

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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APPROVED BY

\_\_\_\_\_  
DATE

# COSTCO WHOLESALE

500 EUBANK BLVD. SE  
ALBUQUERQUE, NM 87123

**COSTCO  
WHOLESALE**  
ALBUQUERQUE II, NM  
#667  
500 EUBANK BLVD. SE  
ALBUQUERQUE, NM 87123

**COSTCO  
WHOLESALE  
CORPORATION**  
999 LAKE DRIVE  
ISSAQUAH, WA 98027  
T: 425.313.8100  
WWW.COSTCO.COM

**MG2**  
1101 SECOND AVENUE  
SUITE 100  
SEATTLE, WA 98101  
T: 206.462.8800  
PROJECT MANAGER: ALISON MCCLELLAN  
BARGHAUSEN ENGINEERING  
15115 72ND AVENUE S  
KENT, WA 98032  
T: 425.251.8222  
PROJECT MANAGER: MEGAN PALMER  
ADA SITE  
UPGRADE

## PROJECT GENERAL NOTES

1. THESE GENERAL NOTES APPLY TO THE ENTIRE PROJECT AND APPLY TO ALL TRADES.
2. WHERE OCCURS, REFER TO THE ENGINEERING CONSULTANT DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
3. SEE CIVIL DRAWINGS FOR FULL SCOPE INCLUDING DIMENSIONS AND GRADING.
4. CONDITIONS AND DIMENSIONS SHOWN ON SITE PLANS ARE FROM A SURVEY PREPARED BY OTHERS OR FROM AVAILABLE RECORDS. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SHOWN. REFER TO CIVIL ENGINEER DRAWINGS FOR ADDITIONAL SCOPE OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING INFORMATION SHOWN PRIOR TO STARTING THE WORK.
5. THE CONTRACTOR SHALL VERIFY THE BEST AND LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES.
6. VERIFY ALL EXISTING ELEVATIONS AT POINTS OF CONNECTIONS OF NEW WORK PRIOR TO STARTING ANY WORK.
7. EXISTING UTILITIES SHOWN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONFORMANCE ONLY.
8. IF NECESSARY TO COMPLETE THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY ADDITIONAL UTILITY LOCATIONS AND DEPT NOT SHOWN.
9. THE CONTRACTOR SHALL TAKE ALL POSSIBLE CARE TO AVOID DAMAGE OR INTERFERENCE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE UTILITIES. SUCH REPAIRS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE AND SHALL BE SUBJECT TO THE RELEASE TO THE OWNER'S OPERATIONS.
10. DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS.
11. WHERE OCCURS, ALL HEIGHTS ARE DIMENSIONS FROM THE TOP OF THE BUILT-UP ROOF AS SHOWN OR INDICATED BY THE OWNER. INSURE UNINTERRUPTED SECURITY AND PHONE SYSTEMS.
12. VERIFY ALL DIMENSIONS OF EXISTING CONDITIONS. NEITHER THE ARCHITECT NOR HIS CONSULTANTS ARE RESPONSIBLE FOR THE ACCURACY OF THESE DIMENSIONS. IF EXISTING CONDITIONS OR DIMENSIONS ARE NOT AS SHOWN, IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
13. ALL JOINTS ARE TO BE TIGHT, STRAIGHT, SMOOTH, AND SMOOTH.
14. ALL MATERIALS AND NEW UTILITIES NOTED OTHERWISE.
15. WHERE OCCURS, PROVIDE ALL FASTENERS AND CONNECTIONS (WHETHER INDICATED OR NOT) NECESSARY TO ASSEMBLE THE WORK.
16. REPAIR, PATCH, OR REPLACE PORTIONS OF WORK THAT ARE DAMAGED, LIFTED, DISLOADED, OR BROKEN OTHER APPROVED.
17. CONSTRUCTION ACTIVITIES SHALL NOT AFFECT THE OWNER'S OPERATIONS, LOAD ACTIVITIES, UNCHANGING, SANITARY, ETC., AND ANY WORK REQUIRING INTERRUPTIONS OF UTILITIES, WATER, ELECTRICITY, GAS, FIRE SPRINKLER/ALARM, ETC., SHALL BE PERFORMED DURING NON-BUSINESS HOURS AS APPROVED BY THE OWNER. INSURE UNINTERRUPTED SECURITY AND PHONE SYSTEMS OPERATION.
18. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNS, REFLECTORS, LIGHTS, ETC., TO PROPERLY IDENTIFY AREAS CLOSED TO THE PUBLIC AND FOR PROVIDING SAFETY ALERTS DURING CONSTRUCTION.
19. ALL WORK IS TO COMPLY WITH THE APPLICABLE CODES. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSIDERED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING REGULATION.

## PROJECT DATA

CLIENT:	COSTCO WHOLESALE 880 LAKE DRIVE ISSAQUAH, WA 98027
PROJECT ADDRESS:	500 EUBANK BLVD. SE ALBUQUERQUE, NM 87123
ZONING:	EUBANK BLVD
SITE AREA:	18.12 ACRES (792,113 S.F.)
JURISDICTION:	CITY OF ALBUQUERQUE
BUILDING DATA:	
SHEET BUILDING AREA	142,880 S.F.
EXIST. OFFICE BUILDING AREA	142,880 S.F.
TOTAL EXIST. BUILDING	142,880 S.F.
NOTES:	EXISTING CONDITIONS TO BE FIELD VERIFIED.
PARKING DATA:	
EXIST. PARKING PROVIDED:	
15' WIDE STALLS:	884 STALLS
18' WIDE STALLS:	288 STALLS
ACCESSIBLE STALLS:	18 STALLS
TOTAL PARKING:	810 STALLS
PROPOSED PARKING PROVIDED:	
15' WIDE STALLS:	884 STALLS
18' WIDE STALLS:	288 STALLS
ACCESSIBLE STALLS:	18 STALLS
TOTAL PARKING:	884 STALLS
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA:	5.40 STALLS
REQUIRED ACCESSIBLE PARKING:	
2% OF STALLS PROVIDED TO BE ACCESSIBLE:	17.68 STALLS
AS 4.8% + 1% ACCESSIBLE STALLS REQUIRED:	21 ACCESSIBLE STALLS PROVIDED
1 OUT OF 4 TO BE NEW ACCESSIBLE (AS REQUIRED, 4 PROVIDED):	
JURISDICTIONAL PARKING REQUIRED:	4 STALLS / 1000 S.F.

## PROJECT DIRECTORY

OWNER:	COSTCO WHOLESALE 999 LAKE DRIVE ISSAQUAH, WA 98027 T: 425.313.8100
ARCHITECT:	MG2 CORPORATION 1101 SECOND AVENUE SUITE 100 SEATTLE, WA 98101 T: 206.462.8800 PROJECT MANAGER: ALISON MCCLELLAN
CIVIL:	BARGHAUSEN ENGINEERING 15115 72ND AVENUE S KENT, WA 98032 T: 425.251.8222 PROJECT MANAGER: MEGAN PALMER

## LEGEND

EXISTING  
NEW

## DRAWING INDEX

ARCHITECTURAL	TS101
CIVIL	C1.1
C1.2	CONCRETE
C1.3	EXISTING CONDITIONS MAP
C1.4	EXISTING CONDITIONS MAP
C1.5	EXISTING CONDITIONS MAP
C1.6	EXISTING CONDITIONS MAP
C1.7	EXISTING CONDITIONS MAP
C1.8	EXISTING CONDITIONS MAP
C1.9	EXISTING CONDITIONS MAP
C1.10	EXISTING CONDITIONS MAP
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C1.99	EXISTING CONDITIONS MAP
C1.100	EXISTING CONDITIONS MAP

## CODE SUMMARY

CITY OF ALBUQUERQUE ADOPTED CODES  
2018 NEW MEXICO COMMERCIAL BUILDING CODE  
2008 CITY OF ALBUQUERQUE, NEW MEXICO CODE OF ORDINANCES  
2008 ICC-ANALYTICAL  
TYPE OF CONSTRUCTION: V.B. FULLY SPRINKLERED  
OCCUPANCY GROUP: MERCHANTS  
TOTAL BUILDING AREA: (REMAIN UNCHANGED)

## PROJECT DESCRIPTION

PARKING AND SITE UPGRADE FOR ADA COMPLIANCE.

## SCOPE OF WORK

THE SCOPE OF WORK FOR THE REMOVAL OF EXISTING STRIPPAID PARKING (STRIPPAID) AND NEW PORTAL CURB STOPS, AND THE SALVAGE OF ACCESSIBILITY SIGNAGE, TO PROVIDE NEW STRIPPAID AND PARKING SYMBOLS, AND THE INSTALLATION OF NEW CURB STOPS, NEW PORTS, AND NEWLY LOCATED ACCESSIBLE SIGNS AND ADDITION OF ADA COMPLIANT CURB RAMP ALONG THE ACCESSIBLE ROUTE.

## VICINITY MAP



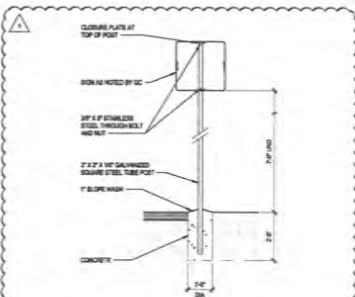
SITE PLAN  
SCALE: 1"=40'



10-0750-10  
PM: ALISON MCCLELLAN  
DRAWING: JH  
AUGUST 6, 2018

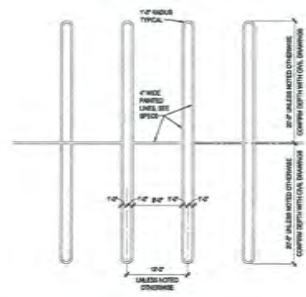
TITLE SHEET  
& SITE PLAN

TS101



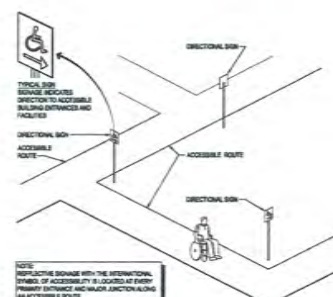
1 SITE SIGNAGE POST

SCALE: 1/2" = 1'-0" 0521



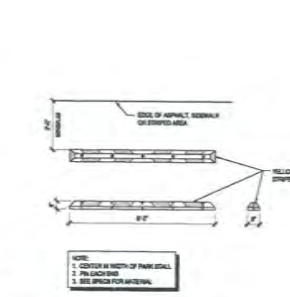
2 TYPICAL PARKING STALL

SCALE: 1/8" = 1'-0" 0517



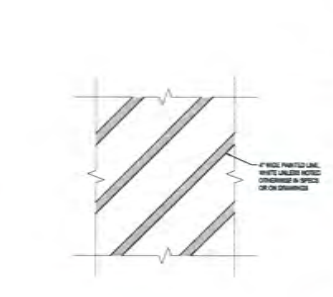
3 SIGNAGE AT ACCESSIBLE ROUTE

SCALE: NOT TO SCALE 0106



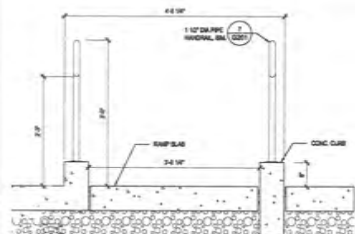
4 WHEEL STOP

SCALE: 1/2" = 1'-0" 0518



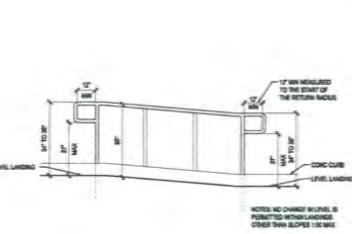
5 PAINTED STRIPE

SCALE: 1/2" = 1'-0" 0515



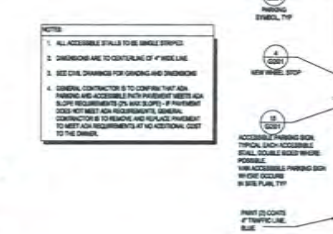
6 RAMP SECTION

SCALE: 1" = 1'-0" 0514



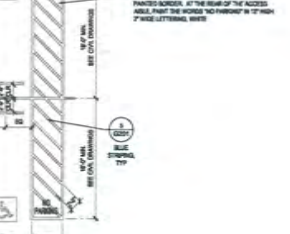
7 HANDRAIL AT WALK RAMP

SCALE: 1/2" = 1'-0" 0514



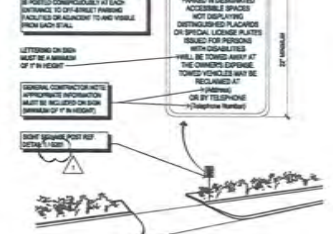
8 ACCESSIBLE PARKING STALLS - HEAD TO HEAD

SCALE: 1/8" = 1'-0" 1217



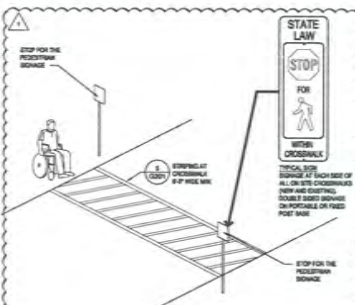
13 ACCESSIBLE PARKING STALLS - WITH ACCESSIBLE WALK

SCALE: 1/8" = 1'-0" 1217



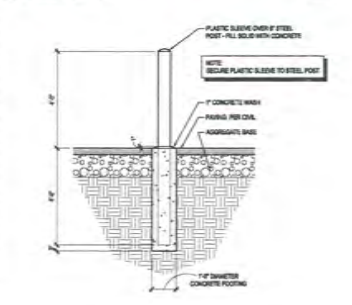
10 SIGNAGE AT SITE ENTRANCE

SCALE: NOT TO SCALE 0515



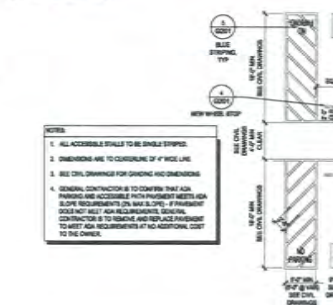
11 STOP FOR PEDESTRIAN SIGNAGE

SCALE: NOT TO SCALE



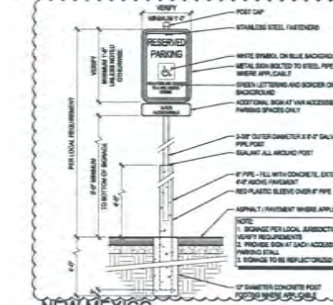
12 TYPICAL EXTERIOR BOLLARD

SCALE: 1/2" = 1'-0" 0516



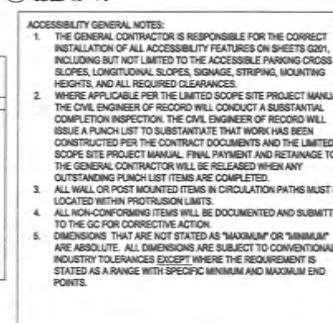
13 ACCESSIBLE PARKING STALLS - WITH ACCESSIBLE WALK

SCALE: 1/8" = 1'-0" 1217



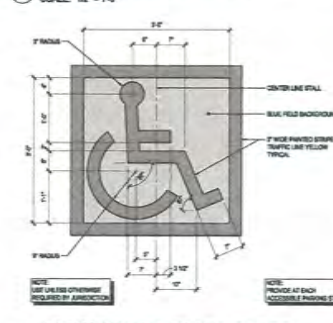
15 NEW MEXICO ACCESSIBLE PARKING SIGN

SCALE: 1/2" = 1'-0" 0515



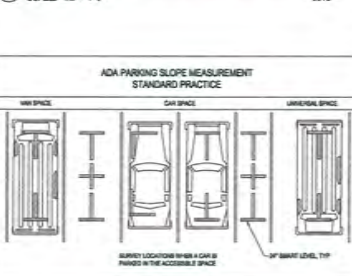
19 INTERNATIONAL ACCESSIBILITY SYMBOL

SCALE: 1" = 1' 0104



20 ACCESSIBLE PARKING SYMBOL

SCALE: 1" = 1'-0" 0514



17 SLOPE MEASUREMENT

SCALE: NOT TO SCALE 0105

**COSTCO WHOLESALE**  
ALBUQUERQUE II, NM  
#667

520 ELUSANK BLVD. SE  
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**MG2**

ADA SITE  
UPGRADE

STATE OF NEW MEXICO  
MATTHEW L. GOELZER  
COUNTY CLERK  
COUNTY OF SANTIAGO

DATE: 05/15/2021  
PROJECT: PERMIT SUBMITTAL  
1. 11.15.21 PERMIT REVISIONS

DATE: 05/15/2021  
PROJECT: PERMIT SUBMITTAL  
1. 11.15.21 PERMIT REVISIONS

ACCESSIBILITY  
FEATURES  
& SITE DETAILS

G201

STANDARD NOTES  
ADA SITE IMPROVEMENTS  
500 EUBANK BLVD SE  
ALBUQUERQUE, NM 87123  
COSTCO WAREHOUSE #667

## CITY OF ALBUQUERQUE GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC INFRASTRUCTURE, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."
2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS ISSUED BY THE CITY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUING TO MAINTAIN ACCESS TO THE ROADWAY TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650, SUBPART "P".
6. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR CITY PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB OR REMOVE ANY SURVEY MONUMENTS. IF ANY MONUMENT OF THE CITY SURVEYOR IS LOST OR DESTROYED, THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS REQUIRED TO THE DIMENSIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE AND NOT OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATION SECTION 4.4.
8. FOR SUB PROJECTS: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COMMIT TO DMD, CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD, CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (324-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS. ROAD REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
9. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
10. CONTRACTOR SHALL ASSIST THE ENGINEER / INSPECTOR IN THE COLLECTION OF DATA ON ALL UTILITY LINES AND APPURTENANCES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS-BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES OR APPURTENANCES UNTIL ALL DATA HAVE BEEN RECORDED.
11. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, CURBS, SIDEWALKS, SIGNAGE, CURBS & GUTTER, A.D.A. RAMPS, AND SIGNALS DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
12. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.

**WATER AND SEWER:**



14. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER; RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER C.O.Y. STANDARD DRAWINGS 2450 AND 2460.
15. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-VISUALLY AND ADJUST TO FINAL PAVEMENT SURFACE GRADE.
16. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER-PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY AGENCIES ARE AUTHORIZED TO OPERATE PUBLIC UTILITIES. SHUTOFF REQUESTS MUST BE MADE ON LINE AT: [http://abcwua.org/water\\_shut\\_off\\_and\\_turn\\_on\\_procedures.aspx](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
17. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND / OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL COORDINATE REDLOCATION OF UTILITY LINES WITH AFFECTED UTILITY COMPANIES AS REQUIRED.
18. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECT-ORIZED PAVEMENT MARKING BY CONTRACTOR AT THE SAME LOCATION AS EXISTING OR AS INDICATED ON THIS PLAN SET.
19. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
20. ANY DAMAGE TO THE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALKS, STRIPING, OR SIGNAGE DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
21. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
22. ALL CABLES, COMMUNICATION CABLES, AND CABLE-TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER, CABLE SHALL BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE ANY NECESSARY PAYMENT TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES, OR SUPPORT OF CABLES BY THE UTILITY OWNER.
23. ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NO. 2465.
24. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY AND PRIVATE ROADWAYS AND PREPARE ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
25. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
26. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
27. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
28. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED, AND RE-SET BY THE CONTRACTOR.
29. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PRE-HISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPD) AT 827-6520.
30. IF OBJECTS OF HISTORICAL, ARCHEOLOGICAL, PALEONTOLOGICAL, OR OTHER OBJECTS OF ANTIQUITY ARE ENCOUNTERED, CONTRACTOR SHALL CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER AND PROJECT ENGINEER.

TRANSPORTATION:

31. CURB & GUTTER, SIDEWALKS, AND DRIVEWAYS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
32. THE SUBGRADE PREPARATION SHALL EXTEND ONE (1) FOOT BEYOND THE FREE EDGE OF NEW CURB & GUTTER AND SIDEWALK.
33. CONTRACTOR SHALL TEST SUBGRADE R=VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R=VALUE IS LESS THAN 50, REMOVE TWO FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R=VALUE GREATER THAN 50, OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
34. ON ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE. CONTRACTOR SHALL MAINTAIN FOUR STRAIGHT SURFACES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
35. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB & GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR SHALL SAW-CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING NO. 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.
36. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TRANSIT DEPARTMENT OF ANY PROJECT THE PROJECT WILL HAVE ON THE TRANSIT SYSTEM, SUCH AS CAUSING A DETOUR OR THE PROJECT WILL BE DELAYED BEYOND THE BUS STOP. CONTRACTOR IS DOUGLAS GOFF, OFFICE PHONE 724-3137, CELL PHONE 206-0151, OR E-MAIL: DOGGOFCBAR@G

### OTHER COMMON NOTES

17. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION. THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE PIPE. RCP JOINTS SHALL NOT BE GROUDED UNLESS DIRECTED BY THE ENGINEER WITH CITY APPROVAL.
38. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING WORK.
39. CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, GUYS, ETC., ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTIONS TO CONSTRUCTION OPERATIONS ARE PRESENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COSTS INCURRED WITHIN THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
40. PMN WILL PROVIDE, AT NO COST TO THE CITY OR THE CONTRACTOR, THE NECESSARY PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PMN WHILE THE CONTRACTOR IS EXPOSING PMN'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND/OR DURING THE CONSTRUCTION.
41. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY; LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION BEGINS.
42. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO LIABILITY FOR ANY DAMAGE THEREOF. CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS/HER FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
43. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITIES WHICH BECAME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO STORM SEWER, WATER LINE, AND/OR SEWER LINE COSTS.
44. CONTRACTOR SHALL SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES, COMMUNICATION CABLES, AND CABLE-TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE SHALL BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAINTAIN ACCESS TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES, OR SUPPORT OF CABLES BY THE UTILITY OWNER.
45. ALL FINAL BACKFILL FOR TRENCHES WITHIN THE CDA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PERIN ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.1.4.2 AND STANDARD DRAWING NO. 2465.
46. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
47. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
48. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCESSIBLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
49. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
50. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED, AND RE-SET BY THE CONTRACTOR.
51. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PRE-HISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.
52. IF OBJECTS OF HISTORICAL, ARCHEOLOGICAL, PALEONTOLOGICAL, OR OTHER OBJECTS OF ANTIQUITY ARE DISCOVERED, CONTRACTOR SHALL CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER AND PROJECT ENGINEER.

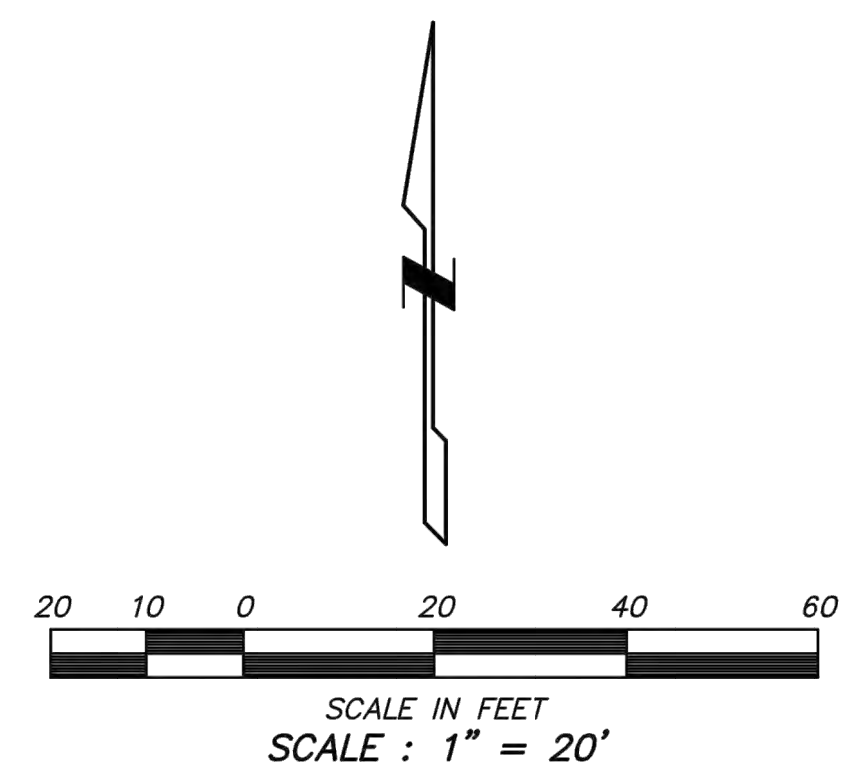
ALL KEYING AVAILITY AS TO NS	Job Number <b>10987</b>	Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 <b>barghausen.com</b>		Designed _____ LRIT Drawn _____ LRIT Checked _____ MSP Approved _____ HPS Date 10/20/20	Scale: Horizontal N/A Vertical N/A		For:  COSTCO WHOLESALE 999 LAKE DRIVE ISSAQUAH, WA 98027	Title: STANDARD NOTES 500 EUBANK BLVD. SE ALBUQUERQUE, NM 87123 COSTCO WAREHOUSE #667	Revision 1 5/31/21 LRIT MSP HPS No. Date By Appr.	LAND USE SUBMITTAL
		Sheet <b>9</b> of <b>9</b>								

UTILITY CONFLICT NOTE:

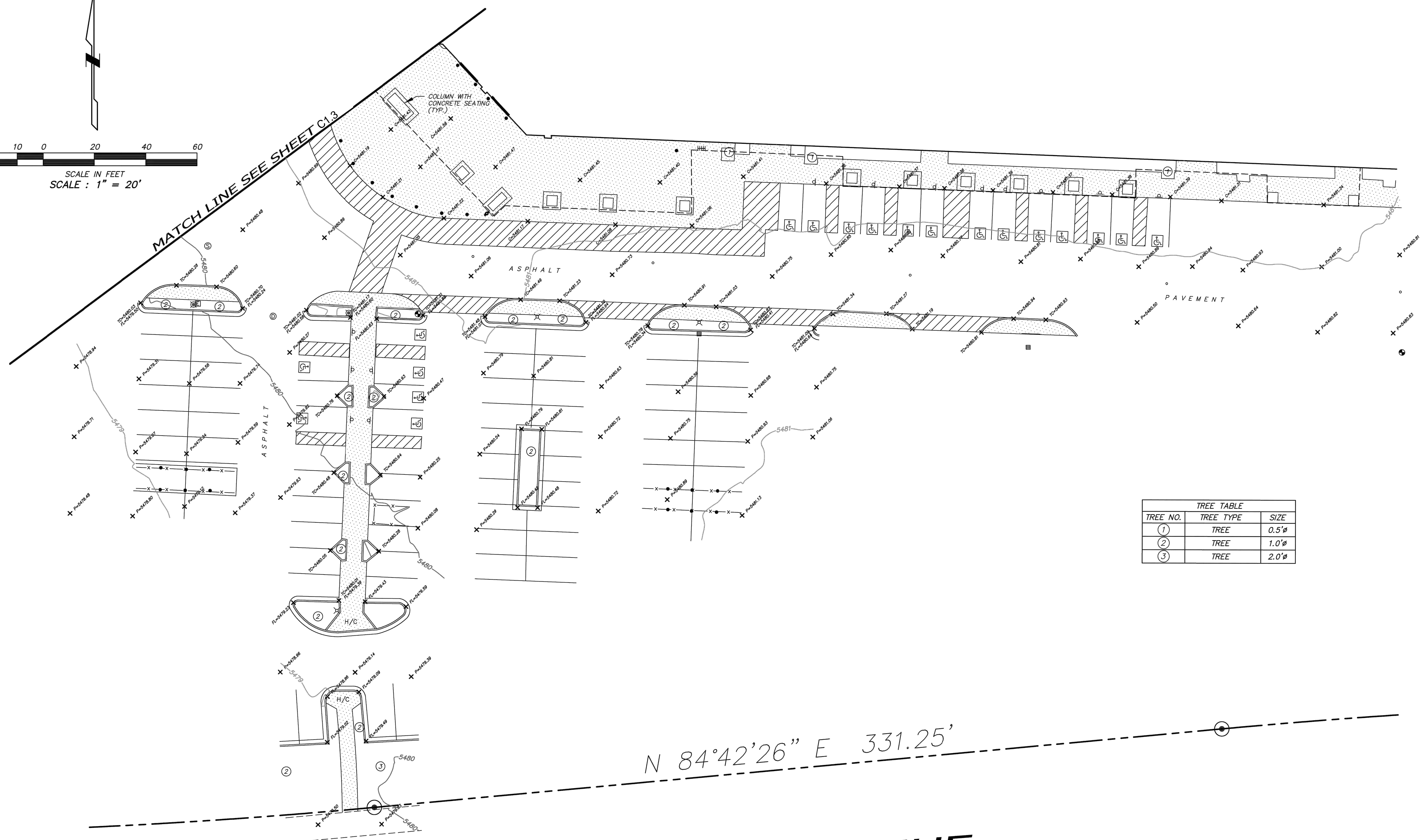
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE # 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



Know what's below.  
Call before you dig.  
Dial 811  
Or 1-800-892-0123



MATCH LINE SEE SHEET C1.3



TREE TABLE		
TREE NO.	TREE TYPE	SIZE
1	TREE	0.5'w
2	TREE	1.0'w
3	TREE	2.0'w

- LEGEND**
- BOUNDARY LINE
  - - - CENTER LINE OR MONUMENT LINE
  - ⊙ INDICATES BOUNDARY CORNER
  - NOTHING FOUND OR SET (UNLESS OTHERWISE NOTED)
  - CONCRETE SURFACE
  - 24 INCH VERTICAL CURB & GUTTER
  - 6 INCH CONCRETE CURB
  - - - FENCE
  - - - OVERHEAD ELECTRIC LINE
  - BIKE RACK
  - COMMUNICATION JUNCTION BOX
  - DOWN GUY
  - ELECTRIC BOX
  - FIRE HYDRANT
  - GUARD POST OR GATE POST
  - HANDICAPPED SPACE
  - METAL GRATE (RECTANGULAR)
  - LIGHT POLE
  - LANDSCAPE LIGHT
  - MANHOLE
  - PEDESTRIAN ACCESS RAMP
  - SEWER CLEAN OUT
  - STORM DRAIN MANHOLE
  - SEWER MANHOLE
  - STREET SIGN
  - FLOW LINE
  - FINISHED FLOOR
  - TC TOP OF CURB
  - NG NATURAL GROUND
  - P PAVEMENT
  - C CONCRETE
  - RM TOP OF RIM
  - INV INVERT ELEVATION

N 84°42'26" E 331.25'

**SOUTHERN AVENUE**



REVISIONS

DATE

TOPOGRAPHIC SURVEY  
500 EUBANK BOULEVARD SE  
ALBUQUERQUE, NM 87123

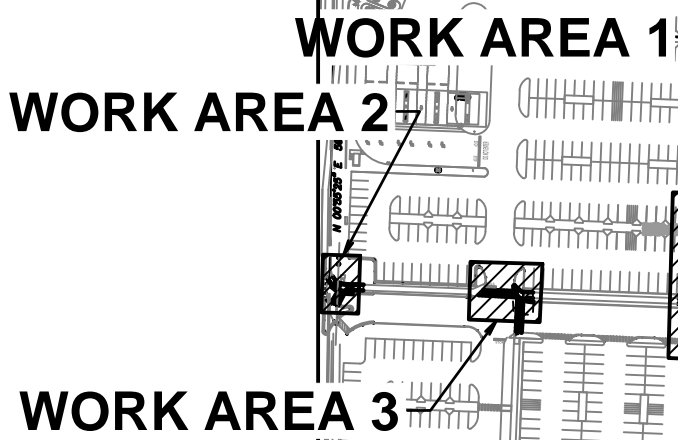
2122 W. Lone Cactus Drive, Suite 11  
Phoenix, AZ 85027  
623-869-0223 (office) 623-869-0726 (fax)  
www.superiorsurveying.com  
info@superiorsurveying.com

**SUPERIOR**  
SURVEYING SERVICES, INC.

19640  
7/2/2020  
EXPIRES 12/31/20

DWN: CB CHK: DK  
DATE: 7/2/2020  
JOB: 202006033

ADA SITE IMPROVEMENTS  
500 EUBANK BLVD. SE  
ALBUQUERQUE, NM 87123  
COSTCO WAREHOUSE #66



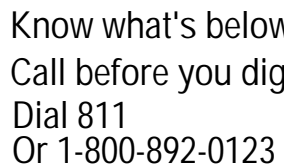
1. ALL NECESSARY EQUIPMENT AND MATERIALS SHALL BE AVAILABLE ON SITE TO FACILITATE RAPID INSTALLATION OF EROSION AND SEDIMENT CONTROL BMPs WHEN RAIN IS IMMINENT.
2. THE CONTRACTOR SHALL RESTORE ALL EROSION CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AFTER EACH RUN-OFF PRODUCING RAINFALL.
3. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
4. ADEQUATE EROSION AND SEDIMENT CONTROL AND PERIMETER PROTECTION BEST MANAGEMENT PRACTICE MEASURES MUST BE INSTALLED AND MAINTAINED.

1. PUBLIC STREETS ARE TO BE KEPT CLEAN OF DIRT AND DEBRIS GENERATED BY

- WORK. CLEANUP SHALL BE BY SWEEPING AND/OR OTHER APPROVED METHODS ON A DAILY BASIS.
2. CONTRACTOR SHALL PROVIDE SILT BAGS OR OTHER SILTATION CONTROL MEASURES ON EXISTING CHUTE BASIN(S) IN PROXIMITY OF WORK WHICH HAVE POTENTIAL FOR EROSION. SURFACE RUNOFF FROM THE WORK AREA OR ANY LOCATIONS THAT MAY BE DESIGNATED BY THE AUTHORITY HAVING JURISDICTION DURING THE COURSE OF THE WORK.
3. EFFORTS SHALL BE MADE DURING CONSTRUCTION ACTIVITIES TO STABILIZE ALL DISTURBED AREAS AS QUICKLY AS POSSIBLE TO MINIMIZE EROSION.
4. ITEMS FOR DEMOLITION ARE DEPICTED PER DESIGN DRAWINGS. CONTRACTOR TO VERIFY AND LOCATE ANY ITEMS FOR DEMOLITION PRIOR TO START OF CONSTRUCTION AND NOTIFY BARGHUSHAN CONSULTING ENGINEERS, INC. IMMEDIATELY ANY DISCREPANCY.
5. CONTRACTOR TO REVIEW ANY SITE DRAWINGS IN PROJECT AREA AND REMOVE AND/OR RELOCATE ANY SILE APPOINTMENTS IN PROJECT AREA THAT IMPACT THE PROJECT.

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.

2. WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
3. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
4. SWEEP DAILY (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
5. SWEEP STREETS DAILY (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED OUT ADJACENT PUBLIC STREETS.



ALL UNDERGROUND UTILITIES AND SERVICES TO  
REMAIN UNDISTURBED UNLESS OTHERWISE SHOWN.  
ALL RIMS AND/OR LIDS WITHIN REPLACED ASPHALT  
OR CONCRETE TO BE ADJUSTED TO FINISHED GRADE.

PRIOR TO SAWCUTTING ANY ASPHALT/CONCRETE OR COMMENCING WITH ANY DEMOLITION ACTIVITY, COORDINATE AND VERIFY EXTENT OF NECESSARY DEMOLITION WITH GRADING AND SITE PLAN. IT MAY BE NECESSARY TO REMOVE MORE PAVEMENT/CURBING THAN IS SHOWN TO MEET ADA REQUIREMENTS.

CONTRACTOR TO COORDINATE WITH ARCHITECT, COST  
CONSTRUCTION PROJECT MANAGER AND WAREHOUSE  
MANAGER TO DETERMINE APPROPRIATE STAGING AREA  
STAGING AREA TO COMPLY WITH COSTCO PROPERTY  
MANAGEMENT STAGING REQUIREMENTS.

1. CONTRACTOR SHALL CONTACT AND COORDINATE WITH THE VARIOUS UTILITY COMPANIES ON REQUESTING DISCONNECTIONS, REMOVALS AND/OR RELOCATION OF EXISTING SERVICE.
2. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND CONSTRUCTION APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL REPLACE ALL EXISTING CURB, PAVEMENT AND/OR LANDSCAPING DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY.
4. CONTRACTOR SHALL, PRIOR TO CONSTRUCTION OR REMOVAL OF IMPROVEMENTS, FIELD VERIFY AND CONFIRM LIMITS OF DEMOLITION AS WELL AS EXISTING UTILITIES AND IMPROVEMENTS TO REMAIN.



NOT TO SCALE

	FULL DEPTH PAVEMENT REMOVAL
	FULL DEPTH CONCRETE PAVEMENT REMOVAL
	PROPOSED INLET PROTECTION
	PROPERTY LINE
	SAWCUT LINE
	LIMITS OF DISTURBANCE
	EXISTING BARRIER CURB TO BE REMOVED
	EXISTING BARRIER CURB TO REMAIN
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR

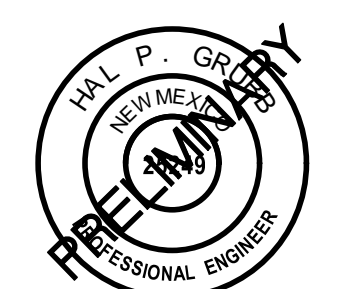
1. EXISTING PAVK MARKING TO BE REMOVED. CONTRACTOR TO SANDBLAST PAVEMENT TO REMOVE EXISTING PAVK STRIPING.
2. EXISTING WHEEL STOP TO BE REMOVED AND DISPOSED OF OFF-SITE.
3. EXISTING SIGN TO BE REMOVED AND DISPOSED OF OFF-SITE.
4. EXISTING BARRIER CURB TO BE REMOVED AND DISPOSED OF OFF-SITE.
5. EXISTING CURB AND GUTTER TO BE REMOVED AND DISPOSED OF OFF-SITE.
6. EXISTING PAVEMENT TO BE REMOVED AND DISPOSED OF OFF-SITE.
7. EXISTING CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF OFF-SITE.
8. EXISTING LANDSCAPING DISTURBED DURING CONSTRUCTION TO BE REPLACED IN KIND.
9. PROPOSED SAWCUT (TYP.) WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT. PROVIDE LAP JOINT PER DETAIL ON SHEET CS.0.
10. EXISTING TREE TO BE REMOVED AND DISPOSED OF OFF-SITE.

1. CONTRACTOR TO INSTALL STORM DRAIN INLET PROTECTION AT ALL DOWNSTREAM RECEIVING STORM INLET LOCATIONS AS REQUIRED TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM, AND AS DIRECTED BY INSPECTOR OF AUTHORITY HAVING JURISDICTION. SEE DETAIL THIS SHEET.
2. APPROXIMATE LIMITS OF DISTURBANCE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE # 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

**Costco**  
**WHOLESALE**  
COSTCO WHOLESALE  
999 LAKE DRIVE  
ISSAQUAH, WA 98027

**For:**



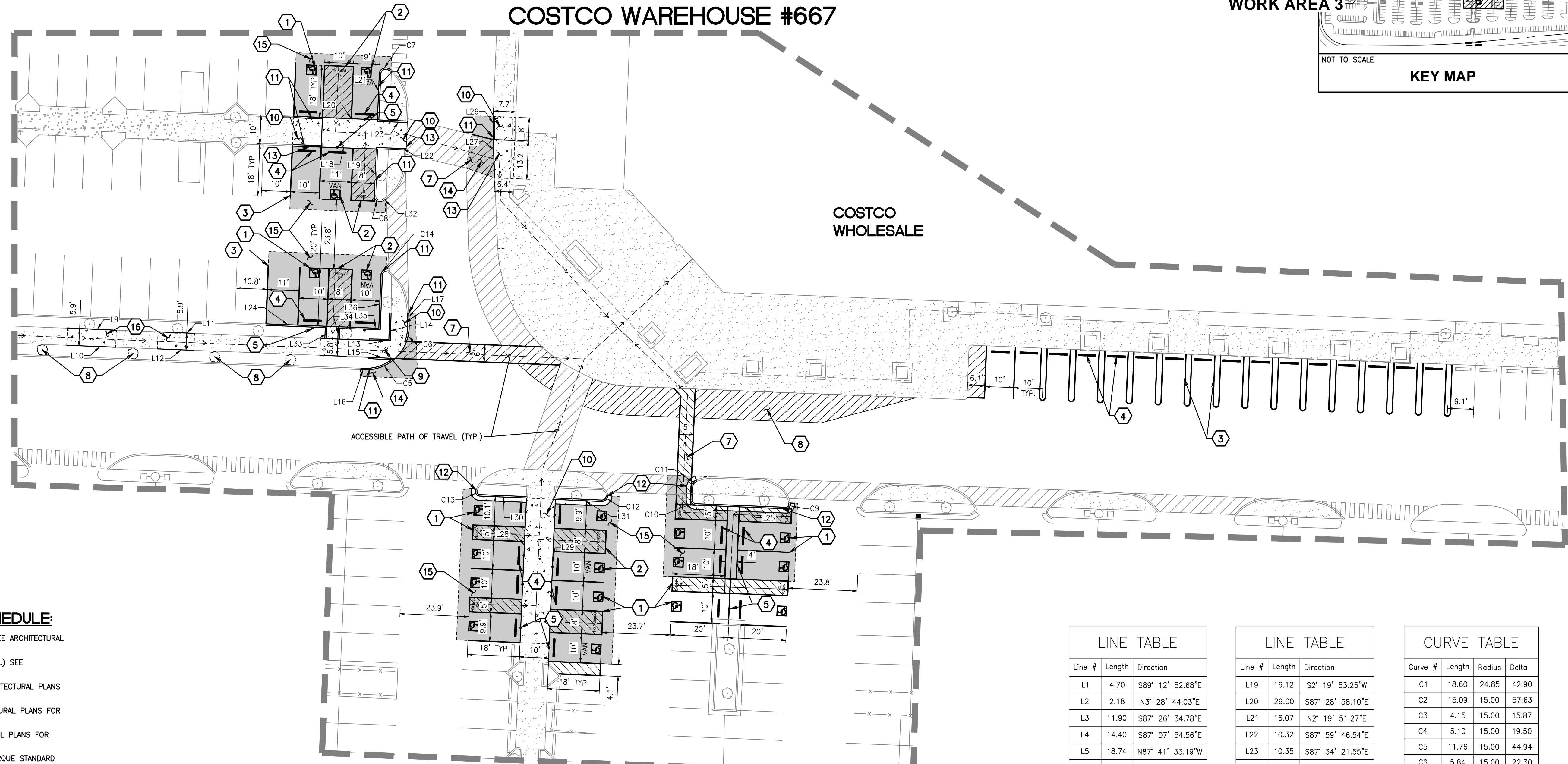
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Vertical  
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Designed LRH  
 Drawn LRH  
 Checked MESP  
 Approved HPG  
 Date 10/20/200

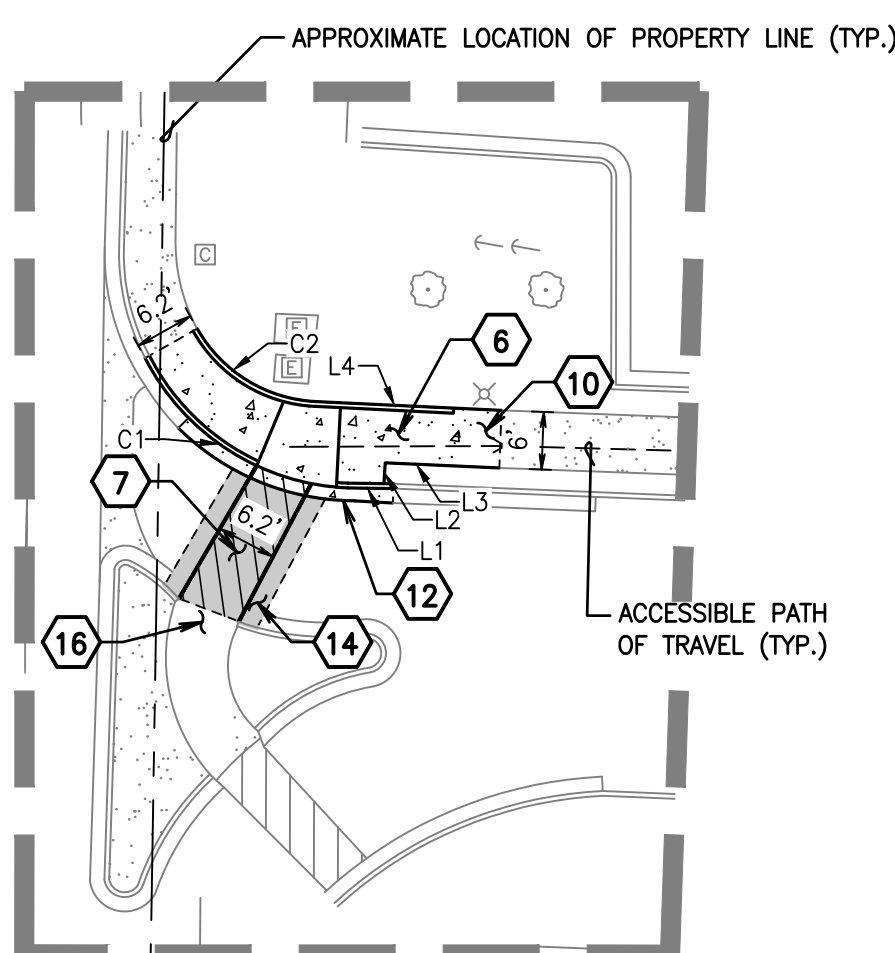
**Barghausen  
Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 **barghausen.com**

Job Number  
10987

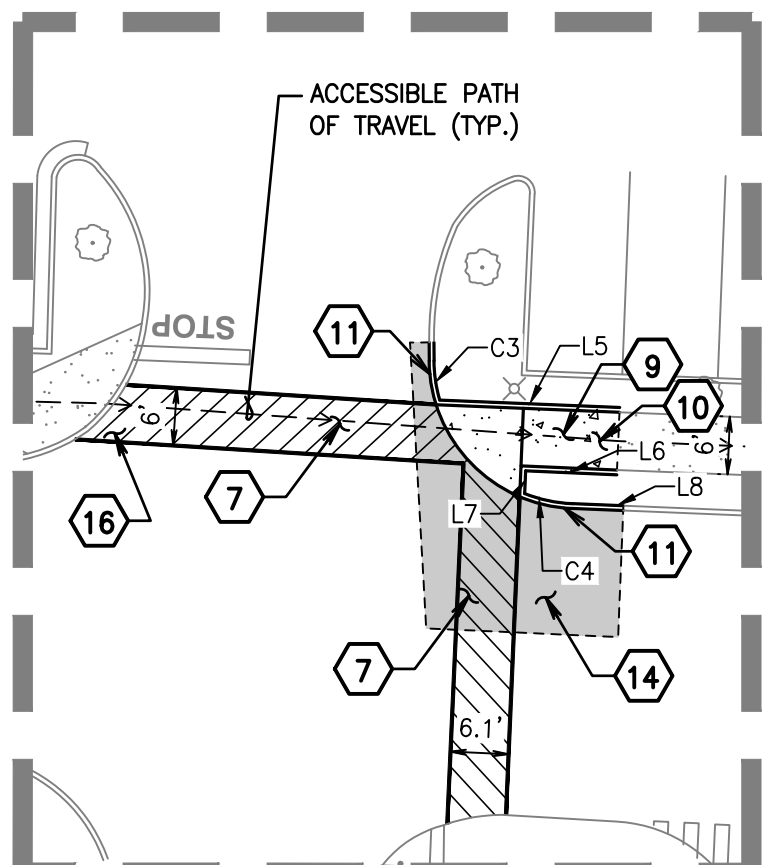
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209



1. PROPOSED ADA STALLS AND STRIPING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
2. PROPOSED ADA VAN STALLS AND STRIPING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
3. PROPOSED REGULAR PARKING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
4. PROPOSED WHEEL STOP (TYP.) SEE ARCHITECTURAL PLANS FOR DETAILS.
5. PROPOSED ADA SIGN (TYP.) SEE ARCHITECTURAL PLANS FOR DETAILS.
6. PROPOSED CURB RAMP PER CITY OF ALBUQUERQUE STANDARD DETAIL 2441.
7. PROPOSED CROSS WALK STRIPING AND MARKING. SEE ARCHITECTURAL PLANS FOR DETAILS.
8. PROPOSED 3" MINIMUM CALIPER TREE OF SIMILAR SPECIES OF REMOVED TREE PER CITY OF ALBUQUERQUE MUNICIPAL CODE SECTION 5-6C(6). SEE DECIDUOUS TREE PLANTING/STAKING DETAIL ON SHEET C5.0.
9. PROPOSED ADA CURB RAMP. SEE ARCHITECTURAL PLANS FOR DETAILS ON SHEET C5.0.
10. PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C5.0
11. PROPOSED BARRIER CURB. SEE DETAIL ON SHEET C5.0.
12. PROPOSED CURB AND GUTTER. SEE DETAIL ON SHEET C5.0.
13. PROPOSED FLUSH CURB. SEE DETAIL ON SHEET C5.0.
14. PROPOSED HEAVY-DUTY FULL-DEPTH ASPHALT PAVEMENT. SEE DETAIL ON SHEET C5.0.
15. PROPOSED LIGHT-DUTY FULL-DEPTH ASPHALT PAVEMENT. SEE DETAIL ON SHEET C5.0.
16. CONTRACTOR TO ENSURE THERE ARE NO ABRUPT EDGES OR SURFACE IRREGULARITIES INCLUDING JOINT GAPS ALONG THE ACCESSIBLE PATH PER BOTH STATE AND FEDERAL 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 502.4 REQUIREMENTS. CONTRACTOR SHALL FILL GAPS/CRACKS GREATER THAN 1/8" DEEP WITH IN-KIND MATERIAL, AND GRIND ANY CHANGES IN LEVEL 1/4" OR GREATER.



**WORK AREA #2**  
SCALE: 1" = 20'



**WORK AREA #3**  
SCALE: 1" = 20'

LINE TABLE			
Line #	Length	Direction	
L1	4.70	S89° 12'	52.68° E
L2	2.18	N87° 28'	44.03° E
L3	11.90	S87° 26'	34.78° E
L4	14.44	S87° 07'	54.56° E
L5	18.70	S87° 41'	33.19° N
L6	9.50	N87° 32'	25.88° W
L7	2.36	S2° 30'	11.92° W
L8	5.32	S87° 41'	08.52° E
L9	16.92	N87° 41'	33.19° N
L10	16.92	S87° 43'	55.54° E
L11	12.59	S87° 41'	33.10° E
L12	12.63	S87° 44'	12.53° E
L13	7.23	N86° 16'	31.39° N
L14	9.63	S1° 41'	25.63° S
L15	9.15	S87° 21'	57.94° E
L16	1.18	S87° 41'	08.52° E
L17	4.10	N2° 01'	43.62° E
L18	28.99	S87° 59'	45.54° W

LINE TABLE		
Line #	Length	Direction
L19	16.10	S2° 19' 53.25"W
L20	29.32	S87° 28' 58.10"E
L21	16.07	N2° 19' 51.27"E
L22	10.35	S87° 59' 46.54"E
L23	10.32	S87° 34' 21.55"E
L24	21.00	S87° 44' 50.78"E
L25	16.04	N87° 37' 34.30"W
L26	8.00	S0° 34' 12.79"W
L27	13.23	S2° 28' 07.42"E
L28	50.05	S2° 32' 09.98"E
L29	50.00	S2° 27' 03.25"W
L30	16.53	S87° 37' 55.07"W
L31	16.64	N87° 28' 26.35"W
L32	1.03	N56° 54' 05.89"E
L33	4.27	S2° 01' 37.97"W
L34	4.28	N2° 14' 29.82"E
L35	14.00	S87° 43' 23.42"E
L36	18.57	N2° 19' 47.95"E

CURVE TABLE			
Curve #	Length	Radius	Delta
C1	18.60	24.85	42.90
C2	15.09	15.00	57.63
C3	4.15	15.00	15.87
C4	5.10	15.00	19.50
C5	11.76	15.00	44.94
C6	5.84	15.00	22.30
C7	4.42	2.27	111.67
C8	4.38	2.00	125.43
C9	2.68	1.50	102.39
C10	3.13	2.02	88.71
C11	3.43	3.00	65.61
C12	3.21	2.02	91.08
C13	2.88	1.50	110.12
C14	2.72	1.78	87.48

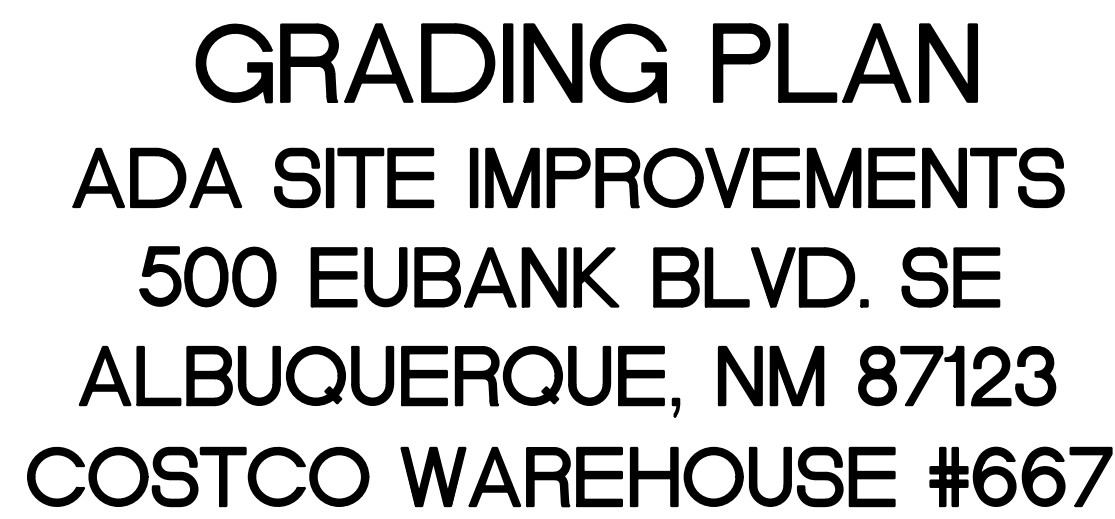
**UTILITY CONFLICT NOTE:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE # 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

### ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 48" IN WIDTH, HAVE A MAXIMUM 2.0% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH FEDERAL ACCESSIBILITY STANDARDS (SECTION 405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20)

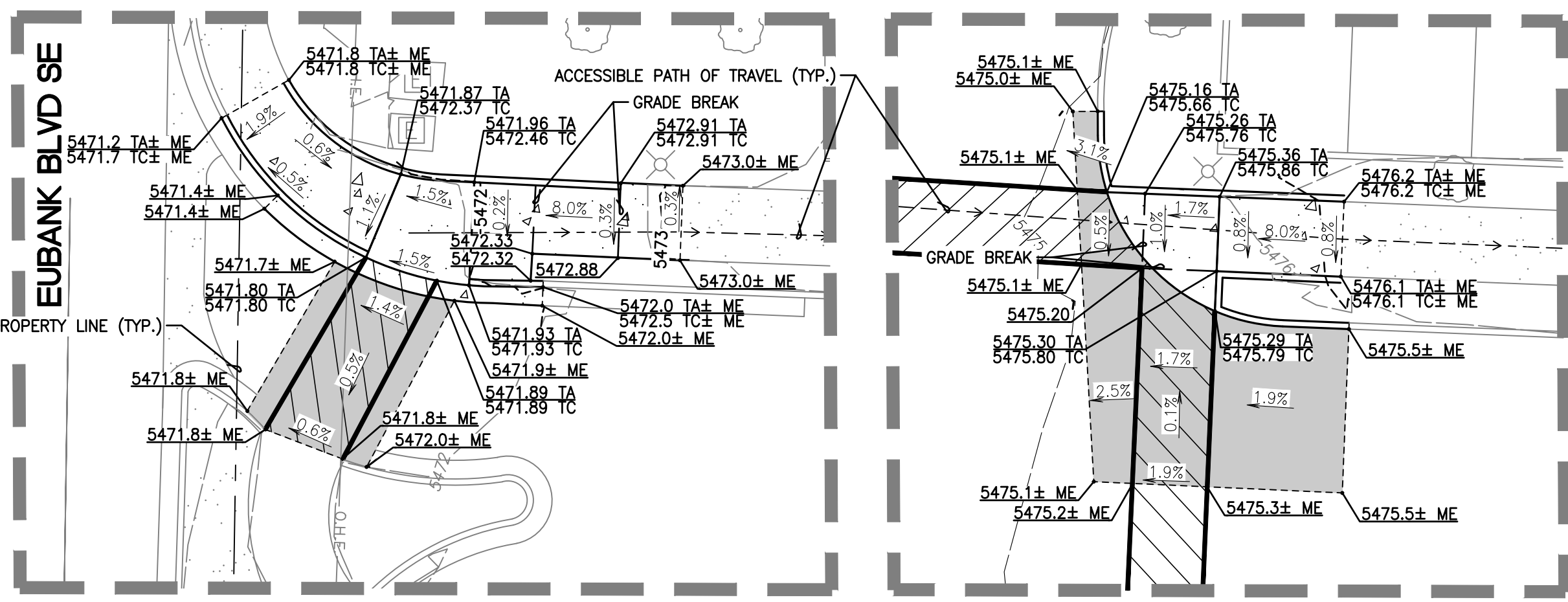
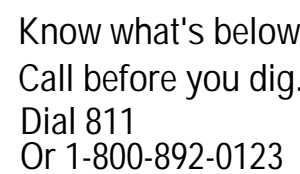
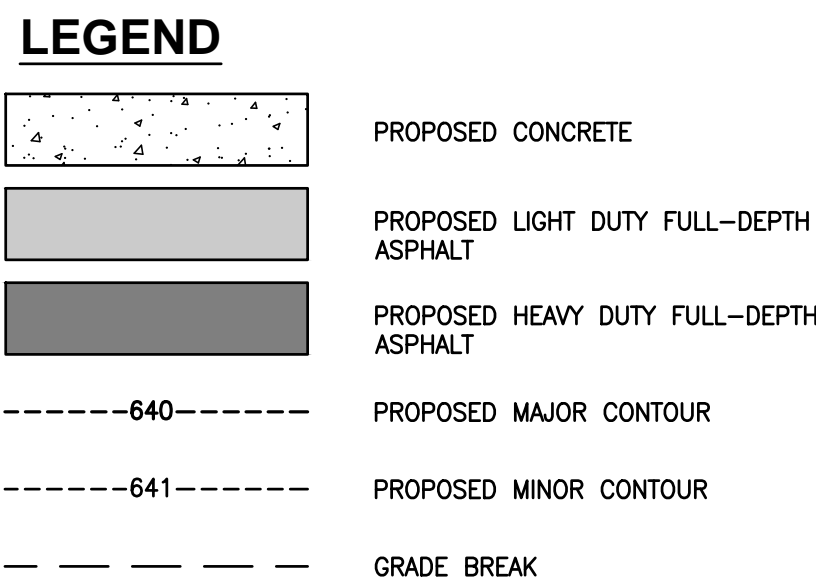
Know what's below  
Call before you dig.  
Dial 811  
Or 1-800-892-0123



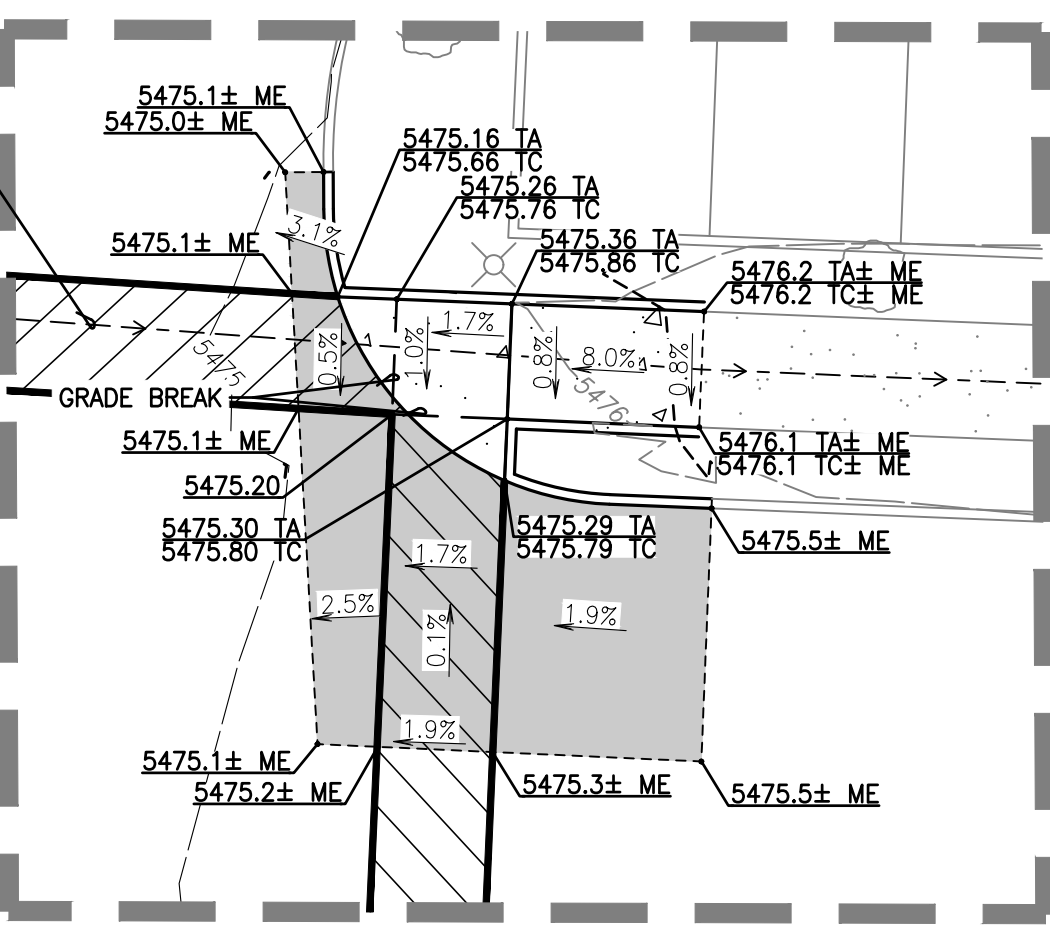
1. ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.  
  
ME = MATCH EXISTING ELEVATIONS  
TA = TOP OF ASPHALT/CONCRETE PAVEMENT  
TC = TOP OF CURB
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
3. FILL MATERIAL AND COMPACTION SHALL CONFORM TO CITY OF ALBUQUERQUE REQUIREMENTS.
4. CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL MEASURES DURING GRADING OPERATIONS AND REMOVE AT END OF CONSTRUCTION.
5. CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS.

**GENERAL ACCESSIBILITY NOTES:**

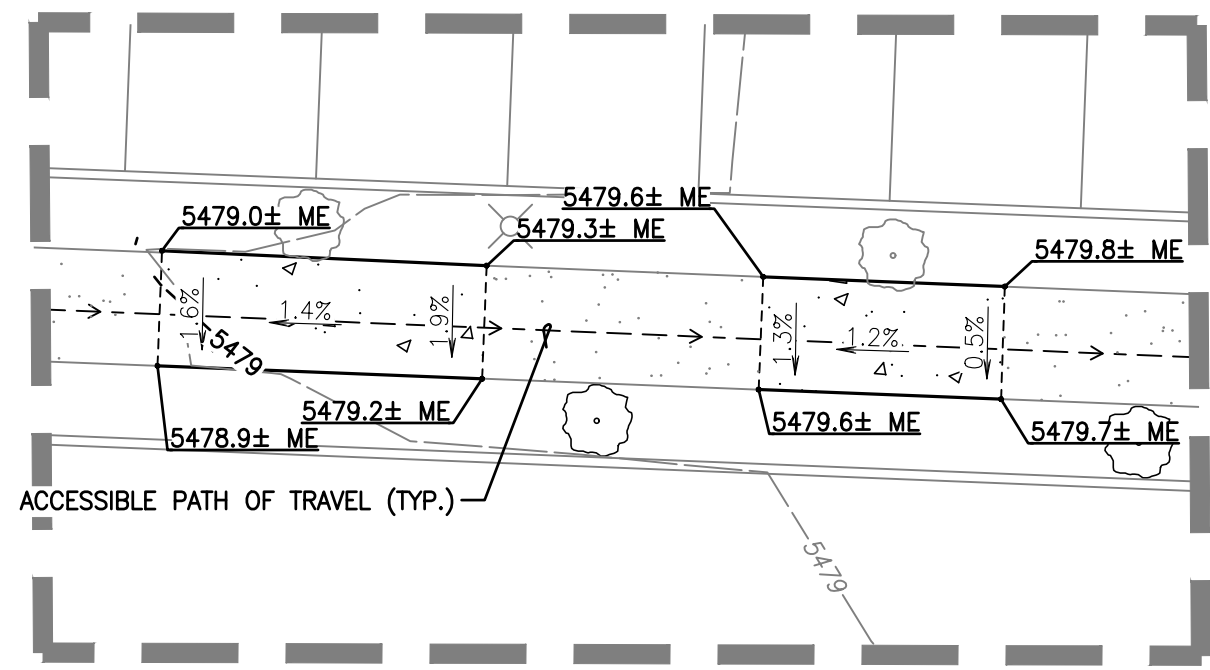
1. 5' MINIMUM DIMENSION LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL ACCESSIBLE RAMPS AND 5'X5' LANDINGS AT CHANGES IN ACCESSIBLE PATH DIRECTION. LANDINGS SHALL BE LESS THAN 2% SLOPE IN ANY DIRECTION.
2. ALL ACCESSIBLE PARKING STALLS AND LOADING ZONES SHALL BE SLOPED LESS THAN 2% IN ANY DIRECTION.
3. CRACKS/JOINTS GREATER THAN 1/2" WIDE IN ALL ACCESSIBLE PATHWAYS, RAMPS, PARKING STALLS, AND LOADING AREAS MUST BE FILLED CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
4. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6" MUST PROVIDE HAND RAILS COMPLYING WITH FEDERAL ACCESSIBILITY STANDARDS.
5. SEE ACCESSIBLE PATH OF TRAVEL NOTE THIS SHEET FOR FURTHER DETAILS.



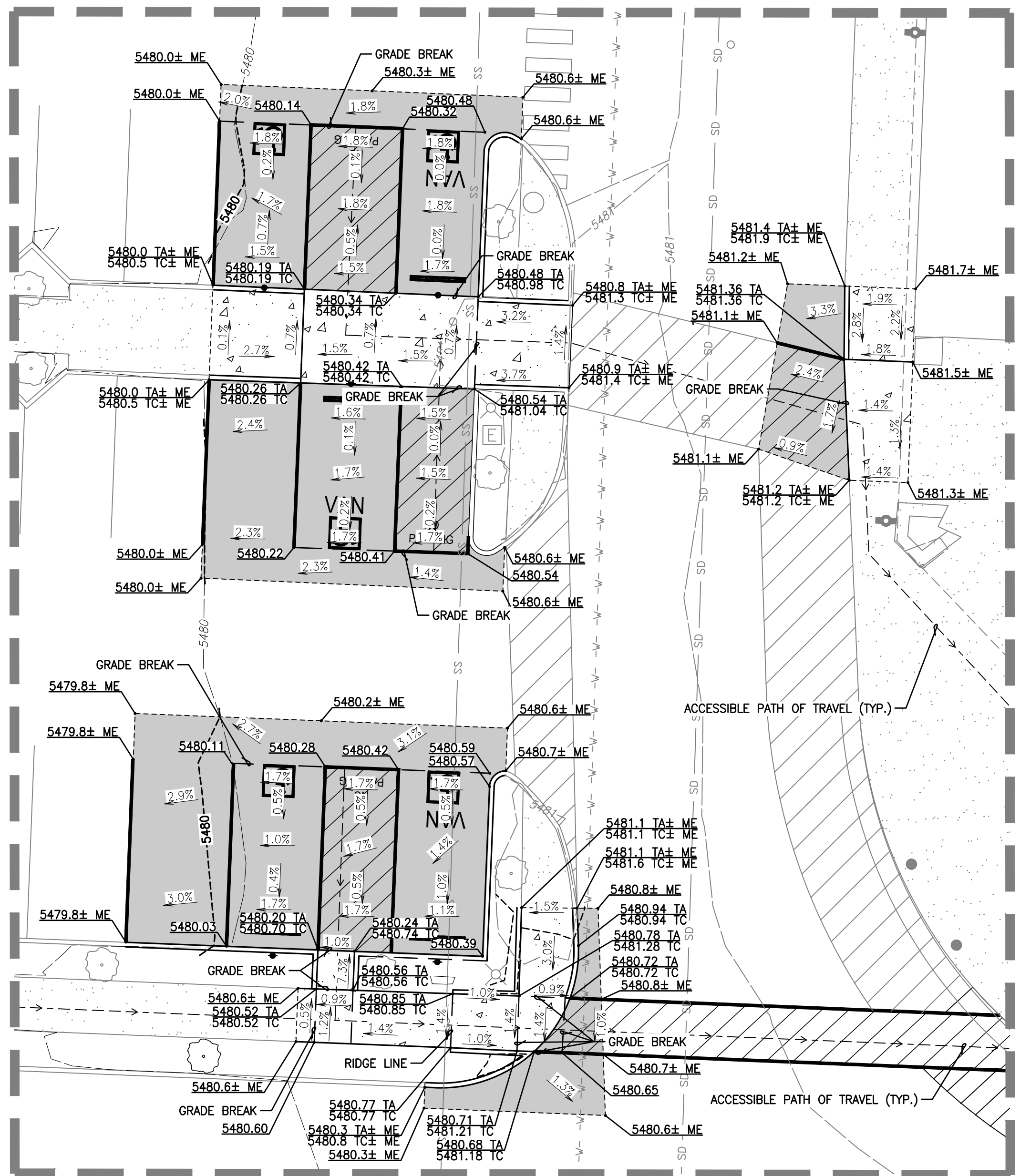
**GRADING AREA #1**  
SCALE: 1" = 10'



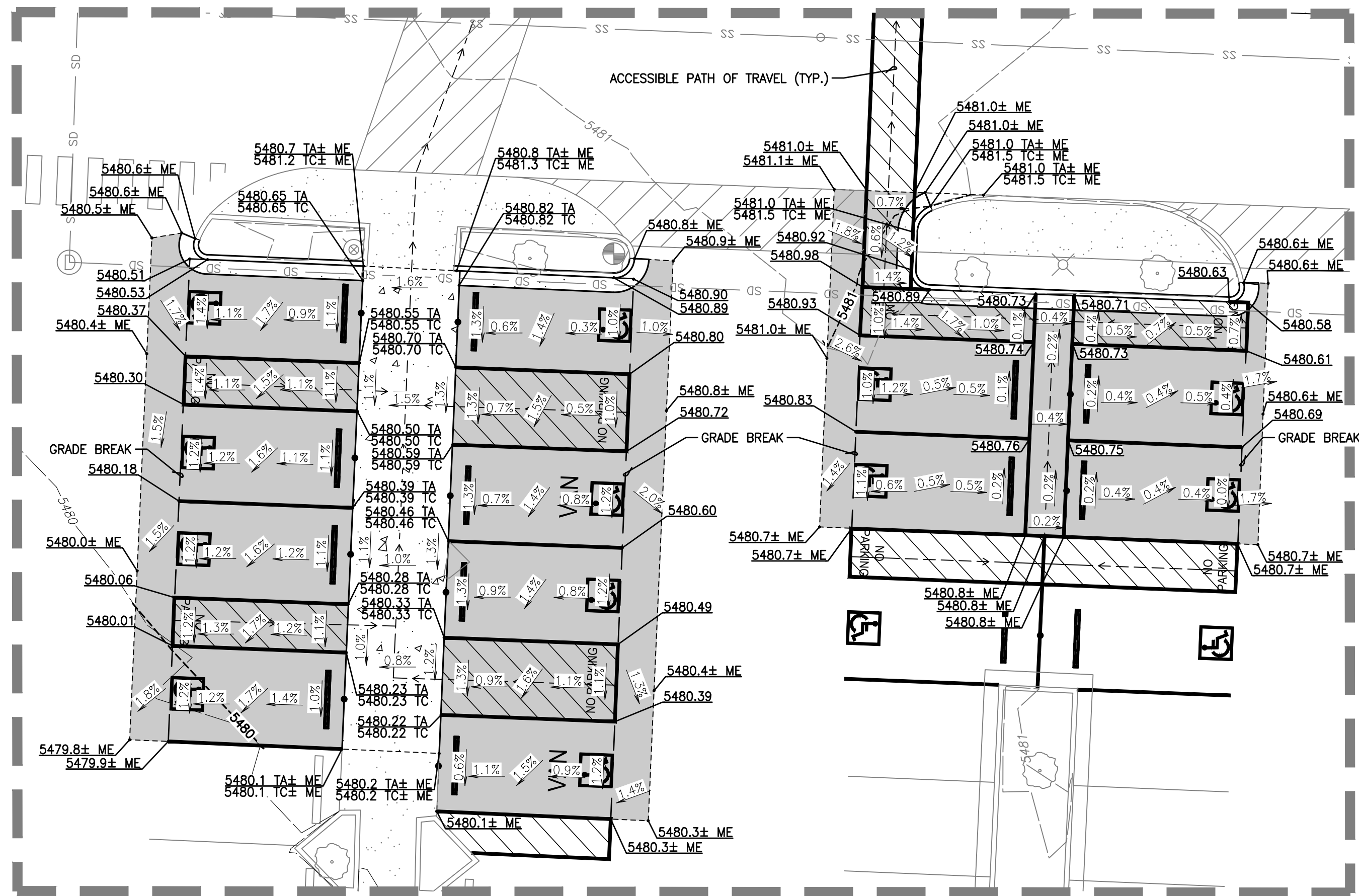
**GRADING AREA #2**  
SCALE: 1" = 10'



**GRADING AREA #3**  
SCALE: 1" = 10'



**GRADING AREA #4**  
SCALE: 1" = 10'



**GRADING AREA #5**  
SCALE: 1" = 10'

**ACCESSIBLE PATH OF TRAVEL NOTE:**

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1		8/31/21	LRH	MESP	HPG	LAND USE SUBMITTAL	Revision
No.	Date	By	Ckd.	Appr.			

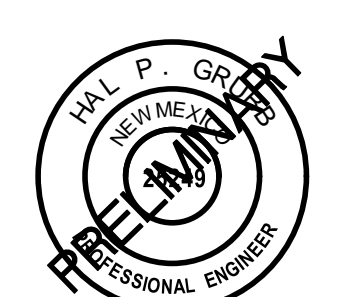
**Title:**

## GRADING PLAN

GRADING PLAN  
500 EUBANK BLVD. SE  
ALBUQUERQUE, NM 87123  
COSTCO WAREHOUSE #667

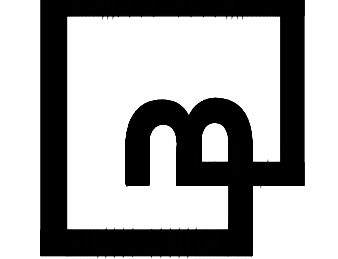
**Costco**  
WHOLESALE  
COSTCO WHOLESALE  
999 LAKE DRIVE  
ISSAQUAH, WA 98027

**For:**



Scale:	Horizontal 1" = 10'	Vertical N/A
Designed	LRH	
Drawn	LRH	
Checked	MESP	
Approved	HPS	
Date	10/20/20	

**Barghausen  
Consulting Engineers, Inc.**  
32215 72nd Avenue South  
Rent, WA 98032  
25.251.6222 **barghausen.com**



Job Number  
**10987**



# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

March 18, 2022

Megan Palmer, P.E.  
Barghausen Consulting Engineers, Inc.  
18215 72<sup>nd</sup> Avenue South  
Kent, WA 98032

RE: **Costco**  
**500 Eubank Blvd. SE**  
**Grading and Drainage Plan - Approved**  
**Engineers Stamp Date 12/1/2021 (L21D073)**

Ms. Palmer,

Based upon the information provided in your submittal received 3/3/22, this plan will not require any further review by Hydrology as the amount of paving being disturbed and replaced are below our threshold requiring review and is approved for Grading Permit and Administrative Amendment.

PO Box 1293

Albuquerque

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Eubank Blvd ADA **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** NA

**City Address:** 500 Eubank Blvd SE

**Applicant:** Barghausen Consulting Engineers, Inc. **Contact:** Megan Palmer

**Address:** 18215 72nd Avenue South, Kent, WA 98032

**Phone#:** 425-656-1072 **Fax#:** 425-251-8782 **E-mail:** mpalmer@barghausen.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR O APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_