

ADMINISTRATIVE AMENDMENT

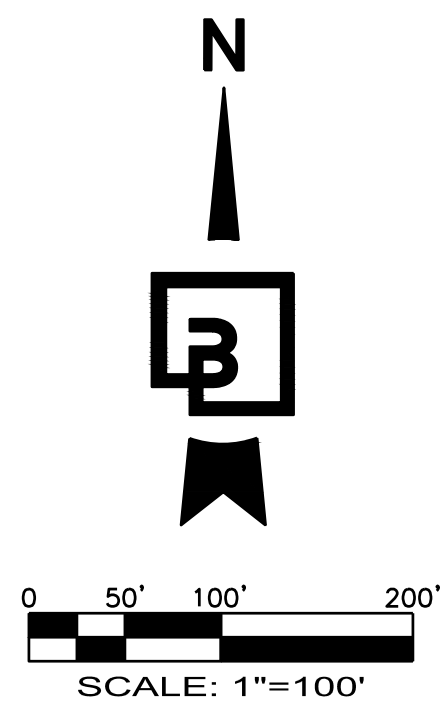
FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

COSTCO WHOLESALE

COVER SHEET ADA SITE IMPROVEMENTS 1420 RENAISSANCE BLVD NE ALBUQUERQUE, NM 87107 COSTCO WAREHOUSE #116



GENERAL SITE DEVELOPMENT NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE COVERING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETINGS. CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "NEARBY AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTION TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

MONUMENT PROTECTION NOTE:

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

BASIS OF ELEVATIONS:

1.75" CITY OF ALBUQUERQUE SURVEY CONTROL DISK STAMPED "ACS BM 10-F15", EPOXIED TO THE CENTER OF THE TOP OF A DROP INLET, LOCATED ON THE NORTH SIDE OF MONTANO ROAD 85' EAST OF THE ALAMEDA LATERAL, HAVING AN ELEVATION OF 5002.45, NAVD.

BASIS OF BEARINGS:

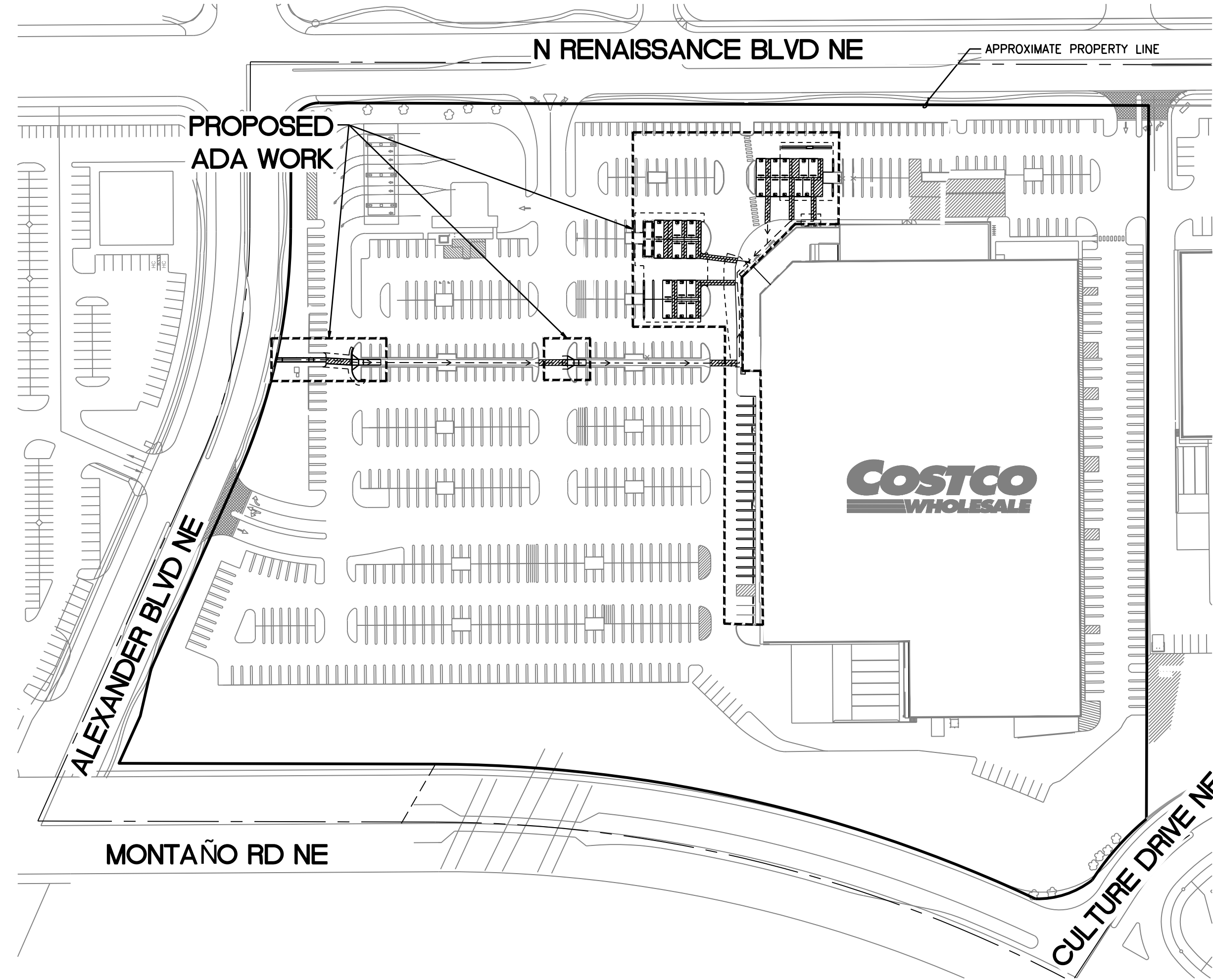
NAD 83, NEW MEXICO STATE PLANE CENTRAL ZONE AS MEASURED USING CITY OF ALBUQUERQUE BENCHMARKS 9_15 AND 10_F15.

FEMA FLOODPLAIN:

THE SUBJECT SITE IS LOCATED WITHIN ZONE X (FEMA FORM NO. 35001C0138H DATED AUGUST 16, 2012).

SITE PLAN NOTE:

A SITE PLAN PREPARED BY MCG HAS BEEN PROVIDED TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THAT THE SITE PLAN IS COMPLIANT WITH ALL CITY OR COSTCO STANDARDS.



SHEET INDEX

- C1.0 - COVER SHEET
- C1.1 - STANDARD NOTES
- C1.2 - EXISTING CONDITIONS MAP
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- C2.0 - TESC AND DEMOLITION PLAN
- C3.0 - SITE AND HORIZONTAL CONTROL PLAN
- C4.0 - GRADING PLAN
- C5.0 - CONSTRUCTION DETAILS

PROJECT DATA:

PROJECT ADDRESS: 1420 RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107

JURISDICTION: CITY OF ALBUQUERQUE

APN: 10160612192063

ZONING: MODERATE INTENSITY MIXED-USE (MX-M)

PROJECT AREA SUMMARY:

TOTAL WORK AREA = 24,000 SF

TOTAL DISTURBED AREA = 14,340 SF

TOTAL NEW/REPLACED IMPERVIOUS AREA = 14,340 SF

	EXISTING	PROPOSED
IMPERVIOUS:	14,340 SF	14,340 SF
PERVIOUS:	900 SF	900 SF

GRADING QUANTITIES:

TOTAL CUT (CY) = 20

TOTAL FILL (CY) = 30

TOTAL IMPORT (CY) = 10

EARTHWORK QUANTITIES ARE APPROXIMATE AND HIGHLY DEPENDANT ON SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION.

CONTRACTOR SHOULD PERFORM INDEPENDENT ESTIMATE FOR BIDDING.

CAUTION:

POTENTIAL UTILITY CONFLICT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND NEW UTILITIES PRIOR TO CONSTRUCTION. SEE UTILITY CONFLICT NOTE. THE EXISTING WATER, STORM, AND SANITARY SEWER SERVICE SHOWN IS APPROXIMATE, BASED ON FIELD SURVEYS AND "AS-BUILT" RECORDS. THE GENERAL CONTRACTOR SHALL "POTHOLE" THE EXISTING UTILITIES TO VERIFY THE DIAMETER AND LOCATION (INCL. ELEVATIONS) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES IN THE LOCATION OF THE EXISTING PIPE OR INCOMPATIBILITY OF THE DESIGN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNERS REPRESENTATIVE, AND BARGHAUSEN CONSULTING ENGINEERS, INC. (425-251-6222).

LEGEND

[Symbol]	EXISTING CONCRETE	[Symbol]	PROPOSED CONCRETE
[Symbol]	EXISTING CURB	[Symbol]	PROPOSED FULL-DEPTH LIGHT-DUTY ASPHALT
[Symbol]	EXISTING CURB AND GUTTER	[Symbol]	PROPOSED FULL-DEPTH HEAVY-DUTY ASPHALT
[Symbol]	EXISTING EDGE OF PAVEMENT	[Symbol]	PROPOSED BARRIER CURB
[Symbol]	EXISTING CANOPY DRIPLINE	[Symbol]	ACCESSIBLE PATH OF TRAVEL
[Symbol]	EXISTING STORM DRAIN MANHOLE	[Symbol]	SAWCUT LINE
[Symbol]	EXISTING WATER LINE	[Symbol]	PROPOSED SPOT GRADE
[Symbol]	EXISTING STORM DRAIN	[Symbol]	PROPOSED GRADE LABEL
[Symbol]	EXISTING CATCH BASIN	[Symbol]	MATCH EXISTING GRADE
[Symbol]	EXISTING LOT LIGHT	[Symbol]	PROPOSED TOP OF CURB/ TOP OF PAVEMENT
[Symbol]	EXISTING STORM CLEANOUT	[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EXISTING SIGN	[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING TELECOM LINE	[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	EXISTING SANITARY SEWER	[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	EXISTING POWER	[Symbol]	
[Symbol]	EXISTING POWER	[Symbol]	
[Symbol]	EXISTING TREE	[Symbol]	
[Symbol]	EXISTING TRANSFORMER	[Symbol]	
[Symbol]	EXISTING FIRE HYDRANT	[Symbol]	

PROJECT TEAM:

OWNER

COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

CIVIL ENGINEER

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. S.
KENT, WA 98032
PHONE: (425) 251-6222
FAX: (425) 251-8762
CONTACT: HAL GRUBB, PE

SURVEYOR

SUPERIOR SURVEYING SERVICES, INC.
2122 W. LONE CACTUS DRIVE, SUITE 11
PHOENIX, AZ 85027

ARCHITECT

MCG
1101 SECOND AVENUE, SUITE 100
SEATTLE, WA 98101
PHONE: (206) 962-6500
FAX: (206) 962-6499
CONTACT: ALISON MCCLELLAN

GEOTECHNICAL REPORT NOTES:

- THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

SOILS REPORT: GEOTECHNICAL ENGINEERING REPORT
JOB NUMBER: 20164575.001A
DATE: MARCH 23, 2016

PREPARED BY: KLIENFELDER
1335 WEST AUTO DRIVE
TEMPE, AZ 85284
PHONE: (480) 763-1212

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, AND PAVING CONSTRUCTION.
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.
- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.
- THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

EXISTING TOPOGRAPHY/SURVEY INFORMATION NOTE:

A TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SUPERIOR SURVEYING SERVICES, INC. DATED JULY 2, 2022, HAS BEEN PROVIDED AS THE EXISTING CONDITIONS MAP TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE SITE DESIGN HAS BEEN BASED ON THE ABOVE-NOTED SURVEYS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC.

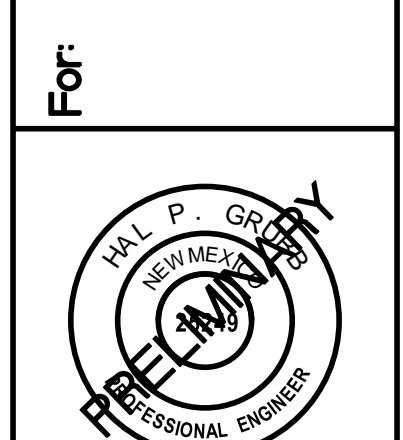
UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

2	18/07/21	LR	MESP	RFPC	LAND USE SUBMITTAL
1	10/15/20	LR	MESP	RFPC	DA SUBMITTAL
No.	Date	By	Appr.	Cont.	Revision

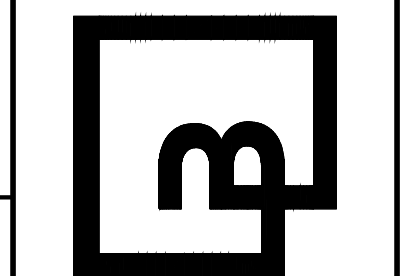
COVER SHEET
1420 RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107
COSTCO WAREHOUSE #116

Costco
WHOLESALE
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



Scale:	Horizontal 1" = 100'	Vertical N/A
Designed	LR	
Drawn	LR	
Checked	MESP	
Approved	JRS	
Date	10/14/26	

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
10896
Sheet
C1.0 of **9**



COSTCO WHOLESALE

1420 RENAISSANCE BLVD NE ALBUQUERQUE, NM 87107

**COSTCO
WHOLESALE**
ALBUQUERQUE I, NM
#116
1420 N RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107

COSTCO
WHOLESALE
CORPORATION
99 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
WWW.COSTCO.COM

1101 Second Ave. Ste 100
Seattle, WA 98101
206.962.6500
MG2.com



ADA SITE
UPGRADE

PROJECT GENERAL NOTES

- THESE GENERAL NOTES APPLY TO THE ENTIRE PROJECT AND APPLY TO ALL TRADES.
- WHERE OCCURS, REFER TO THE ENGINEERING CONSULTANT DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
- SEE CIVIL DRAWINGS FOR FULL SCOPE INCLUDING DIMENSIONS AND GRADING.
- CONDITIONS AND DIMENSIONS SHOWN ON SITE PLANS ARE FROM A SURVEY PREPARED BY OTHERS OR FROM AVAILABLE RECORDS. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SHOWN. REFER TO CIVIL ENGINEER DRAWINGS FOR ADDITIONAL SCOPE OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING INFORMATION SHOWN PRIOR TO STARTING THE WORK.
 - THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES.
 - VERIFY ALL INVERT ELEVATIONS AT POINTS OF CONNECTIONS OF NEW WORK PRIOR TO STARTING ANY WORK.
 - EXISTING UTILITIES SHOWN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY.
 - IF NECESSARY TO COMPLETE THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY ADDITIONAL UTILITY LOCATIONS AND SIZES NOT SHOWN.
- THE CONTRACTOR SHALL TAKE ALL POSSIBLE CARE TO AVOID DAMAGE OR DISTURBANCE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY CONTRACTOR-CAUSED DAMAGE TO THE UTILITIES. SUCH REPAIRS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE AND IN SUCH A MANNER AS TO BE LEAST-DISRUPTIVE AS POSSIBLE TO THE OWNER'S OPERATIONS.
- DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS.
- WHERE OCCURS, ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE SLAB (ALSO NOTED AS FINISHED FLOOR OR INDICATED BY THE "DATUM" SYMBOL) UNLESS NOTED OTHERWISE.
- VERIFY ALL DIMENSIONS OF EXISTING CONDITIONS. NEITHER THE ARCHITECT NOR HIS CONSULTANTS ARE RESPONSIBLE FOR THE ACCURACY OF THESE DIMENSIONS, IF EXISTING CONDITIONS OR DIMENSIONS ARE NOT AS SHOWN, IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT FURNISHED AND/OR INSTALLED BY THE CONTRACTOR, SUBCONTRACTORS, OWNER OR OTHERS.
- ALL WORK IS TO BE PLUMB, LEVEL, TRUE TO LINE, AND STRAIGHT.
- ALL JOINTS ARE TO BE TIGHT, STRAIGHT, EVEN, AND SMOOTH.
- ALL MATERIAL IS NEW UNLESS NOTED OTHERWISE.
- WHERE OCCURS, PROVIDE ALL FASTENERS AND CONNECTIONS (WHETHER INDICATED OR NOT) NECESSARY TO ASSEMBLE THE WORK.
- REPAIR, PATCH, OR REPLACE PORTIONS OF WORK THAT ARE DAMAGED, LIFTED, DISCOLORED, OR SHOWING OTHER IMPERFECTIONS.
- CONSTRUCTION ACTIVITIES SHALL NOT AFFECT THE OWNER'S OPERATIONS, LOUD ACTIVITIES (JACK-HAMMERING, SAW-CUTTING, ETC.) AND ANY WORK REQUIRING INTERRUPTIONS OF UTILITIES (WATER, ELECTRICITY, GAS, FIRE SPRINKLERS/ALARM, SEWER, ETC.) SHALL BE PERFORMED DURING NON-BUSINESS HOURS AS APPROVED BY THE OWNER. ENSURE UNINTERRUPTED SECURITY AND PHONE SYSTEMS OPERATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNS, REFLECTORS, LIGHTS, ETC. TO PROPERLY IDENTIFY AREAS CLOSED TO THE PUBLIC AND FOR PROVIDING SAFETY ALERTS DURING CONSTRUCTION.
- ALL WORK IS TO COMPLY WITH THE APPLICABLE CODES. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING REGULATION.

PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: 1420 RENAISSANCE BLVD,
ALBUQUERQUE, NM 87107

ZONING: SUR FOR C2 USES

SITE AREA: 14.8 ACRES (646,821 S.F.)

JURISDICTION: CITY OF ALBUQUERQUE, NM

BOUNDARIES INFORMATION: THIS PLAN HAS BEEN PREPARED BY USING INFORMATION PROVIDED BY A.E. SCHMIDT ENVIRONMENTAL

BUILDING DATA:
EXIST. BUILDING AREA 149,014 S.F.
EXIST. TIRE CENTER 5,937 S.F.
EXIST. TOTAL BUILDING FOOTPRINT 154,951 S.F.

PARKING DATA:
EXIST. PARKING PROVIDED:
10' WIDE STALLS: 495 STALLS
9' WIDE STALLS: 256 STALLS
ACCESSIBLE STALLS: 22 (0 VAN) STALLS
TOTAL PARKING: 773 STALLS

PROPOSED PARKING PROVIDED:
10' WIDE STALLS: 490 STALLS
9' WIDE STALLS: 256 STALLS
ACCESSIBLE STALLS: 22 (4 VAN) STALLS
TOTAL PARKING: 768 STALLS

NO. OF STALLS PER 1000 S.F. OF BUILDING AREA: 5.00 STALLS

REQUIRED ACCESSIBLE PARKING
2% OF STALLS PROVIDED TO BE ACCESSIBLE
32 X 708 = 16 ACCESSIBLE STALLS REQUIRED
22 ACCESSIBLE STALLS PROVIDED
1 OUT OF 6 TO BE VAN ACCESSIBLE
(4 REQUIRED, 4 PROVIDED)

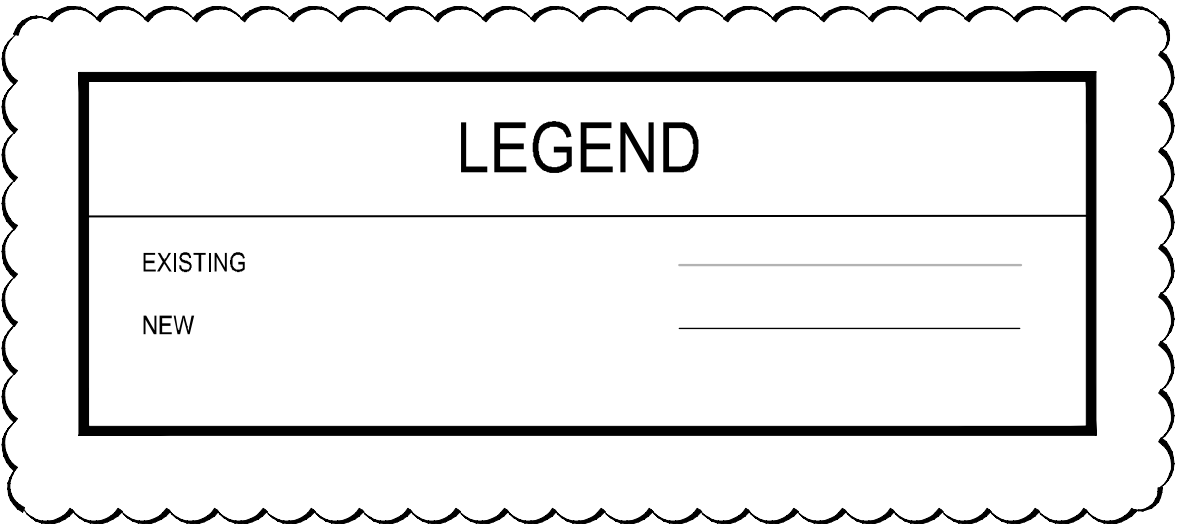
NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.

PROJECT DIRECTORY

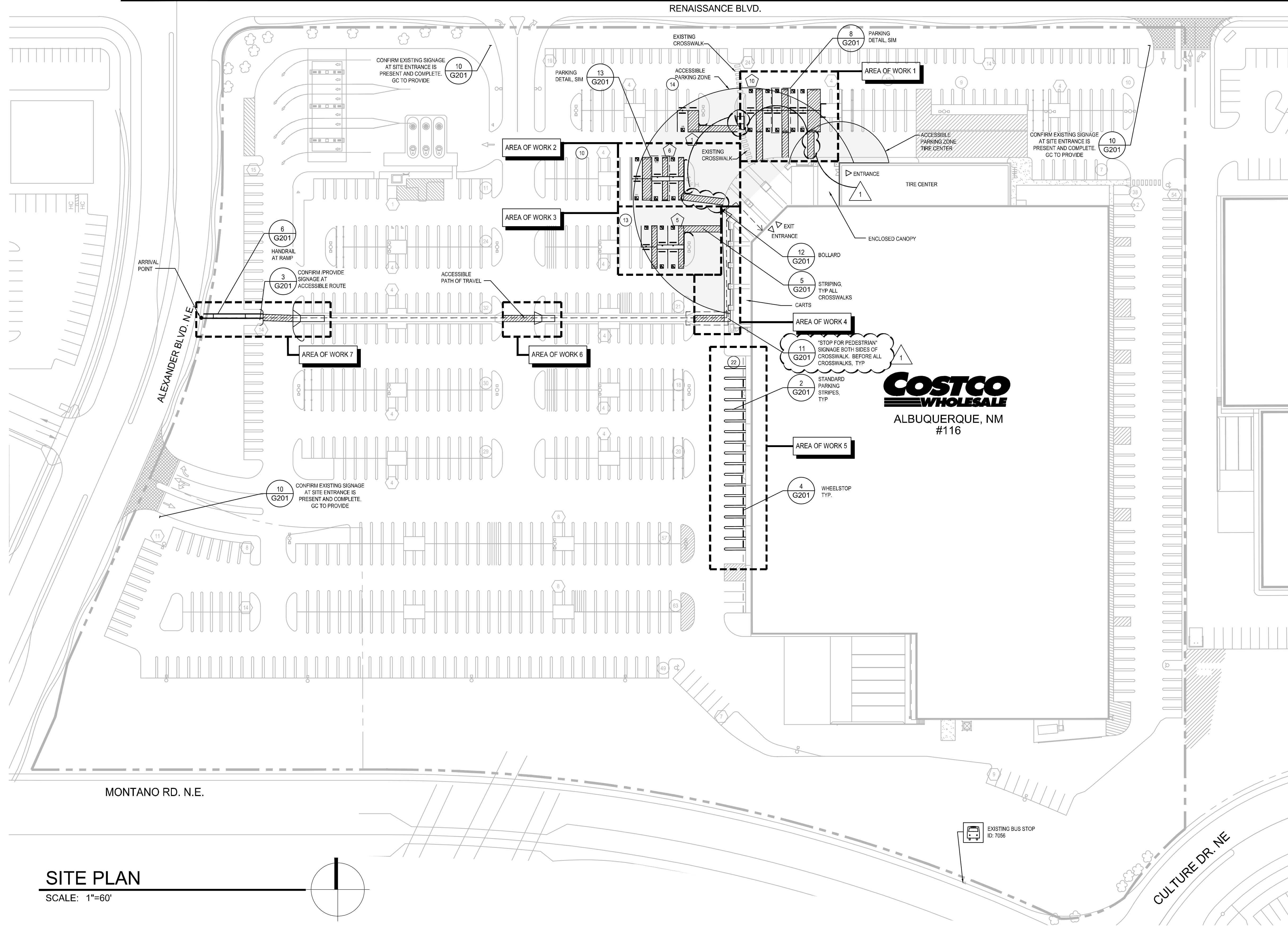
OWNER: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027
t: 425.313.8100

ARCHITECT: MG2 CORPORATION
1101 SECOND AVENUE
SUITE 100
SEATTLE, WA 98101
t: 206.962.6500
PROJECT MANAGER: ALISON MCCLELLAN

CIVIL: BARGHAUSEN ENGINEERING
18215 72ND AVENUE S
KENT, WA 98032
t: 425.251.6222
PROJECT MANAGER: MEGAN PALMER



TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Amayo 3/14/2023
Signed Date



SITE PLAN
SCALE: 1"=60'

DRAWING INDEX

ARCHITECTURAL	TS101	TITLE SHEET & SITE PLAN
	G201	ACCESSIBILITY FEATURES & SITE DETAILS
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	C1.2	EXISTING CONDITIONS MAP
	C1.3	EXISTING CONDITIONS MAP
	C1.4	EXISTING CONDITIONS MAP
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	C3.0	SITE PLAN
	C3.1	CONSTRUCTION DETAILS
	C4.0	GRADING PLAN

CODE SUMMARY

CITY OF ALBUQUERQUE ADOPTED CODES:
2015 NEW MEXICO COMMERCIAL BUILDING CODE
2020 CITY OF ALBUQUERQUE, NEW MEXICO CODE OF ORDINANCES
2009 ICC-ANSI A117.1

TYPE OF CONSTRUCTION: V-B; FULLY SPRINKLERED
OCCUPANCY GROUP: MERCANTILE
TOTAL BUILDING AREA: (REMAIN UNCHANGED)

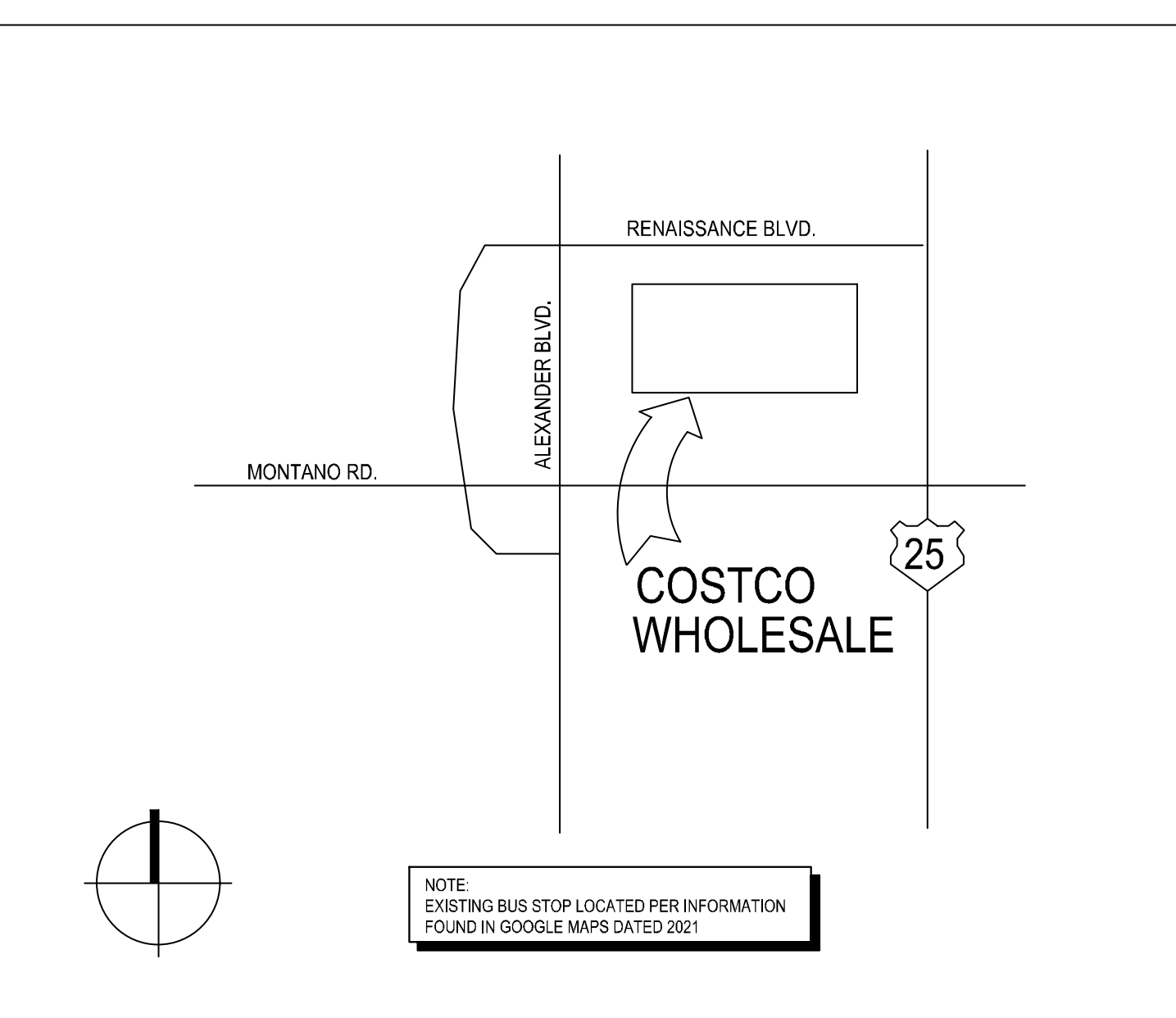
PROJECT DESCRIPTION

PARKING AND SITE UPGRADE FOR ADA COMPLIANCE.

SCOPE OF WORK

ON SITE:
THE WORK CONSISTS OF THE REMOVAL OF EXISTING STRIPING, PARKING SYMBOLS, SIGN POSTS, CURB STOPS, AND THE SALVAGE OF ACCESSIBILITY SIGNAGE, TO PROVIDE NEW STRIPING AND PARKING SYMBOLS, AND THE INSTALLATION OF NEW CURB STOPS, SIGN POSTS, AND NEW/RELOCATED ACCESSIBILITY SIGNS AND ADDITION OF ADA COMPLIANT CURB RAMPS ALONG THE ACCESSIBLE ROUTE.

VICINITY MAP



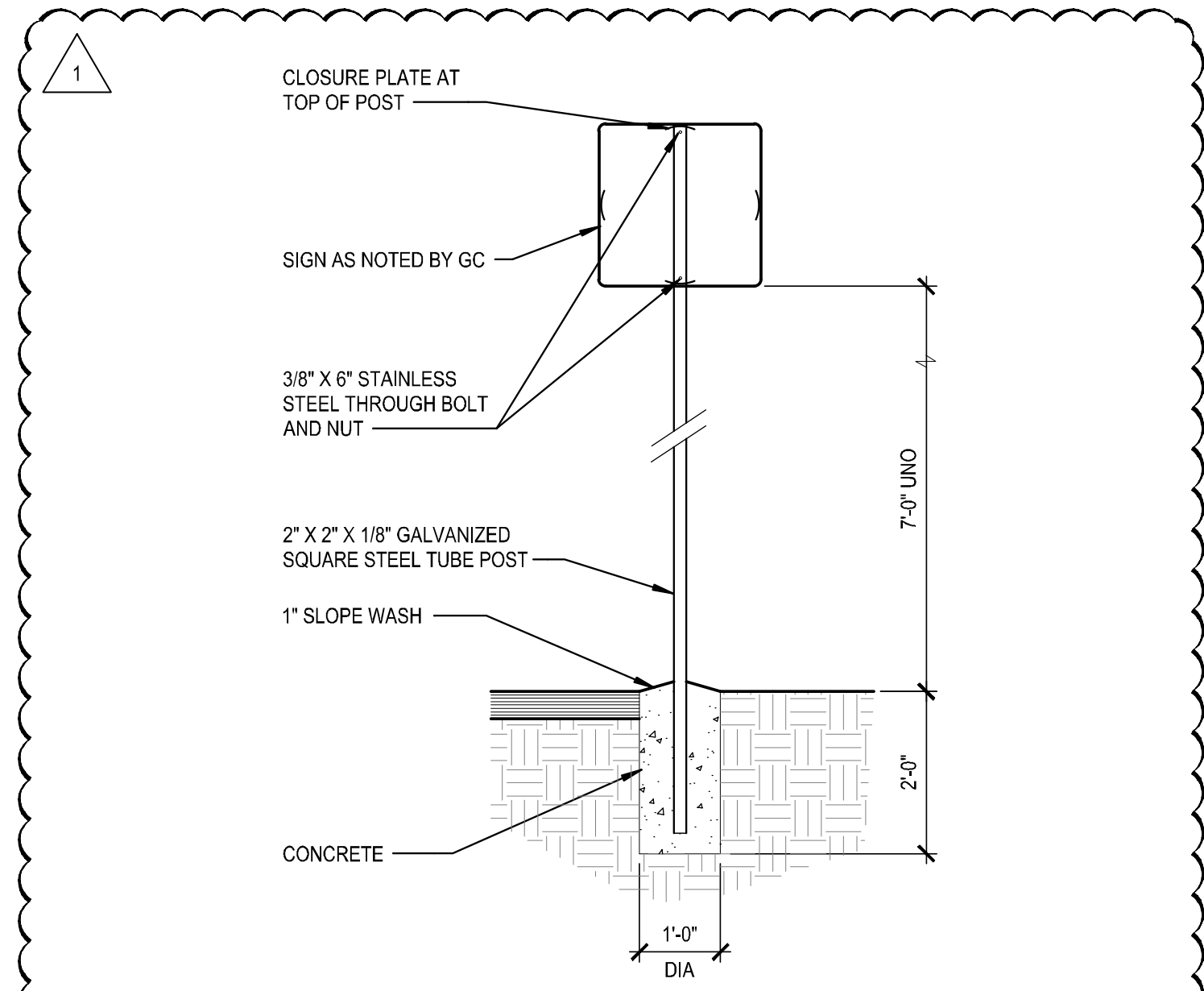
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DATE	DESCRIPTION
08/26/21	PERMIT/ BID SET
12/02/21	PERMIT REVISIONS

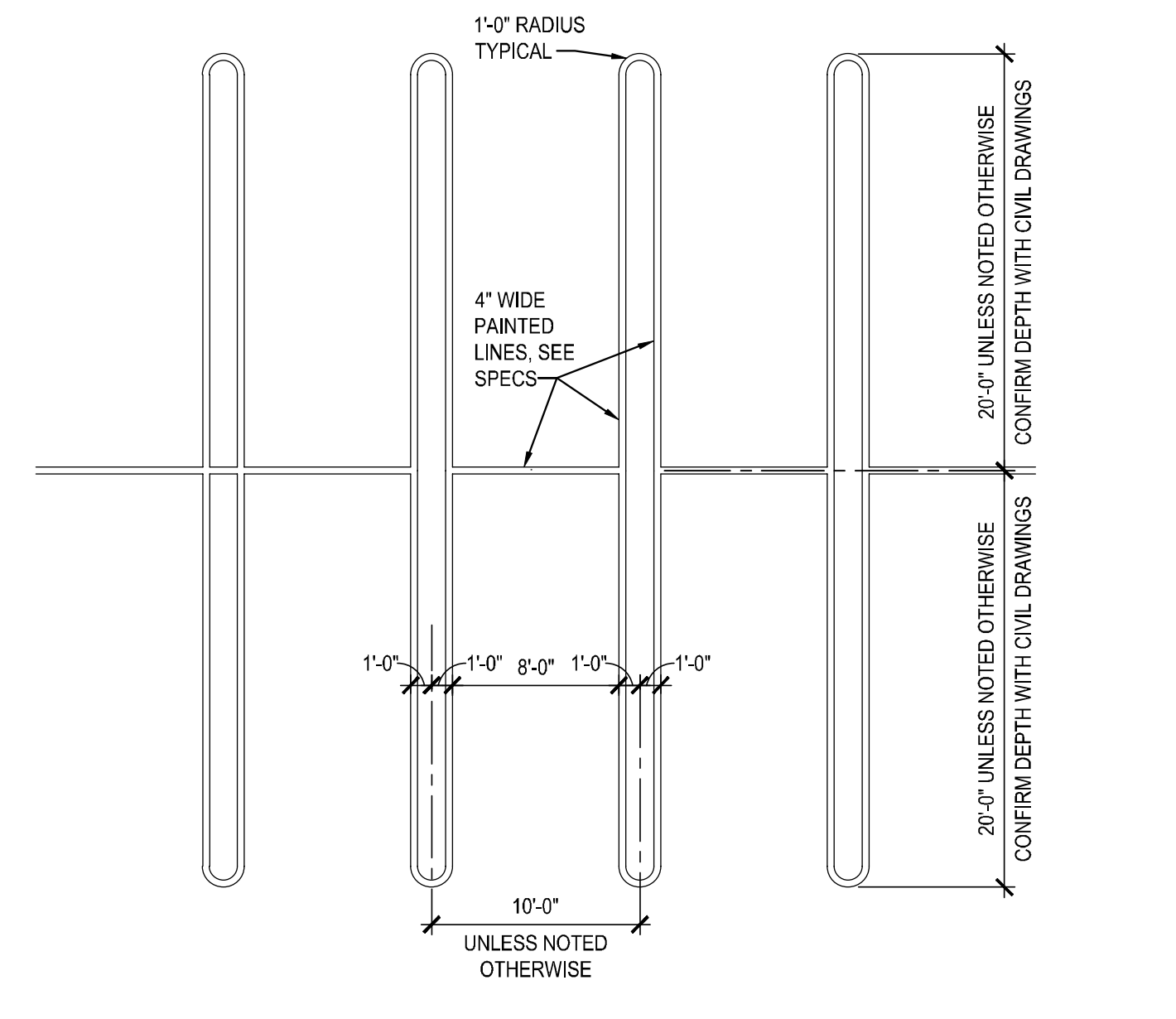
95-1320-26
PM: ALISON MCCLELLAN
DRAWN: LP

TITLE SHEET
& SITE PLAN

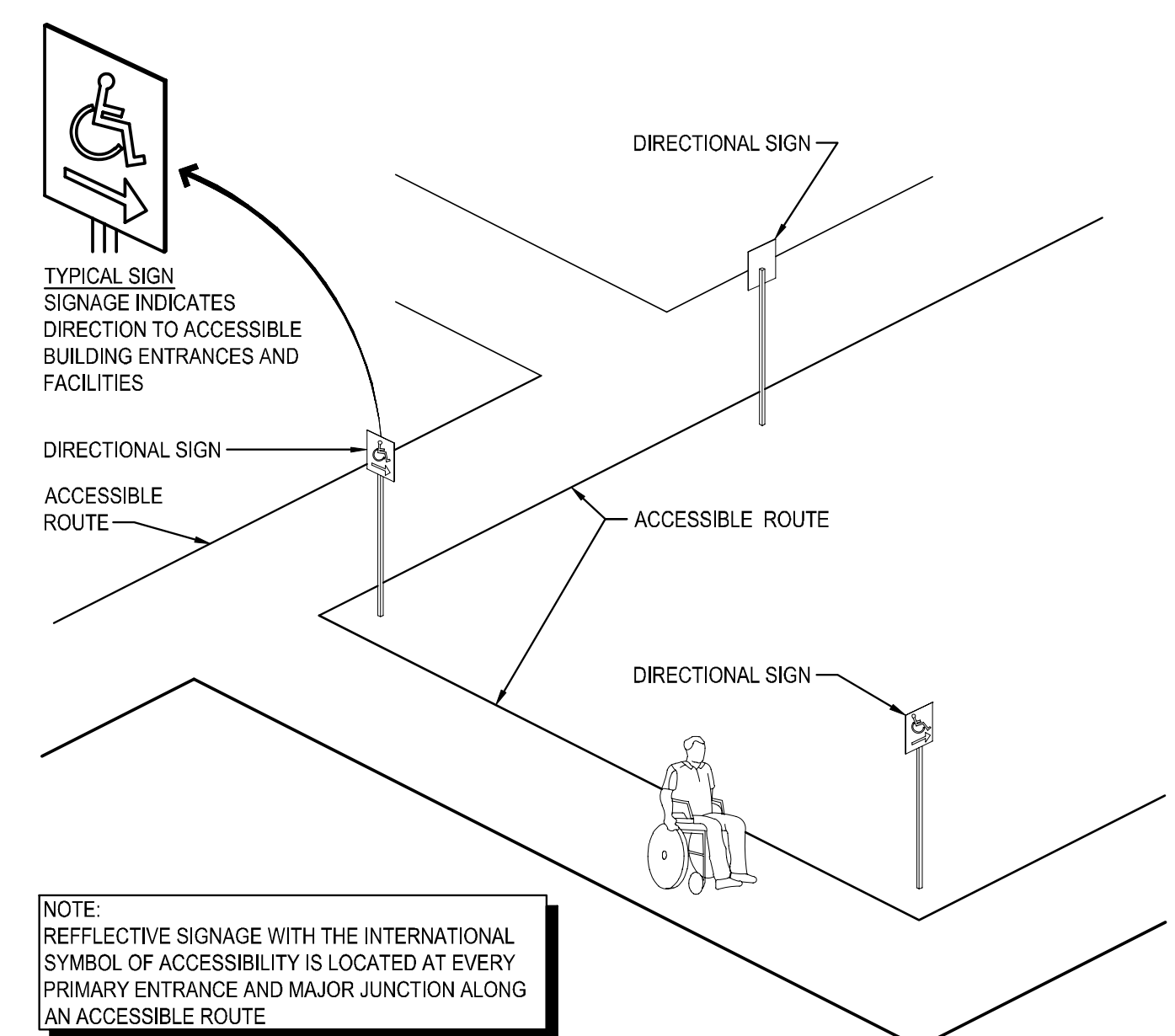
TS101



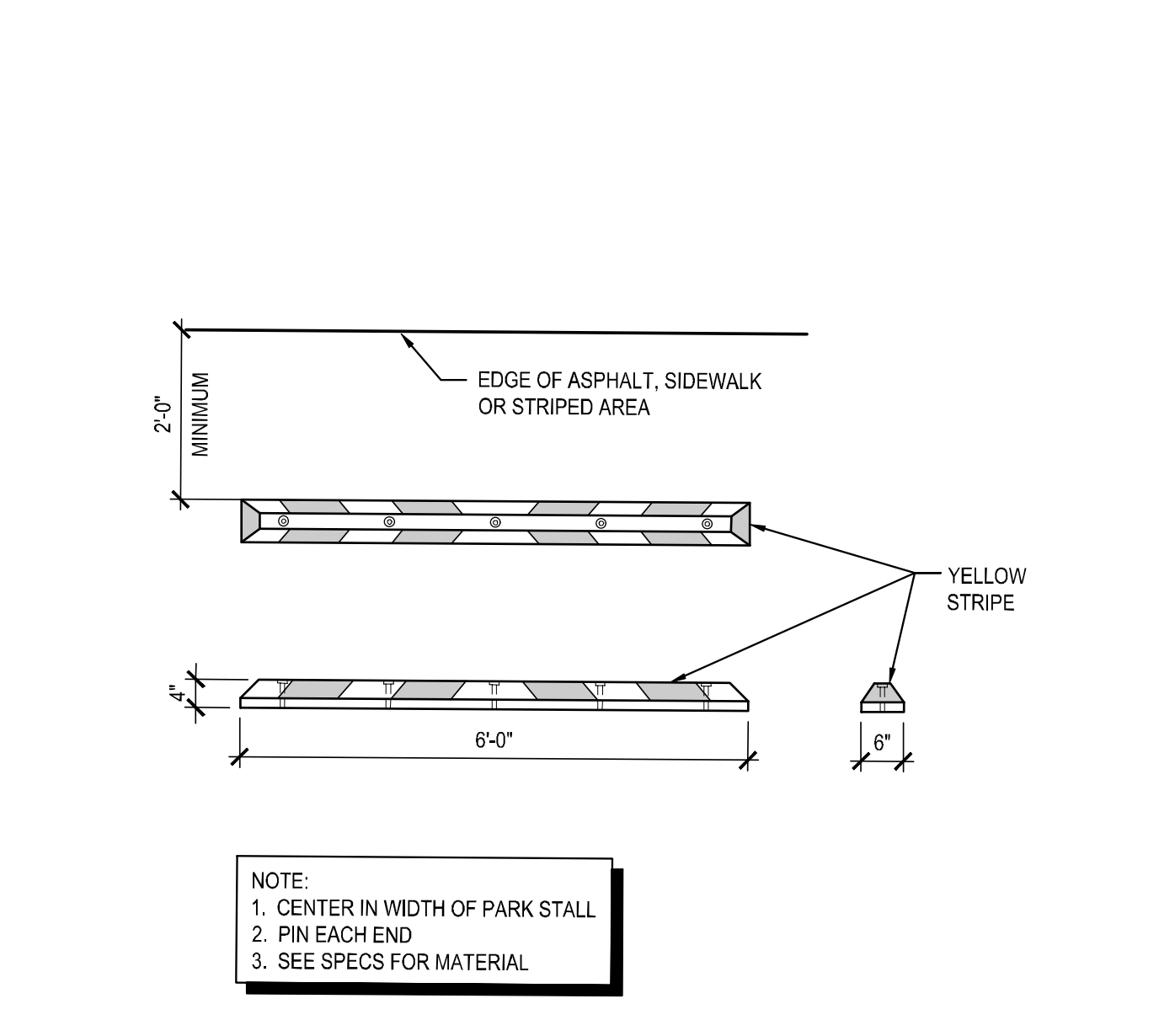
1 SITE SIGNAGE POST
SCALE: 1/2" = 1'-0" 0521



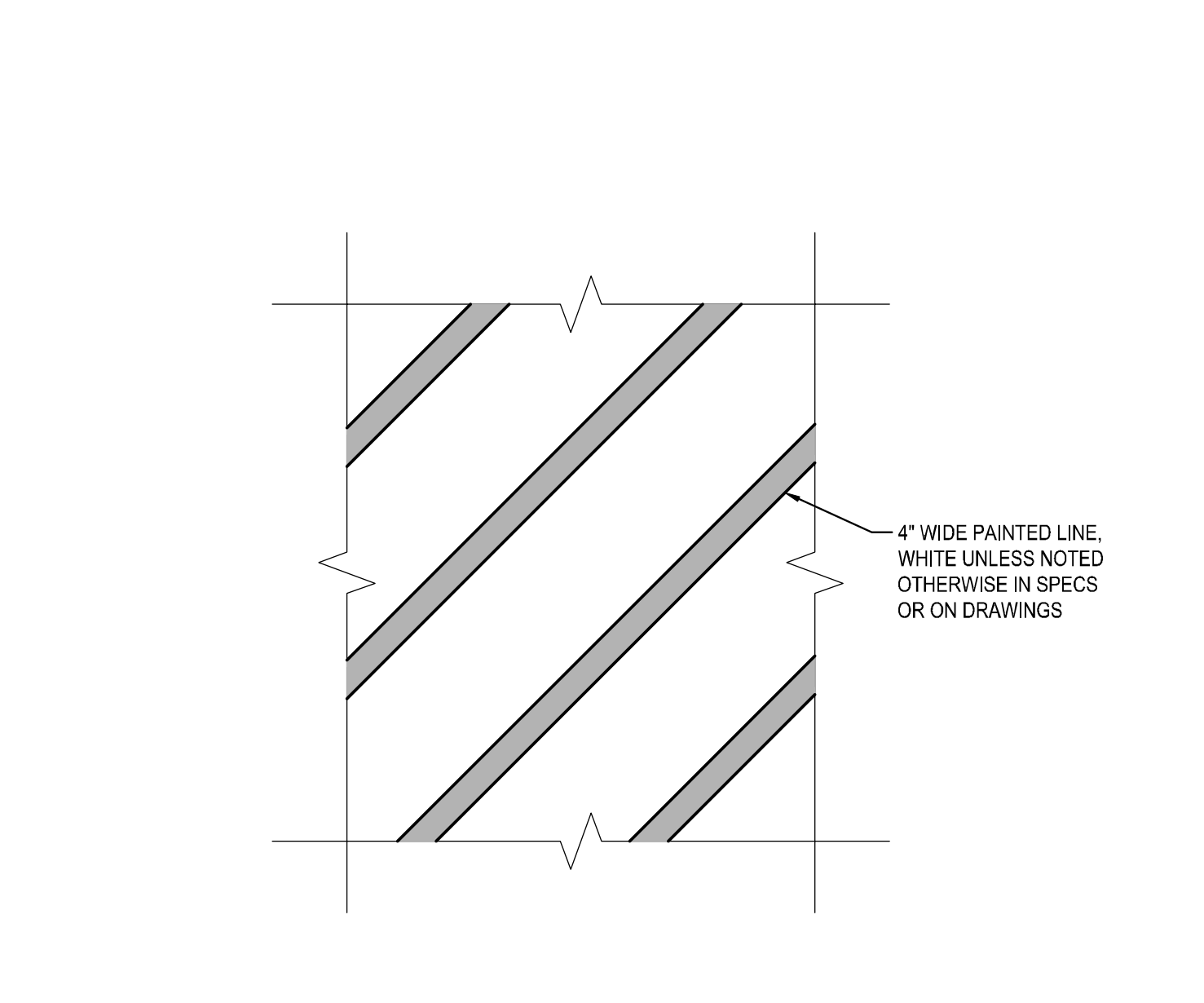
2 TYPICAL PARKING STALL
SCALE: 1/8" = 1'-0" 0917



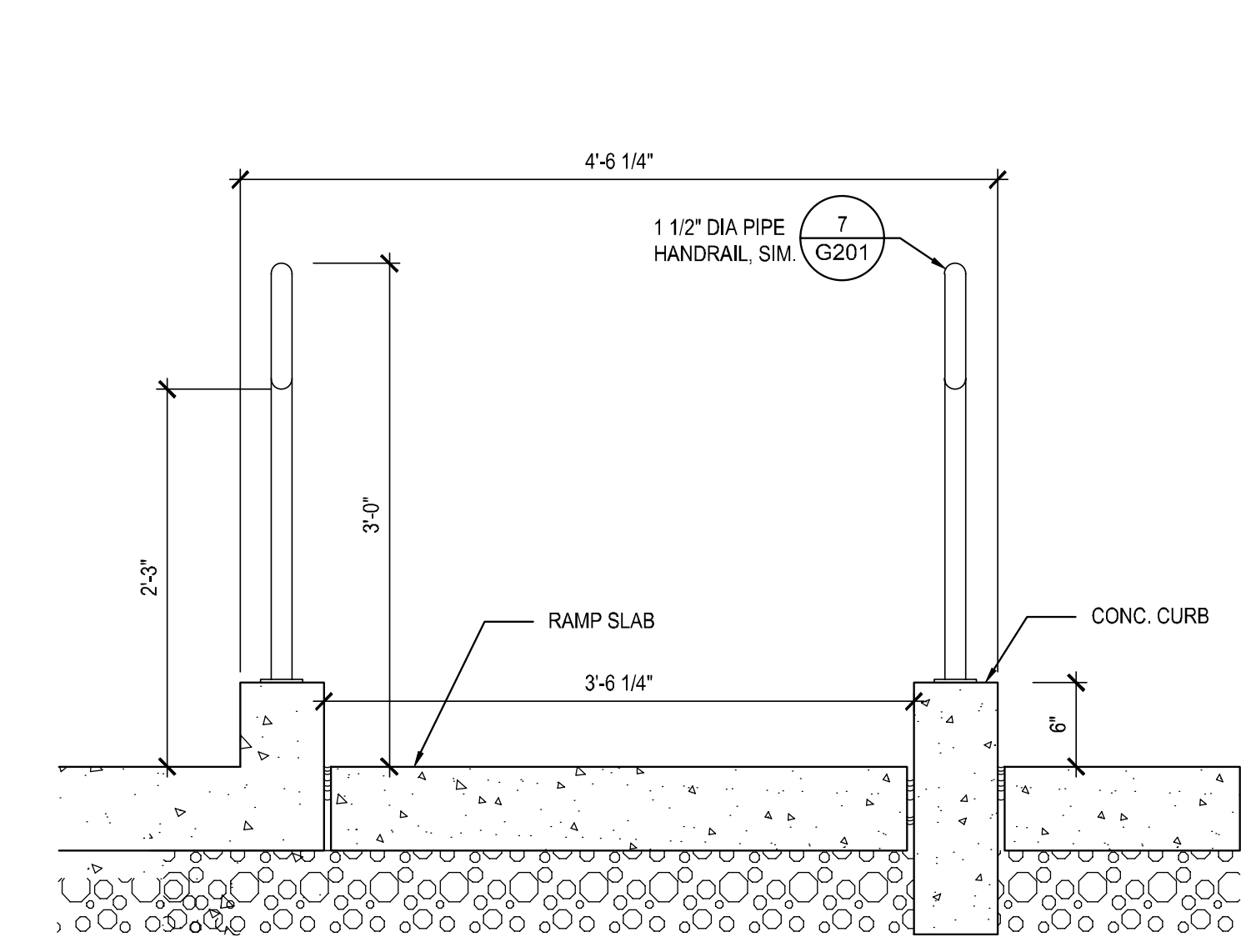
3 SIGNAGE AT ACCESSIBLE ROUTE
SCALE: NOT TO SCALE



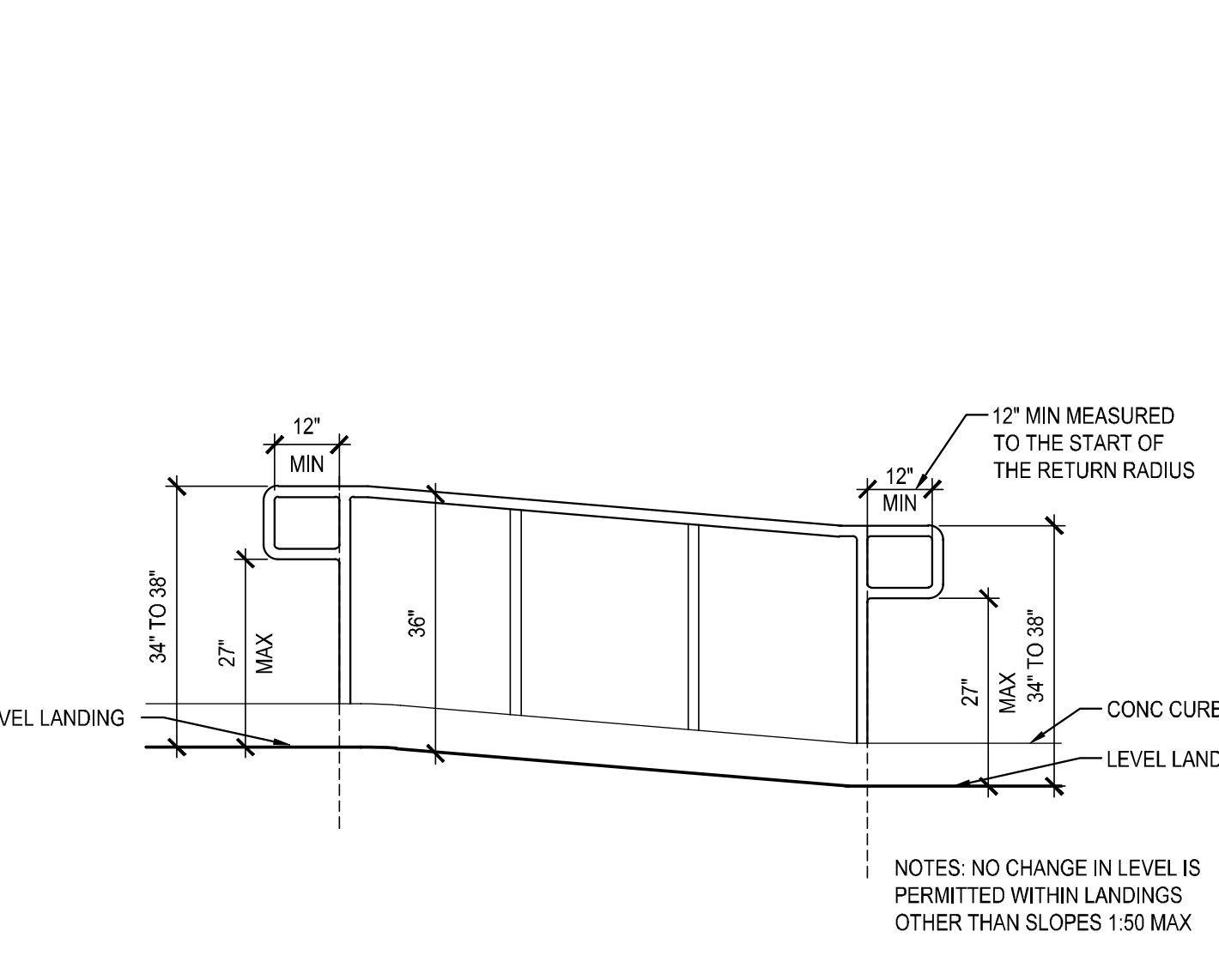
4 WHEEL STOP
SCALE: 1/2" = 1'-0" 0616



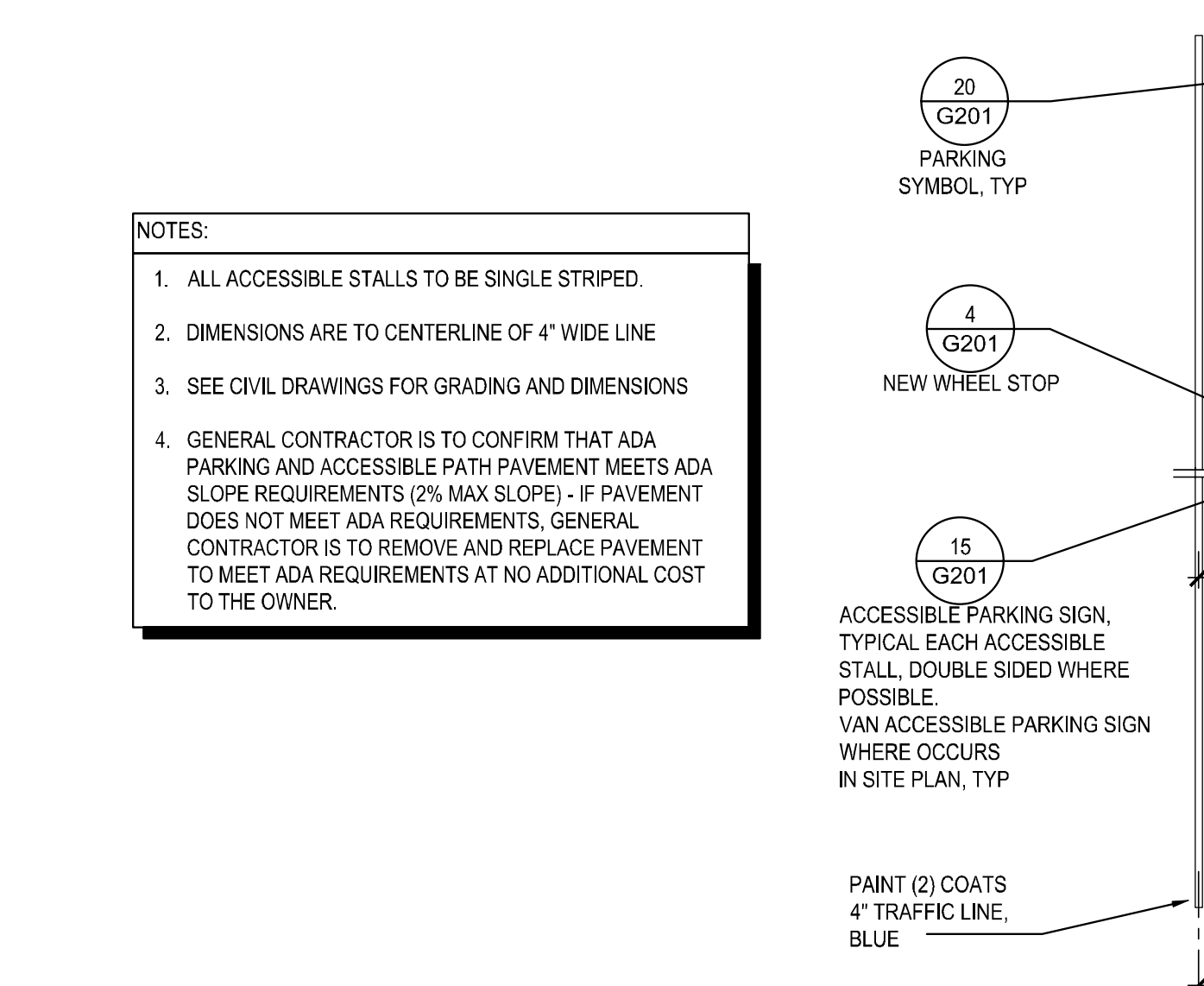
5 PAINTED STRIPE
SCALE: 1/2" = 1'-0" 0515



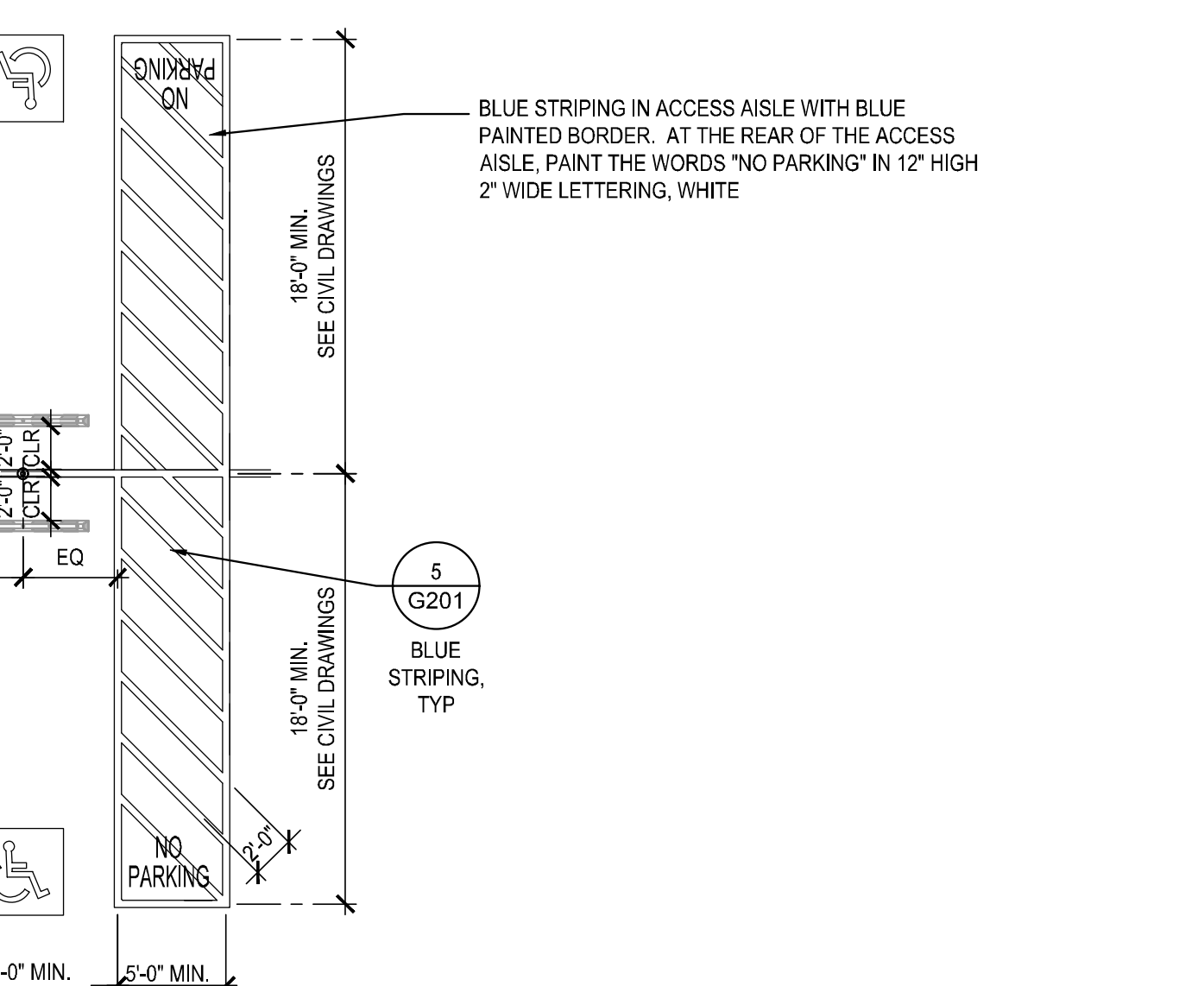
6 RAMP SECTION
SCALE: 1" = 1'-0" 0514



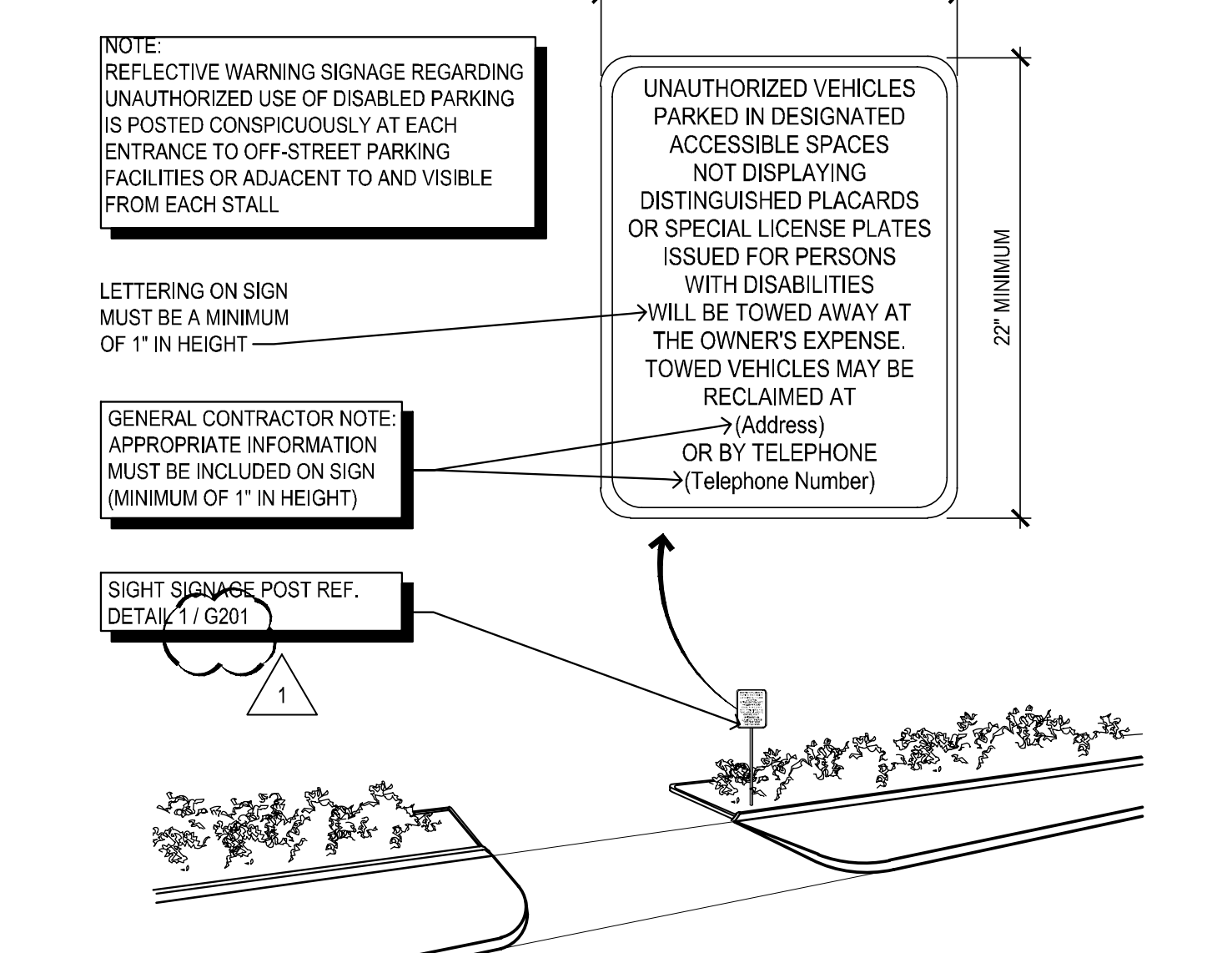
7 HANDRAIL AT WALK RAMP
SCALE: 1/2" = 1'-0" 0914



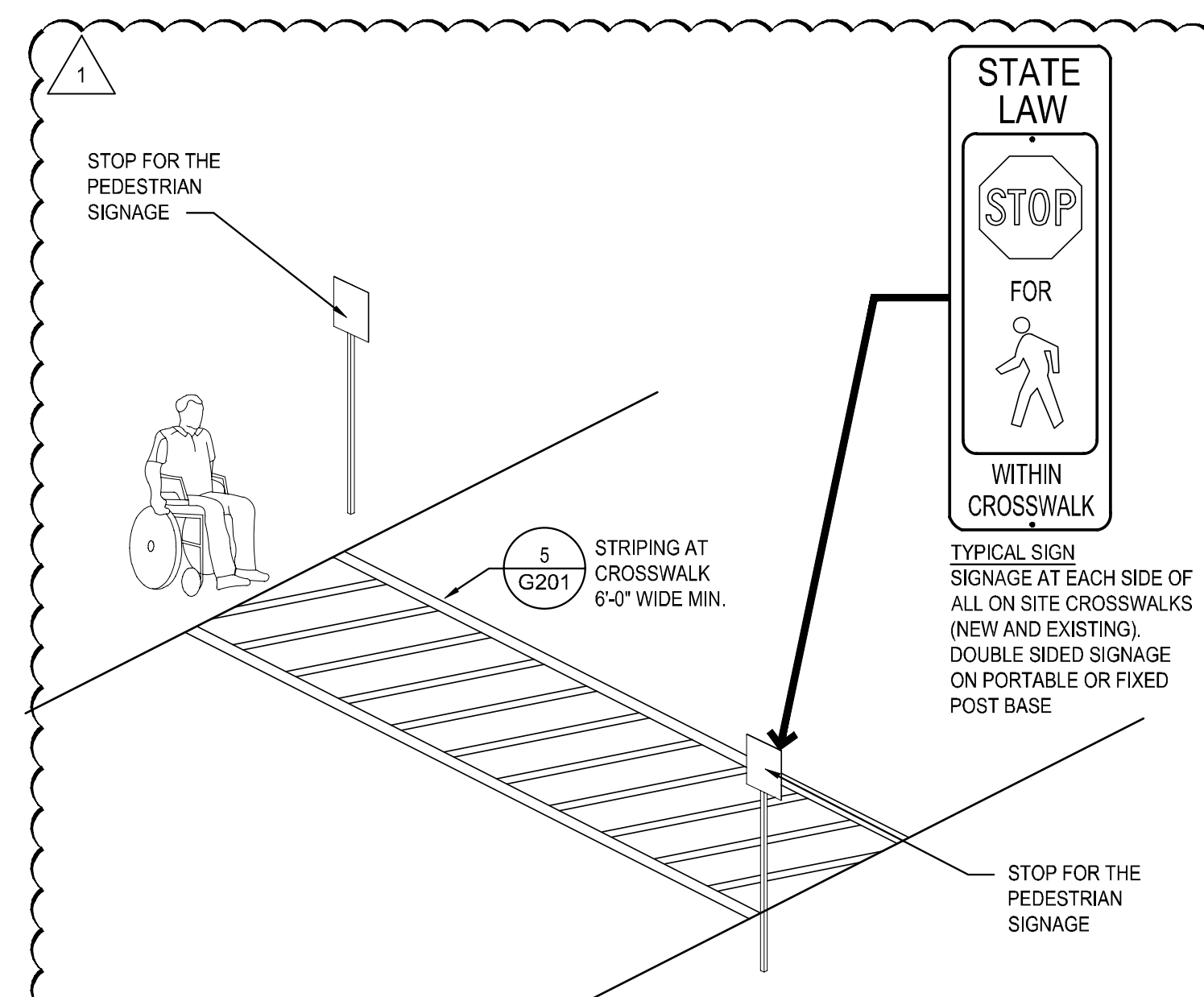
8 ACCESSIBLE PARKING STALLS - HEAD TO HEAD
SCALE: 1/8" = 1'-0" 1217



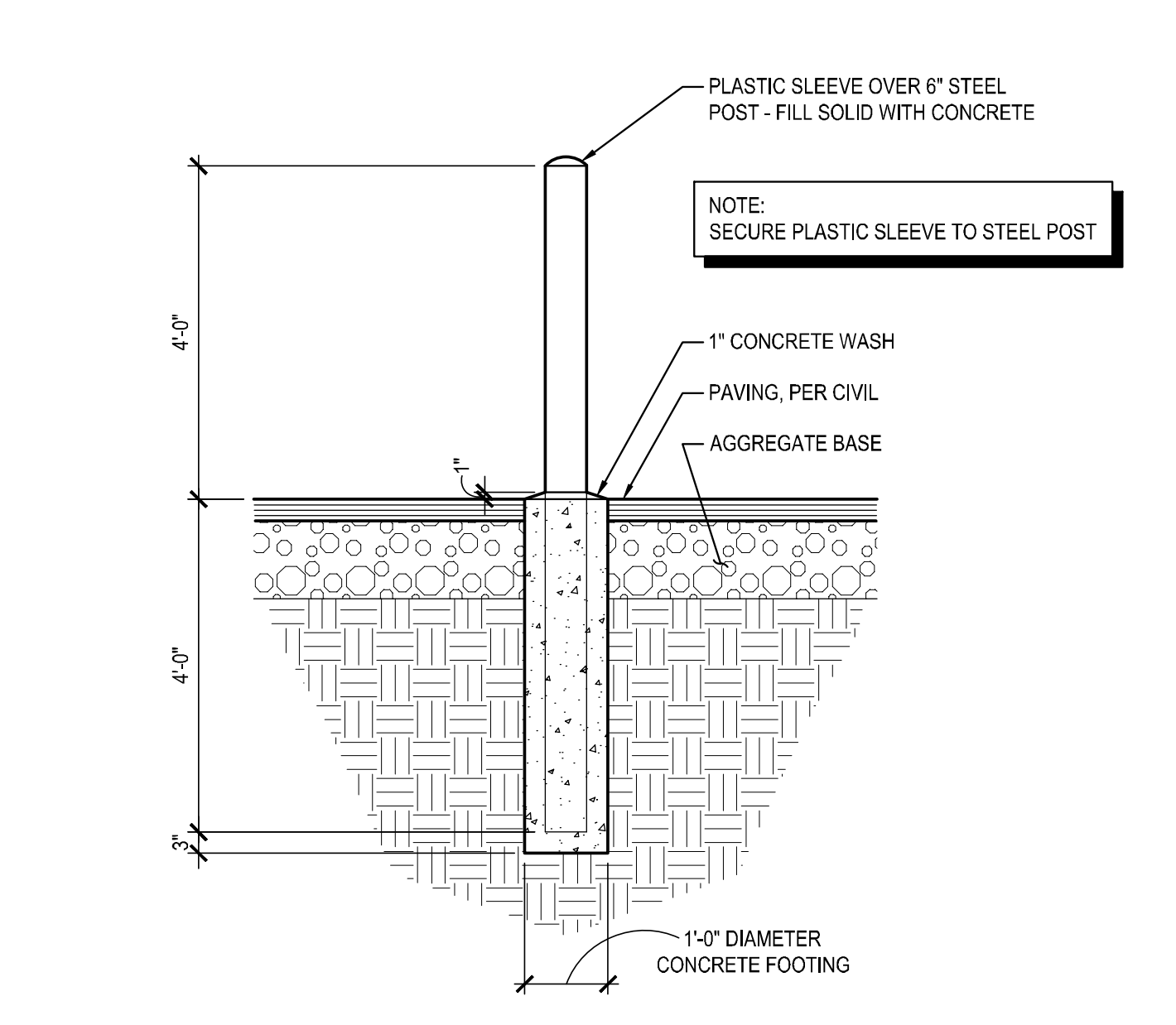
13 ACCESSIBLE PARKING STALLS - WITH ACCESSIBLE WALK
SCALE: 1/8" = 1'-0" 1217



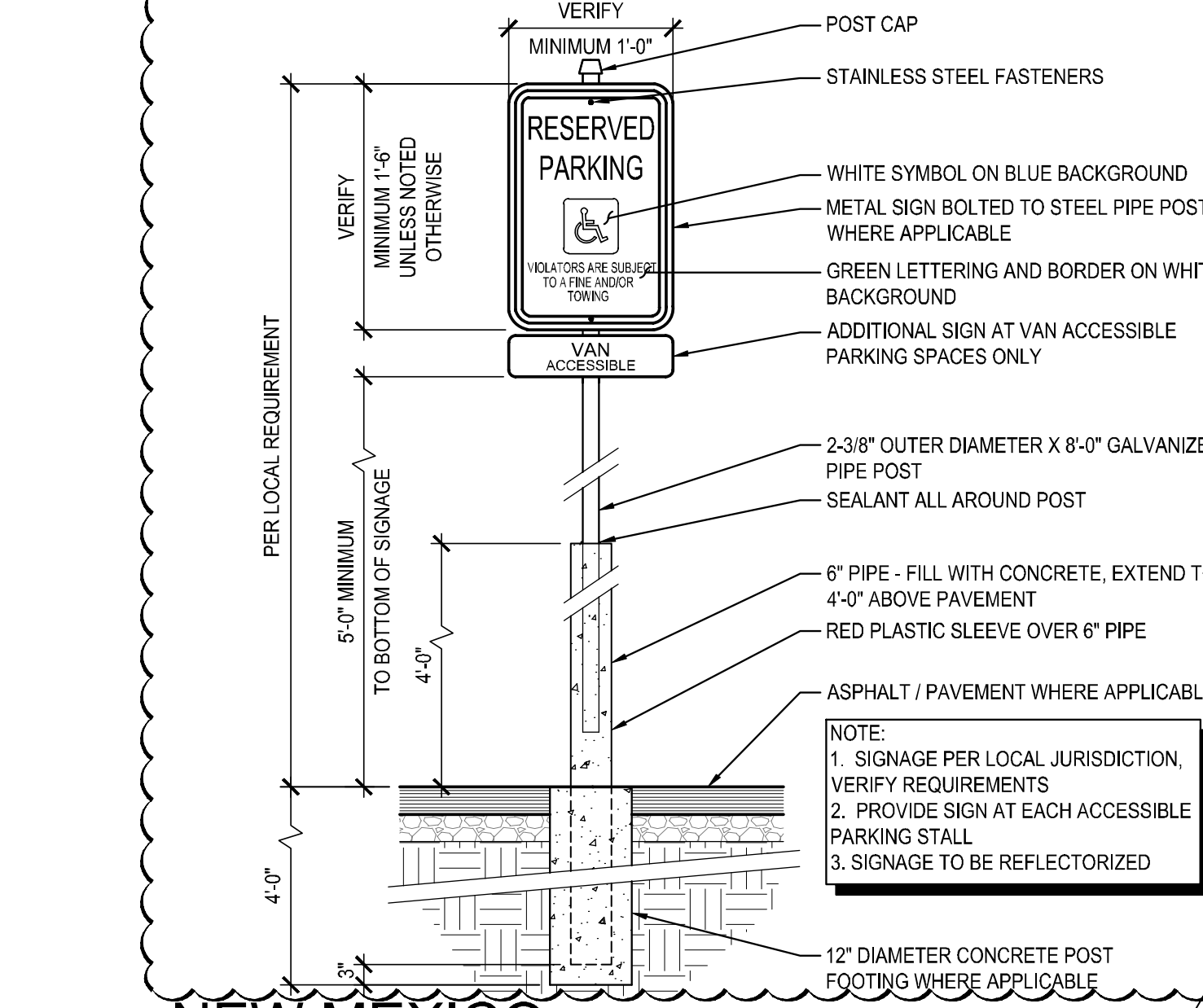
10 SIGNAGE AT SITE ENTRANCE
SCALE: NOT TO SCALE 0512



11 STOP FOR PEDESTRIAN SIGNAGE
SCALE: NOT TO SCALE



12 TYPICAL EXTERIOR BOLLARD
SCALE: 1/2" = 1'-0" 0318



15 NEW MEXICO ACCESSIBLE PARKING SIGN
SCALE: 1/2" = 1'-0" 0514

COSTCO WHOLESALE
ALBUQUERQUE I, NM #116
1420 N RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107

COSTCO WHOLESALE CORPORATION
99 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
WWW.COSTCO.COM

1101 Second Ave, Ste 100
Seattle, WA 98101
206.962.6500
MG2.com

MG2

ADA SITE UPGRADE

MITCHELL C. SMITH, ARCHITECT



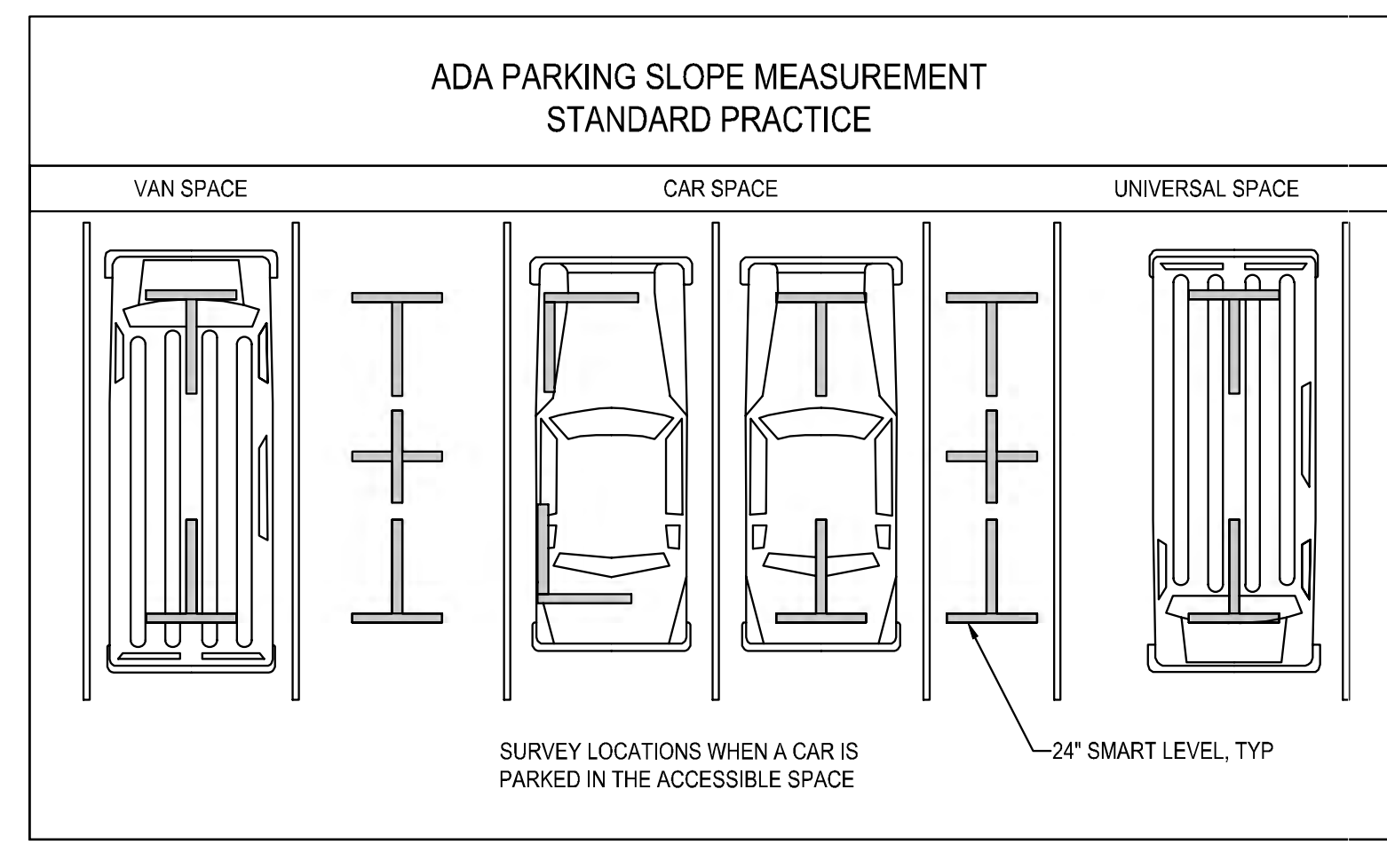
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DATE	DESCRIPTION
08/26/21	PERMIT/ BID SET
1	12/02/21 PERMIT REVISIONS

95-1320-26
PM: ALISON MCCLELLAN
DRAWN: LS

ACCESSIBILITY FEATURES & SITE DETAILS

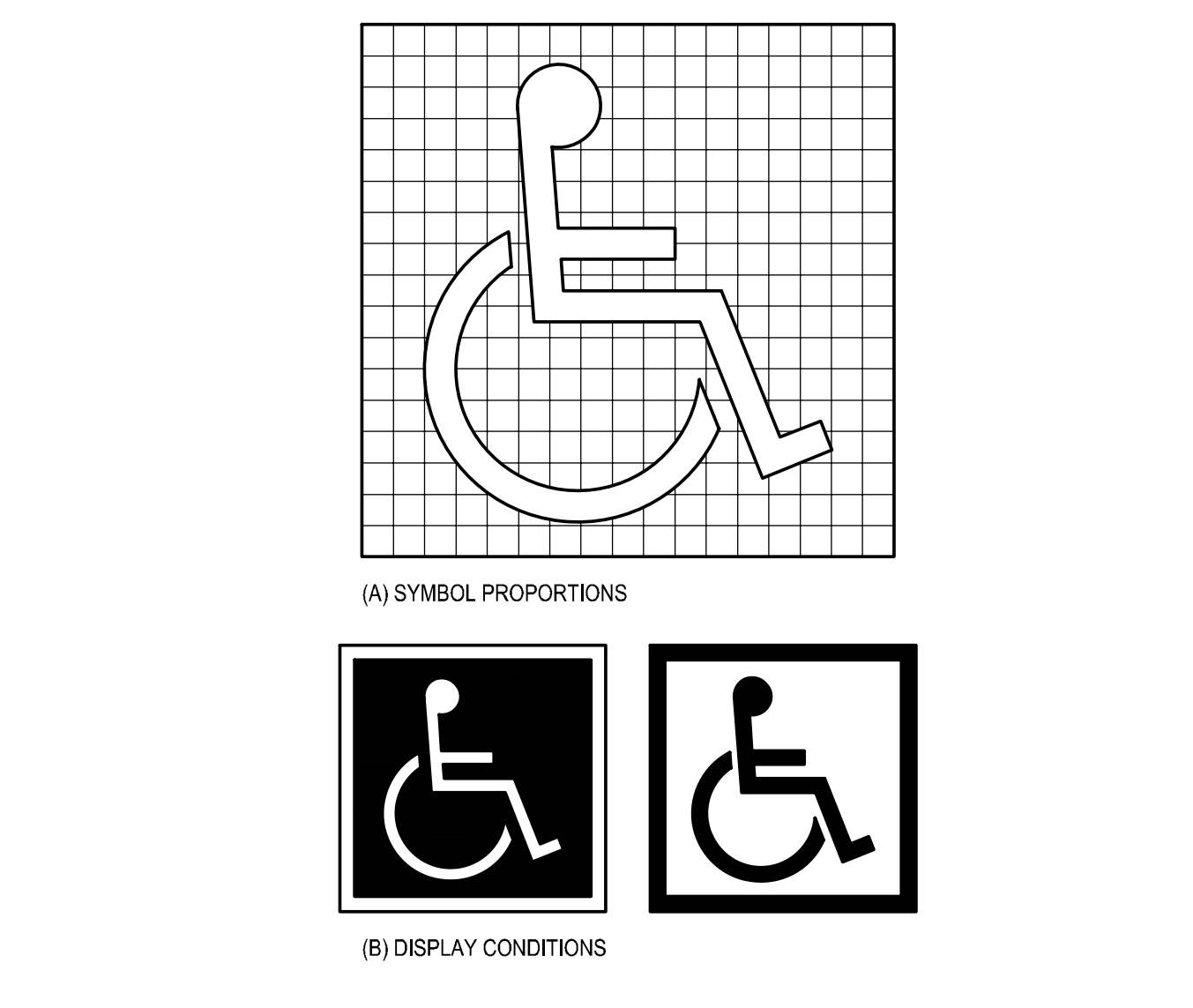
G201



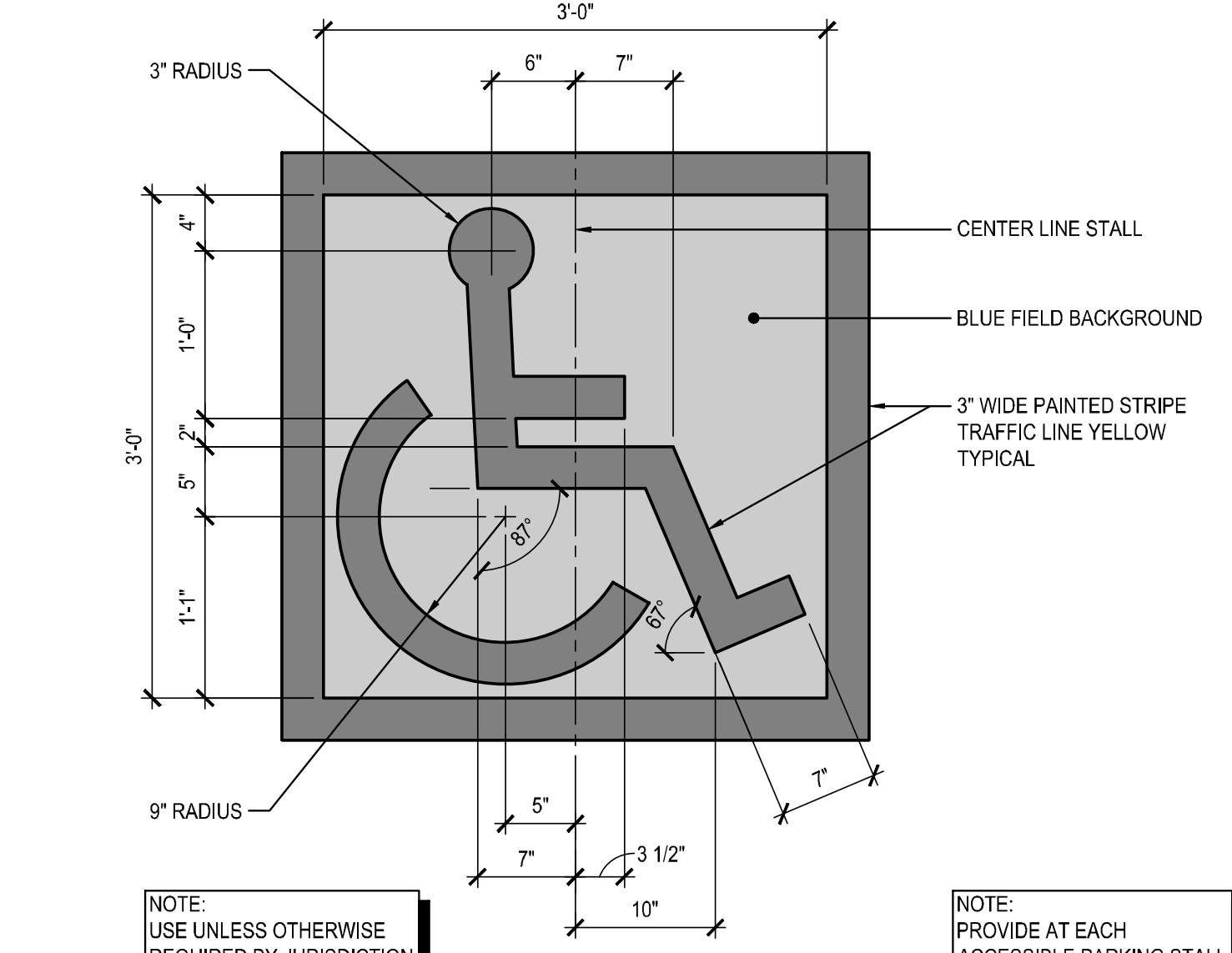
17 SLOPE MEASUREMENT
SCALE: NOT TO SCALE 0120

ACCESSIBILITY GENERAL NOTES:

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL ACCESSIBILITY FEATURES ON SHEETS G201, INCLUDING BUT NOT LIMITED TO THE ACCESSIBLE PARKING CROSS SLOPES, LONGITUDINAL SLOPES, SIGNAGE, STRIPING, MOUNTING HEIGHTS, AND ALL REQUIRED CLEARANCES.
- WHERE APPLICABLE PER THE LIMITED SCOPE SITE PROJECT MANUAL, THE CIVIL ENGINEER OF RECORD WILL CONDUCT A SUBSTANTIAL COMPLETION INSPECTION. THE CIVIL ENGINEER OF RECORD WILL ISSUE A PUNCH LIST TO SUBSTANTIATE THAT WORK HAS BEEN CONSTRUCTED PER THE CONTRACT DOCUMENTS AND THE LIMITED SCOPE SITE PROJECT MANUAL. FINAL PAYMENT AND RETAINAGE TO THE GENERAL CONTRACTOR WILL BE RELEASED WHEN ANY OUTSTANDING PUNCH LIST ITEMS ARE COMPLETED.
- ALL WALL OR POST MOUNTED ITEMS IN CIRCULATION PATHS MUST BE LOCATED WITHIN PROTRUSION LIMITS.
- ALL NON-CONFORMING ITEMS WILL BE DOCUMENTED AND SUBMITTED TO THE GC FOR CORRECTIVE ACTION.
- DIMENSIONS THAT ARE NOT STATED AS "MAXIMUM" OR "MINIMUM" ARE ABSOLUTE. ALL DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.



19 INTERNATIONAL ACCESSIBILITY SYMBOL
SCALE: 1" = 1" 0120



20 ACCESSIBLE PARKING SYMBOL
SCALE: 1" = 1'-0" 0514

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Chavez 3/14/2023
Signed Date

R18_0815 5/28/2021 10:06:48 AM

STANDARD NOTES

ADA SITE IMPROVEMENTS

9955 COORS BLVD BYPASS NW

ALBUQUERQUE, NM 87114

COSTCO WAREHOUSE #116

CITY OF ALBUQUERQUE GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."
2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS ISSUED BY THE CITY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROTECTION OF PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650, SUBPART "P".
6. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR CITY PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATION SECTION 4.4.
8. FOR CIP PROJECTS: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD, CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD, CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
9. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
10. CONTRACTOR SHALL ASSIST THE ENGINEER / INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND APPURTENANCES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS-BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES OR APPURTENANCES UNTIL ALL DATA HAVE BEEN RECORDED.
11. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB & GUTTER, A.D.A. RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
12. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.

WATER AND SEWER:

14. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER. RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER C.O.A. STANDARD DRAWINGS 2460 AND 2461.
15. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
16. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER-PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ON LINE AT: [HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
22. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND / OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH AFFECTED UTILITY COMPANIES AS REQUIRED.
26. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR AT THE SAME LOCATION AS EXISTING OR AS INDICATED ON THIS PLAN SET.
28. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
29. ANY DAMAGE TO THE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALKS, STRIPING, OR SIGNAGE DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
30. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

TRANSPORTATION:

31. CURB & GUTTER, SIDEWALKS, AND DRIVEPADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
32. THE SUBGRADE PREPARATION SHALL EXTEND ONE (1) FOOT BEYOND THE FREE EDGE OF NEW CURB & GUTTER AND SIDEWALK.
33. CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE TWO FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50, OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
34. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
35. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB & GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR SHALL SAW-CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING No. 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.
36. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROJECT WILL HAVE ON THE TRANSIT SYSTEM, SUCH AS CAUSING A DETOUR OR THE CLOSURE OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS GOFF, OFFICE PHONE 724-3157, CELL PHONE 206-0151, OR E-MAIL: [DGOFF@CABQ.GOV](mailto:dgoff@cabq.gov)

OTHER COMMON NOTES:

37. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER WITH CITY APPROVAL.
38. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING WORK.
39. CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, GUYS, ETC., ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTIONS TO CONSTRUCTION OPERATIONS ARE PRESENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
40. PNM WILL PROVIDE, AT NO COST TO THE CITY OR THE CONTRACTOR, THE NECESSARY PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
41. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY; LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION BEGINS.
42. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS/HER FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
43. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO STORM SEWER, WATER LINE, AND/OR SEWER LINE COSTS.
44. CONTRACTOR SHALL SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES, COMMUNICATION CABLES, AND CABLE-TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE SHALL BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE ANY NECESSARY PAYMENT TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES, OR SUPPORT OF CABLES BY THE UTILITY OWNER.
45. ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING No. 2465.
46. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
47. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
48. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
49. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
50. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED, AND RE-SET BY THE CONTRACTOR.
51. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PRE-HISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPD) AT 827-6320.
52. IF OBJECTS OF HISTORICAL, ARCHEOLOGICAL, PALEONTOLOGICAL, OR OTHER OBJECTS OF ANTIQUITY ARE ENCOUNTERED, CONTRACTOR SHALL CEASE OPERATIONS AND IMMEDIATELY NOTIFY OWNER AND PROJECT ENGINEER.

UTILITY CONFLICT NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

2 18/01/21 LHM MESP MFC LAND USE SUBMITTAL		Revision
1 10/15/20 LHM MESP MFC DA SUBMITTAL	Appr.	
No.	Date	By

STANDARD NOTES
 1420 RENAISSANCE BLVD NE
 ALBUQUERQUE, NM 87107
 COSTCO WAREHOUSE #116

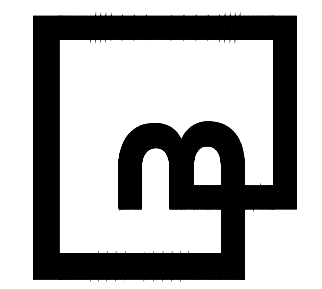
For:

COSTCO WHOLESALE
 COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

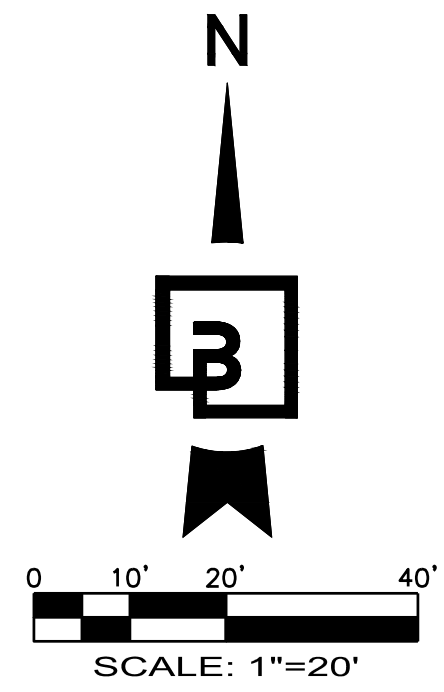


Scale:	Horizontal	N/A	Vertical	N/A
Designed	LHM	Checked	MESP	Approved
Drawn	LHM	Checked	JRS	Date
				10/14/20

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222
barghausen.com



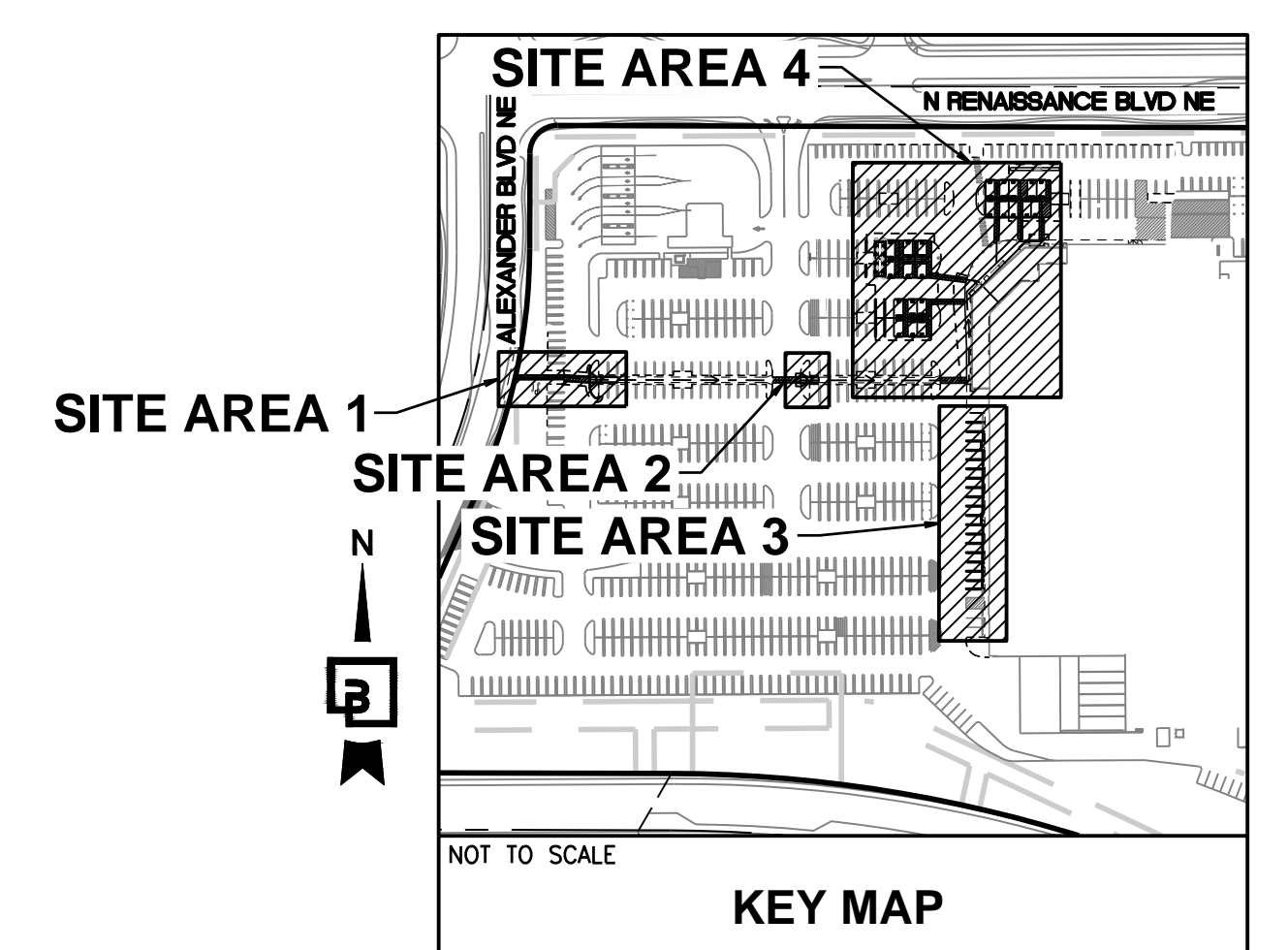
811 Know what's below.
 Call before you dig.
 Dial 811
 Or 1-800-892-0123



SITE AND HORIZONTAL CONTROL PLAN

ADA SITE IMPROVEMENTS

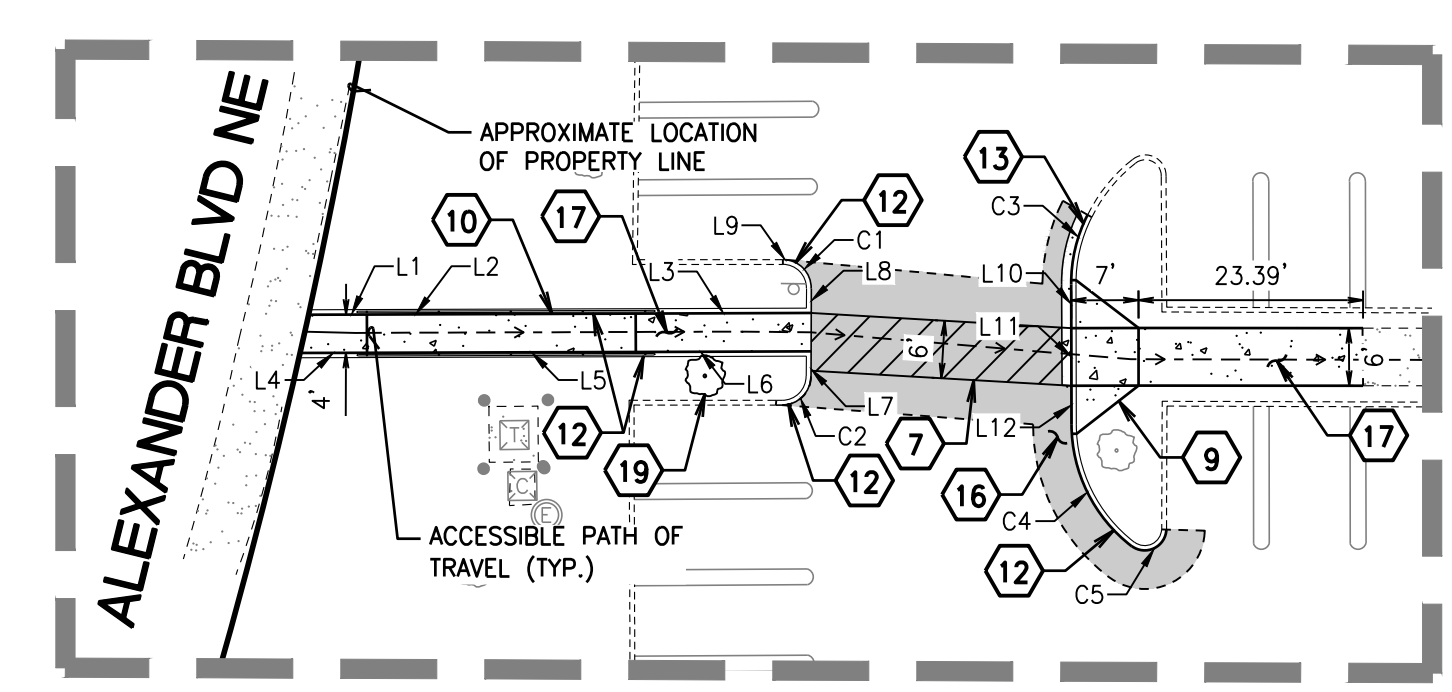
1420 RENAISSANCE BLVD NE ALBUQUERQUE, NM 87107 COSTCO WAREHOUSE #116



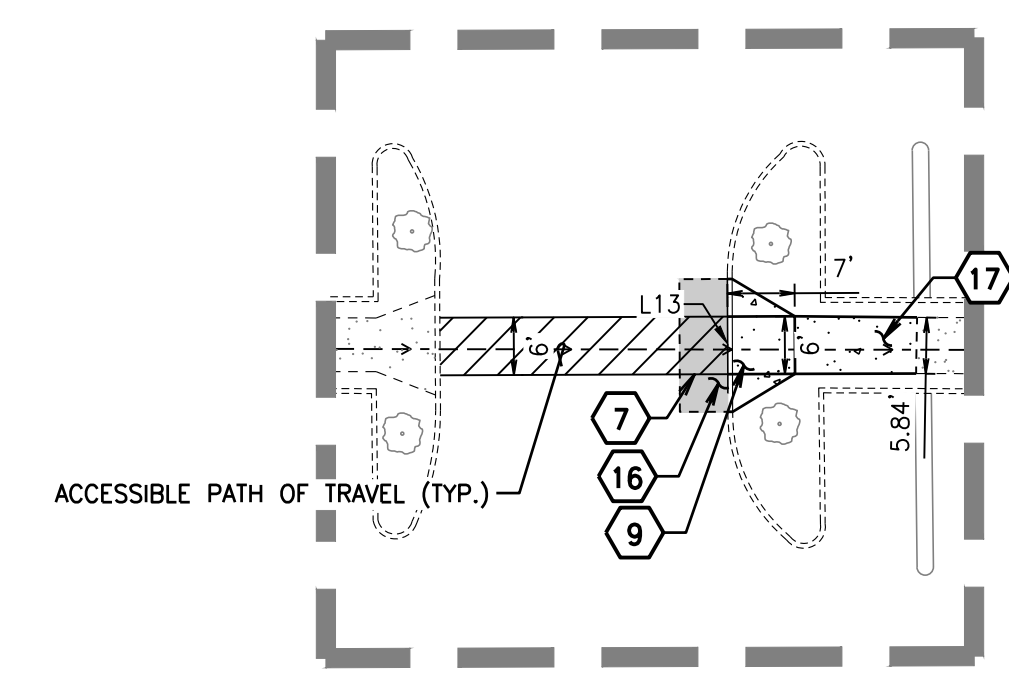
WHEEL STOP NOTE:
RETAINED EXISTING WHEEL STOPS SHALL BE PLACED IN REGULAR PARKING STALLS ONLY. ACCESSIBLE STALLS SHALL HAVE NEW WHEEL STOPS.

7 SITE IMPROVEMENT SCHEDULE:

1. PROPOSED ADA STALLS AND STRIPING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
2. PROPOSED ADA VAN STALLS AND STRIPING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
3. PROPOSED PARKING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
4. PROPOSED WHEEL STOP (TYP.) SEE ARCHITECTURAL PLANS FOR DETAILS.
5. PROPOSED ADA SIGN (TYP.) SEE ARCHITECTURAL PLANS FOR DETAILS.
6. PROPOSED ADA VAN ACCESSIBLE SIGN TO BE ADDED TO VAN STALLS (TYP.) SEE ARCHITECTURAL PLANS FOR DETAILS.
7. PROPOSED CROSS WALK STRIPING AND MARKING. SEE ARCHITECTURAL PLANS FOR DETAILS.
8. PROPOSED BOLLARD SEE ARCHITECTURAL PLANS FOR DETAILS.
9. PROPOSED ADA CURB RAMP. SEE SHEET C4.0 FOR GRADING DETAILS.
10. PROPOSED 28'X4' ACCESSIBLE RAMP WITH HAND RAILINGS. SEE SHEET C4.0 FOR GRADING DETAILS AND ARCHITECTURAL PLANS FOR HANDRAIL DETAILS.
11. 3' CONCRETE SWALE (TYP.). SEE DETAIL ON SHEET C5.0. SEE GRADING PLAN FOR ELEVATIONS.
12. PROPOSED BARRIER CURB. SEE DETAIL ON SHEET C5.0.
13. PROPOSED CURB AND GUTTER. SEE DETAIL ON SHEET C5.0.
14. PROPOSED REINFORCED FLUSH CURB CONCRETE WALK. MATCH EXISTING DEPTH AND AT A MINIMUM MATCH DETAIL ON SHEET C5.0. SAWCUT AT JOINT, REPLACE FULL CONCRETE PANEL. ALTERNATIVE TO FULL PANEL REPLACEMENT USE DOWEL DETAIL ON SHEET C5.0.
15. PROPOSED HEAVY-DUTY FULL-DEPTH ASPHALT PAVEMENT. SEE PAVING SECTION DETAIL ON SHEET C5.0.
16. PROPOSED LIGHT-DUTY FULL-DEPTH ASPHALT PAVEMENT. SEE PAVING SECTION DETAIL ON SHEET C5.0.
17. PROPOSED CONCRETE SIDEWALK. MATCH EXISTING DEPTH AND AT A MINIMUM MATCH DETAIL SHEET ON C5.0. REPLACE FULL CONCRETE PANEL.
18. REPLACE EXISTING CART CORRAL. SEE ARCHITECTURAL PLANS FOR DETAILS.
19. PROPOSED 2" MINIMUM CALIPER TREE OF SIMILAR SPECIES OF REMOVED TREE PER CITY OF ALBUQUERQUE MUNICIPAL CODE SECTION 5-6(C)(6). SEE DECIDUOUS TREE PLANTING/STAKING DETAIL ON SHEET C5.0.
20. ADJUST EXISTING CB RIM TO FINISH GRADE. REPLACE CONCRETE AROUND CB MATCHING EXISTING CONCRETE SECTION IN-KIND. SAWCUT AT JOINT, REPLACE FULL CONCRETE PANEL. ALTERNATIVE TO FULL PANEL REPLACEMENT USE DOWEL DETAIL ON SHEET C5.0.



SITE AREA #1
SCALE: 1" = 20'



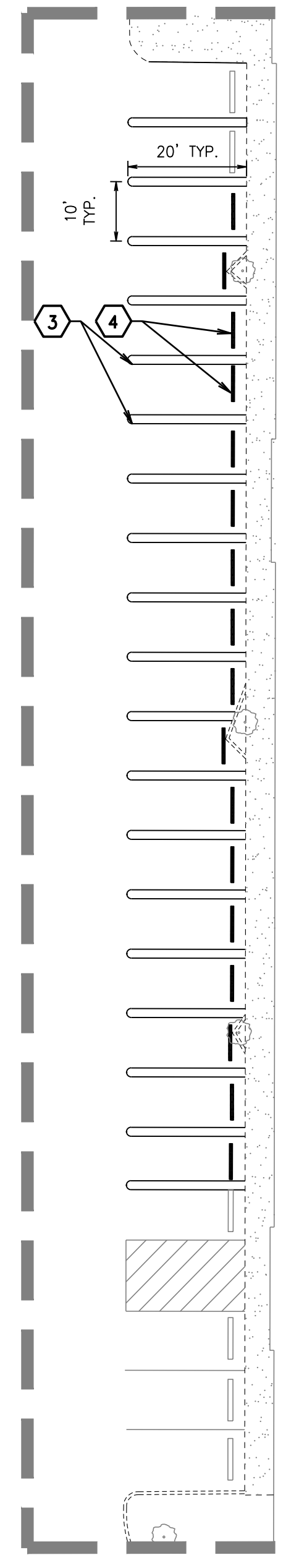
SITE AREA #2
SCALE: 1" = 20'

LINE TABLE

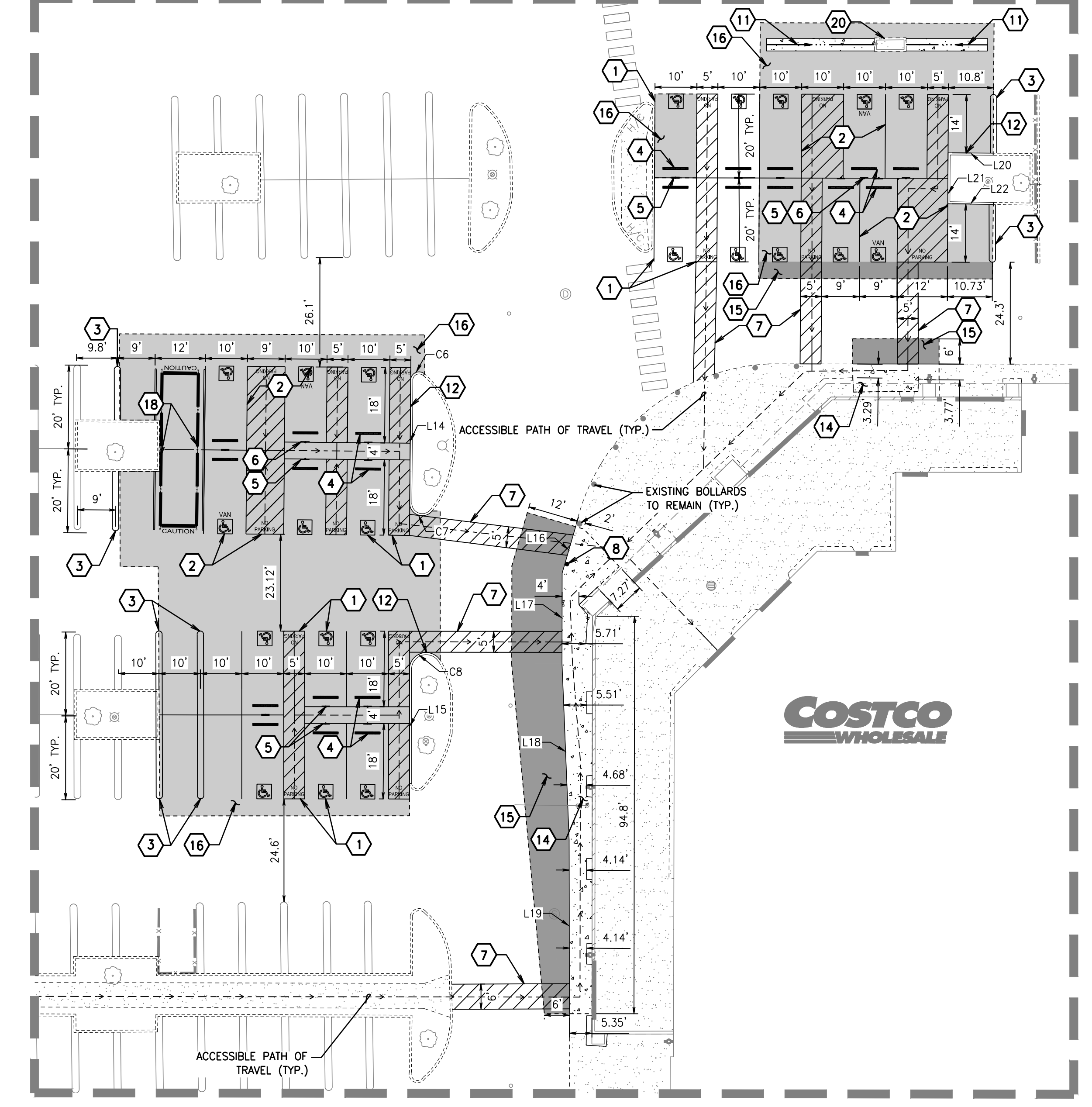
Line #	Length	Direction
L1	6.06	S89° 48' 47.17"W
L2	28.00	S89° 48' 59.22"W
L3	18.29	S89° 48' 28.72"W
L4	7.00	N89° 49' 38.37"E
L5	28.00	N89° 49' 53.47"E
L6	18.26	N89° 49' 13.77"E
L7	2.59	S0° 09' 09.41"W
L8	2.56	S0° 09' 09.41"W
L9	0.32	S86° 53' 22.01"E
L10	5.00	N0° 04' 14.51"W
L11	6.00	N0° 06' 32.97"W
L12	4.00	N0° 06' 32.97"W
L13	10.00	N0° 13' 46.69"W
L14	29.44	N0° 28' 53.00"E
L15	27.23	N0° 02' 23.11"W
L16	11.50	S16° 10' 48.65"W
L17	21.50	S0° 05' 23.99"W
L18	42.21	S2° 18' 14.68"E
L19	41.05	S0° 06' 50.29"E
L20	10.76	S89° 37' 40.43"E
L21	12.13	N0° 20' 43.53"E
L22	10.87	N89° 03' 31.34"W

CURVE TABLE

Curve #	Length	Radius	Delta
C1	4.36	3.00	83.38
C2	4.71	3.00	89.93
C3	7.07	15.50	26.15
C4	14.68	16.00	52.58
C5	4.97	2.25	126.55
C6	4.41	2.00	126.08
C7	7.42	3.00	141.75
C8	10.29	4.00	147.47



SITE AREA #3
SCALE: 1" = 20'



SITE AREA #4
SCALE: 1" = 20'

ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 48" IN WIDTH, HAVE A MAXIMUM 2.0% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH FEDERAL ACCESSIBILITY STANDARDS (SECTION 405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20).

UTILITY CONFLICT NOTE:

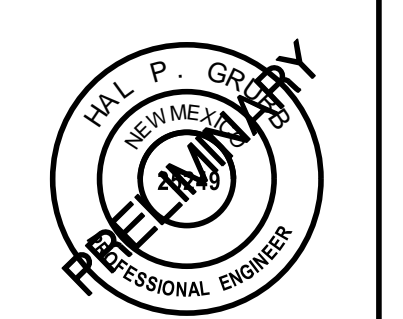
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE # 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



No.	Date	By	Chd.	Appr.	Revision
2	8/31/21	LRH	MESP	HPG	LAND USE SUBMITTAL
1	10/15/20	LRH	MESP	HPG	OA SUBMITTAL

Title:
SITE AND HORIZONTAL CONTROL PLAN
1420 RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107
COSTCO WAREHOUSE #116

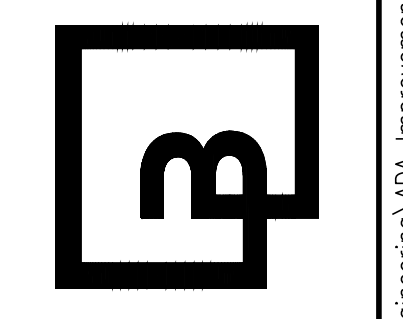
For:
Costco Wholesale
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



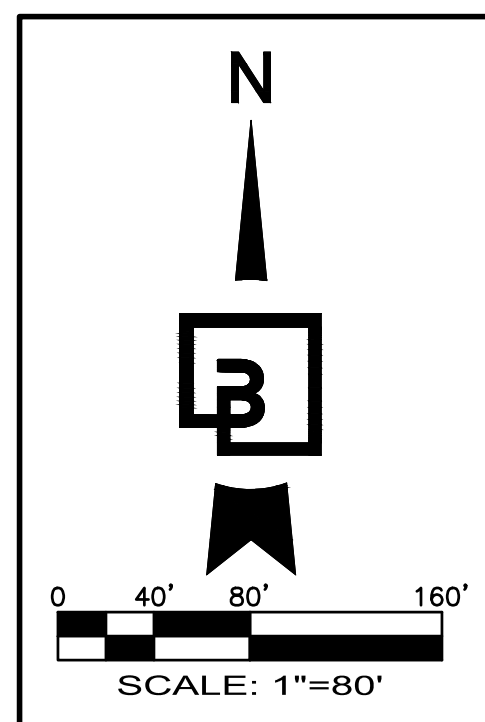
Scale:
Horizontal 1" = 20'
Vertical N/A

Designed: LRH
Drawn: LRH
Checked: MESP
Approved: HPG
Date: 10/14/20

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



Job Number: 10896
Sheet: C30 of 9



GRADING AND DRAINAGE NARRATIVE:

THE SITE IS CURRENTLY DEVELOPED WITH AN EXISTING COSTCO WAREHOUSE, FUEL FACILITY, PARKING, STORMWATER FACILITIES, AND LANDSCAPING. STORMWATER RUNOFF IS DETAINED ON-SITE IN PARKING LOT PONDS AND THEN CONVEYED THROUGH A CLOSED CONVEYANCE SYSTEM TO THE STORM SYSTEM IN ALEXANDER BOULEVARD NE. THE EXISTING STORM SYSTEM WAS DESIGNED IN THE ORIGINAL WAREHOUSE DRAINAGE REPORT AND PLAN DATED JULY 18 1996 AND APPROVED AUGUST 5, 1996 (F16-056). THE ORIGINAL RENAISSANCE MASTER PLAN ALLOWS FOR 0.1 CFS/ACRE TO LEAVE THE SITE. THE SITE IS 14.8 ACRES MAKING AN ALLOWED DISCHARGE OF 1.48 CFS. THE SITE IS CURRENTLY DESIGNED TO DISCHARGE 1.37 CFS. EXISTING GRADES WITHIN THE PAVED AREAS ARE RELATIVELY FLAT WITH SLOPES RANGING FROM 0.5 TO 5 PERCENT.

THE PROPOSED IMPROVEMENTS TO THE COSTCO PARKING LOT ARE LARGELY IN BASIN/POND 9 OF THE EXISTING SITE'S CONVEYANCE SYSTEM WHICH HAS AN EXISTING INLET WITH STORMWATER QUALITY VOLUME MEASURES VI THE PARKING LOT DETENTION.

THE IMPROVEMENTS INCLUDE RELOCATING AND REPAVING ADA STALLS AND REPAVING RAMPS, AND SIDEWALKS WITHIN THE DESIGNATED PATH OF ACCESSIBILITY TO UPGRADE THE PARKING LOT TO LATEST ADA STANDARDS. THE PROPOSED IMPROVEMENTS WILL RESULT IN A NEGLIGIBLE NET INCREASE OF IMPERVIOUS AREA AND IS THEREFORE NOT ANTICIPATED TO INCREASE DISCHARGE FLOWS OR NEGATIVELY IMPACT THE EXISTING STORM SYSTEM.

THE SUBJECT SITE IS NOT LOCATED WITHIN A FLOOD ZONE PER FEMA FIRM NO. 35001C0138H DATED AUGUST 16, 2012.

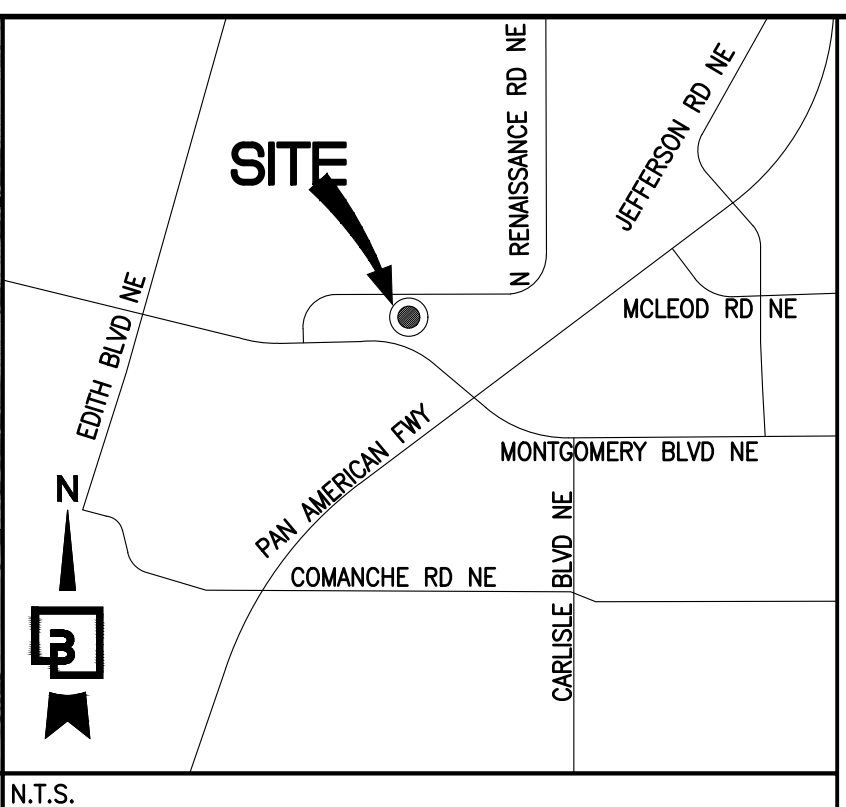
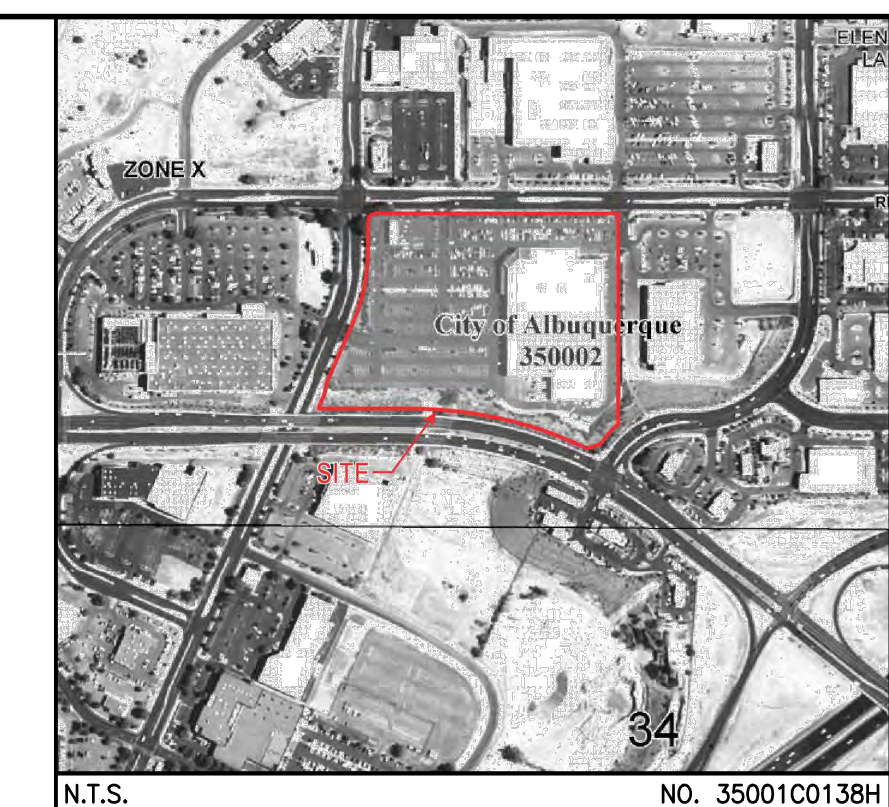
GRADING AND DRAINAGE PLAN

ADA SITE IMPROVEMENTS

1420 RENAISSANCE BLVD NE

ALBUQUERQUE, NM 87107

COSTCO WAREHOUSE #116

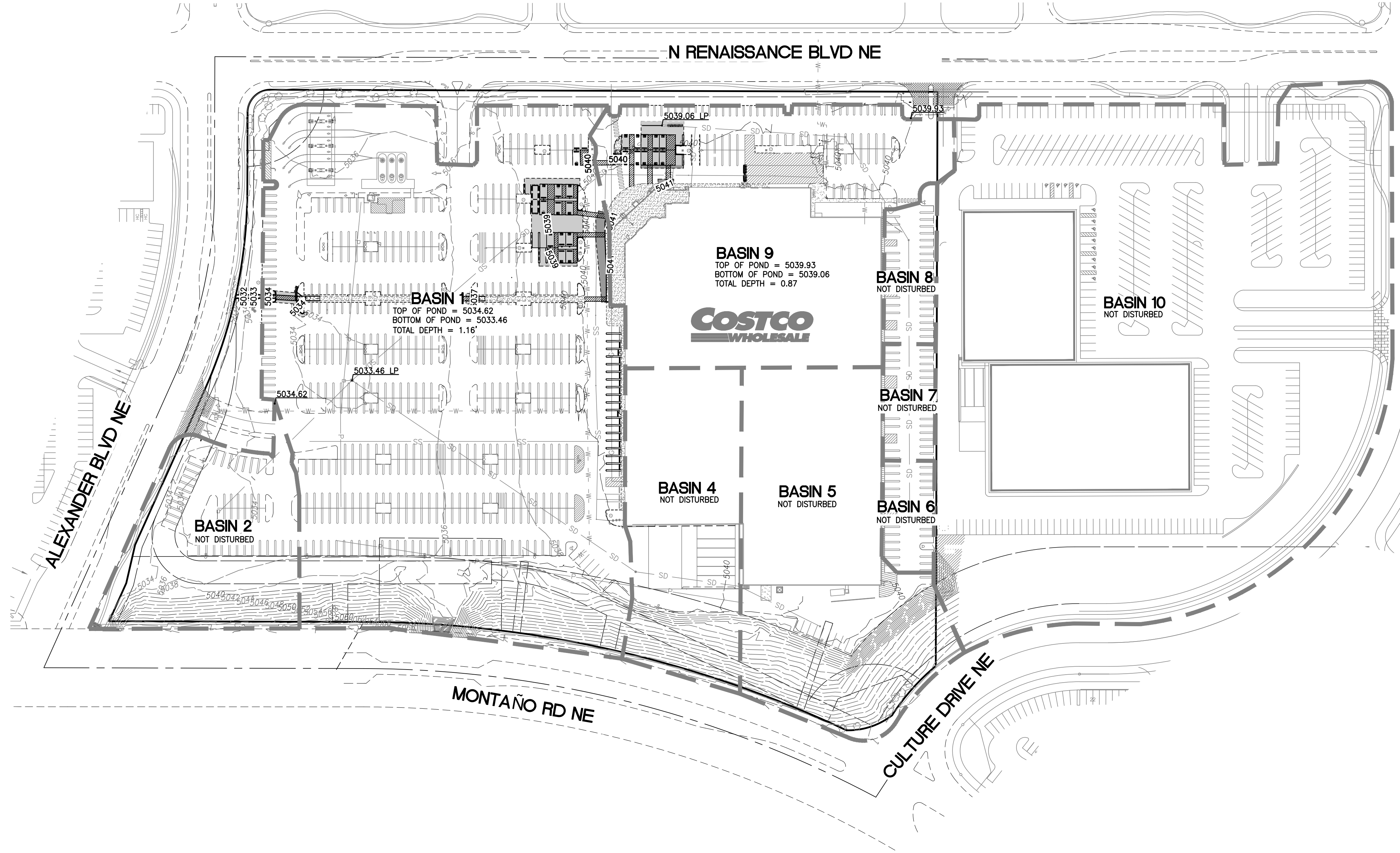


PROJECT AREA SUMMARY:

TOTAL WORK AREA = 25,150 SF
 TOTAL DISTURBED AREA = 16,435 SF
 TOTAL NEW/REPLACED IMPERVIOUS AREA = 15,535 SF

	EXISTING	PROPOSED
IMPERVIOUS:	15,490 SF	15,535 SF
PERVIOUS:	945 SF	900 SF

REQUIRED SWQV = 15,535 SF x 0.26" * (1/12") = 336.59 CF
 BASIN 1 SWQV (FROM REPORT) = (2.1967 AC-FT) 95,644.69 CF



LEGEND

[Symbol]	EXISTING CONCRETE	[Symbol]	PROPOSED CONCRETE
[Symbol]	EXISTING CURB	[Symbol]	PROPOSED ASPHALT
[Symbol]	EXISTING CURB AND GUTTER	[Symbol]	PROPOSED BARRIER CURB
[Symbol]	EXISTING EDGE OF PAVEMENT	[Symbol]	PROPOSED SAWCUT LINE
[Symbol]	EXISTING STORM DRAIN	[Symbol]	PROPOSED SPOT GRADE
[Symbol]	EXISTING WATER LINE	[Symbol]	PROPOSED GRADE LABEL
[Symbol]	EXISTING STORM DRAIN MANHOLE	[Symbol]	MATCH EXISTING GRADE
[Symbol]	EXISTING CATCH BASIN	[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EXISTING LOT LIGHT	[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING STORM CLEANOUT	[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	EXISTING SIGN	[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	EXISTING TELECOM LINE	[Symbol]	EXISTING TRANSFORMER
[Symbol]	EXISTING SANITARY SEWER	[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING POWER	[Symbol]	
[Symbol]	EXISTING POWER	[Symbol]	
[Symbol]	EXISTING TREE	[Symbol]	

DRAINAGE BASINS

SUB-BASIN	AREA (SF)	AREA (AC)	AREA (MI ²)
1	304535.25	6.9912	0.010924
2	53578.32	1.2300	0.001922
4	60440.28	1.3875	0.002168
5	91550.02	2.1017	0.003284
6	10274.83	0.2359	0.000369
7	10660.99	0.2447	0.000382
8	12621.95	0.2898	0.000453
9	166445.07	3.8211	0.005970
10	357069.51	8.1972	0.012808

BASINS RUNOFF CALCULATION RESULTS

SUB-BASIN	Q-100		Q-10		V-100		V-10	
	CFS	AC-FT	CFS	AC-FT	AC-FT	AC-FT	AC-FT	AC-FT
1	31.38	20.33	1.261	0.787				
2	2.84	1.16	0.080	0.029				
4	6.24	4.04	0.250	0.156				
5	9.45	6.12	0.379	0.236				
6	1.08	0.7	0.043	0.027				
7	1.11	0.72	0.044	0.028				
8	1.32	0.85	0.052	0.033				
9	17.16	11.11	0.689	0.430				
10	18.89	7.74	0.532	0.191				

NOTE: BASIN 3 DOES NOT EXIST AND HAS BEEN DELIBERATELY LEFT OUT
 EXISTING BASIN AREAS FROM ORIGINAL WAREHOUSE DRAINAGE REPORT AND PLAN DATED JULY 18 1996. BASIN CHARACTERISTICS ARE ANTICIPATED TO BE NEGATIVELY IMPACTED BY PROPOSED DISTURBANCE.

BASIS OF ELEVATIONS:
 1.75" CITY OF ALBUQUERQUE SURVEY CONTROL DISK STAMPED "ACS BM 10-115", EPOXIED TO THE CENTER OF THE TOP OF A DROP INLET, LOCATED ON THE NORTH SIDE OF MONTAÑO ROAD 85' EAST OF THE ALAMEDA LATERAL, HAVING AN ELEVATION OF 5002.45, NAVD.

BASIS OF BEARINGS:
 NAD 83, NEW MEXICO STATE PLANE CENTRAL ZONE AS MEASURED USING CITY OF ALBUQUERQUE BENCHMARKS 9_15 AND 10_15.

LEGAL DESCRIPTION:
 TRACT 4B AND TRACT 4C AS THE SAME IS SHOWN ON THAT CERTAIN PLAT PREPARED BY ALDRICH LAND SURVEYING, DATED JUNE 27, 1996, ENTITLED "PLAT FOR RENAISSANCE CENTER, TRACT 4A, 4B, 4C, 4D, 4E, AND 4F, WITHIN THE ELENA CALLEGOS GRANT, PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, N. M. P. M. FILED FOR RECORD IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO ON THE 11TH DAY OF JULY, 1996, IN BOOK 96C, AT PAGE 307 AS DOCUMENT NO. 96077530.

The
GRADING AND DRAINAGE PLAN
 1420 RENAISSANCE BLVD NE
 ALBUQUERQUE, NM 87107
 COSTCO WAREHOUSE #116

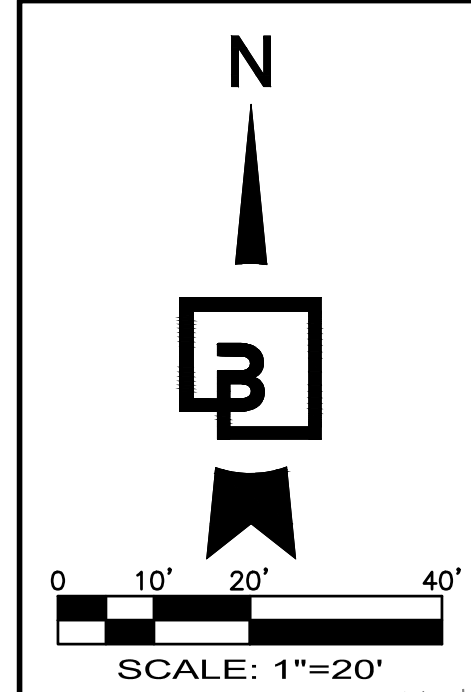
For

 Barga Engineering, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222
 barga.com

Scale:
 Horizontal 1" = 80'
 Vertical N/A

Designed: LRH
 Drawn: LRH
 Checked: MJS
 Approved: JHS
 Date: 10/14/23

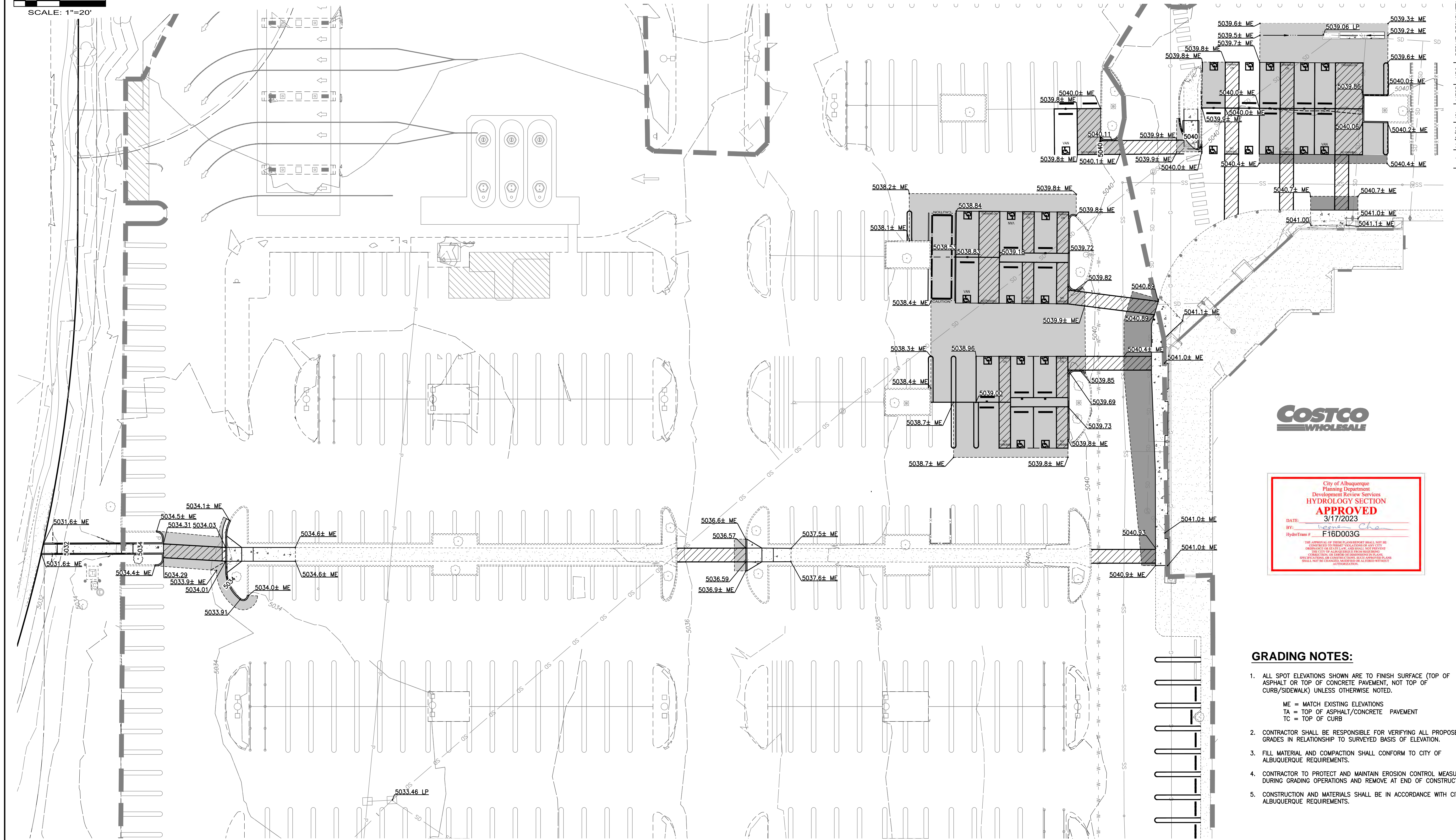
Job Number: 10896
 Sheet: 1 of 2



GRADING AND DRAINAGE PLAN

ADA SITE IMPROVEMENTS

1420 RENAISSANCE BLVD NE ALBUQUERQUE, NM 87107 COSTCO WAREHOUSE #116

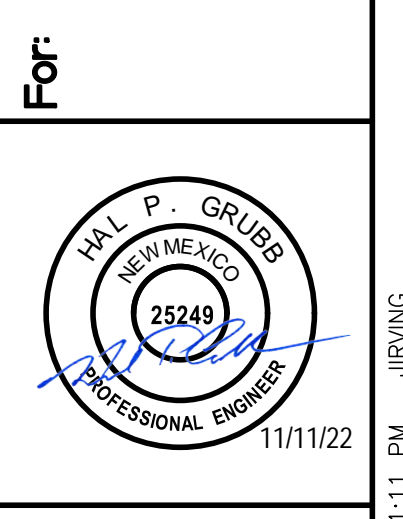


- GRADING NOTES:**
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
ME = MATCH EXISTING ELEVATIONS
TA = TOP OF ASPHALT/CONCRETE PAVEMENT
TC = TOP OF CURB
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
 - FILL MATERIAL AND COMPACTION SHALL CONFORM TO CITY OF ALBUQUERQUE REQUIREMENTS.
 - CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL MEASURES DURING GRADING OPERATIONS AND REMOVE AT END OF CONSTRUCTION.
 - CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS.

No.	Date	By	Clk.	Appr.	Revision
4	11/17/22	JSI	MESP	HFG	PERMIT RESUBMITTAL
3	8/2/22	JSI	MESP	HFG	PERMIT RESUBMITTAL
2	12/17/21	JSI	MESP	HFG	RESPONSE TO COMMENTS

Title: GRADING AND DRAINAGE PLAN
1420 RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107
COSTCO WAREHOUSE #116

For: 
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



Scale: Horizontal 1"=20'
Vertical N/A

Designed: JRS
Drawn: JRS
Checked: MESP
Approved: JRS
Date: 10/14/23

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com

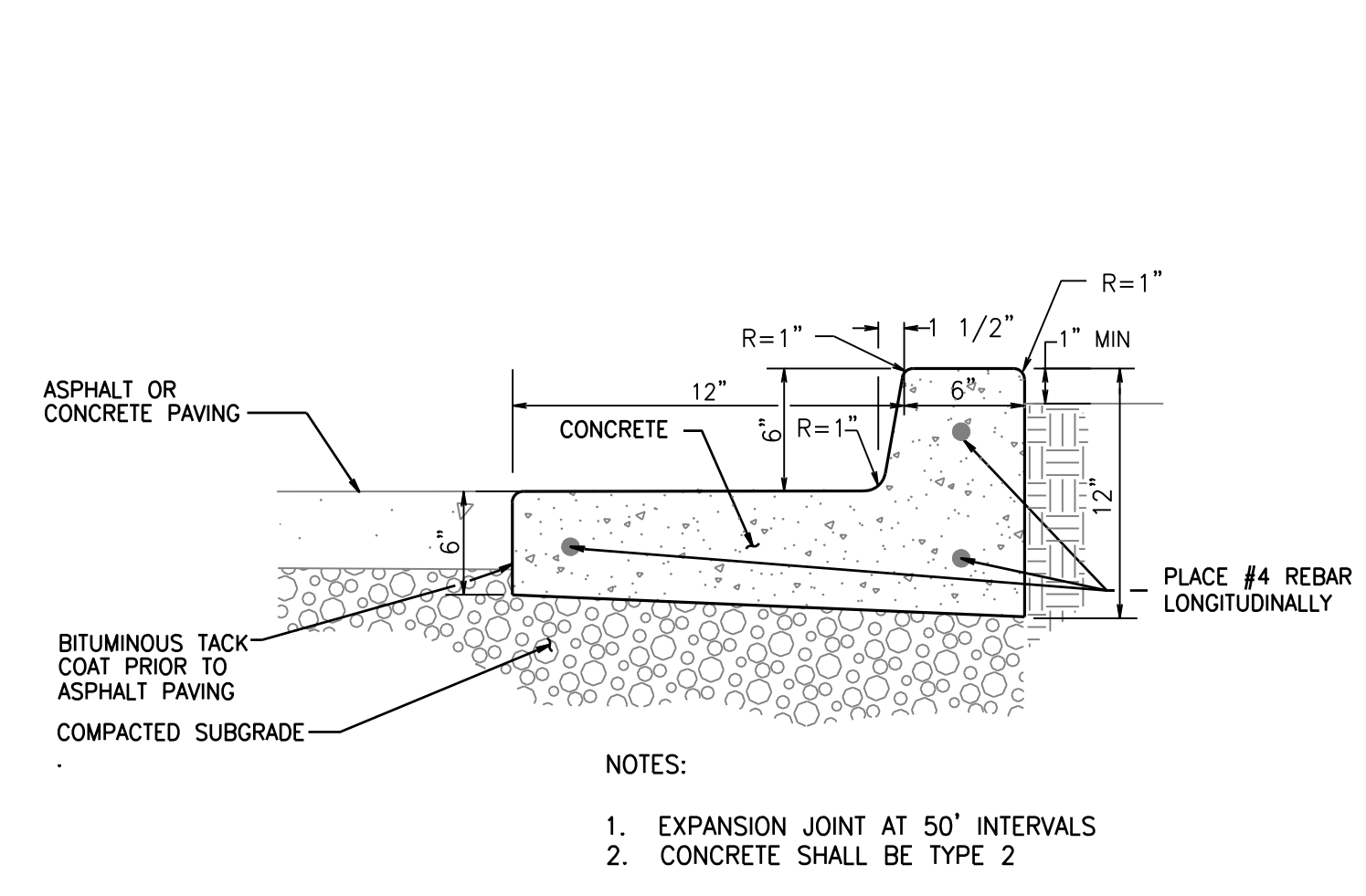
 Know what's below.
Call before you dig.
Dial 811
Or 1-800-892-0123

Job Number: 10896
Sheet: 2 of 2

CONSTRUCTION DETAILS

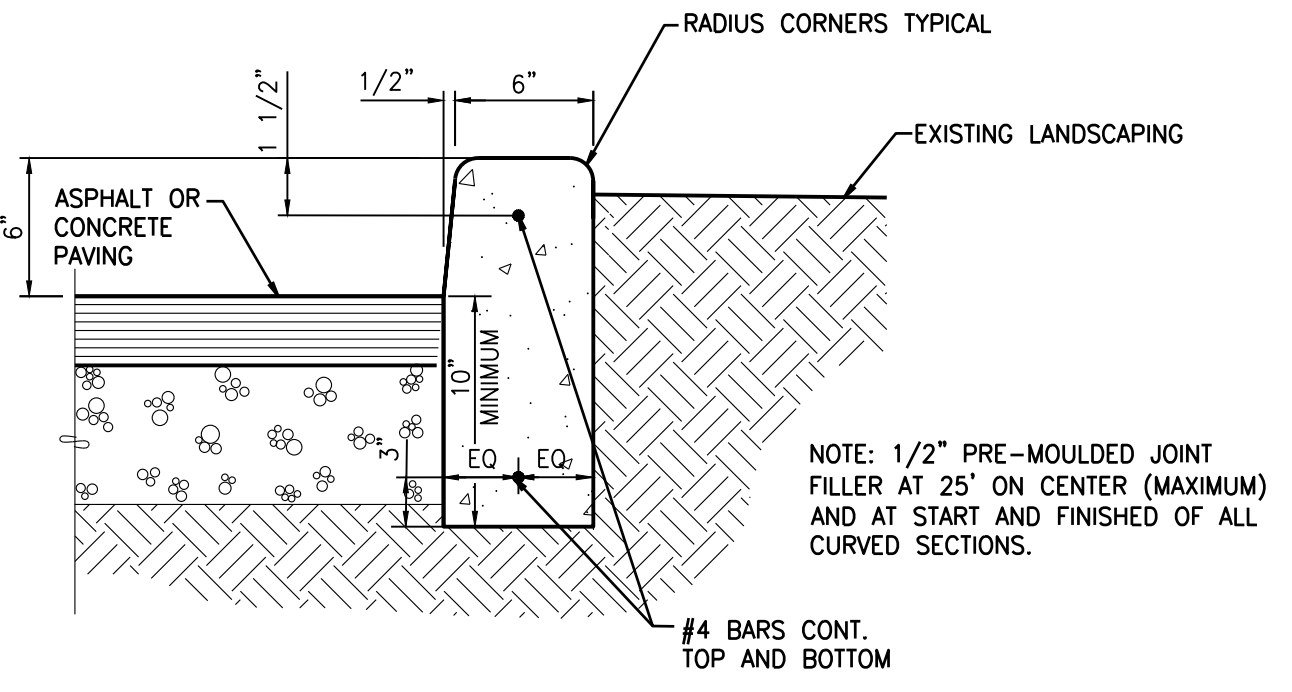
ADA SITE IMPROVEMENTS

1420 RENAISSANCE BLVD NE ALBUQUERQUE, NM 87107 COSTCO WAREHOUSE #116



CEMENT CONCRETE CURB AND GUTTER
SCALE: NOT TO SCALE

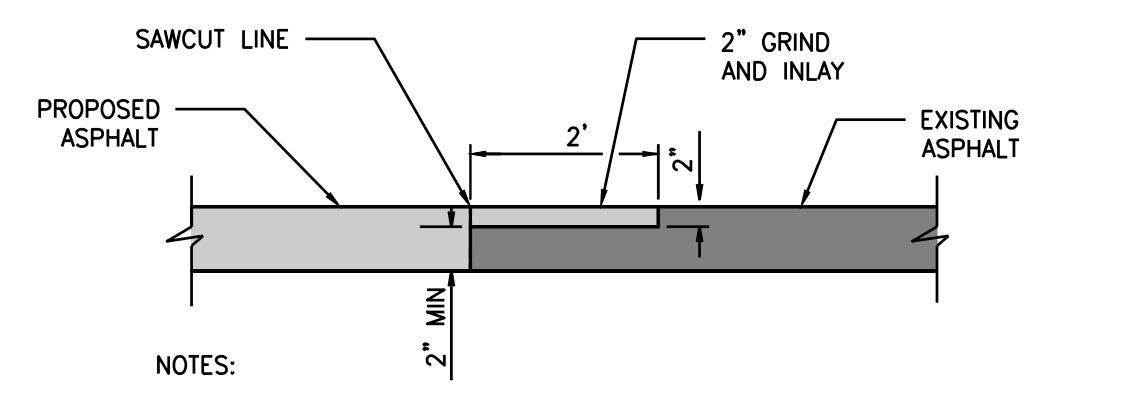
NOTE: PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT PREPARED BY KLEINFELDER, INC. DATED MARCH 23, 2016.



NOTE: 1/2" PRE-MOLDED JOINT FILLER AT 25' ON CENTER (MAXIMUM) AND AT START AND FINISHED OF ALL CURVED SECTIONS.

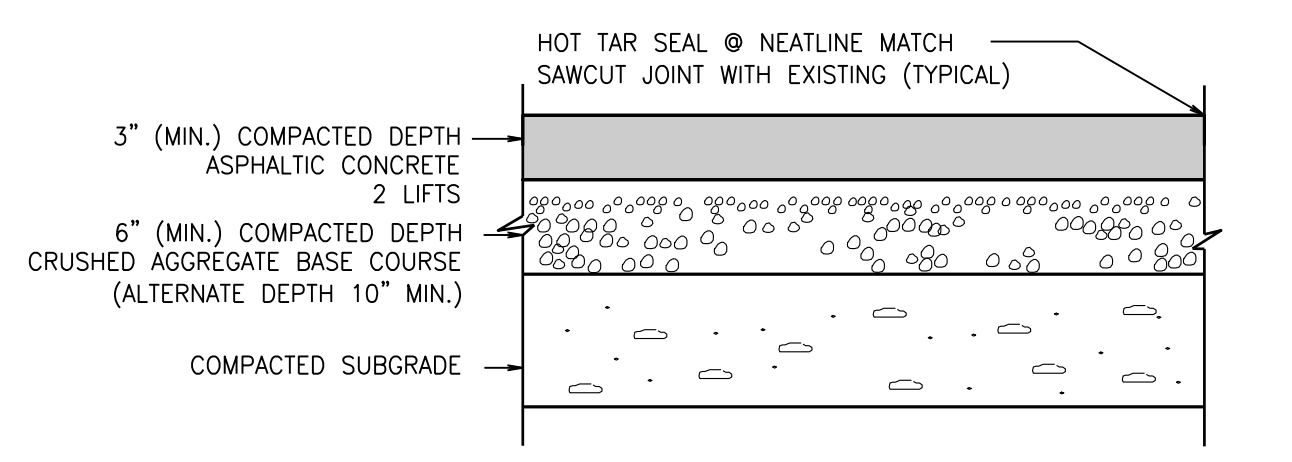
CEMENT CONCRETE BARRIER CURB
SCALE: NOT TO SCALE

NOTE: PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT PREPARED BY KLEINFELDER, INC. DATED MARCH 23, 2016.



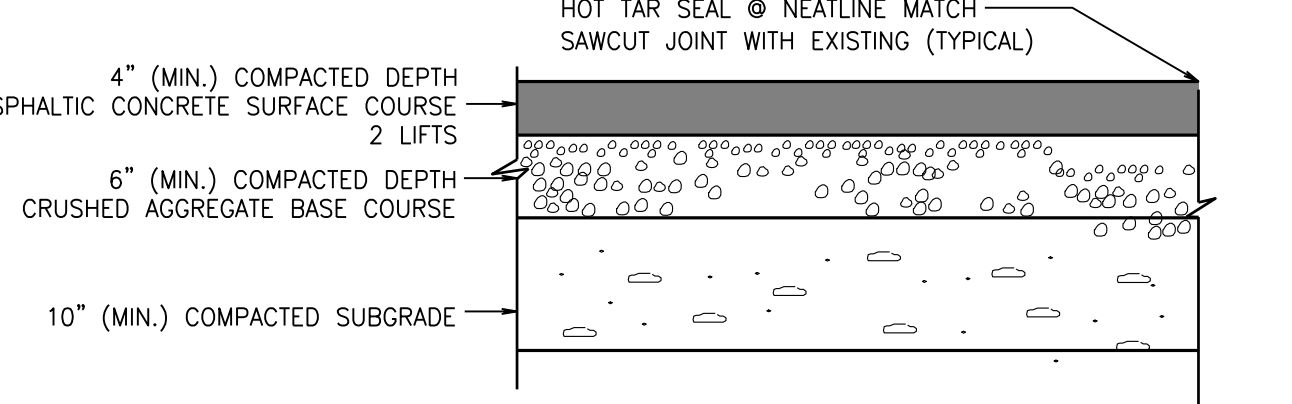
NOTE: 1. EXISTING DEPTH OF ASPHALT MUST BE AT LEAST 4" IN ORDER TO PROVIDE LAP JOINT. IF EXISTING DEPTH OF ASPHALT IS LESS THAN 4" INCHES, PROVIDE VERTICAL SAW CUT ONLY AND APPLY RUBBER SEALANT TO THE VERTICAL SURFACE.
2. APPLY HOT RUBBER SEALANT COMPOUND ALONG JOINT PER ASTM D6690.

LAP JOINT
NOT TO SCALE



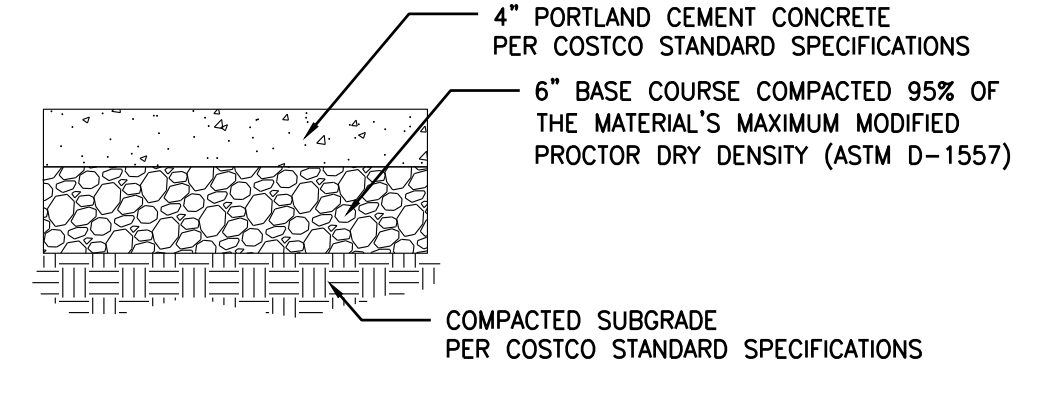
NOTES:
1. A.C. PAVEMENT SPECIFICATION SHALL BE APPROVED BY SOILS ENGINEER.
2. PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT BY KLEINFELDER, INC. DATED MARCH 23, 2016.
3. CONTRACTOR SHALL INCLUDE A LUMP SUM FOR ASPHALT SURFACE SEAL COAT. CONTRACTOR SHALL INCLUDE APPLICATION METHOD AND RATE, PRODUCT SUBMITTAL AND A UNIT PRICE BID IN ACCORDANCE WITH PROJECT SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A DUSTING OF SAND WHERE EXCESS EMULSION CAUSES ASPHALT PICK-UP OR SLIPPERY SURFACE. CONTRACTOR SHALL REMOVE EXISTING VEGETATION FROM ALL CRACKS, AND JOINTS, SAND BLAST OR AIR BLAST, APPLY WEED KILLER AND HOT TAR SEAL, PATCH AND REPAIR PAVEMENT FAILURES, ALL PRIOR TO APPLICATION OF SEAL COAT. FIELD VERIFY LIMITS OF SEAL COAT IN AREAS OF NEW STRIPING, PATCHES AND CONFIRM WITH PROJECT MANAGER PRIOR TO PREP. AND APPLICATION.
4. FOR BASE COURSE LIFTS OF 1.5" THICKNESS, DO NOT USE 3/4" NOMINAL MIX PER COSTCO STANDARD SPECIFICATIONS.

ASPHALT PAVEMENT SECTION (LIGHT)
SCALE: NOT TO SCALE



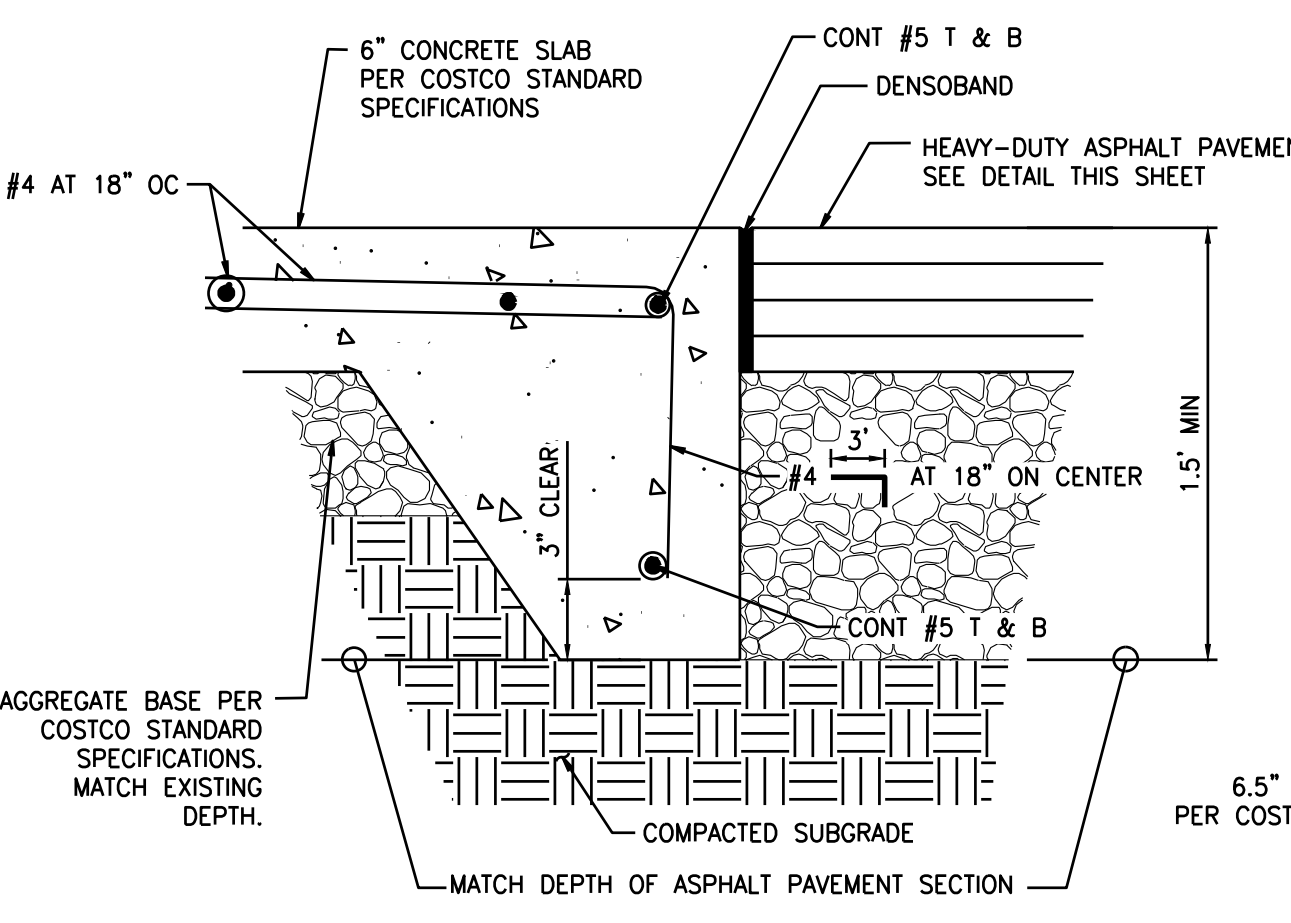
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4. FOR BASE COURSE LIFTS OF 1.5" THICKNESS, DO NOT USE 3/4" NOMINAL MIX PER COSTCO STANDARD SPECIFICATIONS.

ASPHALT PAVEMENT SECTION (HEAVY)
SCALE: NOT TO SCALE



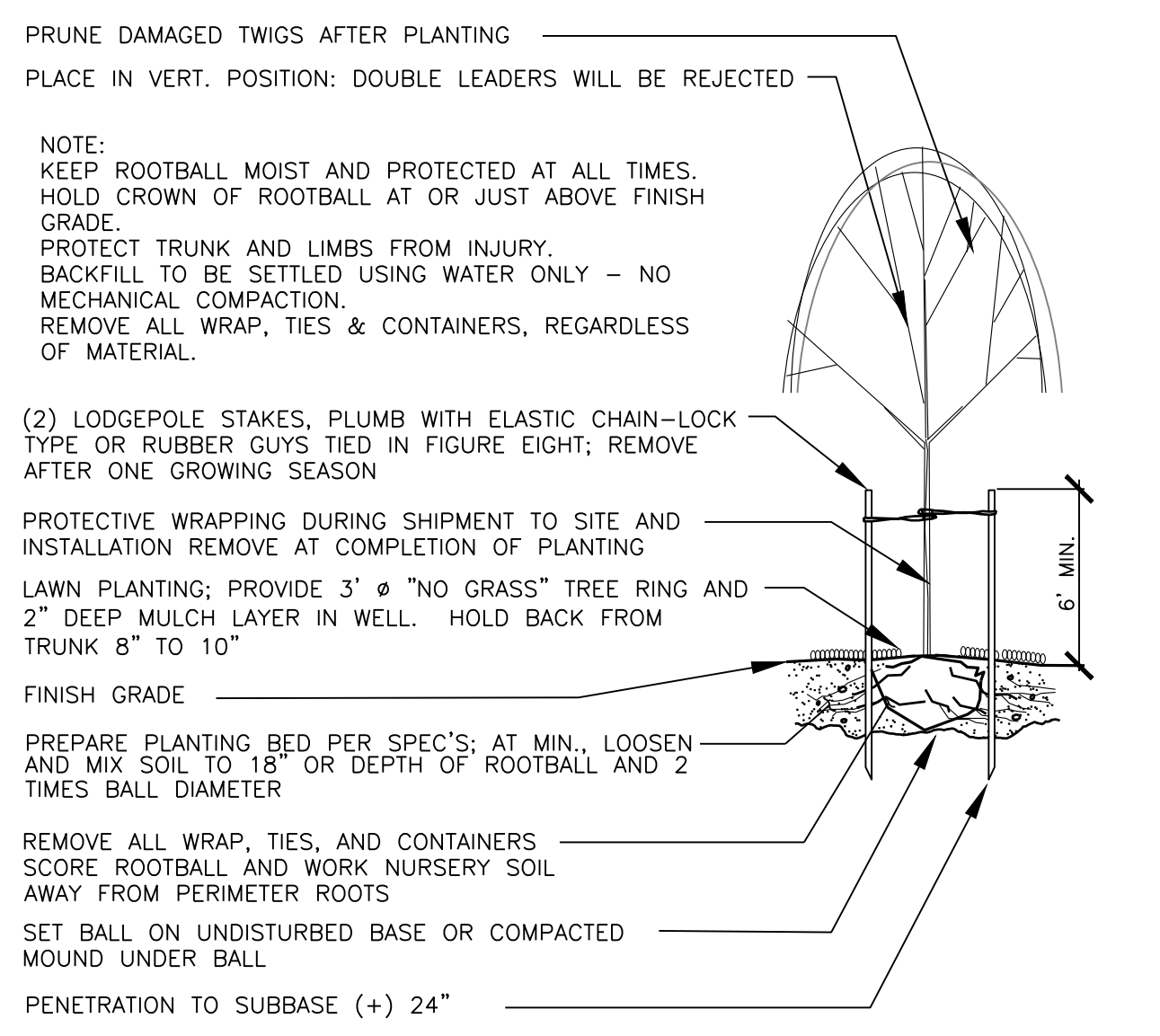
CONCRETE SIDEWALK SECTION
NOT TO SCALE

NOTE: PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT PREPARED BY KLEINFELDER, INC. DATED MARCH 23, 2016.

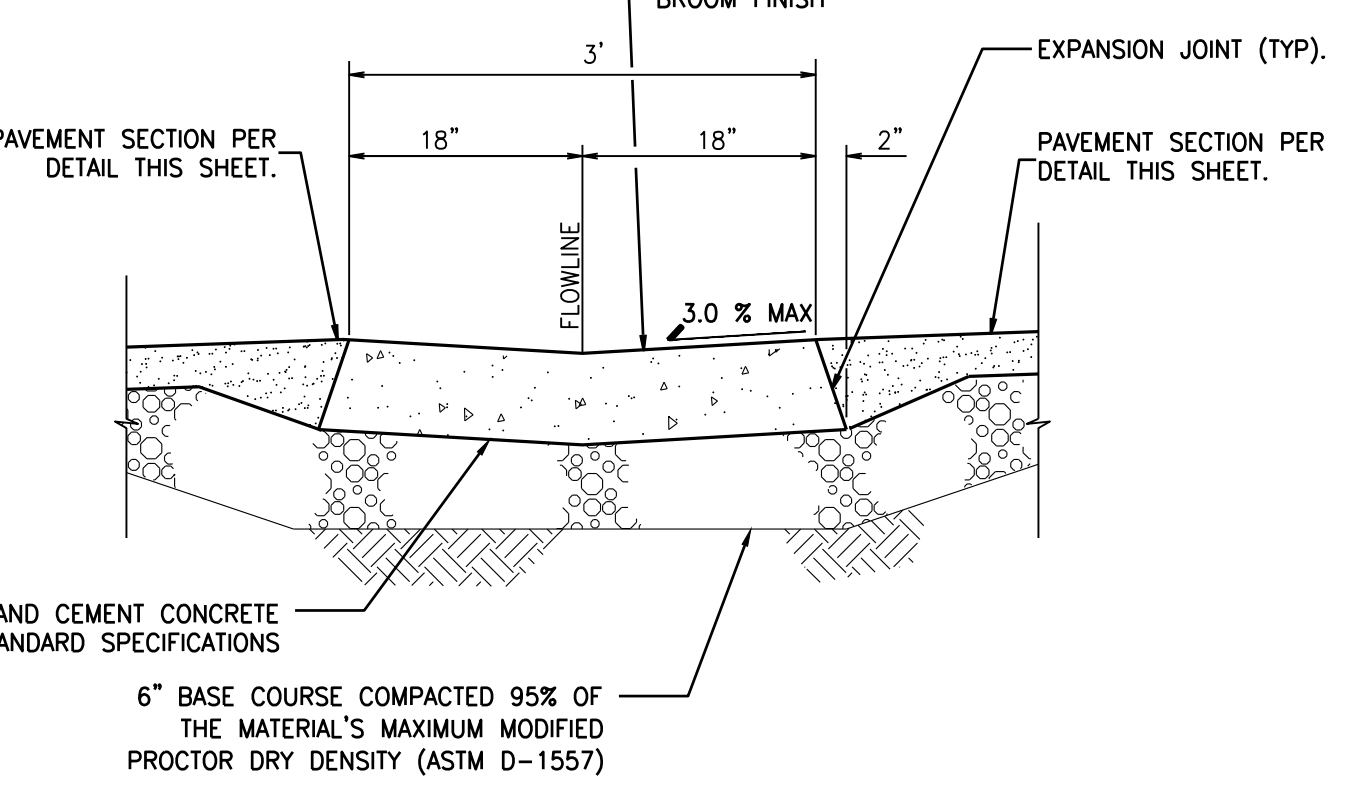


FLUSH CURB REINFORCED CONCRETE SIDEWALK SECTION
SCALE: NOT TO SCALE

NOTE: PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT PREPARED BY KLEINFELDER, INC. DATED MARCH 23, 2016.

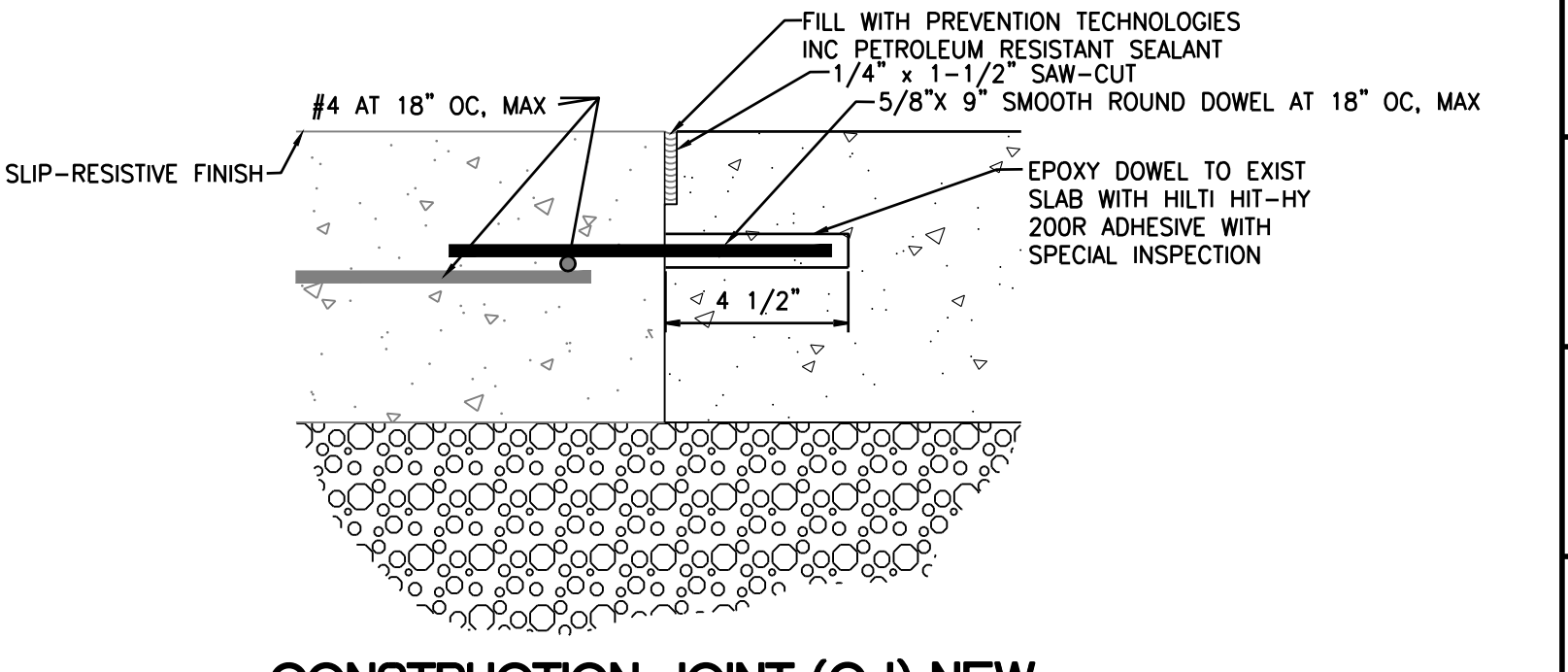


DECIDUOUS TREE PLANTING/STAKING DETAIL
NOT TO SCALE



CONCRETE SWALE SECTION
NOT TO SCALE

NOTES:
1. INSTALL EXPANSION JOINTS @ 20'-0" O.C. MAX.
2. CONTRACTOR TO GRADE START AND END OF SWALE AS TO PROMOTE DRAINAGE TO EXISTING DISCHARGE POINT.
3. PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT PREPARED BY KLEINFELDER, INC. DATED MARCH 23, 2016.

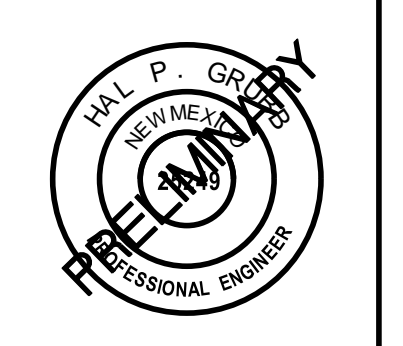


CONSTRUCTION JOINT (CJ) NEW TO EXISTING SLAB DETAIL
SCALE: NOT TO SCALE

UTILITY CONFLICT NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

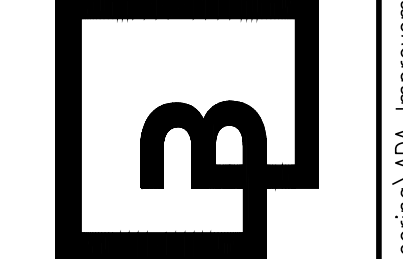
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1	10/15/20	LRH	MEASP	HPG	DA SUBMITTAL
No.	Date	By	Chk.	Appr.	Revision

Costco Wholesale
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



Scale: Horizontal N/A, Vertical N/A
Designed: LRH, Drawn: LRH, Checked: MEASP, Approved: HPG, Date: 10/14/20

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Kent, WA 98032
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Job Number: 10896
Sheet: C5.0 of 9

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