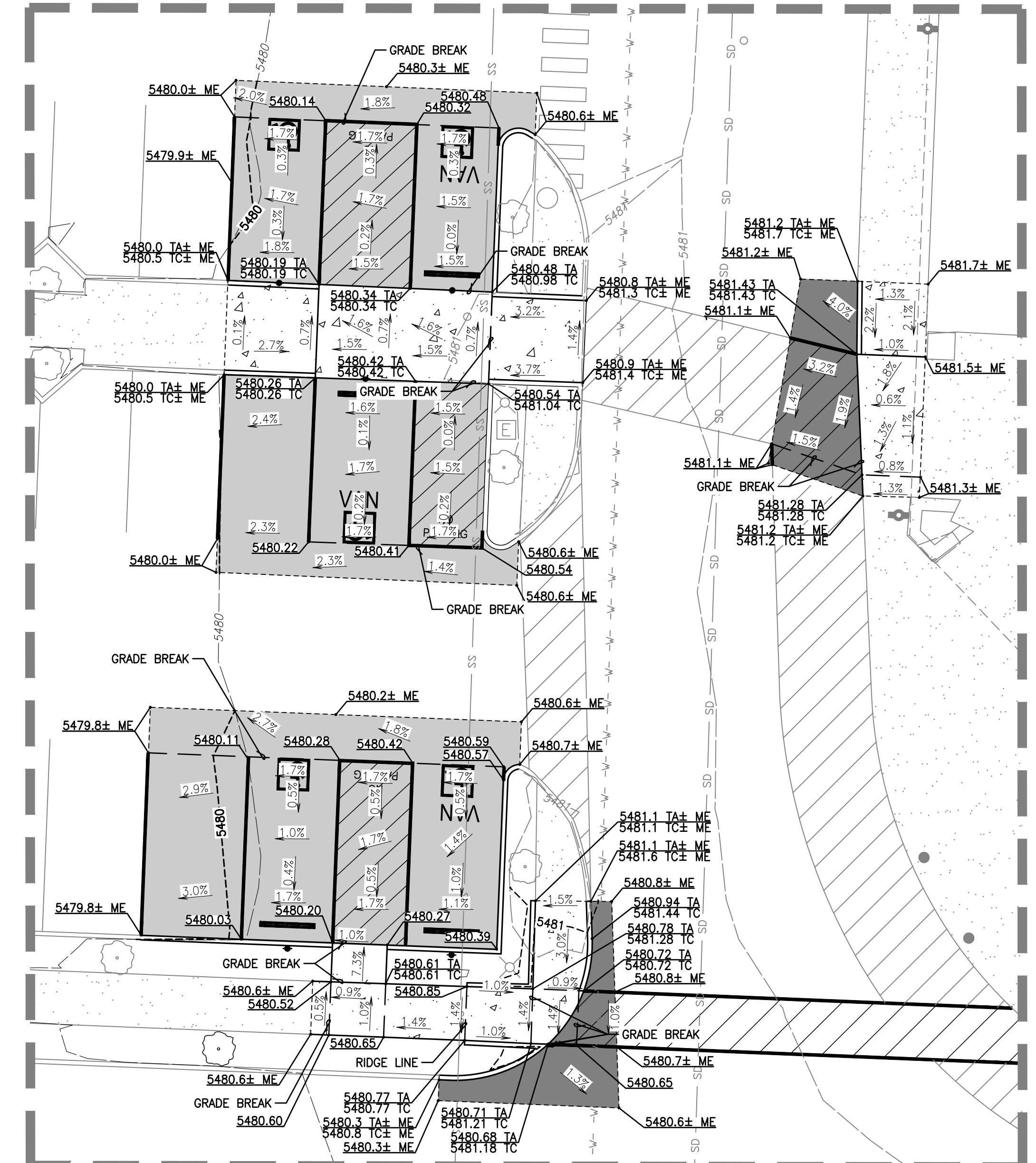
GRADING AREA #1
SCALE: 1" = 10'



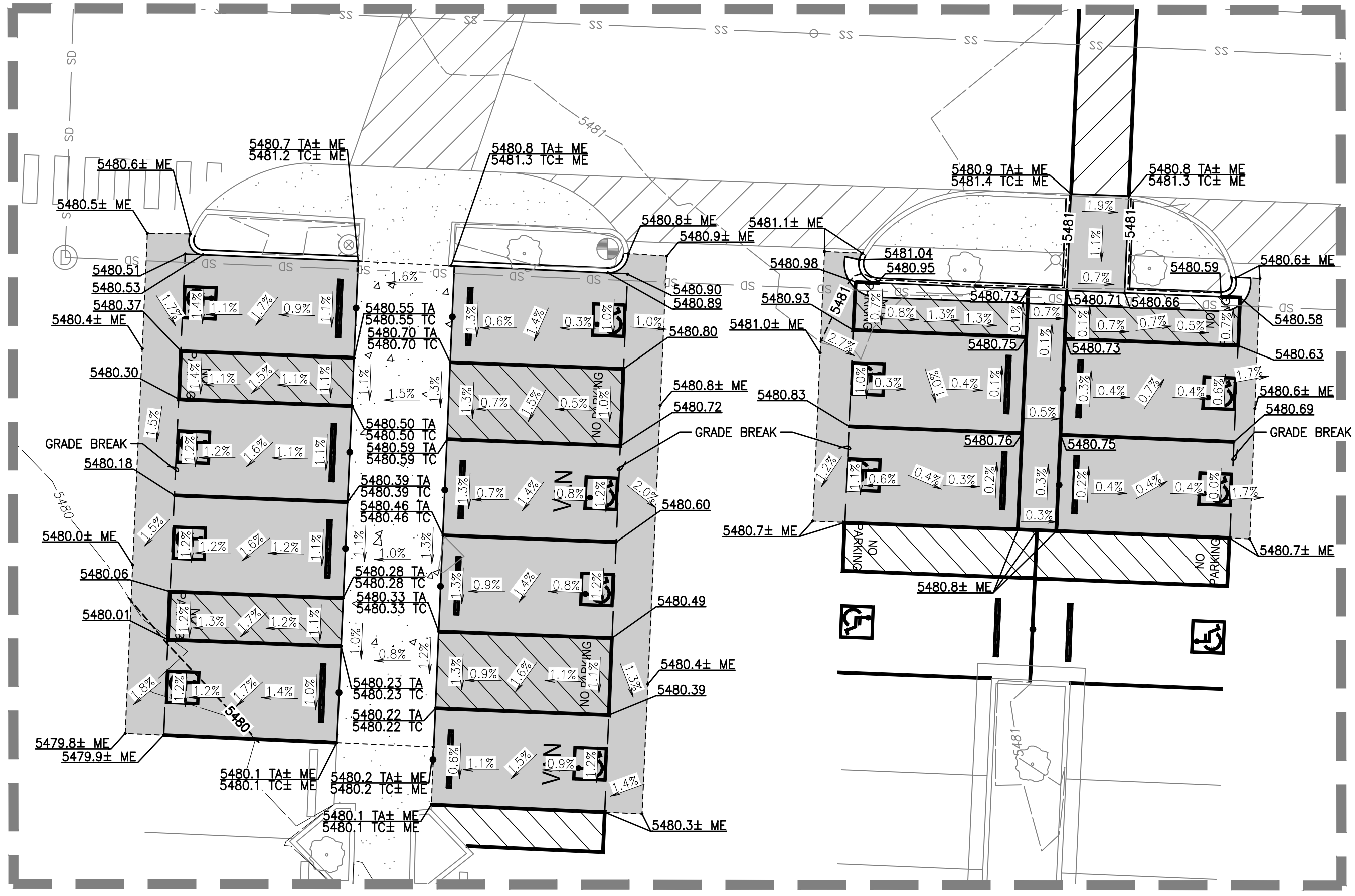
GRADING AREA #2
SCALE: 1" = 10'



GRADING AREA #3
SCALE: 1" = 10'



GRADING AREA #4
SCALE: 1" = 10'



GRADING AREA #5
SCALE: 1" = 10'

GRADING NOTES:

1. ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
ME = MATCH EXISTING ELEVATIONS
TA = TOP OF ASPHALT/CONCRETE PAVEMENT
TC = TOP OF CURB
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
3. FILL MATERIAL AND COMPACTION SHALL CONFORM TO CITY OF ALBUQUERQUE REQUIREMENTS.
4. CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL MEASURES DURING GRADING OPERATIONS AND REMOVE AT END OF CONSTRUCTION.
5. CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS.

GENERAL ACCESSIBILITY NOTES:

1. 5' MINIMUM DIMENSION LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL ACCESSIBLE RAMPS AND 5'X5' LANDINGS AT CHANGES IN ACCESSIBLE PATH DIRECTION. LANDINGS SHALL BE LESS THAN 2% SLOPE IN ANY DIRECTION.
2. ALL ACCESSIBLE PARKING STALLS AND LOADING ZONES SHALL BE SLOPED LESS THAN 2% IN ANY DIRECTION.
3. CRACKS/JOINTS GREATER THAN 1/2" WIDE IN ALL ACCESSIBLE PATHWAYS, RAMPS, PARKING STALLS, AND LOADING AREAS MUST BE FILLED. CHANGES IN LEVEL MUST BE LESS THAN 1/4" VERTICAL RISE. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
4. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6" MUST PROVIDE HAND RAILS COMPLYING WITH FEDERAL ACCESSIBILITY STANDARDS.
5. SEE ACCESSIBLE PATH OF TRAVEL NOTE THIS SHEET FOR FURTHER DETAILS.

LEGEND

- PROPOSED CONCRETE
- PROPOSED LIGHT DUTY FULL-DEPTH ASPHALT
- PROPOSED HEAVY DUTY FULL-DEPTH ASPHALT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- GRADE BREAK

ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 48" IN WIDTH, HAVE A MAXIMUM 2.0% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH FEDERAL ACCESSIBILITY STANDARDS (SECTION 405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20).

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COSTCO WAREHOUSE #667

COSTCO WHOLESALE
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999 LAKE DRIVE
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For

Scale:
Horizontal 1" = 10'
Vertical N/A

Designed: LHR
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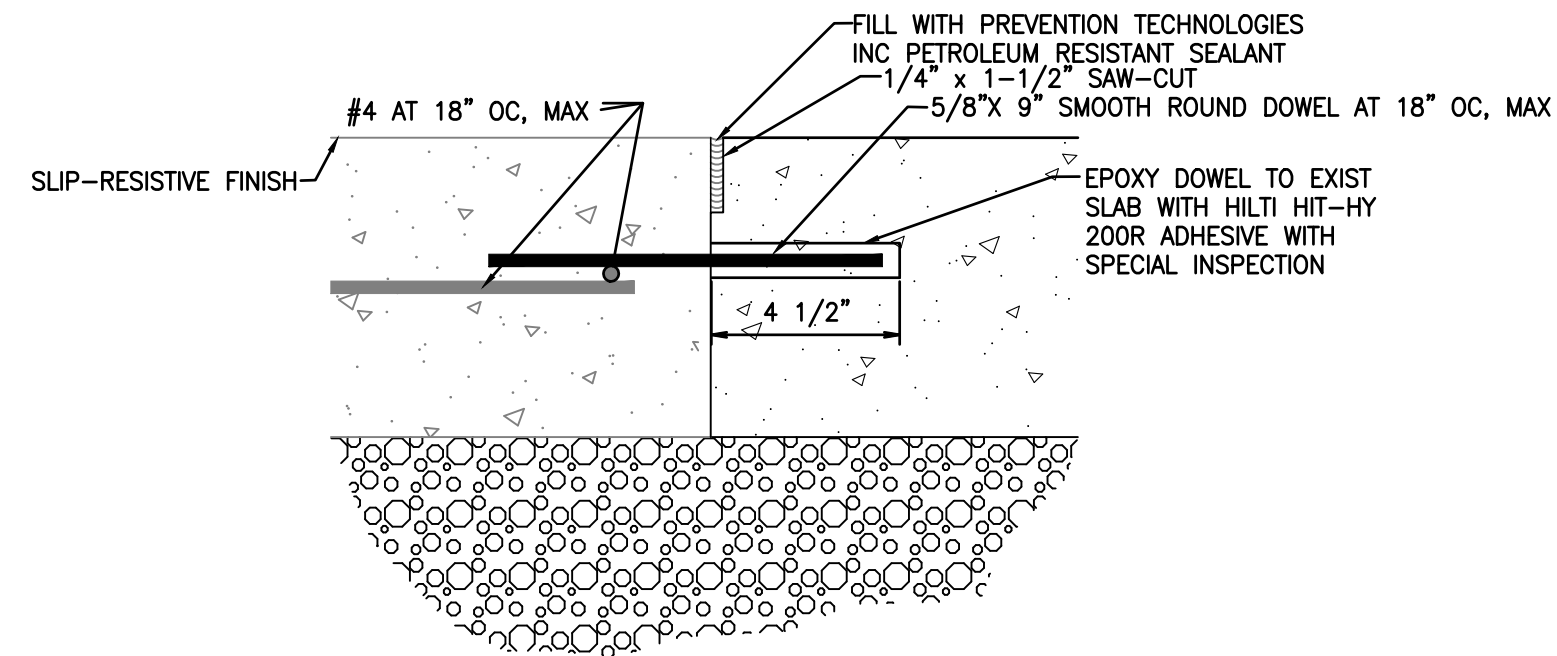
Job Number: 10987
Sheet: C40 of 9

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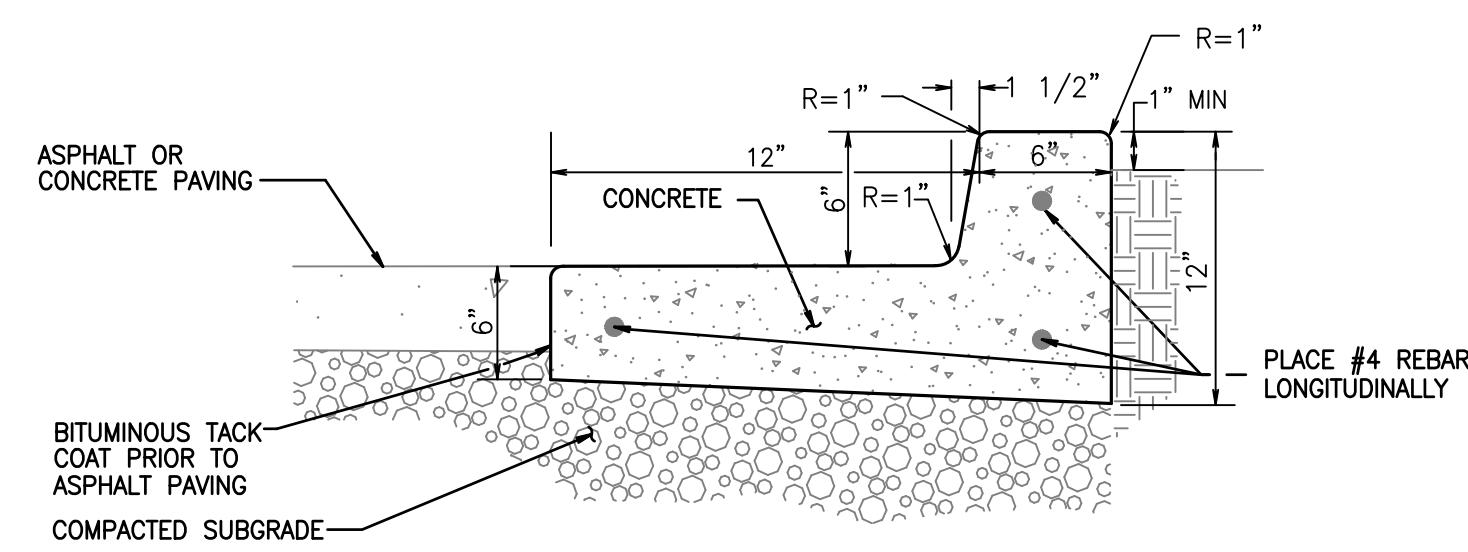
CONSTRUCTION DETAILS

ADA SITE IMPROVEMENTS

500 EUBANK BLVD. SE ALBUQUERQUE, NM 87123 COSTCO WAREHOUSE #667

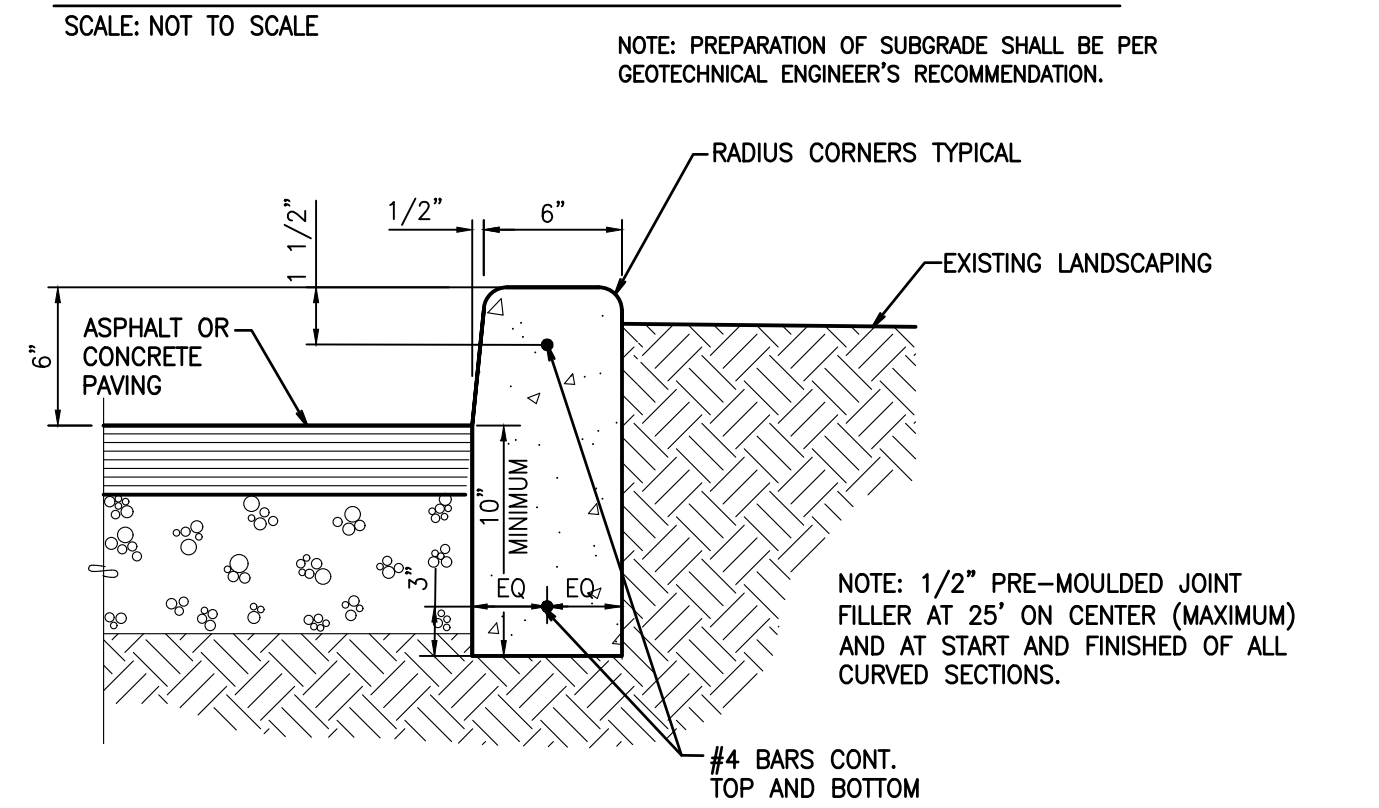


CONSTRUCTION JOINT (CJ) NEW TO EXISTING SLAB DETAIL
SCALE: NOT TO SCALE



- NOTES:
1. EXPANSION JOINT AT 50' INTERVALS
 2. CONCRETE SHALL BE TYPE 2

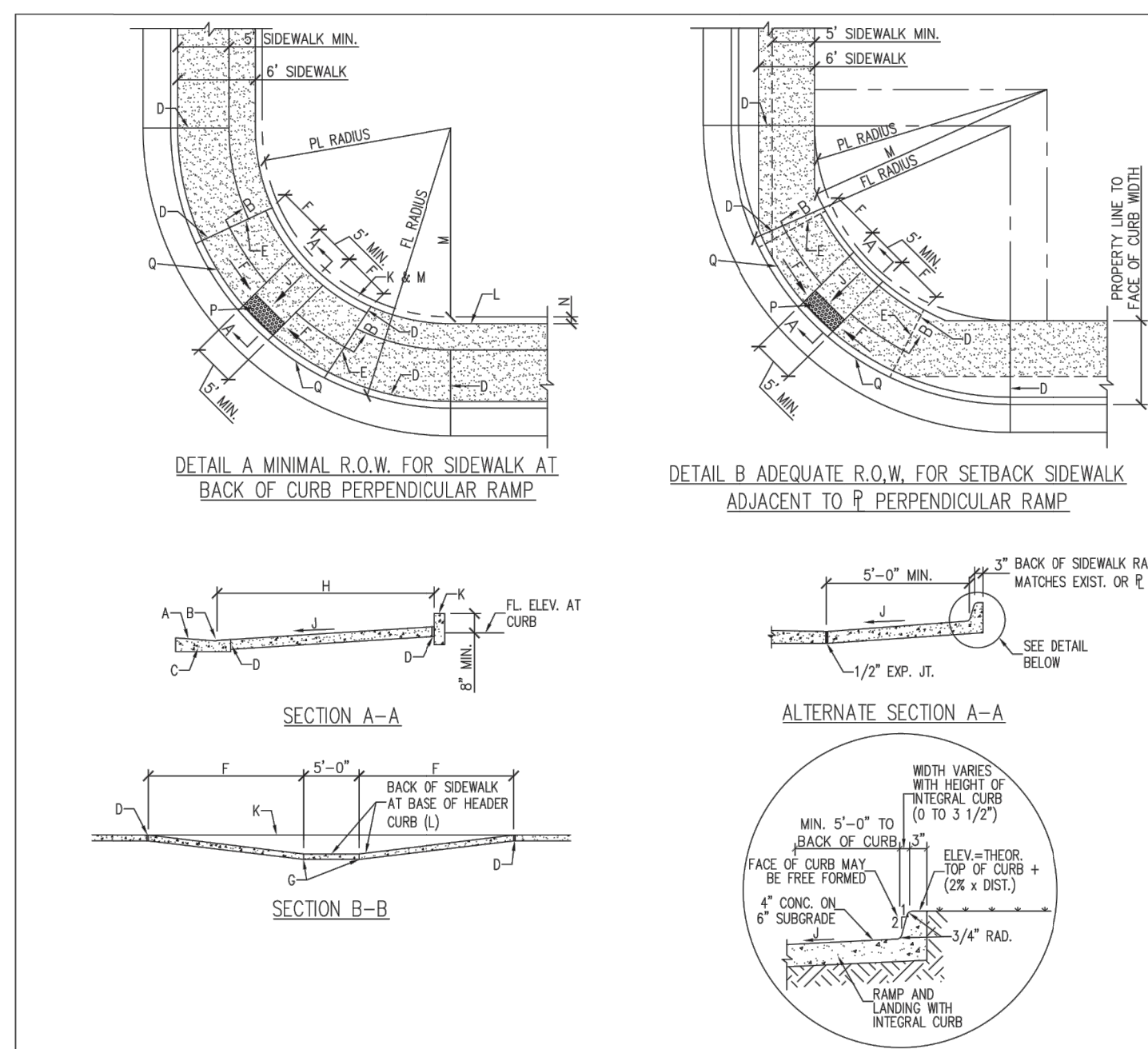
CEMENT CONCRETE CURB AND GUTTER
SCALE: NOT TO SCALE



- NOTES:
1. PROVIDE WEAKENED PLAIN JOINT EVERY 10', EXPANSION JOINT EVERY 50' AND @ THE START AND FINISH OF ALL CURVED SECTIONS
 2. PAINT CURBS WHERE NOTED ON ARCH. SITE PLAN
 3. PREPARATION OF SUBGRADE SHALL BE PER COSTCO STANDARD SPECIFICATIONS PROCEDURES OR AS OUTLINED IN THE LATEST EDITION OF THE SOILS REPORT.
 4. CONCRETE SHALL BE TYPE II OR V AND SHALL BE 500-C-3520.

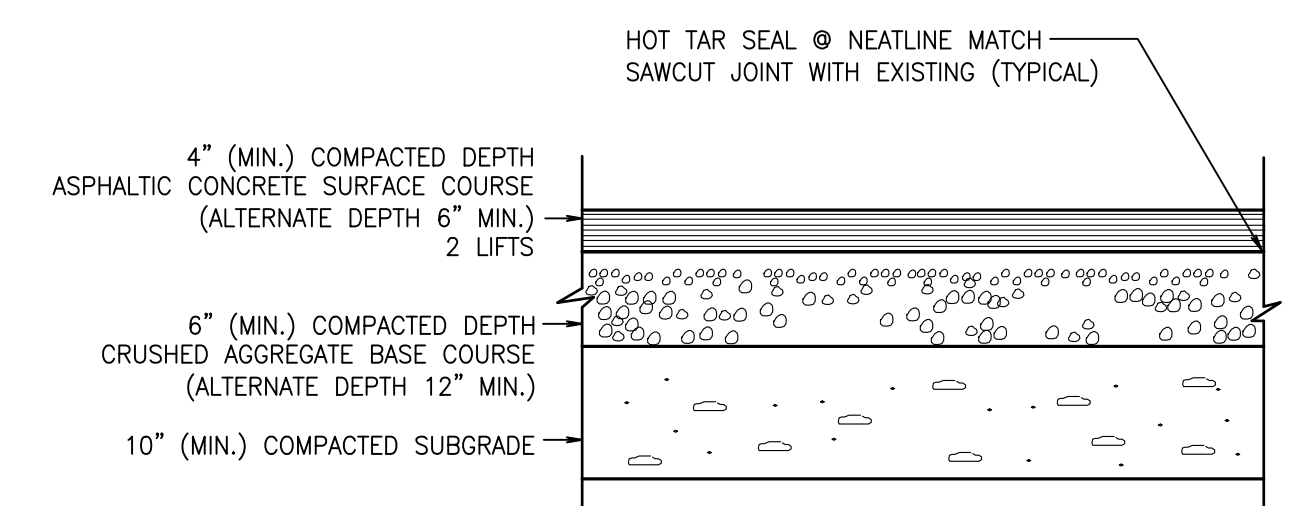
CEMENT CONCRETE BARRIER CURB
SCALE: NOT TO SCALE

- NOTE: PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT PREPARED BY KLEINFELDER, INC. DATED MARCH 23, 2016.



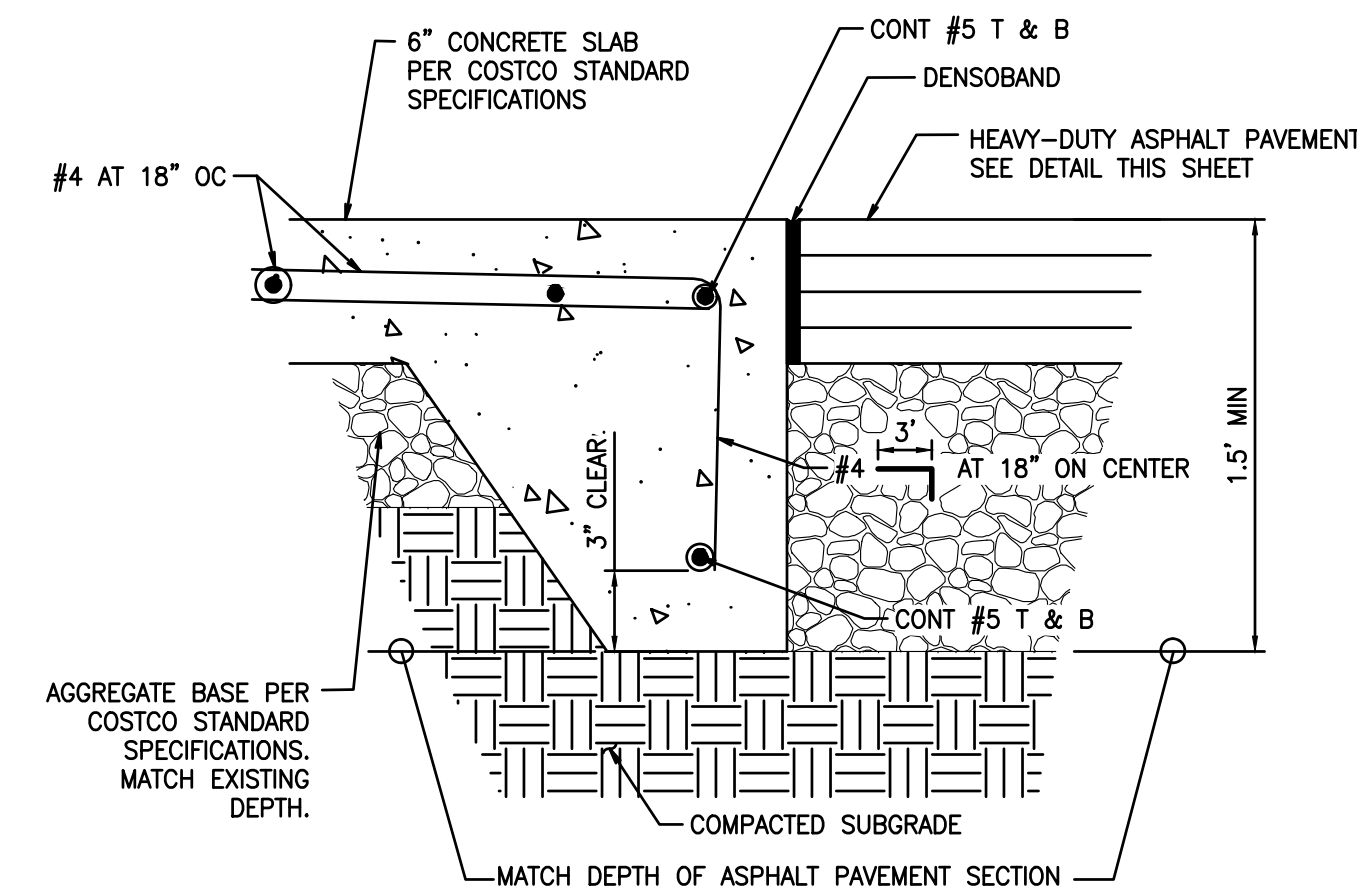
- NOTES:
1. A.C. PAVEMENT SPECIFICATION SHALL BE APPROVED BY SOILS ENGINEER.
 2. PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT BY KLEINFELDER, INC. DATED MARCH 23, 2016..
 3. CONTRACTOR SHALL INCLUDE A LUMP SUM FOR ASPHALT SURFACE SEAL COAT. CONTRACTOR SHALL INCLUDE APPLICATION METHOD AND RATE, PRODUCT SUBMITTAL AND A UNIT PRICE BID IN ACCORDANCE WITH PROJECT SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A DUSTING OF SAND WHERE EXCESS EMULSION CAUSES ASPHALT PICK-UP OR SLIPPERY SURFACE. CONTRACTOR SHALL REMOVE EXISTING VEGETATION FROM ALL CRACKS, AND JOINTS, SAND BLAST OR AIR BLAST, APPLY WEED KILLER AND HOT TAR SEAL, PATCH AND REPAIR PAVEMENT FAILURES, ALL PRIOR TO APPLICATION OF SEAL COAT. FIELD VERIFY LIMITS OF SEAL COAT IN AREAS OF NEW STRIPING, PATCHES AND CONFIRM WITH PROJECT MANAGER PRIOR TO PREP. AND APPLICATION.
 4. FOR BASE COURSE LIFTS OF 1.5" THICKNESS, DO NOT USE 3/4" NOMINAL MIX PER COSTCO STANDARD SPECIFICATIONS.

ASPHALT PAVEMENT SECTION (LIGHT)
SCALE: NOT TO SCALE

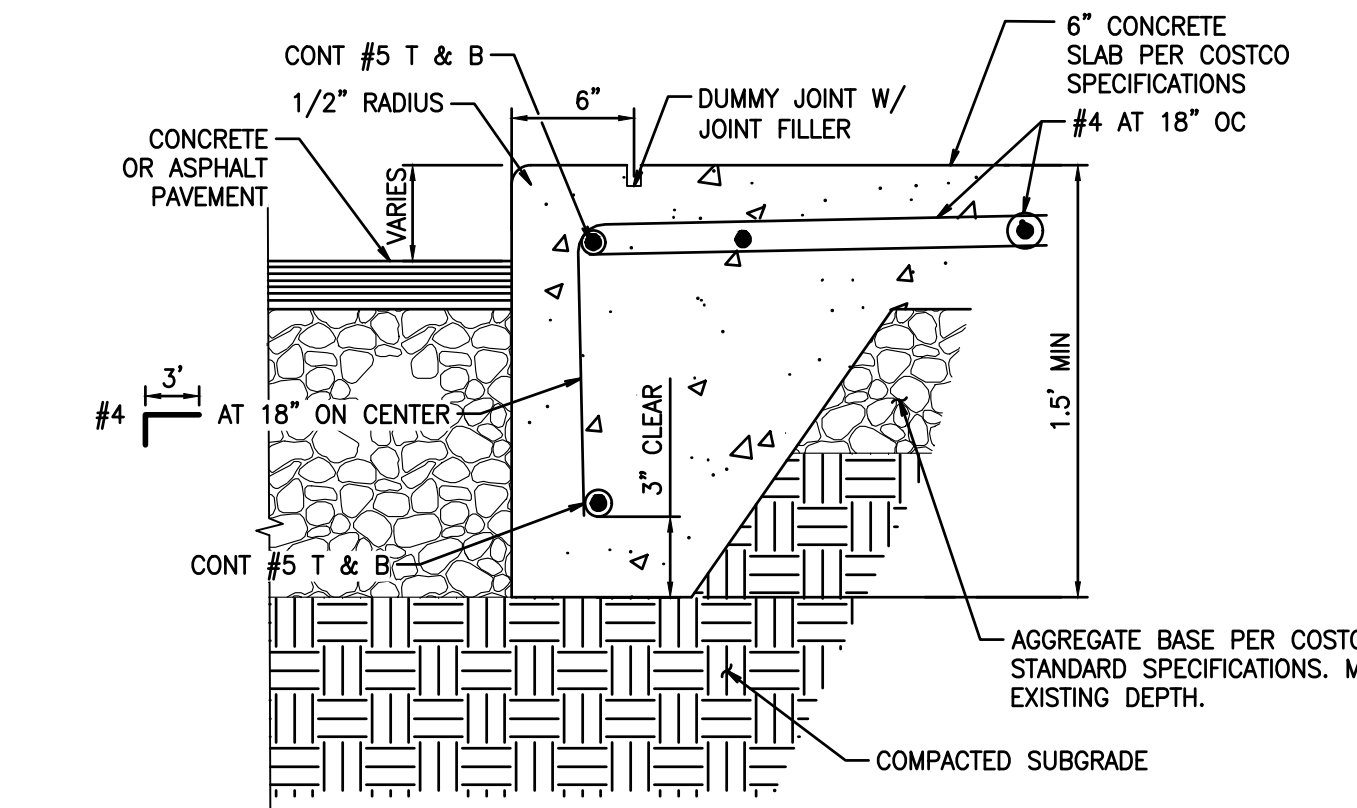


- NOTES:
1. A.C. PAVEMENT SPECIFICATION SHALL BE APPROVED BY SOILS ENGINEER.
 2. PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT BY KLEINFELDER, INC. DATED MARCH 23, 2016..
 3. CONTRACTOR SHALL INCLUDE A LUMP SUM FOR ASPHALT SURFACE SEAL COAT. CONTRACTOR SHALL INCLUDE APPLICATION METHOD AND RATE, PRODUCT SUBMITTAL AND A UNIT PRICE BID IN ACCORDANCE WITH PROJECT SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A DUSTING OF SAND WHERE EXCESS EMULSION CAUSES ASPHALT PICK-UP OR SLIPPERY SURFACE. CONTRACTOR SHALL REMOVE EXISTING VEGETATION FROM ALL CRACKS, AND JOINTS, SAND BLAST OR AIR BLAST, APPLY WEED KILLER AND HOT TAR SEAL, PATCH AND REPAIR PAVEMENT FAILURES, ALL PRIOR TO APPLICATION OF SEAL COAT. FIELD VERIFY LIMITS OF SEAL COAT IN AREAS OF NEW STRIPING, PATCHES AND CONFIRM WITH PROJECT MANAGER PRIOR TO PREP. AND APPLICATION.
 4. FOR BASE COURSE LIFTS OF 1.5" THICKNESS, DO NOT USE 3/4" NOMINAL MIX PER COSTCO STANDARD SPECIFICATIONS.

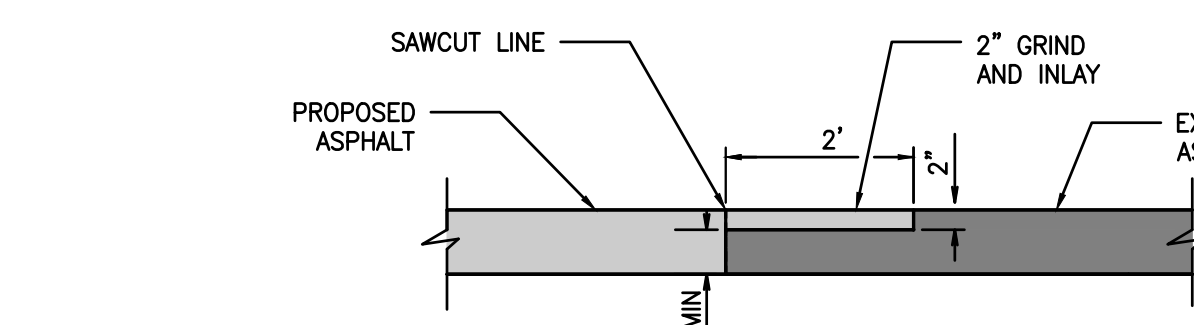
ASPHALT PAVEMENT SECTION (HEAVY)
SCALE: NOT TO SCALE



FLUSH CURB REINFORCED CONCRETE SIDEWALK SECTION
SCALE: NOT TO SCALE

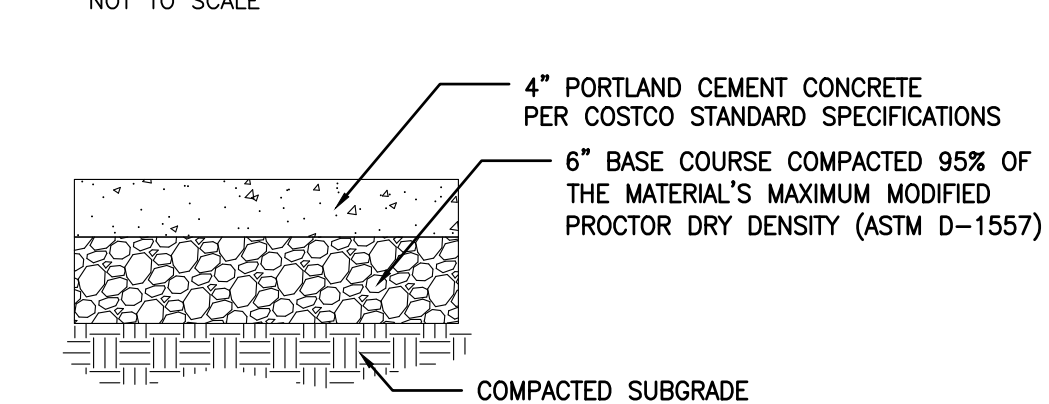


RAISED CURB REINFORCED CONCRETE SIDEWALK SECTION
SCALE: NOT TO SCALE



- NOTES:
1. EXISTING DEPTH OF ASPHALT MUST BE AT LEAST 4" IN ORDER TO PROVIDE LAP JOINT. IF EXISTING DEPTH OF ASPHALT IS LESS THAN 4 INCHES, PROVIDE VERTICAL SAW CUT ONLY AND APPLY RUBBER SEALANT TO THE VERTICAL SURFACE.
 2. APPLY HOT RUBBER SEALANT COMPOUND ALONG JOINT PER ASTM D6690.

LAP JOINT
NOT TO SCALE



CONCRETE SIDEWALK SECTION
SCALE: NOT TO SCALE

- NOTE: PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT PREPARED BY KLEINFELDER, INC. DATED MARCH 23, 2016.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES, THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

No.	Date	By	Appr.	Revision
2	12/17/21	LKH	MESH	HPS RESPONSE TO COMMENTS
1	9/17/21	LKH	MESH	HPS LAND USE SUBMITTAL/ BID RELEASE

The
CONSTRUCTION DETAILS
500 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123
COSTCO WAREHOUSE #667

For
Costco Wholesale
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

Scale:
Horizontal 1/4"
Vertical 1/4"
Date 10/20/20

Designed LKH
Drawn LKH
Checked MESH
Approved HPS
Date 10/20/20

Job Number
10987
Sheet
C50 of 9

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 18, 2022

Megan Palmer, P.E.
Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032

RE: **Costco**
500 Eubank Blvd. SE
Grading and Drainage Plan - Approved
Engineers Stamp Date 12/1/2021 (L21D073)

Ms. Palmer,

Based upon the information provided in your submittal received 3/3/22, this plan will not require any further review by Hydrology as the amount of paving being disturbed and replaced are below our threshold requiring review and is approved for Grading Permit and Administrative Amendment.

PO Box 1293

Albuquerque

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Eubank Blvd ADA Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: NA

City Address: 500 Eubank Blvd SE

Applicant: Barghausen Consulting Engineers, Inc. Contact: Megan Palmer

Address: 18215 72nd Avenue South, Kent, WA 98032

Phone#: 425-656-1072 Fax#: 425-251-8782 E-mail: mpalmer@barghausen.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR O APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____