

October 22, 2021

City of Albuquerque Planning Department
Urban Design & Development Division
City of Albuquerque
600 2nd Street NW, Albuquerque, NM 87102

Re: **Administrative Amendment – Site Development Plan – Letter of Justification
VCA Vet Care Hospital,
8850 Holly Ave NE, Albuquerque NM 87122**

This letter accompanies drawings that propose to administratively amend the approved Amended Site Development Plan for Building Permit approved by City of Albuquerque on November 2, 2006.

The scope of the proposed Site Development Plan includes: minor work on one of the existing commercial tenant spaces (former Bed Bath and Beyond), with a gross floor area of 28,000 GSF.

We received all previously approved drawings and documents associated with this building address from the City, and an official Notice of Decision was not included. However, the City does have a record of the approved Site Plan for Subdivision and subsequent approved site plans.

We obtained appropriate City department approval for an updated Fire-1 Site Plan, Traffic Circulation Layout (TCL), and Refuse Plan covering the proposed scope of work. These documents are attached to the Proposed Site Development Plan for reference.

Proposed Amendment Scope of Work

The project scope is an interior renovation of a former retail store into a specialty animal hospital. There is no proposed building area increase.

The project scope includes limited site work to reconfigure an existing loading dock area on the north of the building into a fenced pet walking/relief area. Per IDO Section 4-3(F)(13), this pet walking area shall meet the requirements of an Outdoor Animal Run associated with a Veterinary Clinic, and the existing 8'-0" CMU wall facing Holly Avenue meets the 6'-0" minimum height screen wall requirement per 4-3(F)(13)(b). A new generator is proposed adjacent to this pet walking area, and shall be enclosed by a new fence. Two additional small pet walking areas are proposed near the main south entry.

New windows are proposed primarily along the west façade to increase daylight access to interior spaces, and provide increased visibility to previously obscured outdoor areas. A new ADA compliant ramp and new entry are proposed on the west façade to improve building access.

The existing building height, existing storefront, appearance, and finishes shall remain as-is. All other site features, parking, fire access aisles, driveways, fire hydrants, fire lanes, landscaping, striping, pedestrian circulation, and traffic flow elements shall remain as-is.

From the IDO: Part 12-16-6: Administration and Enforcement:

6-4(Z) AMENDMENTS OF PRE-IDO APPROVALS

Approvals granted prior to the effective date of this IDO may be amended as described in this Subsection 14-16-6-4(Z).

6-4(Z)(1) Site Development Plans

This Subsection 14-16-6-4(Z) addresses applications for amendments to site development plans approved prior to the effective date of this IDO.

6-4(Z)(1)(a) Minor Amendments

The Planning Director may grant minor amendments that meet the following requirements:

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
 - *Response: The Project Scope meets the requirements of, and does not interfere with, the previously approved Site Development Plan.*
2. The requested change is within the thresholds for minor amendments established in **Table 6-4-4**, cumulative of prior deviations or minor amendments.
 - *Response: the applicable Standard in Table 6-4-4 is the Any Other Addition/Revision That Would Otherwise be Decided as a Permit – Site Plan – Administrative: Any amount that meets the requirements specified in the approved Permit/Site Plan/IDO. The Project Scope meets the requirements of, and does not interfere with, the previously approved Site Development Plan.*
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
 - *Response: project scope does not require any major changes to public infrastructure or site circulation patterns.*
4. No deviations, Variances, or Waivers shall be granted for minor amendments.
 - *Response: none of these items are requested.*

We appreciate your consideration of this amendment. Feel free to call if we can provide any further information.

Sincerely,

Mullen Heller Architecture, PC



Douglas Heller, AIA, LEED AP

Attachments:

- Form P3: Minor Amendment to Site Development Plan Approved Prior to the Effective date of IDO
- Development Review Application: Minor Amendment to Site Plan
- Letter of Authorization
- Zone Atlas Map – Project Location
- Approved Amended Site Development Plans for Building Permit, dated 11-2-2006.
- Proposed Site Development Plan (sheet A001; and approved Fire-1, TCL, and Refuse plans for reference)
- Proposed VCA Vet Care Animal Hospital Building Elevations (Sheet A2.0)

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ___ Archaeological Compliance Documentation Form with property information section completed
- ___ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ The approved Site Plan being amended
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ___ The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ___ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ The approved Site Development Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ACCELERATED EXPIRATION SITE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ___ Site Plan to be Expired


☐ ALTERNATIVE SIGNAGE PLAN

- ___ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ Required notices with content per IDO Section 14-16-6-4(K)
 - ___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ___ Sign Posting Agreement


☐ ALTERNATIVE LANDSCAPE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 10-22-2021
Printed Name: Doug Heller, Mullen Heller Architecture	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers	
PR-2021-006204	SI-2021-01837	
	-	
	-	
Staff Signature:		
Date:		



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: VCA Inc.		Phone: 310-517-6422
Address: 12401 Olympic Blvd.		Email: charlesnicholls@vca.com
City: Los Angeles	State: CA	Zip: 90064
Professional/Agent (if any): Doug Heller, AIA.		Phone: 505-268-4144
Address: 1718 Central Ave. SW Suite D		Email: Doug@mullenheller.com
City: Albuquerque	State: New Mexico	Zip: 87104
Proprietary Interest in Site: Tenant.	List all owners: ARCP MT ALBUQUERQUE NM LLC C/O RYAN LLC - PTS	

BRIEF DESCRIPTION OF REQUEST

We request review of minor site work limited to one existing tenant space. Work includes reconfiguration two existing parking spaces, reconfiguration of an existing loading dock into pet walking area, and the addition of two small pet walking areas near the existing entry.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Lot 3-A plat of lots 2-A and 3-A	Block: 0000	Unit: 3
Subdivision/Addition: Ventura Place	MRGCD Map No.: C-20-A	UPC Code: 102006417002830121
Zone Atlas Page(s): C-20-Z	Existing Zoning: MX-L	Proposed Zoning: MX-L (no change)
# of Existing Lots: 6	# of Proposed Lots: 6 (no change)	Total Area of Site (acres): 10.2768 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 8850 Holly Ave NE	Between: Ventura Street NE	and: Barstow Street NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1002633; 1002756; 1005439

Signature:	Date: 10-22-2021
Printed Name: Doug Heller, AIA	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

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Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01837	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2021-006204



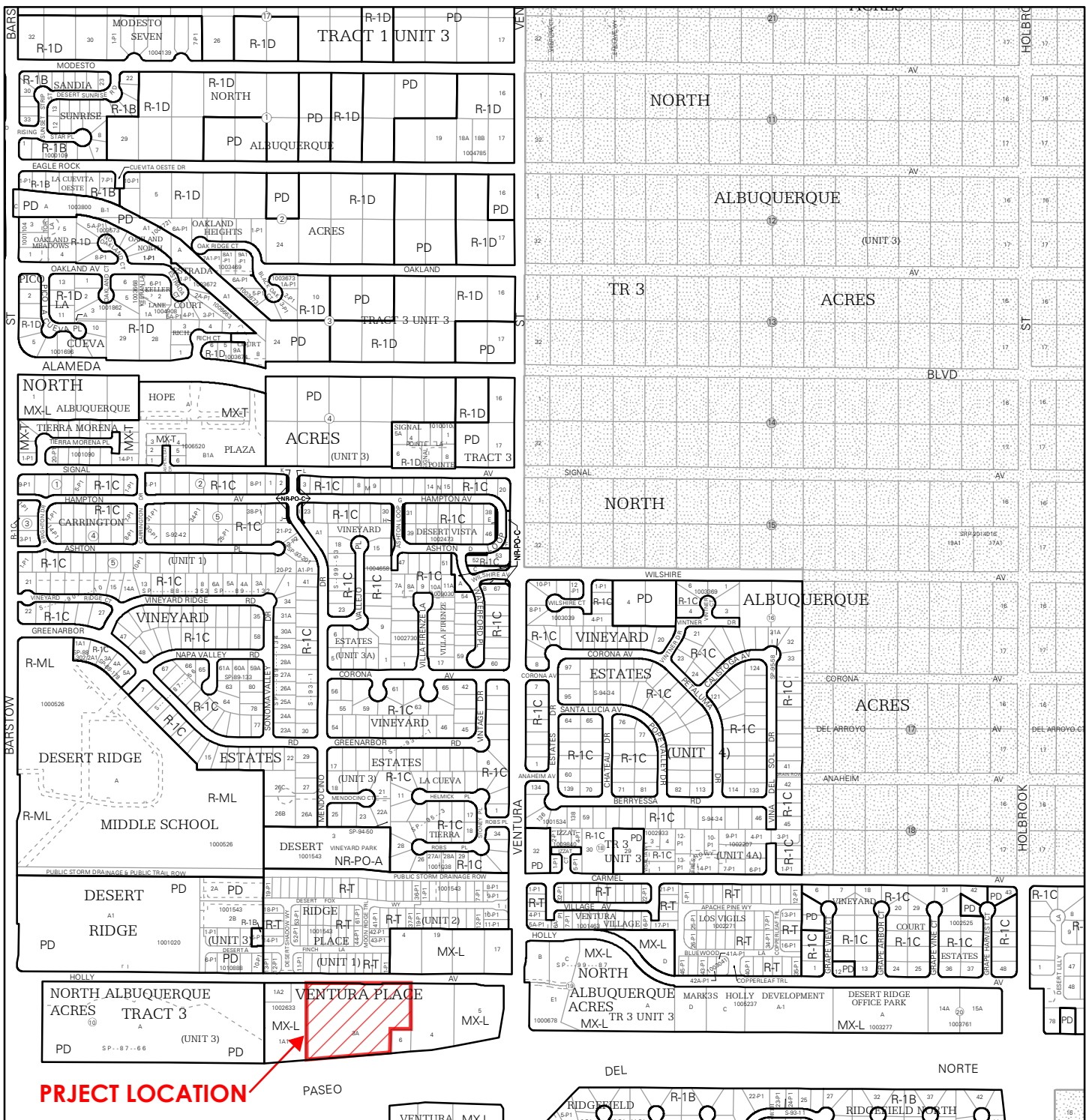
City of Albuquerque
Planning Department
Urban Design & Development Department
600 2nd Street NW
Albuquerque, NM 87102

**Re: Letter of Authorization
8850 Holly Ave NE**

To Whom It May Concern;

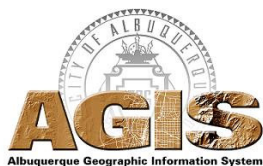
As the tenant for the building being at 8850 Holly NE, the former Bed Bath & Beyond, I authorize Mullen Heller Architecture P.C. to act as our agent for all building permitting and planning processes for this property.

Charles Nicholls, Vice President of Construction
VCA Inc.
12401 West Olympic Blvd.
Los Angeles, CA 90064

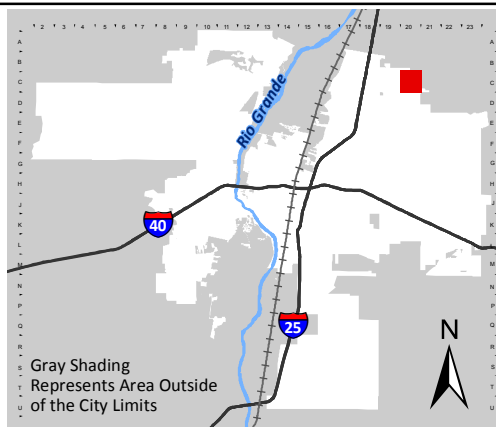


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-20-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

CODE DATA AND NOTES FROM EXISTING SITE PLAN (COA APPROVED SDP IN 2006)

SITE DATA			
PROPOSED USAGE:	RETAIL/RESTAURANT/BANK		
LOT AREA:	447,657.43 S.F.(10.2768 AC.)		
BUILDING AREA:	97,119 S.F.		
PARKING CALCULATIONS:			
PARKING REQUIRED:			
RETAIL/BANK	87,158 GSF / 200 GSF	436	PARKING
RESTAURANT (JINJA)	8,661 GSF / 200 GSF	69	PARKING
RESTAURANT (SABY'S)	1,300 GSF / 200 GSF	22	PARKING
TOTAL PARKING:			527 SPACES
PARKING REDUCTION:			
10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91)		53	SPACES
5% SITE GREATER THAN 5 ACRES		26	SPACES
10% MIXED USES/SHARED PARKING		53	SPACES
TOTAL PARKING REDUCTION:			132 SPACES
TOTAL PARKING REQUIRED:			395 SPACES
TOTAL PARKING PROVIDED:			527 SPACES
HC PARKING REQUIRED:		8	SPACES (2
HC PARKING PROVIDED:		24	SPACES (2
BICYCLE SPACES REQUIRED:		16	SPACES
BICYCLE SPACES PROVIDED:		20	SPACES

GENERAL NOTES:

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 50 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAIL).
3. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
4. CURRENT ZONING CURRENT IS SU-1 MIXED USED.
5. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
6. BUILDINGS: BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT. BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.
7. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 16-14-2-16-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.
10. MAINTENANCE OF PUBLIC OPEN SPACE AMENDMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

NOTES:

1. 6" CONCRETE CURB PER COA STD. DWG. #2415B TYP.
2. LANDSCAPING AREA.
3. HC ACCESSIBLE SIDEWALK RAMP.
4. NEW ASPHALT PAVING AREA.
5. 6' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
6. NEW TURN DOWN SIDEWALK.
7. 6' WIDE ASPHALT PEDESTRIAN CROSSING
8. NEW 4" SIDEWALK PER COA STD. DWG. #2430.
9. EXISTING 6" SIDEWALK.
10. EXISTING DRIVE WAY ENTRANCE.
11. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS.
12. EXISTING CURB AND GUTTER.
13. EXISTING POWER POLE.
14. FUTURE CURB AND GUTTER.
15. EXISTING UNIDIRECTIONAL WHEELCHAIR RAMP.
16. 9' WIDE X 20' DEEP PARKING SPACES
17. 9' WIDE X 18' DEEP PARKING SPACES
18. HANDICAP SIGN PER COA STANDARDS.
19. BICYCLE RACK
20. TAN SPLIT FACE BLOCK WALL (HEIGHT NOT TO EXCEED 8').
21. MONUMENT SIGN, REFER TO ELEVATION PLAN.
22. TRANSFORMER
23. CART RETURN

KEYED NOTES FOR CURRENT TCL:

1. INSTALL TRUNCATED DOMES ON EXISTING ADA CURB RAMPS PER COA STANDARD DETAILS (#2446).
2. PROPOSED MOTORCYCLE PARKING SPACES, 4' WIDE X 8' LONG, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE, SEE TCL-003.
3. EXISTING BICYCLE RACK.
4. PROPOSED BICYCLE RACK. REFER TO TCL-002 AND TCL-003.
5. PROPOSED ADA COMPLIANT RAMP AND ENTRY.
6. EXISTING ADA COMPLIANT RAMP AND ENTRY.

GENERAL NOTES FOR CURRENT TCL:

- A. THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- C. ANY ENCROACHMENT OR OVERHANG INTO THE R.O.W. FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- D. ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- E. ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- F. ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
- G. CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
- H. ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
- I. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

CODE DATA: FOR CURRENT SITE PLAN

PROJECT DESCRIPTION: THE PROJECT SCOPE IS AN INTERIOR RENOVATION OF A FORMER RETAIL STORE INTO A SPECIALTY ANIMAL HOSPITAL. THERE IS NO PROPOSED BUILDING AREA INCREASE.

THE PROJECT PROPOSES A CHANGE OF OCCUPANCY FROM THE EXISTING M (MERCANTILE) TO B (BUSINESS).

THE PROJECT SCOPE INCLUDES LIMITED SITE WORK TO RECONFIGURE AN EXISTING LOADING DOCK AREA ON THE NORTH INTO A FENCED PET WALKING/RELIEF AREA.

ALL OTHER EXISTING SITE FEATURES, PARKING, FIRE ACCESS AISLES, DRIVEWAYS, FIRE HYDRANTS, FIRE LANES, LANDSCAPING, STRIPING, AND TRAFFIC FLOW ELEMENTS ARE TO REMAIN.

NOTE: THE BASE UNDERLAY SITE PLAN IS FROM THE EXISTING COA APPROVED DRAWING SET FOR THE SITE DEVELOPMENT, WHICH WAS NOT GENERATED BY MULLEN HELLER ARCHITECTURE.

BUILDING ADDRESS: 8850 HOLLY AVE. N.E., ALBUQUERQUE, NM 87122

UPC: 102006417002830121

LEGAL DESCRIPTION: LOT 3-A PLAT OF LOTS 2-A AND 3-A VENTURA PLACE 4.4407 AC

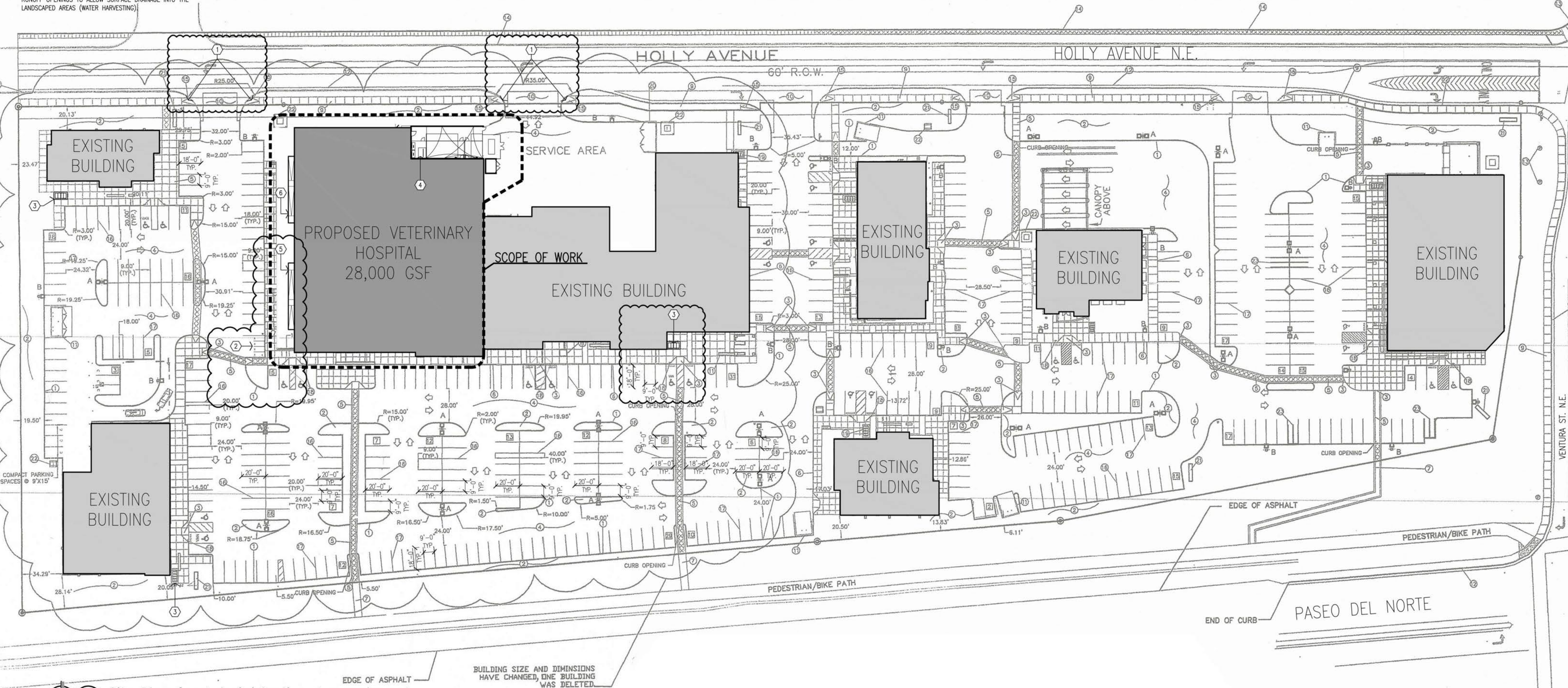
IDO ZONE DISTRICT: MX-L

ZONE ATLAS PAGE: C-20-Z

BUILDING GROSS AREA: 28,000 SF (BUILDING AREA OF PROJECT SCOPE)

TOTAL LOT AREA: 10.2768 ACRES (ENTIRE SITE)

VICINITY MAP



Site Plan for Administrative Amendment
Scale: 1" = 40'

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE D
ALBUQUERQUE, NM 87104
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER	21-06
DRAWN BY	KBP
PROJECT MGR	DH
DATE	10-21-2021
PHASE	CD

PROJECT
VCA VET CARE HOSPITAL
8850 Holly Ave Northeast
Albuquerque, NM 87122

TITLE
Site Plan for Administrative Amendment



ALBUQUERQUE FIRE MARSHAL'S
OFFICE
DIVISION OF FIRE PLANS
CHECKING DIVISION

PERMIT

PROJECT: VCA VET CARE HOSPITAL
PERMIT NUMBER: FP-21-007516
APPROVED DATE: 09/21/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE 2015 INTERNATIONAL FIRE CODE AND NFPA STANDARDS. PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1750 GPM 1 FH

THE PROJECT SCOPE IS AN INTERIOR RENOVATION OF A FORMER RETAIL STORE TO A SPECIALTY ANIMAL HOSPITAL. THERE IS NO PROPOSED BUILDING AREA INCREASE.
THE PROJECT PROPOSES A CHANGE OF OCCUPANCY FROM THE EXISTING (MERCANTILE) TO B (BUSINESS).

THE PROJECT SCOPE INCLUDES LIMITED SITE WORK TO RECONFIGURE AN EXISTING LOADING DOCK AREA ON THE NORTH INTO A FENCED PET WALKING/RELIEF AREA.

ALL OTHER EXISTING SITE FEATURES, PARKING, FIRE ACCESS AISLES, DRIVEWAYS, FIRE HYDRANTS, FIRE LANES, LANDSCAPING, STRIPING, AND TRAFFIC FLOW ELEMENTS ARE TO REMAIN.

NOTE: THE BASE UNDERLAY SITE PLAN IS FROM THE EXISTING COA APPROVED DRAWING SET FOR THE SITE DEVELOPMENT, WHICH WAS NOT GENERATED BY MULLEN HELLER ARCHITECTURE.

BUILDING ADDRESS: 8850 HOLLY AVE. N.E., ALBUQUERQUE, NM 87122

CONSTRUCTION TYPE: TYPE II-B

FIRE PROTECTION: FULLY AUTOMATED SPRINKLER SYSTEM COMPLYING WITH NFPA 13 (NON-RESIDENTIAL) AND SECTION 903.3.1.1 INSTALLED THROUGHOUT. SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM. THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2009 INTERNATIONAL FIRE CODE.

OCCUPANCY TYPE: MIXED USE OR OCCUPANCY W/BUSINESS: GROUP B (BUSINESS: VETERINARY HOSPITAL) AND A-3 OCCUPANCY

OCCUPANT LOAD:

FIRST FLOOR:
B OCCUPANCY: 26,198 SF / 100 SF PER OCCUPANT = 262 OCCUPANTS
MEETING: 1,365 SF / 15 SF PER OCCUPANT = 91 OCCUPANTS
WAITING: 1,571 SF / 15 SF PER OCCUPANT = 105 OCCUPANTS
SECOND FLOOR:
B OCCUPANCY: 866 SF / 100 SF PER OCCUPANT = 9 OCCUPANTS
TOTAL OCCUPANTS: 467 OCCUPANTS IN TENANT SUITE

BUILDING HEIGHT:

24'-4" ABOVE FINISH GRADE LEVEL TO TOP OF MAIN BUILDING PARAPET. ENTRY FACADE IS 35'-0" ABOVE GRADE.

BUILDING AREA:

28,000 GSF (EXISTING)

FIRE FLOW CALCULATIONS:

PER 2015 IFC: APPENDIX B, TABLE B105.1:
TOTAL SQUARE FOOTAGE: 28,000 SF
CONSTRUCTION TYPE: II-B
PER 2015 IFC TABLE B105.1(2):
TOTAL FIRE-FLOW = 3,500 GALLONS/MINUTE FOR 3 HRS
PER 2015 IFC: B105.2 AND TABLE B105.2:
MINIMUM FIRE-FLOW RATE SHALL BE 25% OF THE VALUE IN TABLE B105.1(2) FOR BUILDINGS OTHER THAN ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3 AND R-4 BUILDINGS AND TOWNHOUSES.
*THE REDUCED FIRE-FLOW SHALL BE NOT LESS THAN 1,000 GALLONS PER MINUTE.
THUS: 25% OF TABLE B105.1(2) VALUE = 0.25 X 3,500 = 875 GPM
THUS: TOTAL FIRE-FLOW SHALL BE 1,000 GALLONS/MINUTE FOR 3 HRS

FIRE HYDRANT DISTRIBUTION:

PER 2015 IFC: APPENDIX B, TABLE C105.1
1 FIRE HYDRANT REQUIRED PER APPENDIX C (1,500 GPM FIRE FLOW)
4 EXISTING FIRE HYDRANTS PROVIDED
(4 EXISTING HYDRANTS SERVING BUILDING IN SCOPE OF WORK, 7 EXISTING HYDRANTS SERVING SITE AS A WHOLE)
AVERAGE SPACING BETWEEN HYDRANTS SHALL BE 500 FEET
MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT SHALL BE 250 FEET

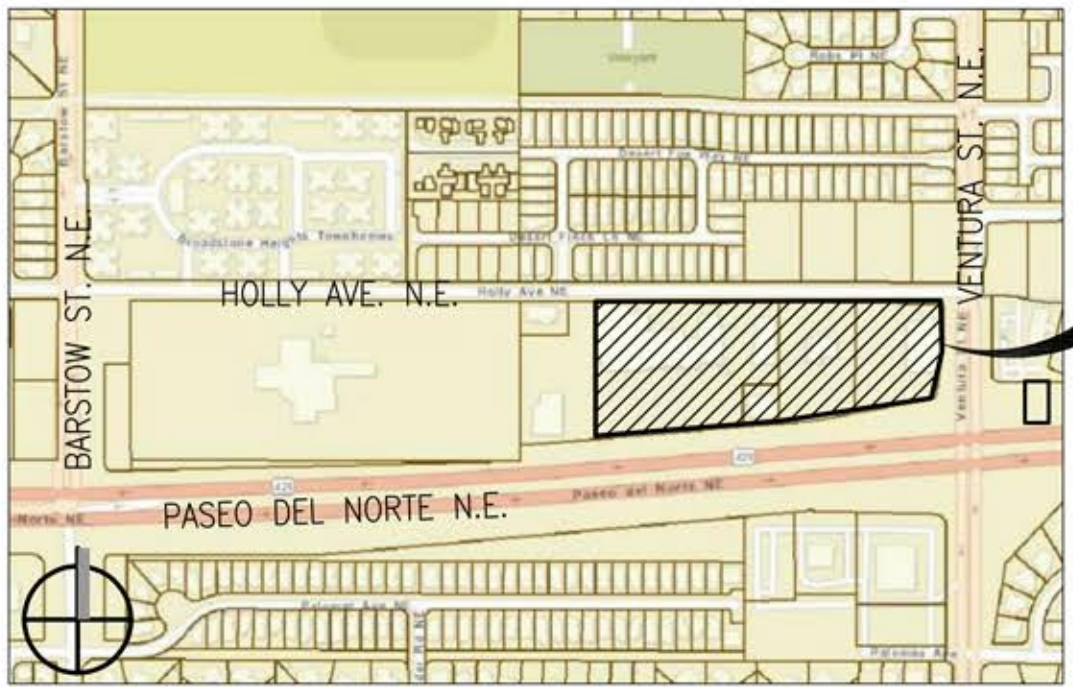
FIRE ACCESS ROAD REQUIREMENTS:

ACCESS ROAD TO BE CONSTRUCTED OF ASPHALT MATERIAL CAPABLE OF SUPPORTING THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE.

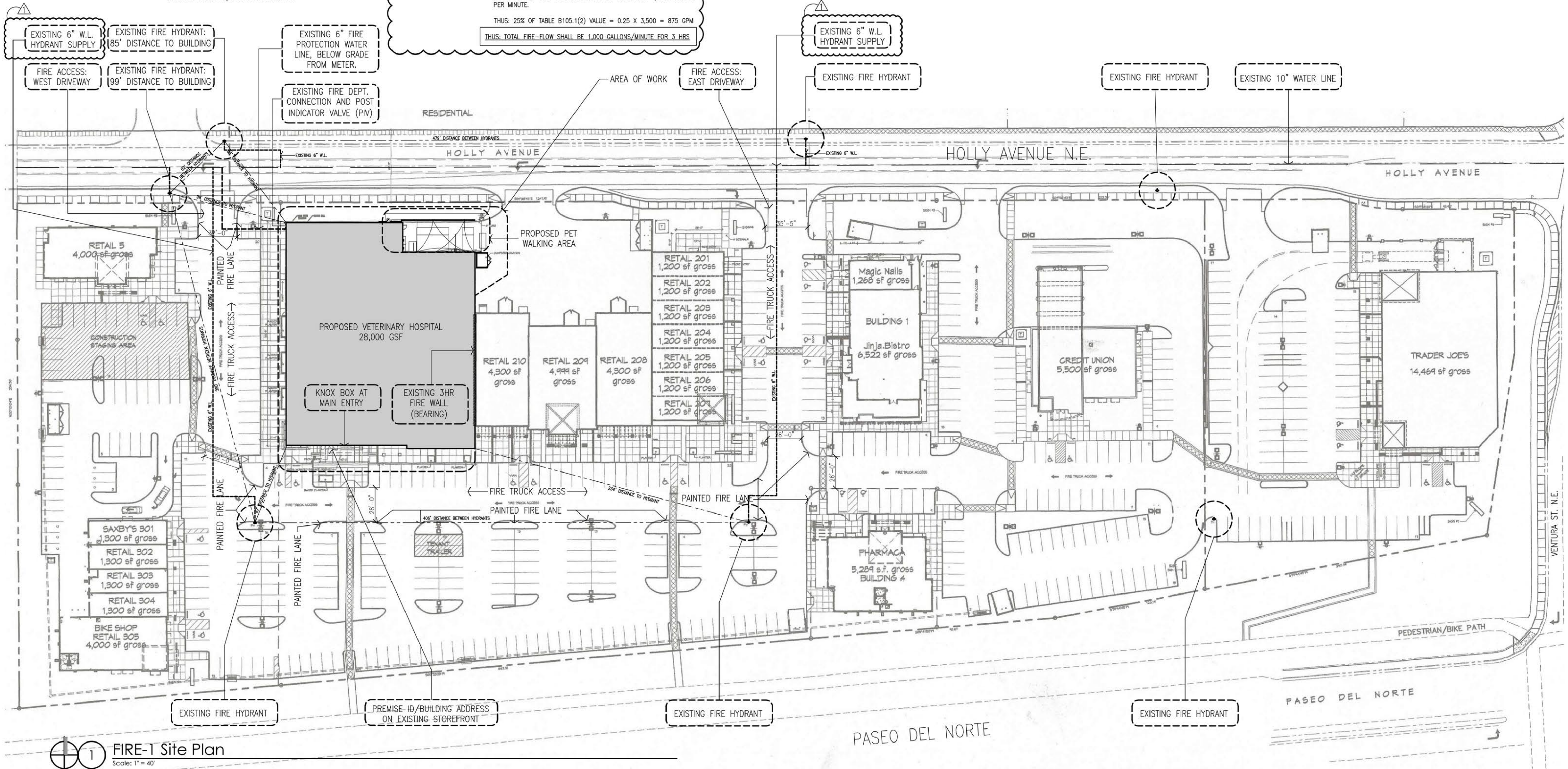
FIRE ACCESS FOR BUILDING EXCEEDING 30ft HEIGHT:

TWO MEANS OF FIRE APPARATUS ACCESS PROVIDED TO THE STRUCTURE (REFER TO SITE PLAN THIS SHEET):
1) ACCESS VIA WEST DRIVEWAY FROM HOLLY AVE. N.E.
2) ACCESS VIA EAST DRIVEWAY FROM HOLLY AVE. N.E.
THERE ARE NO OVERHEAD OBSTRUCTIONS AT EITHER ACCESS POINT.

VICINITY MAP

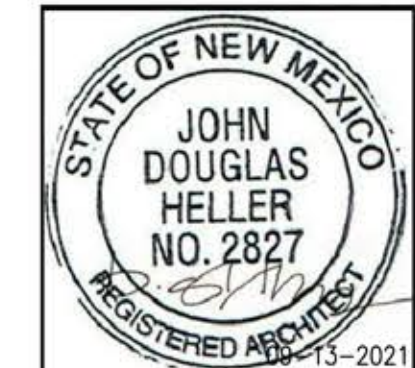
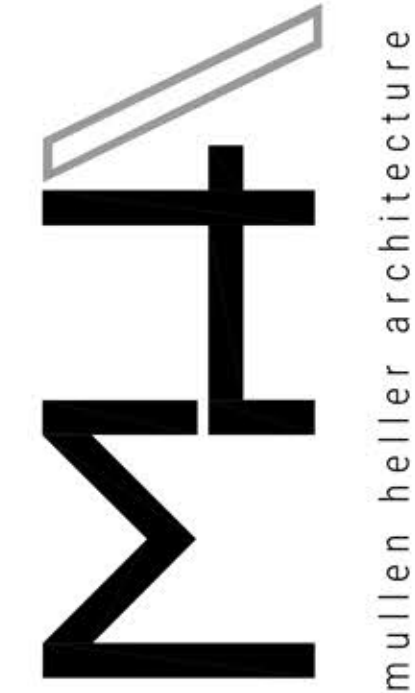


SITE



FIRE-1 Site Plan
Scale: 1" = 40'

REV	DATE	DESCRIPTION
1	09-15-2021	COA PLAN REVIEW COMMENTS



MULLEN HELLER ARCHITECTURE
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ALBUQUERQUE, NM 87104
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JOB NUMBER 21-06
DRAWN BY KBP
PROJECT MGR DH
DATE 09-13-2021
PHASE CD

PROJECT VCA VET CARE HOSPITAL
8850 Holly Ave Northeast
Albuquerque, NM 87122
TITLE FIRE-1 Site Plan

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

September 24, 2021

Doug Heller, RA
Mullen Heller Architecture, PC
1718 Central Ave SW, Ste D
Albuquerque, NM 87104

Re: VCA Vet Care Hospital
8850 Holly Ave NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 09-14-2021 (C20-D071)

Dear Mr. Heller,

The TCL submittal received 09-22-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

SITE DATA		
PROPOSED USAGE:	RETAIL/RESTAURANT/BANK	
LOT AREA:	447,657.43 S.F.(10.2768 AC.)	
BUILDING AREA:	97,119 S.F.	
PARKING CALCULATIONS:		
PARKING REQUIRED:		
RETAIL/BANK	87,158 GSF / 200 GSF	436 PARKING
RESTAURANT (JINJA)	8,661 GSF / 200 GSF	69 PARKING
RESTAURANT (SABBY'S)	1,300 GSF / 200 GSF	22 PARKING
TOTAL PARKING:		527 SPACES
PARKING REDUCTION:		
10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91)		53 SPACES
5% SITE GREATER THAN 5 ACRES		26 SPACES
10% MIXED USES/SHARED PARKING		53 SPACES
TOTAL PARKING REDUCTION:		132 SPACES
TOTAL PARKING REQUIRED:		395 SPACES
TOTAL PARKING PROVIDED:		527 SPACES
HC PARKING REQUIRED:		8 SPACES (2
HC PARKING PROVIDED:		24 SPACES (2
BICYCLE SPACES REQUIRED:		16 SPACES
BICYCLE SPACES PROVIDED:		20 SPACES

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN; THE MONUMENT SIGN SIZE SHALL NOT EXCEED 50 SQUARE FEET AND THE SIGN SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAIL.).
3. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
4. CURRENT ZONING CURRENT IS SU-1 MIXED USED.
5. WATER AND SEWER:
PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
6. BUILDINGS:
BUILDING HEIGHT:
BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT.
BUILDING TYPES AND COLORS:
SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.
7. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 18-14-2-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.
10. MAINTENANCE OF PUBLIC OPEN SPACE AMENDMENTS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

1. 6" CONCRETE CURB PER COA STD. DWG. #2415B TYP.
2. LANDSCAPING AREA.
3. NO ACCESSIBLE SIDEWALK RAMP.
4. NEW ASPHALT PAVING AREA.
5. 6" WDF TEXTURED CONCRETE PEDESTRIAN CROSSING
6. NEW TURN DOWN SIDEWALK.
7. 6" WIDE ASF-ALT PEDESTRIAN CROSSING
8. NEW 4' SIDEWALK PER COA STD. DWG. #2430.
9. EXISTING 6" SIDEWALK.
10. EXISTING DRIVE WAY ENTRANCE
11. 8" CMU REFUSE ENCLOSURE PER COA SOLID
WASTE DEPARTMENT STANDARDS.
12. EXISTING CURB AND GUTTER.
13. EX-ISTING POWER P.O.E.
14. FUTURE CURB AND GUTTER.
15. EXISTING UNIDIRECTIONAL WHEELCHAIR RAMP.
16. 8' WIDE X 20' DEEP PARKING SPACES
17. 9' WIDE X 18' DEEP PARKING SPACES
18. HANDICAP SIG. PER COA STANDARDS.
19. BICYCLE RACK
20. TAN SPLIT FACE BLOCK WALL (HEIGHT NOT TO EXCEED 8").
21. MONUMENT SIGN, REFER TO ELEVATION PLAN.
22. TRANSFORMER
23. CPT RETURN

PROJECT DESCRIPTION: THE PROJECT SCOPE IS AN INTERIOR RENOVATION OF A FORMER RETAIL STORE INTO A SPECIALTY ANIMAL HOSPITAL. THERE IS NO PROPOSED BUILDING AREA INCREASE.

THE PROJECT PROPOSES A CHANGE OF OCCUPANCY FROM THE EXISTING M (MERCANTILE) TO B (BUSINESS).

THE PROJECT SCOPE INCLUDES LIMITED SITE WORK TO RECONFIGURE AN EXISTING LOADING DOCK AREA ON THE NORTH INTO A FENCED PET WALKING/RELIEF AREA.

ALL OTHER EXISTING SITE FEATURES, PARKING, FIRE ACCESS AISLES, DRIVEWAYS, FIRE HYDRANTS, FIRE LANES, LANDSCAPING, STRIPING, AND TRAFFIC FLOW ELEMENTS ARE TO REMAIN.

NOTE: THE BASE UNDERLAY SITE PLAN IS FROM THE EXISTING COA APPROVED DRAWING SET FOR THE SITE DEVELOPMENT, WHICH WAS NOT GENERATED BY MULLEN HELLER ARCHITECTURE.

BUILDING ADDRESS: 8850 HOLLY AVE. N.E., ALBUQUERQUE, NM 87122

UPC: 102006417002630121

LEGAL DESCRIPTION: LOT 3-A PLAT OF LOTS 2-A AND 3-A VENTURA PLACE 4.4407 AC

IDO ZONE DISTRICT: MX-L

ZONE ATLAS PAGE: C-20-Z

BUILDING GROSS AREA: 28,000 SF (BUILDING AREA OF PROJECT SCOPE)

TOTAL LOT AREA: 10.2768 ACRES (ENTIRE SITE)

MOTORCYCLE PARKING: REQUIRED MOTORCYCLE PARKING PER 100 TABLE 5-5-4:
FOR REQUIRED OFF-STREET VEHICLE PARKING SPACES
51-100 (SEE FOLLOWING PARKING CALCULATIONS),
PROVIDE 3 MOTORCYCLE SPACES MINIMUM.

PREFERRED MOTORCYCLE PARKING: 4 SPACES

EXISTING OCCUPANCY: M (MERCANTILE)

PRE-100 PARKING CALCULATION (EXISTING PARKING):
200' 1 SPACE/200 GSF: 28,000 GSF/200' = 140 SPACES REQUIRED

PARKING REDUCTIONS:

10% WITHIN 300' OF TRANSIT SYSTEM:	14 SPACES
5% SITE GREATER THAN 5 ACRES:	7 SPACES
10% MIXED USE/S/SHARED PARKING:	14 SPACES
<u>TOTAL REDUCTIONS:</u>	<u>35 SPACES</u>

THIS TOTAL EXISTING PARKING REQUIREMENT: 105 SPACES

PROPOSED OCCUPANCY: B (BUSINESS: VETERINARY HOSPITAL)

100 PARKING CALCULATION FOR FOR B (BUSINESS: VETERINARY HOSPITAL):
2.5 SPACES / 1,000 GSF = 70 SPACES REQUIRED

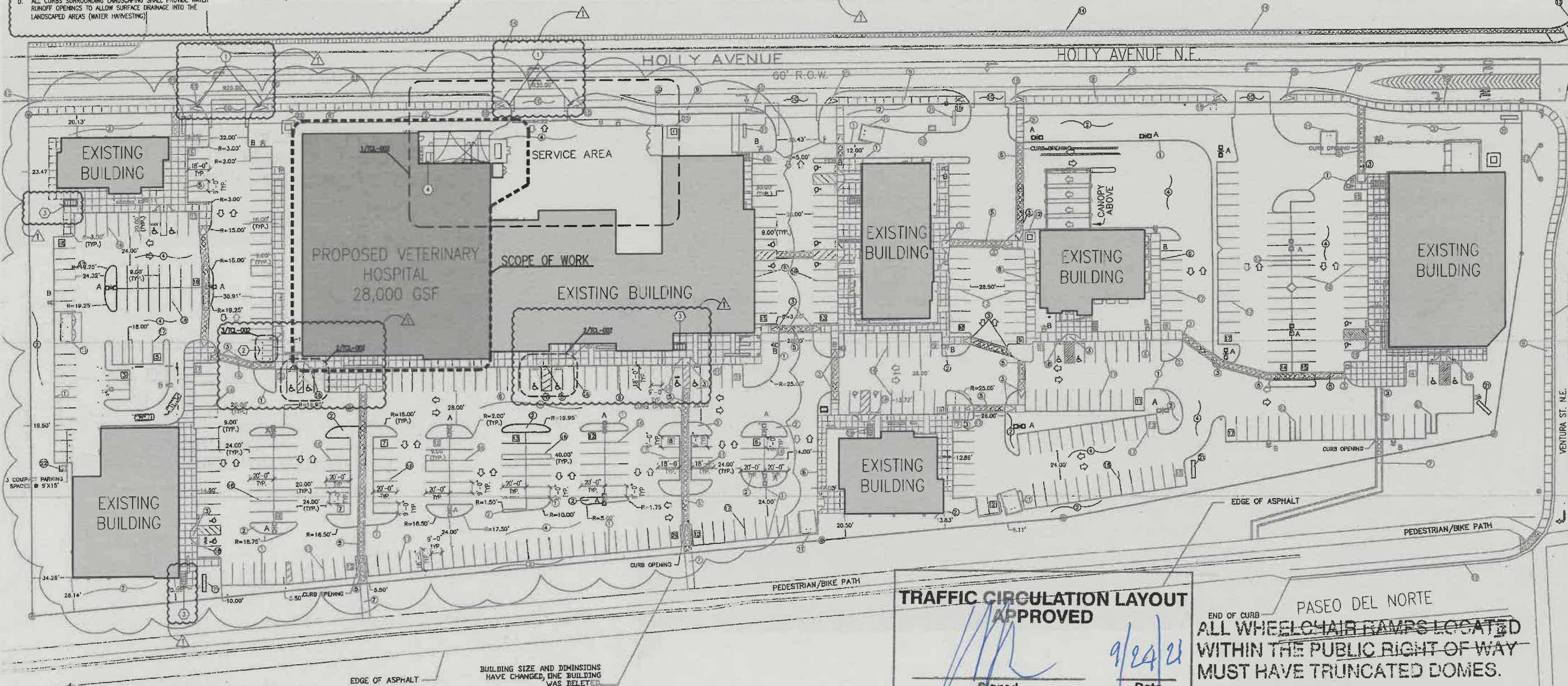
THIS: EXISTING PARKING PROVIDES ADEQUATE SPACES FOR PROPOSED CHANGE

- A. THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- C. ANY ENCROACHMENT OR OVERHANG INTO THE R.O.W. FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- D. ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).

- E. ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- F. ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
- G. CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
- H. ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.

GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

1. INSTALL TRUNCATED DOWNS ON EXISTING ADA CURB RAMPS PER CQA STANDARD DETAILS (#2446).
2. PROPOSED MOTORCYCLE PARKING SPACES, 4' WIDE X 8' LONG, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE, SEE TCL-003.
3. EXISTING BICYCLE RACK.
4. PROPOSED BICYCLE RACK. REFER TO TCL-002 AND TCL-003.



END OF CURB PASEO DEL NORTE
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

REV	DATE	BY	DESCRIPTION
3			
4			
3			
2			
1	09-20-2021	KBP	CDA PLAN REVIEW COMMENTS



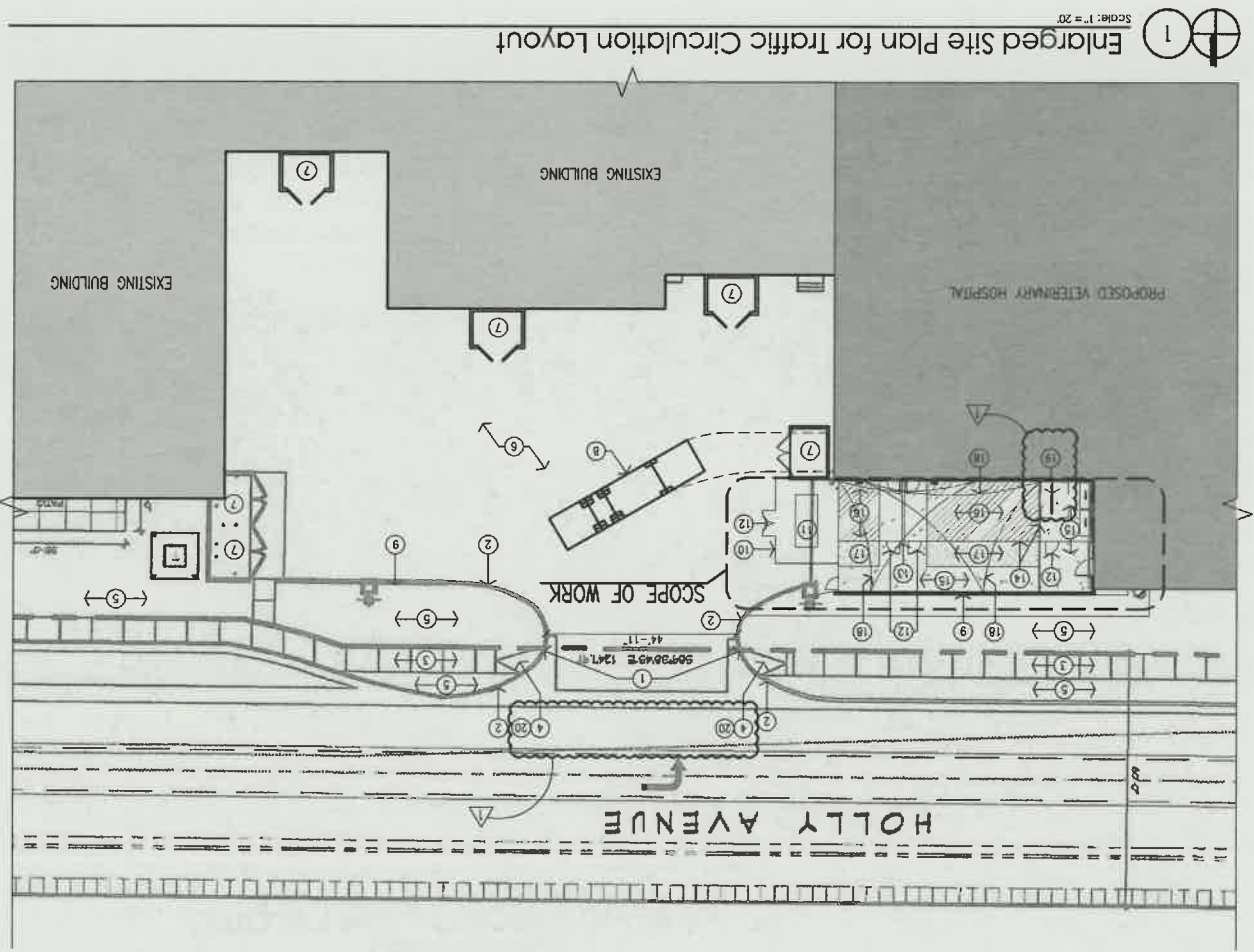
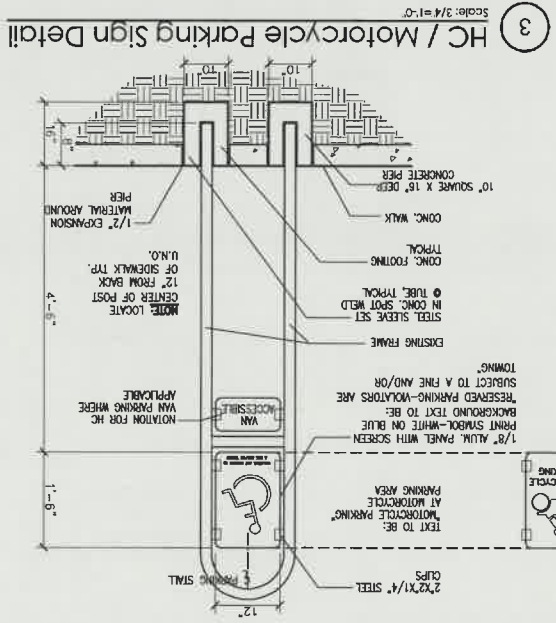
MULLEN HELLER ARCHITECTURE
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ALBUQUERQUE, NM 87104
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F | 505.268.4244
www.mullenheller.com

JOB NUMBER	21-0
DRAWN BY	KE
PROJECT MGR	D
DATE	09-20-202
PHASE	C

PROJECT	TITLE
WVCA VET CARE HOSPITAL 88850 Holly Ave Northeast Albuquerque, NM 87122	Traffic Circulation Layout

SHEET
TCL-001

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed _____
Date 9/24/91



REV	DATE	BY	DESCRIPTION
5			
4			
3			
2			
1	09-20-2021	KRP	COA PLAN RENEW COMMENTS

PROJECT
VCA VET CARE HOSPITAL
8850 Holly Ave Northeast
Albuquerque, NM 87122

TITLE
Traffic Circulation Layout

21-06	JOB NUMBER
21-06	DRAWN BY
KBP	PROJECT MGR
09-20-2021	DATE
CD	PHASE

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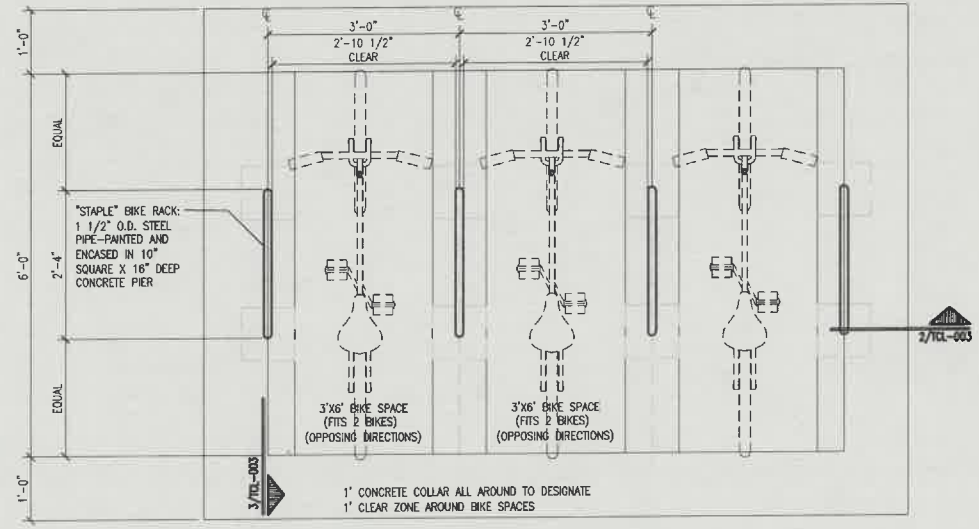


MT
mullen beller architecture

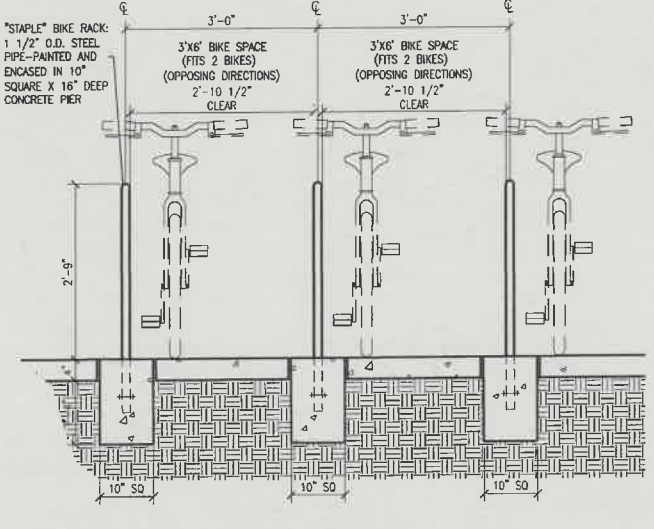
REV	DATE	BY	DESCRIPTION
5			
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1	09-20-2021	KBP	COA PLAN REVIEW COMMENTS

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

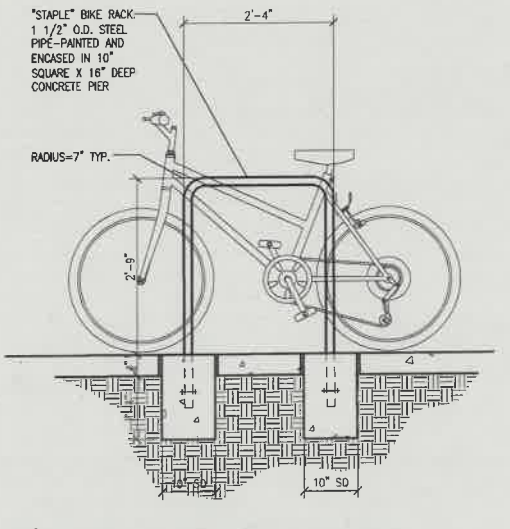
Signed _____ Date 9/29/21



1 Bicycle Rack Partial Plan Detail
Scale: 3/4"=1'-0"
REFER TO PLAN FOR TOTAL QUANTITY



2 Bicycle Rack Front Detail
Scale: 3/4"=1'-0"



3 Bicycle Rack Side Detail
Scale: 3/4"=1'-0"

REV	DATE	BY	DESCRIPTION
1			
2			
3			
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5			



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JOB NUMBER 21-06
DRAWN BY KBP
PROJECT MGR DH
DATE 09-20-2021
PHASE CD

PROJECT **VCA VET CARE HOSPITAL**
8850 Holly Ave Northeast
Albuquerque, NM 87122
TITLE **Traffic Circulation Layout**

SHEET
TCL-003

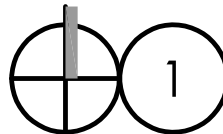
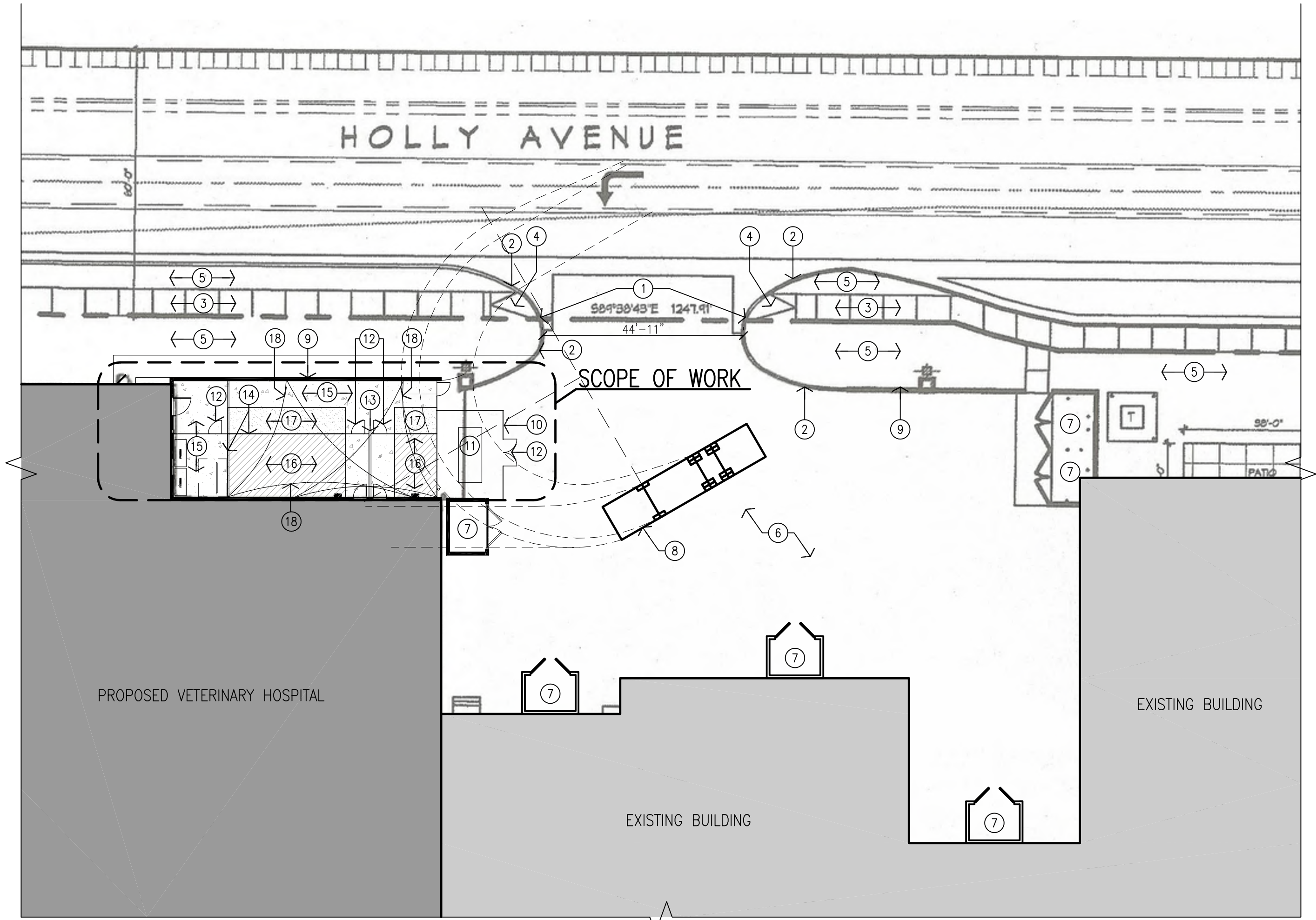
220-0071

Approved for access by the Solid Waste Department
Herman Gallegos 09-17-21 *Herman Gallegos*
**The dumpster that is used for this proposed
Veterinary Hospital will require a back bar to prevent
damage to the wall of the building. **

CODE DATA: REFUSE SITE PLAN

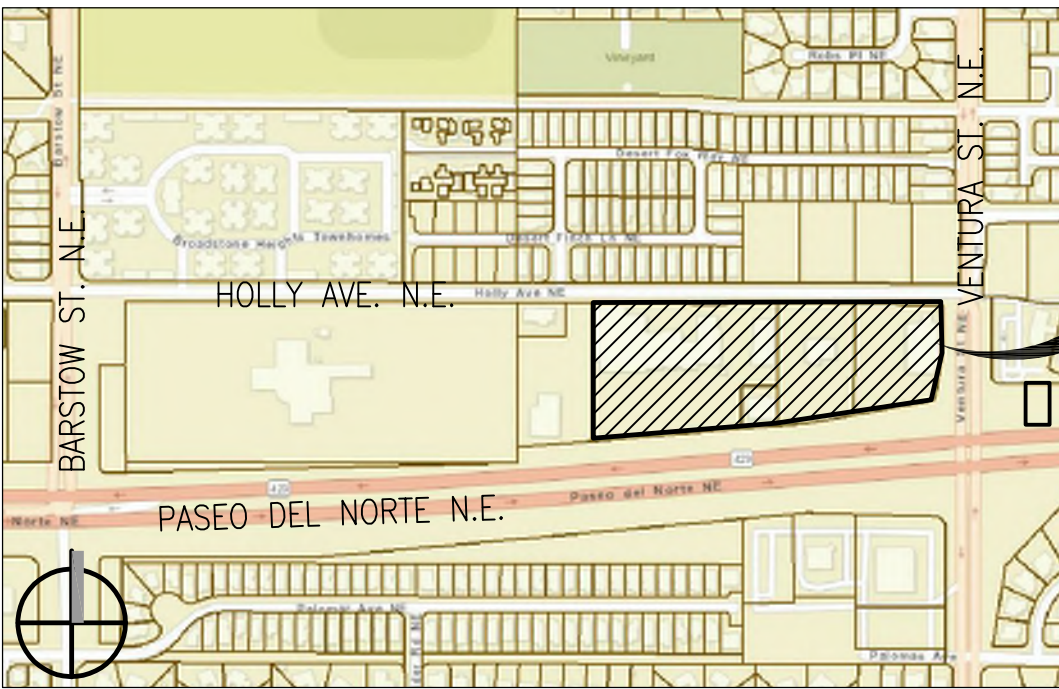
BUILDING ADDRESS: 8850 HOLLY AVE. N.E., ALBUQUERQUE, NM 87122
UPC: 102006417002830121
LEGAL DESCRIPTION: LOT 3-A PLAT OF LOTS 2-A AND 3-A VENTURA PLACE 4.4407 AC
IDO ZONE DISTRICT: MX-L
ZONE ATLAS PAGE: C-20-Z
BUILDING GROSS AREA: 28,000 SF (BUILDING AREA OF PROJECT SCOPE)
TOTAL LOT AREA: 10.2768 ACRES (ENTIRE SITE)

PROJECT DESCRIPTION:
THE PROJECT SCOPE IS AN INTERIOR RENOVATION OF A FORMER RETAIL STORE INTO A SPECIALTY ANIMAL HOSPITAL. THERE IS NO PROPOSED BUILDING AREA INCREASE.
THE PROJECT PROPOSES A CHANGE OF OCCUPANCY FROM THE EXISTING M (MERCANTILE) TO B (BUSINESS).
THE PROJECT SCOPE INCLUDES LIMITED SITE WORK TO RECONFIGURE AN EXISTING LOADING DOCK AREA ON THE NORTH INTO A FENCED PET WALKING/RELIEF AREA.
ALL OTHER EXISTING SITE FEATURES, PARKING, FIRE ACCESS AISLES, DRIVEWAYS, FIRE HYDRANTS, FIRE LANES, LANDSCAPING, STRIPING, AND TRAFFIC FLOW ELEMENTS ARE TO REMAIN.
NOTE: THE BASE UNDERLAY SITE PLAN IS FROM THE EXISTING COA APPROVED DRAWING SET FOR THE SITE DEVELOPMENT, WHICH WAS NOT GENERATED BY MULLEN HELLER ARCHITECTURE.



Enlarged Site Plan for Refuse/Solid Waste
Scale: 1" = 20'

VICINITY MAP

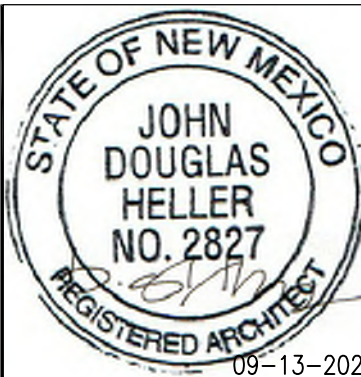
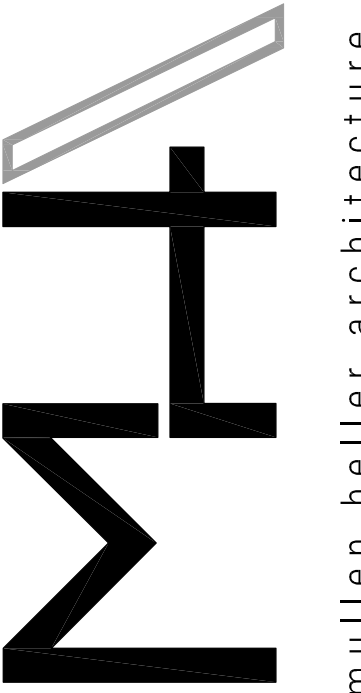


SITE

- GENERAL NOTES:
- A. THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - B. ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
 - C. ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
 - D. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
 - E. ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
 - F. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
 - G. MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND FULLY SHIELDED FROM VIEW BY THE PARAPET CONSTRUCTION. SHOULD A MECHANICAL UNIT BE LOCATED AT THE GROUND LEVEL, IT SHALL BE FULLY SCREENED FROM VIEW PER THE IDO.

- KEYED NOTES:
- 1. EXISTING DRIVEWAY TO REMAIN.
 - 2. EXISTING CURB TO REMAIN.
 - 3. EXISTING SIDEWALK TO REMAIN.
 - 4. EXISTING SIDEWALK RAMP TO REMAIN.
 - 5. EXISTING LANDSCAPING TO REMAIN.
 - 6. EXISTING PAVING TO REMAIN.
 - 7. EXISTING REFUSE ENCLOSURE TO REMAIN.
 - 8. CITY STANDARD SOLID WASTE TRUCK, FOR REFERENCE ONLY.
 - 9. EXISTING CMU SCREEN WALL TO REMAIN.
 - 10. NEW 6'-0" HIGH BLACK CHAIN-LINK FENCE AROUND NEW GENERATOR W/MESH. REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.
 - 11. NEW GENERATOR, REFER TO A0.4.1 AND TO CIVIL AND MEP DRAWINGS FOR MORE INFORMATION.
 - 12. NEW GATE, REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.
 - 13. NEW 4'-0" HIGH 6" CMU WALL PAINTED TO MATCH BUILDING. REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.
 - 14. NEW 6'-0" HIGH NO-CLIMB STYLE BLACK CHAIN-LINK FENCING. REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.
 - 15. NEW CONCRETE PAVED SURFACE, REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.
 - 16. NEW TIGER TURF INSTALLED ON 6" DECOMPOSED GRANITE BASE, REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.
 - 17. NEW 6" DEEP DECOMPOSED GRANITE GROUND COVER, REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.
 - 18. NEW OVERHEAD SHADE CANOPY STRUCTURE, REFER TO A0.4.1 FOR ADDITIONAL INFORMATION.

REV	BY	DATE	DESCRIPTION
3			
4			
5			
6			
7			



MULLEN HELLER ARCHITECTURE
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JOB NUMBER	21-06
DRAWN BY	KBP
PROJECT MGR	DH
DATE	09-13-2021
PHASE	CD

PROJECT
VCA VET CARE HOSPITAL
8850 Holly Ave Northeast
Albuquerque, NM 87122

TITLE
Enlarged Site Plan

SHEET
REFUSE



BUILDING ELEVATION KEYNOTES

1. EXISTING PAINTED STUCCO TO REMAIN.
2. EXISTING STACKED STONE PLASTER TO REMAIN.
3. EXISTING CLERESTORY WINDOWS TO REMAIN.
4. EXISTING STUCCO CONTROL JOINT TO REMAIN.
5. EXISTING ACCESSIBLE RAMP & RAILINGS TO REMAIN.
6. NEW 6'-0" LONG PARK BENCH (SURFACE MOUNTED), MODEL: 9405M-V6 (BELSON OUTDOORS, WWW.BELSON.COM), COLOR: TO BE DETERMINED.
7. NEW PIPE RAILING, BOLTED INTO CONCRETE.
8. INFILL EXISTING EQUIPMENT OPENING, NEW CONSTRUCTION TO MATCH EXISTING MATERIALS AND THICKNESS, FINISH TO MATCH EXISTING-PAINTED STUCCO.
9. FROSTED WINDOW FILM GRAPHIC, VERIFY EXISTING GLAZING IS TEMPERED PRIOR TO INSTALLATION.
10. EXTERIOR SUN SHADE SALS BOLTED INTO EXISTING BUILDING WITH APPROVED FASTENER. REFER TO FENCING AND GROUNDCOVER PLANS FOR MORE INFORMATION.
11. NEW MEMBRANE ROOF CANOPY STRUCTURE. REFER TO A3.0 AND STRUCTURAL PLANS FOR MORE INFORMATION.
12. NEW MASONRY WALL TO SEPARATE RELIEF YARDS. REFER TO FENCING AND GROUNDCOVER PLANS FOR MORE INFORMATION.
13. NEW HOSE BIBB AND RACK. REFER TO FENCING AND GROUNDCOVER PLANS FOR MORE INFORMATION.
14. NEW FENCING, REFER TO FENCING AND GROUNDCOVER PLAN FOR MORE INFORMATION.
15. EXISTING MASONRY PRIVACY WALL TO REMAIN.
16. EXISTING EXTERIOR WALL PACK LIGHT TO REMAIN.
17. NEW ADA RAMP, GUARDRAIL, AND HANDRAIL. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
18. NEW CONCRETE STOOP AND GUARDRAIL, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
19. NEW 12-0" SLOPED SIDEWALK, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.



8850 Holly Ave N.E. – Proposed Administrative Amendment

8850 Holly Ave. N.E.

Albuquerque, NM 87122

Responses to Transportation Development Comments

November 16, 2021

This memo addresses the review comments received from Marwa Al-najjar on the initial Administrative Amendment Request for the Ventura Place Site Development Plan and associated project at 8850 Holly Ave NE.

Comment:

1. List the number of parking spaces required by the IDO for the whole site (parking calculations for each building separately) including the proposed Veterinary Hospital as well as the proposed number of parking spaces including ADA parking, bicycle, and motorcycle parking.
 - *Response: Please find attached a new sheet, A002, with the requested parking calculations. Additionally, please refer to a new diagram, IDO Use Classification Diagram, that shows the existing buildings with areas and use classifications for parking calculations per IDO Table 5-5-1.*

Attachments:

1. 8850 Holly Ave NE - A002 – Site Plan Parking Calculations for A.A
2. 8850 Holly Ave NE - IDO Use Classification Diagram

ALL FOR NOW

CODE DATA AND NOTES FROM EXISTING SITE PLAN (COA APPROVED SDP IN 2006)

SITE DATA			
PROPOSED USAGE:	RETAIL/RESTAURANT/BANK		
LOT AREA:	447,657.43 S.F.(10.2768 AC.)		
BUILDING AREA:	97,119 S.F.		
PARKING CALCULATIONS:			
PARKING REQUIRED:			
RETAIL/BANK	87,158 GSF/ 200 GSF	436	PARKING
RESTAURANT (JINJA)	8,661 GSF/ 200 GSF	69	PARKING
RESTAURANT (SAXBY'S)	1,300 GSF/ 200 GSF	22	PARKING
TOTAL PARKING:			527 SPACES
PARKING REDUCTION:			
10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91)		53	SPACES
5% SITE GREATER THAN 5 ACRES		26	SPACES
10% MIXED USES/SHARED PARKING		53	SPACES
TOTAL PARKING REDUCTION:			132 SPACES
TOTAL PARKING REQUIRED:			395 SPACES
TOTAL PARKING PROVIDED:			527 SPACES
HC PARKING REQUIRED:		8	SPACES (2
HC PARKING PROVIDED:		24	SPACES (2
BICYCLE SPACES REQUIRED:		16	SPACES
BICYCLE SPACES PROVIDED:		20	SPACES

GENERAL NOTES:

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 50 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAIL).
3. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
4. CURRENT ZONING CURRENT IS SU-1 MIXED USED.
5. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
6. BUILDINGS: BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT. BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.
7. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 16-14-2-16-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.
10. MAINTENANCE OF PUBLIC OPEN SPACE AMENDMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

NOTES:

1. 6" CONCRETE CURB PER COA STD. DWG. #2415B TYP.
2. LANDSCAPING AREA.
3. HC ACCESSIBLE SIDEWALK RAMP.
4. NEW ASPHALT PAVING AREA.
5. 6' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
6. NEW TURN DOWN SIDEWALK.
7. 6' WIDE ASPHALT PEDESTRIAN CROSSING
8. NEW 4' SIDEWALK PER COA STD. DWG. #2430.
9. EXISTING 6' SIDEWALK.
10. EXISTING DRIVE WAY ENTRANCE.
11. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS.
12. EXISTING CURB AND GUTTER.
13. EXISTING POWER POLE.
14. FUTURE CURB AND GUTTER.
15. EXISTING UNIDIRECTIONAL WHEELCHAIR RAMP.
16. 9' WIDE X 20' DEEP PARKING SPACES
17. 9' WIDE X 18' DEEP PARKING SPACES
18. HANDICAP SIGN PER COA STANDARDS.
19. BICYCLE RACK
20. TAN SPLIT FACE BLOCK WALL (HEIGHT NOT TO EXCEED 8').
21. MONUMENT SIGN, REFER TO ELEVATION PLAN.
22. TRANSFORMER
23. CART RETURN

KEYED NOTES FOR CURRENT TCL:

1. INSTALL TRUNCATED DOMES ON EXISTING ADA CURB RAMPS PER COA STANDARD DETAILS (#2446).
2. PROPOSED MOTORCYCLE PARKING SPACES, 4' WIDE X 8' LONG, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE, SEE TCL-003.
3. EXISTING BICYCLE RACK.
4. PROPOSED BICYCLE RACK. REFER TO TCL-002 AND TCL-003.
5. PROPOSED ADA COMPLIANT RAMP AND ENTRY.
6. EXISTING ADA COMPLIANT RAMP AND ENTRY.

PARKING CALCULATIONS FOR PROPOSED SITE PLAN

VENTURA PLACE: PARKING CALCULATIONS PER EXISTING BUILDING'S USE PER IDO TABLE 5-5-1:

EXISTING GENERAL RETAIL:		
TOTAL GENERAL RETAIL COMBINED AREA	=	41,825 GSF
4 SPACES/1,000 GSF	=	167 SPACES REQUIRED
EXISTING RESTAURANT:		
TOTAL RESTAURANT COMBINED AREA	=	12,472 GSF
8 SPACES/1,000 GSF	=	99 SPACES REQUIRED
EXISTING OFFICE:		
TOTAL OFFICE COMBINED AREA	=	2,150 GSF
3.5 SPACES/1,000 GSF	=	7 SPACES REQUIRED
EXISTING GYM:		
EXISTING GYM AREA	=	3,600 GSF
2.5 SPACES/1,000 GSF	=	9 SPACES REQUIRED
MEDICAL CLINIC ("MEDICAL SPA"):		
EXISTING MEDICAL CLINIC AREA	=	4,000 GSF
5 SPACES/1,000 GSF	=	20 SPACES REQUIRED
EXISTING BANK:		
EXISTING BANK AREA	=	5,500 GSF
3 SPACES/1,000 GSF	=	16 SPACES REQUIRED

TOTAL REQUIRED PARKING FOR EXISTING BUILDINGS:	318 SPACES
PARKING FOR PROPOSED VETERINARY CLINIC:	
TOTAL AREA	= 28,000 GSF
2.5 SPACES/1,000 GSF	= 70 SPACES REQUIRED
REQUIRED PARKING GRAND TOTAL:	= 388 SPACES
PROVIDED PARKING SPACES:	= 525 SPACES

ADA ACCESSIBLE PARKING CALCULATIONS PER ADAAG:

REQUIRED: FOR 501 TO 1,000 PROVIDED SPACES: PROVIDE A MINIMUM OF 10 ACCESSIBLE SPACES
1 IN EVERY 8 SPACES SHALL BE SERVED BY AN ACCESS AISLE
96" WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE."
THUS, 8 X 10 SPACES = 1.25 VAN ACCESSIBLE SPACES:
ROUNDED TO 2 VAN ACCESSIBLE SPACES REQUIRED

PROVIDED: 24 ACCESSIBLE SPACES (12 VAN ACCESSIBLE SPACES)

REQUIRED MOTORCYCLE PARKING PER IDO TABLE 5-5-4:

FOR REQUIRED OFF-STREET VEHICLE PARKING SPACES 301-500:

REQUIRED: 6 MOTORCYCLE SPACES MINIMUM

PROVIDED MOTORCYCLE PARKING: 4 SPACES

REQUIRED BICYCLE PARKING PER IDO TABLE 5-5-5:

NON-RESIDENTIAL: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED BICYCLE PARKING: 10% OF 388 SPACES = 38 SPACES

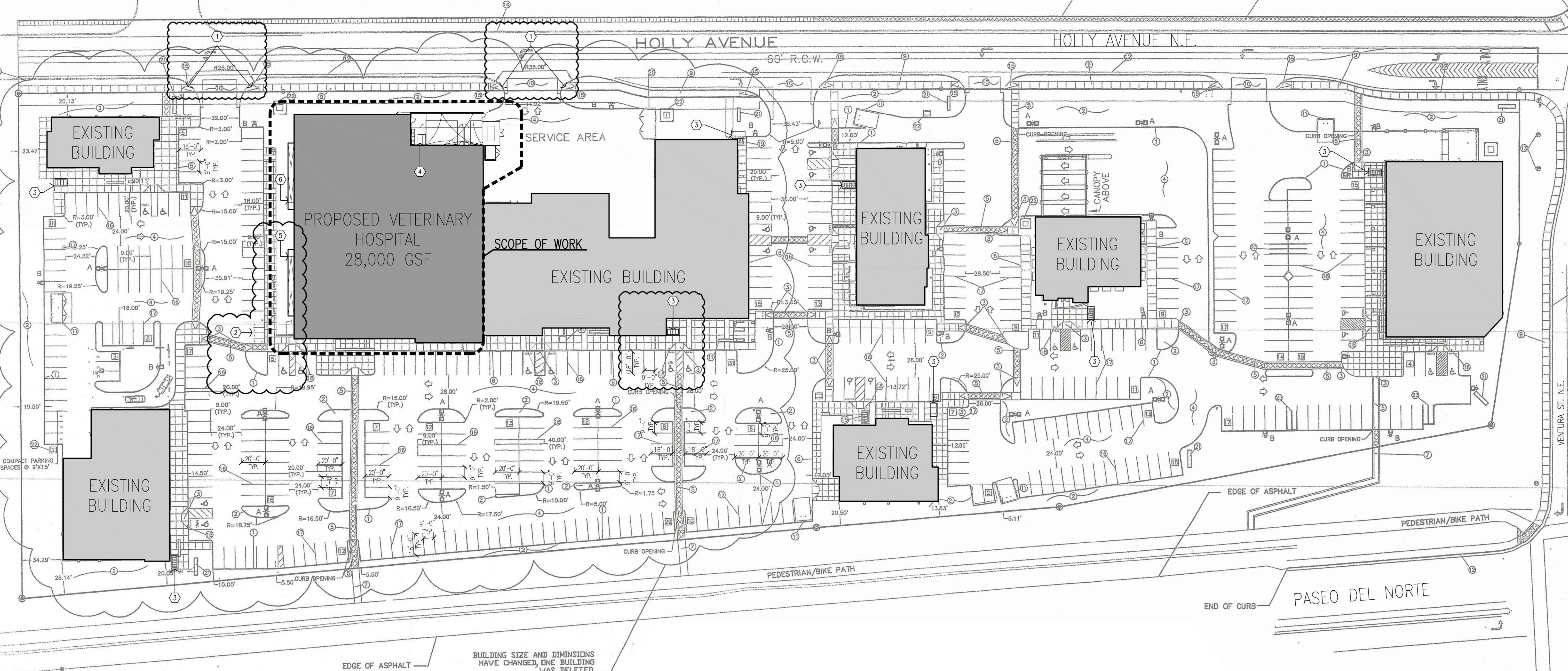
EXISTING BICYCLE PARKING: = 34 SPACES

PROPOSED BICYCLE PARKING: = 6 SPACES (SEE APPROVED TCL FOR DETAILS)

TOTAL PROVIDED BICYCLE PARKING: = 40 SPACES

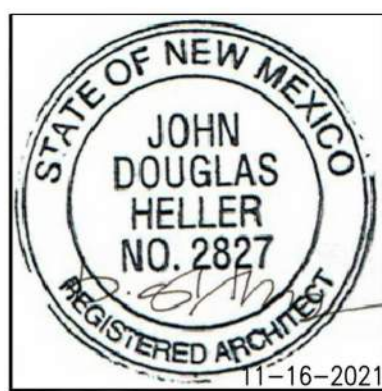
GENERAL NOTES FOR CURRENT TCL:

- A. THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- C. ANY ENCROACHMENT OR OVERHANG INTO THE R.O.W. FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- D. ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- E. ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- F. ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
- G. CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
- H. ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
- I. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.



Site Plan: Parking Calculations for Administrative Amendment
Scale: 1" = 40'
NORTH

REV	DESCRIPTION	BY	DATE
1		KBP	09-20-2021

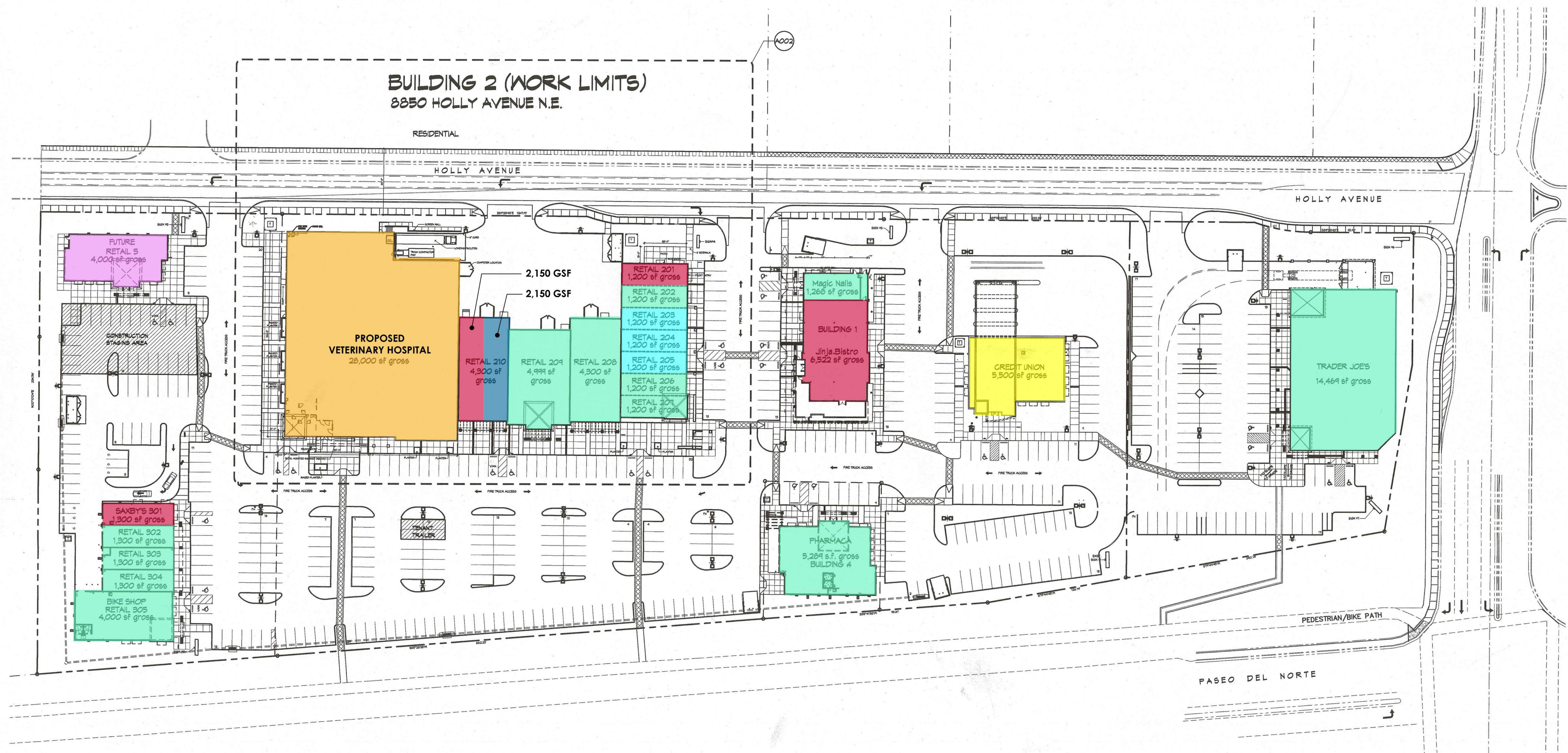


MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE D
ALBUQUERQUE, NM 87104
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER	21-06
DRAWN BY	KBP
PROJECT MGR	DH
DATE	11-16-2021
PHASE	CD

PROJECT
VCA VET CARE HOSPITAL
8850 Holly Ave Northeast
Albuquerque, NM 87122
TITLE
Site Plan Parking Calculations for A.A.

IDO USE CLASSIFICATION DIAGRAM



**Ventura Place
Master Plan**
Ventura and Paseo Del Norte
Albuquerque, NM 87122



MASTER PLAN

0 20' 40'

1" = 40'-0"

NTS: FOR REFERENCE ONLY

IDO USE CLASSIFICATION LEGEND

- | | |
|---------------------|-------------------------|
| GENERAL RETAIL | TOTAL AREA = 41,825 GSF |
| RESTAURANT | TOTAL AREA = 12,472 GSF |
| OFFICE | TOTAL AREA = 2,150 GSF |
| GYM | TOTAL AREA = 3,600 GSF |
| MEDICAL CLINIC | TOTAL AREA = 4,000 GSF |
| VETERINARY HOSPITAL | TOTAL AREA = 28,000 GSF |
| BANK | TOTAL AREA = 5,500 GSF |

VISIONS

DRAWN BY
REVIEWED BY
DATE
PROJECT NO.
DRAWING NAME

OVERALL
MASTER SITE
PLAN

SHEET NO.

4000
OF

ALBUQUERQUE
BUILDING & SAFETY
MAY 14 2007
U.B.C.
PLAN CHECK
SECTION



CITY OF ALBUQUERQUE INVOICE

DOUG HELLER

1718 CENTRAL AVENUE SW SUITE D

Reference NO: SI-2021-01837

Customer NO: CU-76280795

Date	Description	Amount
11/04/21	2% Technology Fee	\$1.00
11/04/21	Application Fee	\$50.00

Due Date: **11/04/21**

Total due for this invoice:

\$51.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 11/04/21
Amount Due: **\$51.00**
Reference NO: SI-2021-01837
Payment Code: 130
Customer NO: CU-76280795

DOUG HELLER
1718 CENTRAL AVENUE SW SUITE D
ALBUQUERQUE, NM 87104



130 0000SI202101837000993551148128381000000000000051000CU76280795