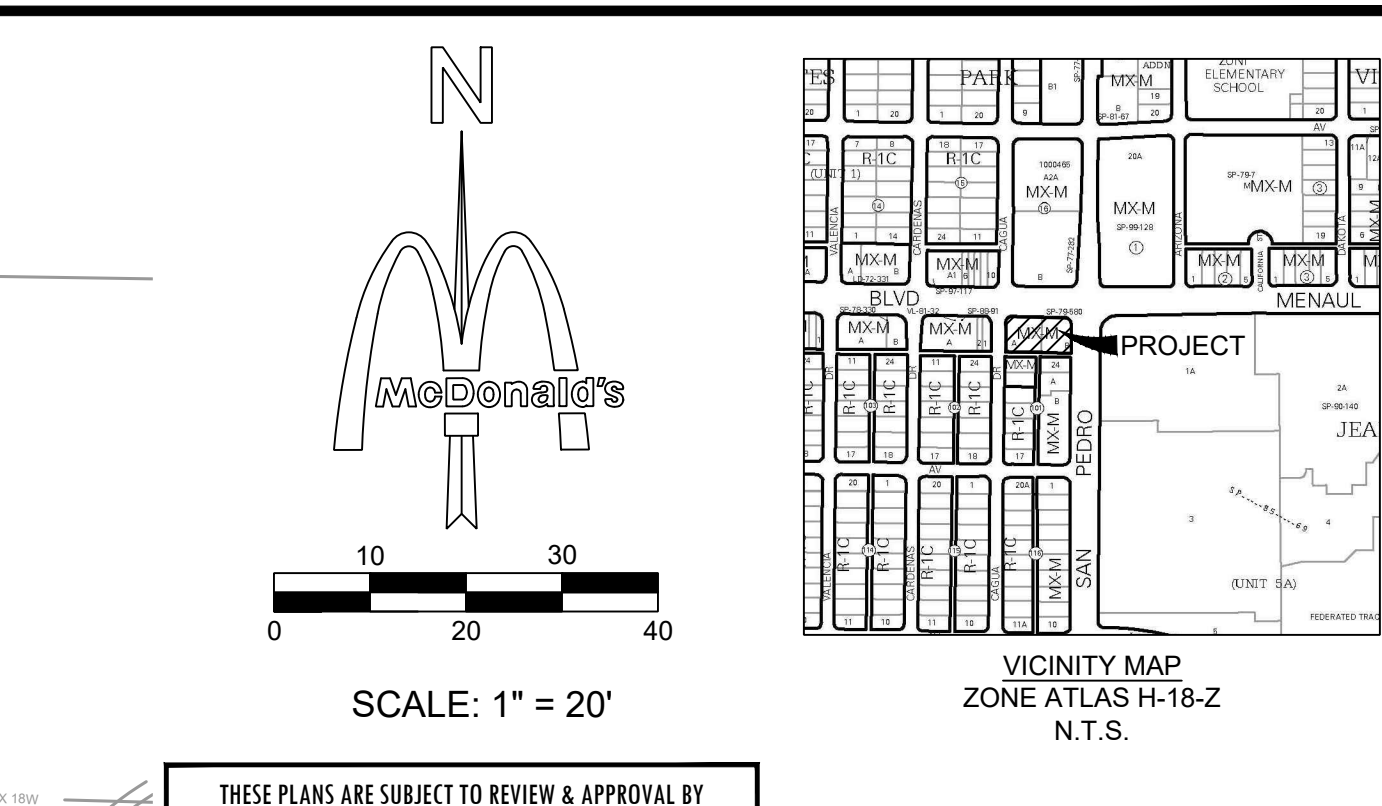
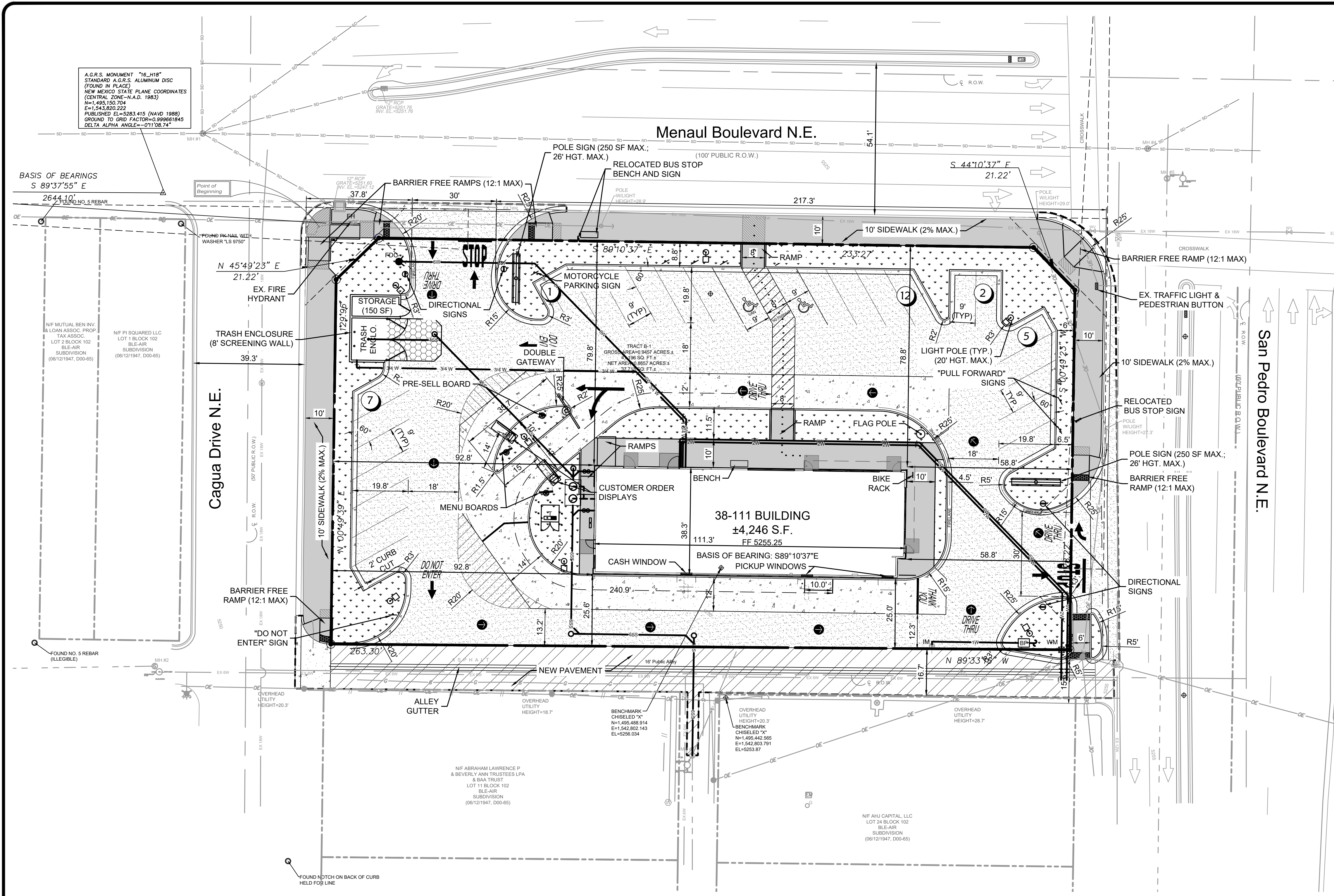
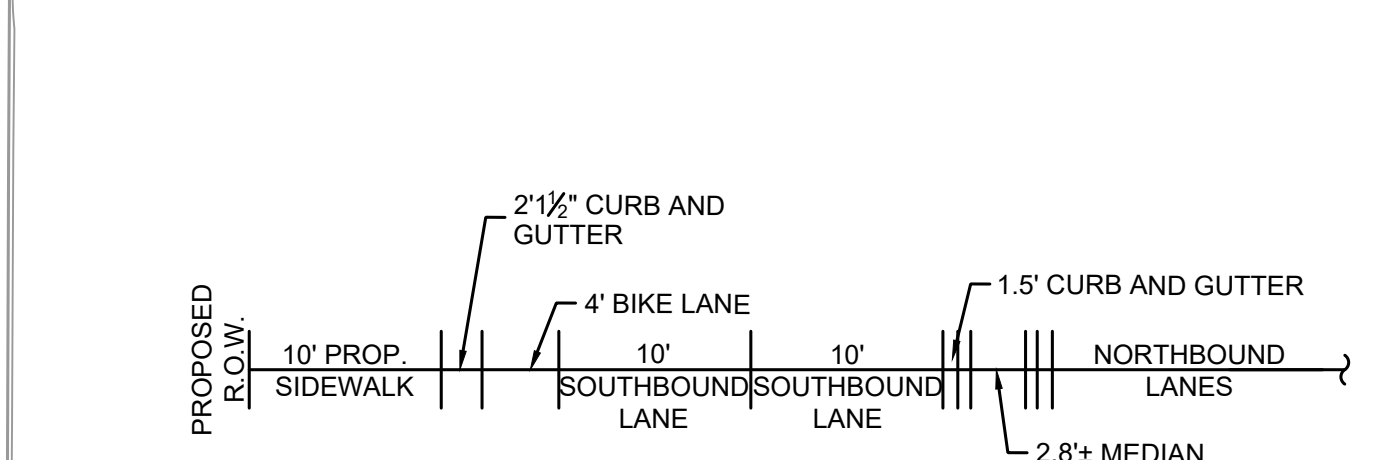


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 PLOT TIME: 3:48:33 PM  
 PLOTTER: HP-DesignJet 4000 Series  
 FILENAME: SDP-1 SITE DEVELOPMENT PLAN SITE PLAN.dwg



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

- MOVED BUILDING NORTH 12' PER TRANSPORTATION DEPARTMENT COMMENTS AND ELIMINATED A ROW OF PARKING STALLS.
- SHORTENED PARKING STALLS PER CURRENT DEVELOPMENT PROCESS MANUAL.
- SHIFTED SOUTHEAST DRIVEWAY NORTH 10' PER TRANSPORTATION DEPARTMENT COMMENTS.
- SHIFTED SAN PEDRO BLVD. NE ROW LINE WEST TO ALLOW ROOM FOR A BIKE LANE.



FUTURE SAN PEDRO BLVD. NE  
TYPICAL CROSS SECTION  
SCALE: 1" = 10'

SITE INFORMATION	
LAND AREA:	37,713 SF (0.8657 AC)
CURRENT ZONING:	SU-3, UPTOWN SECTOR PLAN MU-UPT BUFFER ZONE
EXISTING USE:	MCDONALD'S DRIVE-THRU RESTAURANT
PROPOSED USE:	MCDONALD'S DRIVE-THRU RESTAURANT
BUILDING AREA (APPROXIMATE):	4,246 SF
BUILDING CONSTRUCTION TYPE:	VB
BUILDING LOT COVERAGE:	4,246 SF/37,713 SF = 11.3%
PARKING REQUIRED:	2 SPACES PER 1,000 SF
	4,246 SF/500 SF = 9 SPACES
PARKING PROVIDED:	26
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
MOTORCYCLE PARKING REQUIRED:	1
MOTORCYCLE PARKING PROVIDED:	1
BICYCLE PARKING REQUIRED:	2
BICYCLE PARKING PROVIDED:	2
TOTAL IMPERVIOUS AREA:	30,619 SF
TOTAL PAVEMENT AREA:	7,094 SF
TOTAL OPEN AREA:	4,001 SF (10.6%)

PROJECT NUMBER: 001186 (1008660)  
 Application Number: SI-2018-00043

This plan is consistent with the specific Site Development Plan approved by the Uptown Review Team (URT), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

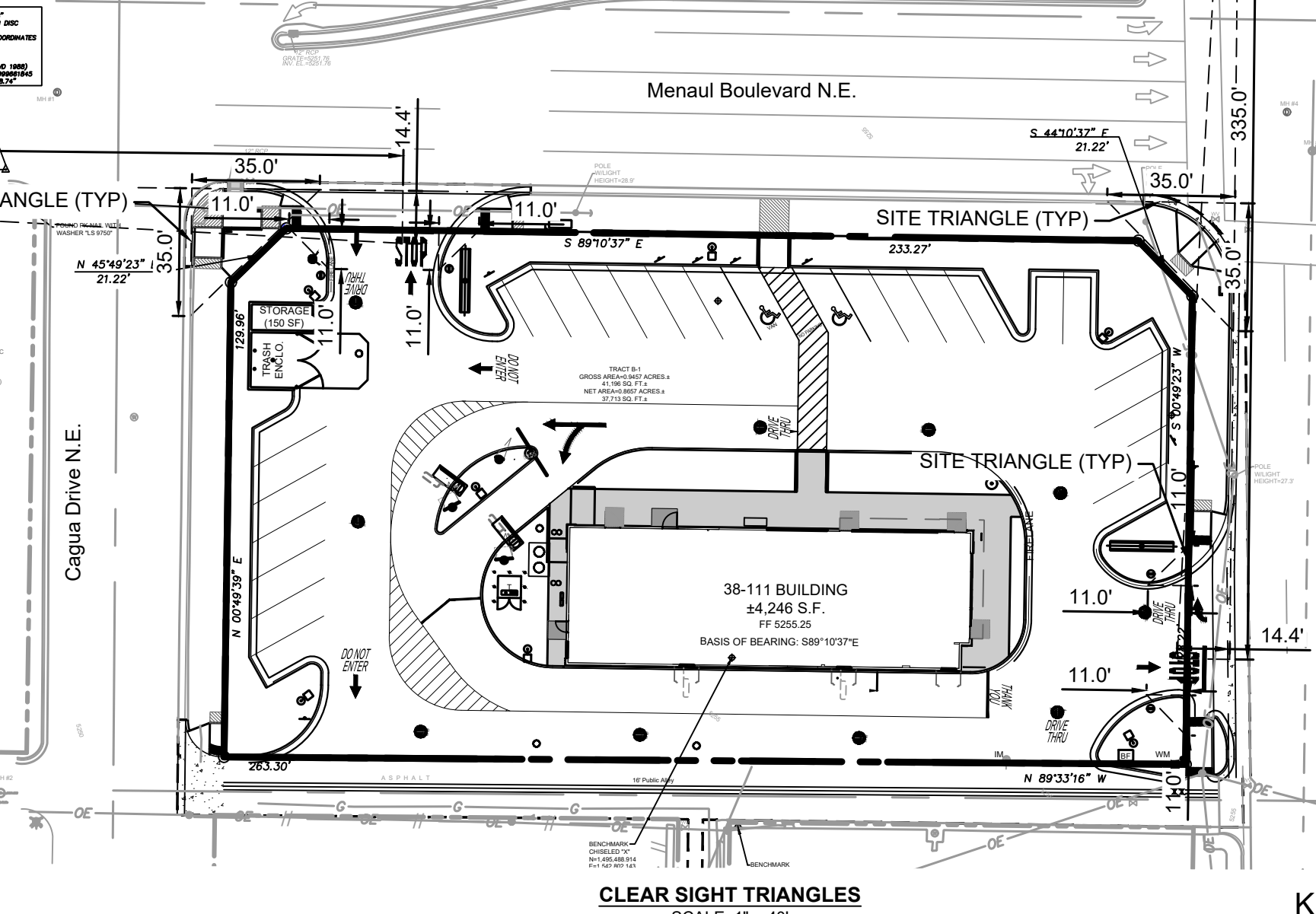
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

AGENCY/DEPARTMENT	DATE	BY
Traffic Engineering, Transportation Division		
ABCWUA		
Parks and Recreation Department		
City Engineer/Hydrology		
Code Enforcement		
* Environmental Health Department (conditional)		
Solid Waste Management		
DRB Chairperson, Planning Department		

STANDARD ACCESSIBILITY REQUIREMENTS	
<b>PARKING:</b>	
A	ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
B	EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.
C	ALL ACCESSIBLE SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
<b>RAMPS:</b>	
D	RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
E	RAMPS SHALL HAVE A SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE TO SIGNIFICANTLY CONTRAST FROM ADJACENT SURFACES OR COLORS ONLY IF REQUIRED BY LOCAL OR STATE JURISDICTION.
F	LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).
G	RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° RISE.
H	RAMPS AND LANDINGS SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).
<b>SIDEWALKS AND ACCESSIBLE ROUTES:</b>	
I	SIDEWALKS MUST BE AT LEAST 36" WIDE WITH 5'X5' CLEAR PASSING OPPORTUNITIES IN INCREMENTS NOT EXCEEDING 200 LF. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:48 (2%).
J	LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

**NOTES**

- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



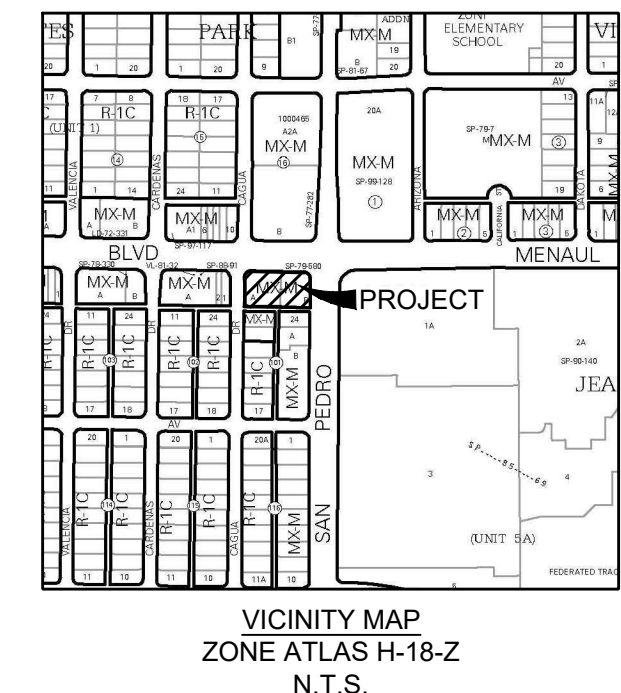
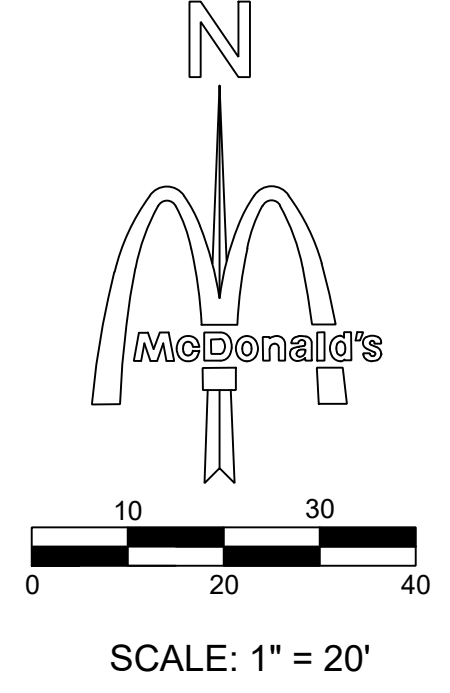
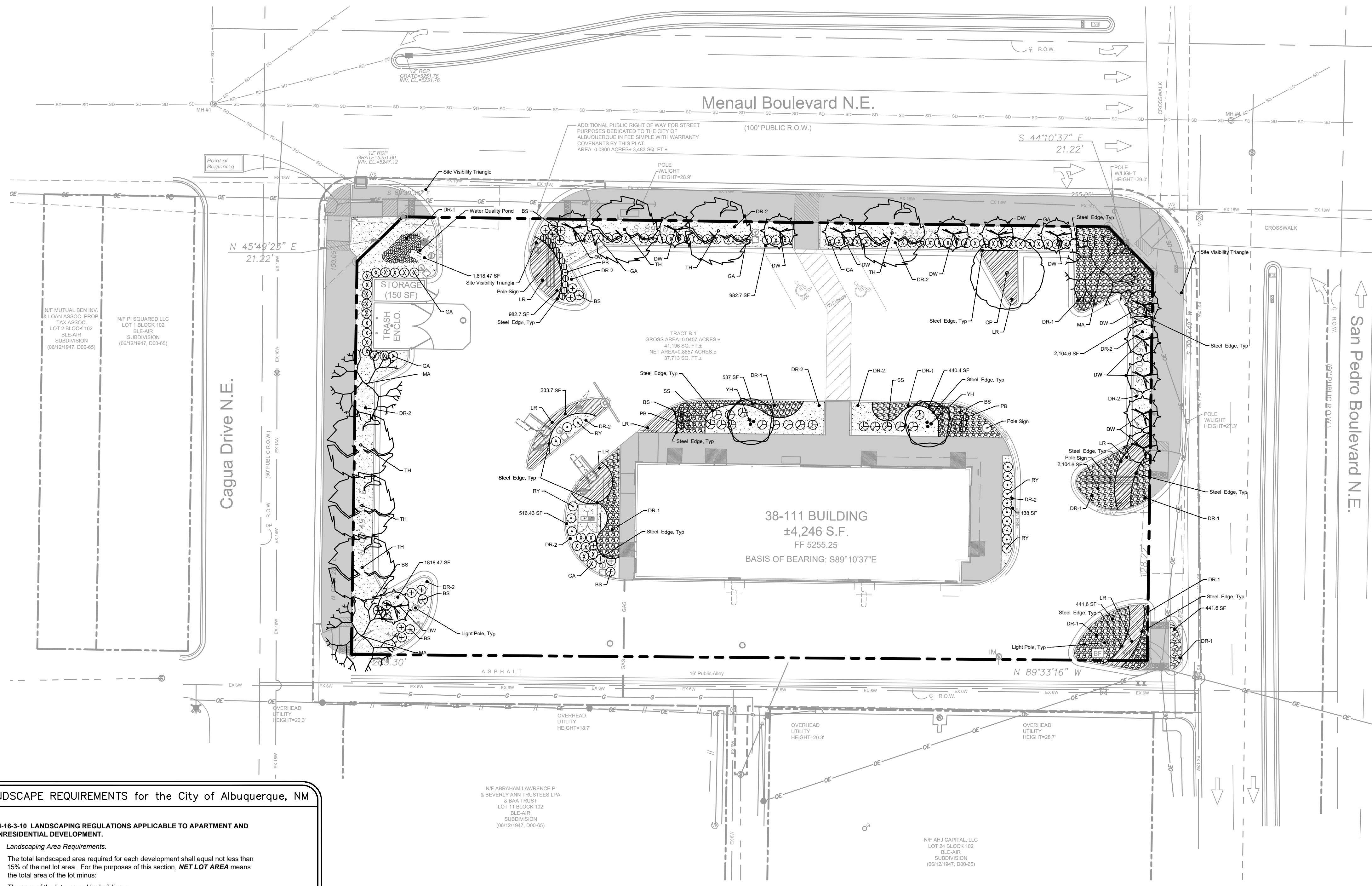
REV	DATE	DESCRIPTION
1	05/05/2023	ADMINISTRATIVE AMENDMENT
	11/11/2019	PER URT AND DRB COMMENTS
	08/09/2018	SUBMIT TO UPTOWN REVIEW TEAM
	05/16/2018	

05/05/2023  
 NEW MEXICO  
 25909  
 MATTHEW DAVID KORTE  
 PROFESSIONAL ENGINEER

McDonald's USA, LLC  
 110 N. CARPENTER ST., CHICAGO, IL 60607  
 MCDONALD'S U.S. CHICAGO, IL 60607  
 5000 MENAUL BLVD. NE  
 ALBUQUERQUE, NM

DESIGNED	DATE	BY
DESIGNED	MAY 2023	HJM
DRAWN	MAY 2023	HJM
CHECKED	MAY 2023	MDK
AS-BUILT		

SITE DEVELOPMENT PLAN  
 SITE PLAN  
**SDP-1**



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

**LANDSCAPE MAINTENANCE**  
TRACT A&B OWNER TO PROVIDE LANDSCAPE INSTALLATION AND LANDSCAPE MAINTENANCE FOR TRACT A&B AND AREA WITHIN THE R.O.W. ADJACENT TO LOT.

**SITE VISIBILITY NOTE**  
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL, (AS MEASURED FROM THE CLUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

**COMPLIANCE NOTES**  
STREET TREES TO BE COMPLIANT WITH 6-2 IN THE GENERAL LANDSCAPING REGULATIONS 14-16-3-10  
SITE TO BE COMPLIANT WITH WATER CONSERVATION ORDINANCE 6-1-1-8  
LOT SHALL COMPLY WITH THE GENERAL LANDSCAPING REGULATIONS 14-16-3-10

**BASIN MAINTENANCE**  
OWNER TO PROVIDE POND INSTALLATION AND POND MAINTENANCE FOR THE WATER QUALITY PONDS

**LANDSCAPE CALCULATIONS for the City of Albuquerque, NM**

	REQUIRED	PROVIDED
40% OF (10% OF SITE) OPEN SPACE SHALL BE LANDSCAPED	3,771 SF * 0.40 = 1,508 SF	1,621 SF
ONE TREE PER 8 PARKING SPACES	26/8 = 3.25 TREES	4 TREES
ONE TREE PER 30LF STREET FRONTAGE	Menaul Blvd @ 287.15' - 9.57 San Pedro Blvd @ 129.97' - 4.3 Cagua Drive @ 150' - 5	Menaul Blvd N.E. - 10 Trees San Pedro Blvd. N.E. - 5 Trees Cagua Drive N.E. - 5 Trees
TOTAL LANDSCAPE AREA (15% OF NET LOT AREA)	33,466.6 SF * 0.15 = 5,020 SF	7,094 SF

**LANDSCAPE REQUIREMENTS for the City of Albuquerque, NM**

- § 14-16-3-10 LANDSCAPING REGULATIONS APPLICABLE TO APARTMENT AND NONRESIDENTIAL DEVELOPMENT.**
- (E) **Landscape Area Requirements.**
- The total landscaped area required for each development shall equal not less than 15% of the net lot area. For the purposes of this section, **NET LOT AREA** means the total area of the lot minus:
    - The area of the lot covered by buildings;
    - The portions of the lot that are not required for off-street parking or a parking lot and which are fully screened from view from any adjacent lot or public right-of-way by an opaque wall or fence at least six feet high, in which no landscaping will be required except required buffer landscaping; chain link fence with slats does not constitute acceptable full screening; and
    - The area of any approved landscaping that the property owner installs and maintains in the adjacent public right-of-way, exclusive of the area of any existing or planned public sidewalk.
  - Clear sight areas satisfactory to the Planning Director shall be maintained at all exits of parking areas.
  - Plant Sizes.** Except as otherwise specified in this section, the minimum acceptable sizes of plants or amounts of seed, at the time of planting, are as follows:
    - Trees. Two inches in caliper measured six inches above grade, or 10 - 12 feet in height;
    - Shrubs and low-growing evergreens: one gallon;
    - Ground cover and turf: adequate to provide general ground coverage within one growing season after planting.
- (G) **Special Landscaping Standards.**
- Off-Street Parking Area Landscaping. Trees are required in and around off-street parking areas to provide shade and relieve the adverse visual impact of large expanses of pavement and parked cars. Quantity and distribution of trees shall be as follows:
    - One tree is required per ten parking spaces;
    - No parking space may be more than 100 feet from a tree trunk;
    - The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree;
    - At least 75% of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
  - Street Trees. Street Trees are required along all arterial and collector street frontages. Article 6, section 6-2-5 Street Tree Policies -
    - Spacing between evenly spaced street trees shall be no greater than the diameter of the tree canopy at maturity. For most typical street trees, the spacing should be about 30'. Smaller species of trees will require closer spacing.
    - A mixture of at least four species of street trees should be planted in all areas to protect against the loss of all the trees due to disease, insects or environmental conditions.
  - Required Vegetative Ground Cover. All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials, such as grasses, vines, spreading shrubs, or flowers, over at least 75% of the required landscape area. Coverage will be calculated from the mature spread of the plants. To minimize water consumption, the use of vegetative ground cover other than turf grass is encouraged. Any non-living ground cover areas not intended as much around spreading plants must be clearly delineated on the landscaping plan.

**LANDSCAPE PROJECT NOTES**

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tiled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system including street trees.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, to the outside of utility easements with a clear ten feet (10') around fire hydrants and twenty feet (20') min. from all irrigation control zone meter boxes. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeter.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 1/2" min. thickness unless bed is bordered by concrete. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around any tree not planted in decorative rock. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of Decorative Rock - Type 1 as designated shall be over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier of locally available material, be Santa Ana Tan, of an average diameter of two inches (2") minimum to four inches (4") maximum. Contractor shall install to a depth of six inches (6").

All areas of Decorative Rock - Type 2 shall be over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier of locally available material, be Grey Crushed three-quarters inch (3/4"), installed to a compacted depth of three inches (3") to be flush with the top of curb, paved surface, and/or the top of steel edge.

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look. Colors shall coordinate with decorative rock.

**Plant Material List**

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT	WATER USE
TH	6	6	Thornless Honeylocust <i>Gleditsia triacanthos inermis</i>	N/A	Cont.	3"	10' min.	6' min.	Strong central leader, full canopy, healthy	Medium
MA	3	3	Modesto Ash <i>Fraxinus velutina 'Modesto'</i>	N/A	Cont.	3"	10' min.	6' min.	Strong central leader, full canopy, healthy	Medium
CP	1	1	Chinese Pistache <i>Pistacia chinensis</i>	N/A	Cont.	3"	10' min.	6' min.	Strong central leader, full canopy, healthy	Medium
DW	12	12	Desert Willow <i>Chilopsis linearis</i>	N/A	Cont.	30 gal	8' min.	6' min.	Multi trunk, full canopy, healthy 225 SF X 12 = 2,700 SF	Rainwater
YP	2	2	Yaupon Holly <i>Ilex vomitoria</i>	N/A	Cont.	30 gal	8' min.	4' min.	Full Canopy, Healthy, Good Form Multi-trunk, 3 cane min, 225 SF X 2 = 450 SF	Medium
GA	71	71	Compact Glossy Abelia <i>Abelia grandiflora 'Compacta'</i>	36"	Cont.	5 gal.	18" min.	18" min.	Full, healthy 36 SF X 71 = 2,556 SF	Medium
SS	17	17	Powis Castle Sage <i>Artemisia x. 'Powis Castle'</i>	36"	Cont.	5 gal.	18" min.	18" min.	Full, healthy 16 SF X 17 = 272 SF	Low
BS	27	27	Blue Mist Spirea <i>Caryopteris clandonensis 'Dark Knight'</i>	36"	Cont.	5 gal.	18" min.	18" min.	Full, healthy 16 SF X 27 = 432 SF	Medium
PB	18	18	Crimson Pygmy Barbary <i>Berberis thunbergii 'Atropur Nana'</i>	24"	Cont.	3 gal.	12" min.	15" min.	Full, healthy 16 SF X 18 = 288 SF	Medium
RY	16	16	Red Yucca <i>Hesperaloe parviflora</i>	24"	Cont.	3 gal.	12" min.	20" min.	Full, healthy, no broken spines 9 SF X 16 = 144 SF	Low
LR	840	840	Liriope <i>Liriope muscari</i>	18"	Cont.	1 gal.	6" min.	12" min.	Full, healthy	Medium
DR-1	1,705	1,705	Decorative Rock - Type 1 2" - 4"						Refer to project notes for color and shape of decorative rock	
DR-2	4,565	4,565	Decorative Rock - Type 2 3/4"						Refer to project notes for color and shape of decorative rock	

In Accordance to the Current Edition of The American Standard for Nursery Stock

- MOVED BUILDING NORTH 12' PER TRANSPORTATION DEPARTMENT COMMENTS AND ELIMINATED A ROW OF PARKING STALLS.
- SHORTENED PARKING STALLS PER CURRENT DEVELOPMENT PROCESS MANUAL.
- SHIFTED SOUTHEAST DRIVEWAY NORTH 10' PER TRANSPORTATION DEPARTMENT COMMENTS.
- SHIFTED SAN PEDRO BLVD. NE ROW LINE WEST TO ALLOW ROOM FOR A BIKE LANE.
- ADJUSTED LANDSCAPE AROUND BUILDING AND ALONG SAN PEDRO DUE TO SITE CHANGES.

**NOTE TO PLAN REVIEWER**

The landscape plan for the site excludes high-water use turf. The plant palette is comprised of plants with low-medium water use requirements (reference plant material list on this sheet). Planting beds shall have 75% living groundcover at full maturity.



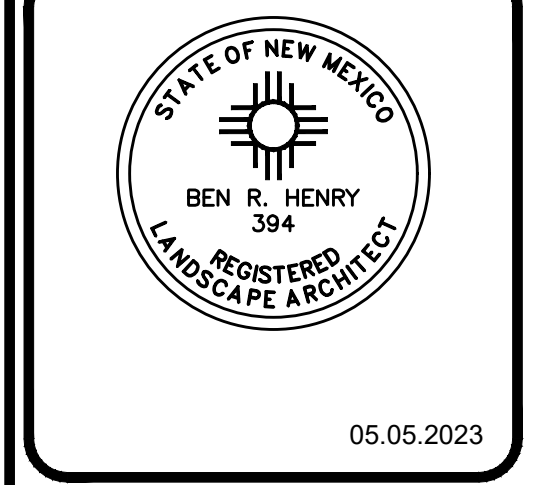
Know what's below.  
Call before you dig.

REV	DATE	DESCRIPTION
05/16/2018		SUBMIT TO UPTOWN REVIEW TEAM
08/09/2018		PER URT & DRB COMMENTS
1	05/05/2023	ADMINISTRATIVE AMENDMENT

BY: MUR, MUR, DCH

LANGAN JOB NO.: 520015201

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
2996 Olympus Blvd, Suite 105 • Dallas, Texas 75019 • (817) 324-3300



OFFICE	LONG BEACH FIELD OFFICE	McDONALD'S, L.C.
ADDRESS	110 N. CARPENTER ST., CHICAGO, IL 60607	030-0001

**McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be used, copied, or reproduced in any form without the prior written consent of McDonald's USA, LLC. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

5000 MENAUL BLVD. NE  
ALBUQUERQUE, NM

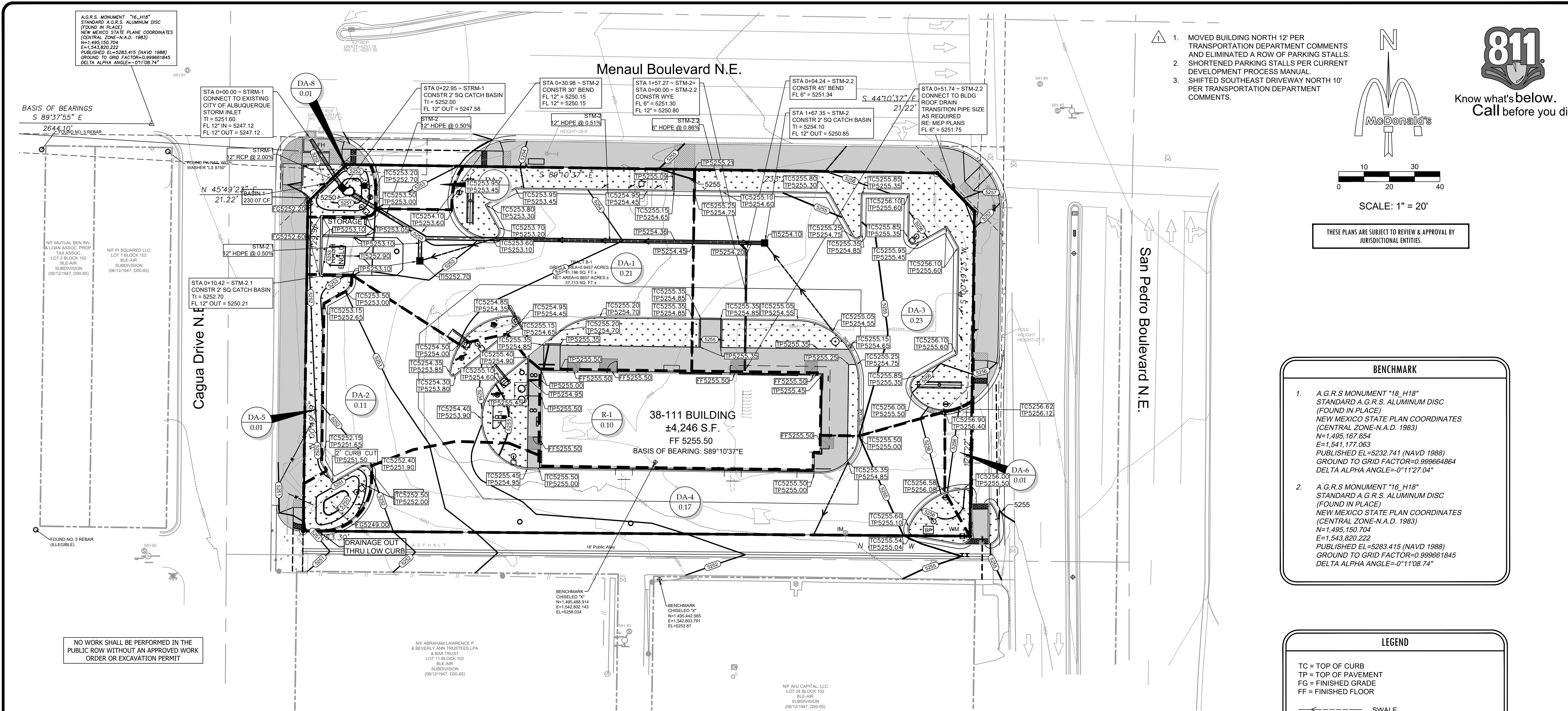
DATE	DATE	DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

DESIGNED	DATE	BY
DRAWN	MAY 2023	DH
CHECKED	MAY 2023	BRH
AS-BUILT		

SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

**SDP-2**

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**BENCHMARK**

- A.G.R.S MONUMENT "18\_H18" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,495,167.654 E=1,541,177.063 PUBLISHED EL=5232.741 (NAVD 1988) GROUND TO GRID FACTOR=0.999664864 DELTA ALPHA ANGLE=-0°11'27.04"
- A.G.R.S MONUMENT "16\_H18" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,495,150.704 E=1,543,820.222 PUBLISHED EL=5283.415 (NAVD 1988) GROUND TO GRID FACTOR=0.999661845 DELTA ALPHA ANGLE=-0°11'08.74"

**LEGEND**

TC = TOP OF CURB  
 TP = TOP OF PAVEMENT  
 FG = FINISHED GRADE  
 FF = FINISHED FLOOR

--- SWALE  
 --- GRADE BREAK  
 --- RIDGE LINE  
 - - - - - XXX - - - - - EXISTING CONTOUR  
 - - - - - XXX - - - - - PROPOSED CONTOUR

■ LEVEL LANDING @ 2% MAX SLOPE IN ANY DIRECTION

**FIRST FLUSH VOLUME SUMMARY**

Total Impervious Area = 30,994.21 SF (0.712 acres)
Required Retention Volume (0.26 in/acre) = 672 cubic feet
Retention Volume Provided = 391 cubic feet

**FIRST FLUSH VOLUME CALCULATIONS**

Basin ID	Impervious Area (Ac)	SWQV Req. (cf) <sup>(1)</sup>	SWQV Provided (cf) <sup>(2)</sup>	Pond #	Deficiency / Bypass (cf)
DA-1, DA-3, DA-8, R-1	0.436	412	230	1	182
DA-2	0.090	85	160	2	0
DA-4	0.164	155	0	N/A	155
DA-5	0.000	0	0	N/A	0
DA-6	0.009	8	0	N/A	8
DA-7	0.013	12	0	N/A	12
Total	0.712	672	391	N/A	281

Footnotes:  
 (1) - Required volume is 0.26" from the impervious surface (re-development)  
 Payment in Lieu for 281 CF @ \$8/CF = \$2,248

**POST-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS**

Basin ID	Area (ac)	Land Treatment Condition				Excess Precipitation (in)	Volume (acft)	Peak Discharge (cfs)	Remarks
		A	B	C	D				
DA-1	0.21	0.00	0.00	0.04	0.17	1.96	0.03	0.99	Flows to inlet then piped to Pond 1
DA-2	0.11	0.00	0.00	0.02	0.09	1.88	0.02	0.54	Sheet flow to Pond 2, then to Cagua Dr
DA-3	0.23	0.00	0.00	0.06	0.17	1.77	0.03	1.05	Flows to inlet then piped to Pond 1
DA-4	0.17	0.00	0.00	0.16	0.16	2.30	0.03	0.84	Sheet flow to off-site alley-way
DA-5	0.01	0.00	0.00	0.01	0.00	0.13	0.00	0.05	Sheet flow off site to Cagua Drive
DA-6	0.01	0.00	0.00	0.00	0.01	1.92	0.00	0.05	Sheet flow off site to San Pedro Blvd
DA-7	0.01	0.00	0.00	0.00	0.01	2.36	0.00	0.06	Sheet flow off site to Menaul Blvd
DA-8	0.01	0.00	0.00	0.01	0.00	0.13	0.00	0.03	Flows to Pond 1
R-1	0.10	0.00	0.00	0.00	0.10	2.36	0.02	0.49	Roof drain piped to Pond 1
Total	0.87	0.00	0.00	0.15	0.71	14.80	0.14	4.10	

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 3.

**PRELIMINARY DRAINAGE REPORT**

**Site Location** - The site is located on an approximately 0.880 acres at the Southwest corner of Menaul Blvd., N.E. and San Pedro Blvd. The site is bordered to the West by Cagua Dr., N.E. and to the South by an alleyway adjacent to residences. Proposed construction will include the demolition and complete rebuild of the existing McDonald's restaurant with associated paving, grading, landscaping, and utility infrastructure.

**Methodology** - The proposed storm water management system will be evaluated in accordance with Chapter 22 of the City of Albuquerque Development Process Manual. The site is located in Bernalillo County Precipitation Zone 3. The 100-year, 6-hour frequency rainfall event will be used to calculate peak discharge rates and runoff volumes under existing and proposed conditions.

**Existing Conditions** - Storm water runoff generally drains from the east to the west across the site under existing conditions. Roof drains deposit through downspouts and sheet flow away from the building through the parking lot. Some sheet flow is concentrated through the existing driveway entrance along Menaul Blvd. on the Northwest corner of the site which ultimately deposits into the city storm drain system. Additional sheet drainage flows off the site along the South property line to the alley and ultimately into Cagua Dr., N.E. Minor flow exits the site to the East through two separate driveways along San Pedro Blvd., N.E.

**Proposed Conditions** - Under proposed conditions, nearly all site flow will be sheet flow directed to first flush detention basins located around the site. The roof downspout will drain through a storm pipe to Basin 1 and ultimately into the grate inlet on Menaul Blvd., N.E. Drainage areas DA-1 and DA-3 will be captured by inlets then drain through a storm pipe to Basin 1 and ultimately into the grate inlet on Menaul Blvd., N.E. Drainage area DA-2 will sheet flow through the parking lot to be captured in Basin 2. These first flush detention zones have a total Stormwater Quality capacity of 391 cubic feet which does not meet the first flush requirement of 672 cubic feet. Overall, approximately half the site drains through these first flush zones resulting in an overall stormwater quality volume deficiency of 281 cubic feet. This deficiency will be offset by paying a fee-in-lieu of \$2,248.00. A small portion of the site on the Southern side drains directly to an adjacent alleyway which is unavoidable, but also matches existing conditions. Discharge from first flush zones will mimic current off-site flow to locations around the site.

**Surrounding 20'** - The areas around the site consist of roadways to the West, North, and East which are crowned in the middle with drainage towards curb/gutter. The South side of the site consists of an adjacent public alleyway that will be re-built with the project. All drainage patterns in the 20' perimeter around the site will remain similar in the developed condition.

**Conclusions** - The overall amount of impervious area at this site will be reduced under the proposed conditions. Because the original site was developed prior to a first flush capture requirement, none of the flow at the existing site is being captured prior to flowing off the site; however, under proposed conditions, over half of the site-generated flow will be captured prior to flowing off the site. Further, quality/quantity of flow should be improved when compared to the existing site.

**STANDARD ACCESSIBILITY REQUIREMENTS**

**PARKING:**

- ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
- EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.
- ALL ACCESSIBLE AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

**RAMPS:**

- RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- RAMPS SHALL HAVE A SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE TO SIGNIFICANTLY CONTRAST FROM ADJACENT SURFACES OR COLORS ONLY IF REQUIRED BY LOCAL OR STATE JURISDICTION.
- LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS)
- RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" RISE
- RAMPS AND LANDINGS SHALL NOT EXCEED 1:48 (2% CROSS SLOPE)

**SIDEWALKS AND ACCESSIBLE ROUTES:**

- SIDEWALKS MUST BE AT LEAST 36" WIDE WITH 5'X5' CLEAR PASSING OPPORTUNITIES IN INCREMENTS NOT EXCEEDING 200 LF.
- SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:48 (2%)
- LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

Know what's below. Call before you dig.

SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

REV	DATE	DESCRIPTION
05/16/2018		SUBMIT TO UPTOWN REVIEW TEAM
08/09/2018		HYDROLOGY REVIEW COMMENTS ADDRESSED
05/05/2023		ADMINISTRATIVE AMENDMENT

LANGAN JOB NO.: 620016201

**LANGAN**

LANGAN Engineering and Environmental Services, Inc.  
 2990 Olympus Blvd, Suite 105 • Dallas, Texas 75019 • (817) 324-3300

05/05/2023

MATTHEW DAVID KORT  
 NEW MEXICO  
 25909  
 PROFESSIONAL ENGINEER

McDonald's USA, LLC

110 N. CARPENTER ST., CHICAGO, IL 60607

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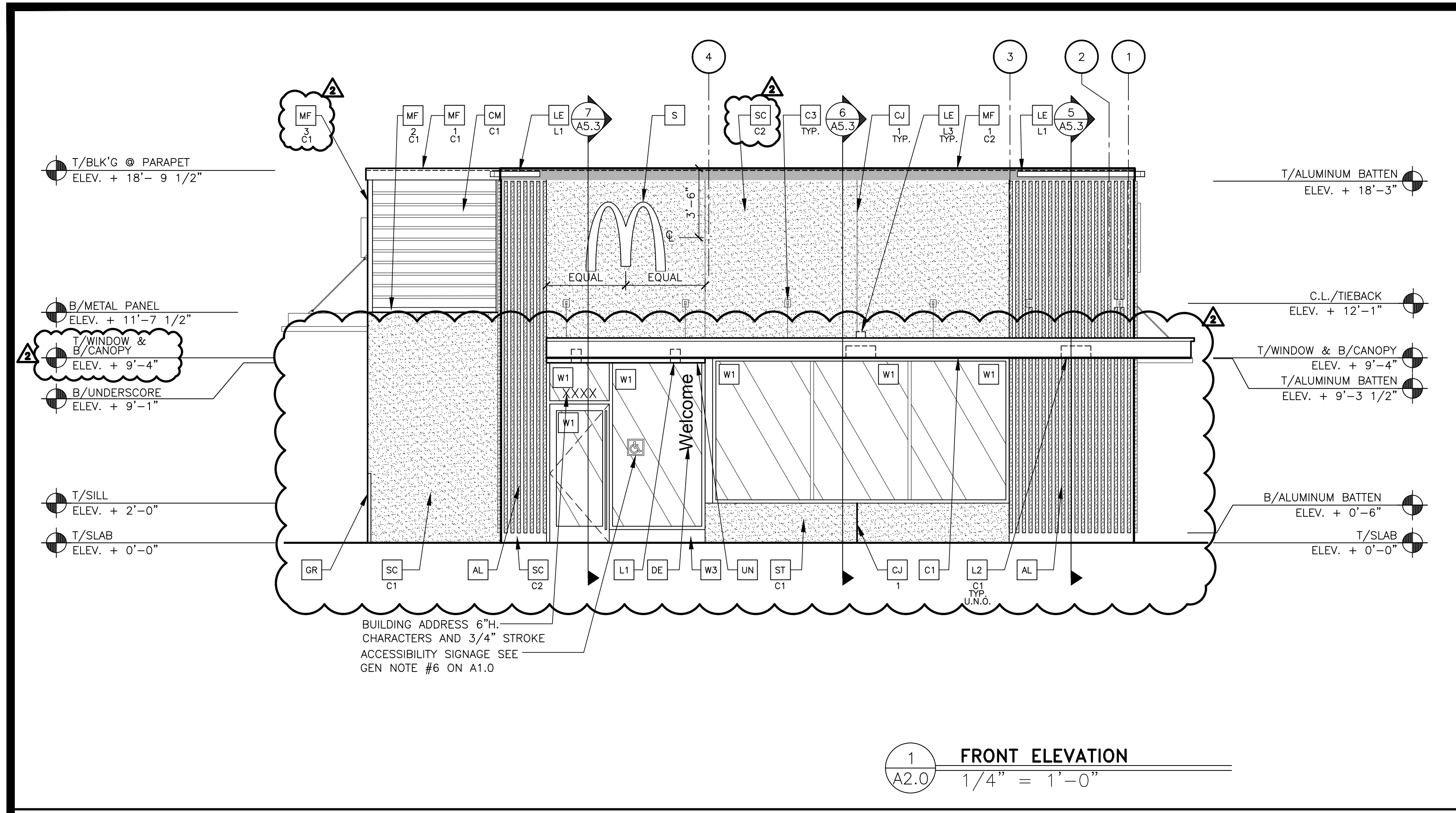
5000 MENAUL BLVD., NE  
 ALBUQUERQUE, NM

OFFICE	LONG BEACH FIELD OFFICE	DATE
ADDRESS	110 N. CARPENTER ST., CHICAGO, IL 60607	

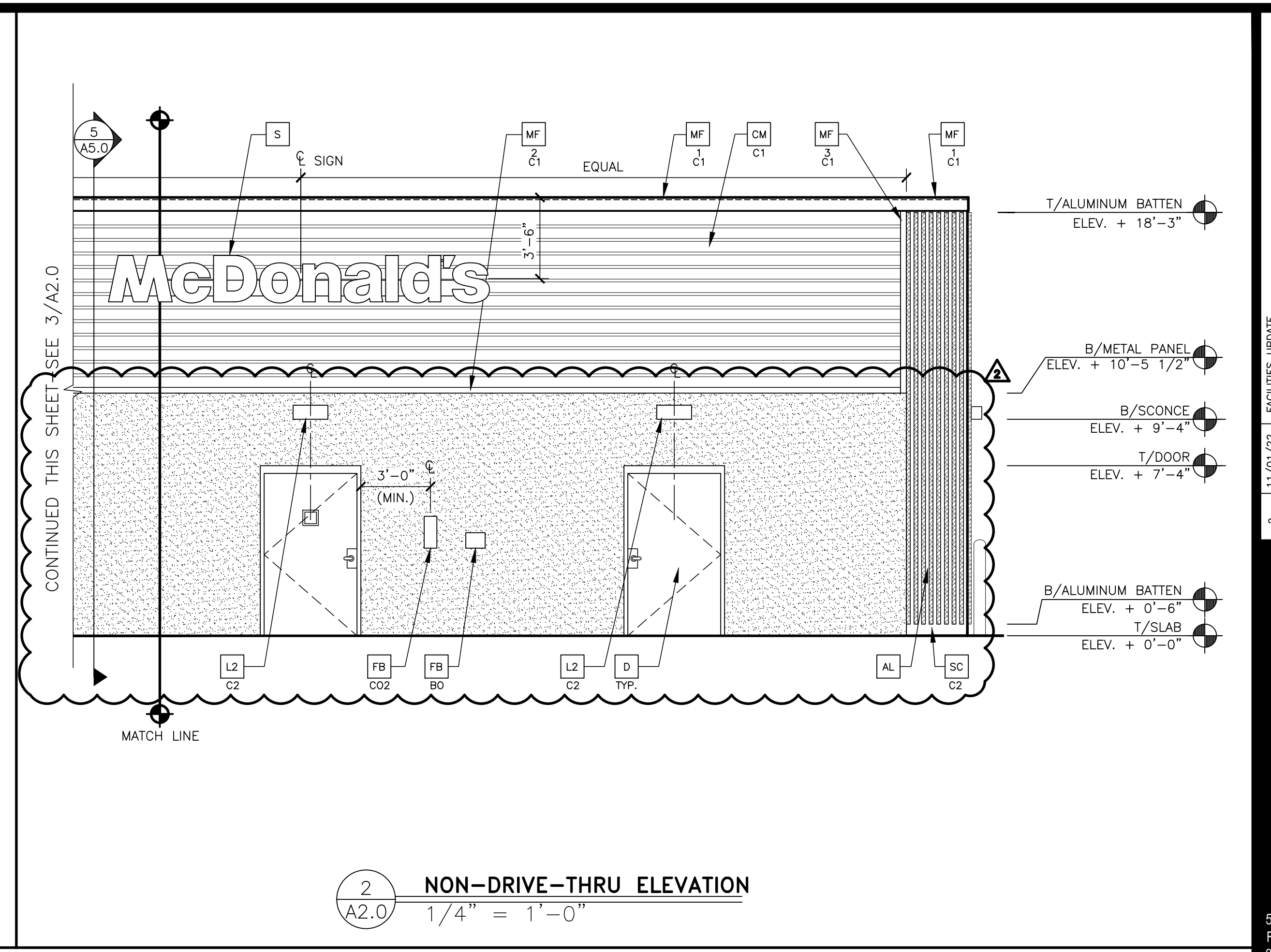
PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONTR. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

SITE DEVELOPMENT PLAN  
 CONCEPTUAL GRADING  
 AND DRAINAGE PLAN

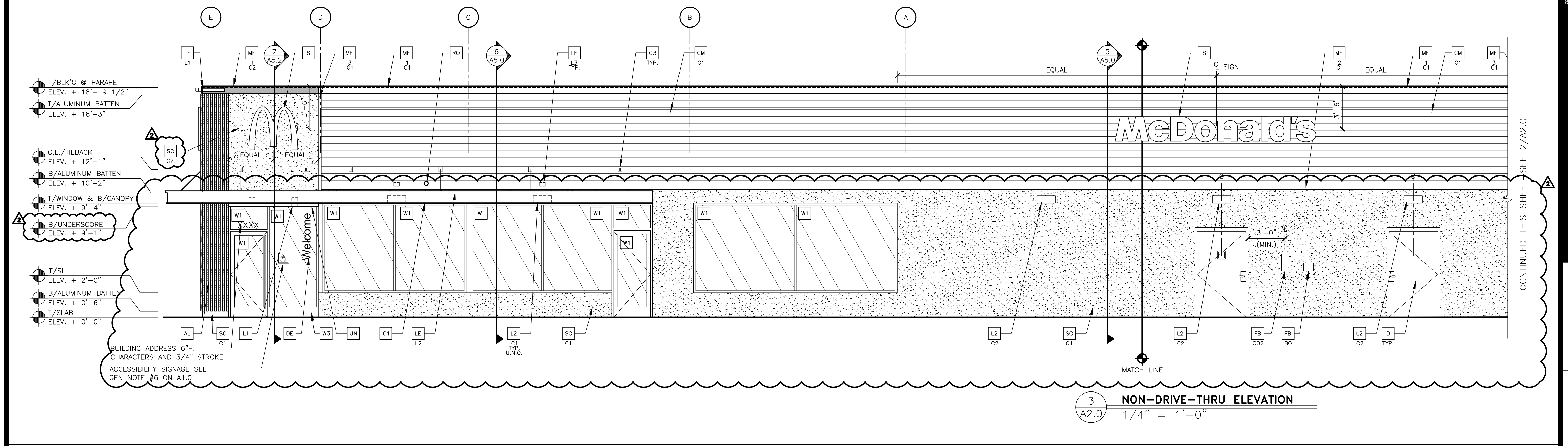
**SDP-3**



**1 FRONT ELEVATION**  
 A2.0 1/4" = 1'-0"



**2 NON-DRIVE-THRU ELEVATION**  
 A2.0 1/4" = 1'-0"



**3 NON-DRIVE-THRU ELEVATION**  
 A2.0 1/4" = 1'-0"

**KEY NOTES:**

- AL ALUMINUM BATTEN SYSTEM  
 SIZE: 2"x2" PROFILE  
 COLOR: WOOD GRAIN, BACKRAL UNFINISHED, ENDCAP PAINTED TO MATCH  
 SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,  
 GROUP 1, HDO BOTH FACES, APA TRADEMARKED.  
 COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH  
 SIDES AND ALL EDGES PRIOR TO INSTALLATION.  
 SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA  
 COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM  
 COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK  
 COLOR: RAL 7022  
 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- CJ CONTROL JOINT  
 T-TYPE: STUCCO
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA  
 C1-COLOR: WEATHERED ZINC
- D HOLLOW METAL DOOR  
 PAINT: "FAIRVIEW TAUPPE" HC85 BY BENJAMIN MOORE
- DE DECAL BY GRAPHICS SUPPLIER  
 SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
 (SUPPLIER VARIES PER REGION, VERIFY WITH ACM)  
 SUPPLIERS:  
 VOMELA (865) 330-7337, ann.bowen@vomela.com  
 GFK INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfk.com
- FB BULK OIL FILL BOX (EQPM SCHEDULE ITEM 49.00)  
 BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL - REFERENCE CIVIL PLAN FOR LOCATION, LENGTH,  
 MATERIAL, FINISH, AND CONSTRUCTION DETAILS.
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
 COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
 C1-COLOR:  
 C1= WHITE  
 C2= PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL  
 L1-LED LIGHT:  
 L1 = SLIM LED (DOWN ONLY)  
 L2 = INTEGRAL CANOPY FIXTURE  
 L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA  
 T-TYPE:  
 1 = PRE-FAB ANCHOR-TITE FASCIA  
 2 = BOTTOM TRIM AT METAL REVEAL PANEL  
 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES  
 COLOR:  
 C1 = WEATHERED ZINC  
 C2 = RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR  
 MODEL: #WPT STD  
 CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- SC STUCCO  
 C1-COLOR:  
 C1 = "FAIRVIEW TAUPPE" HC85 BY BENJAMIN MOORE  
 C2 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE  
 COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
 COLOR: DARK BRONZE (OR APPROVED EQUAL).
- W2 DRIVE-THRU WINDOW BY READY ACCESS  
 MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL  
 OPEN, ELECTRONIC RELEASE  
 COLOR: DEEP BRONZE (OR APPROVED EQUAL).  
 SLIDE DIRECTION: RL = RIGHT TO LEFT  
 LR = LEFT TO RIGHT
- W3 EXTERIOR SIDELITE SILL DETAIL BY STOREFRONT MANUFACTURER.  
 COLOR: DARK BRONZE (OR APPROVED EQUAL).

11/01/22 FACILITIES UPDATE

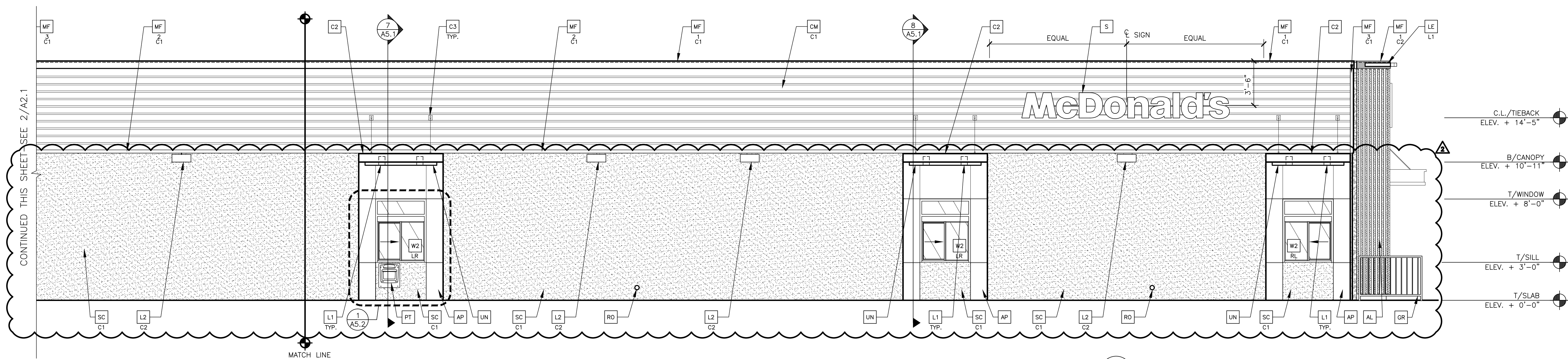
PRELIMINARY DESIGN



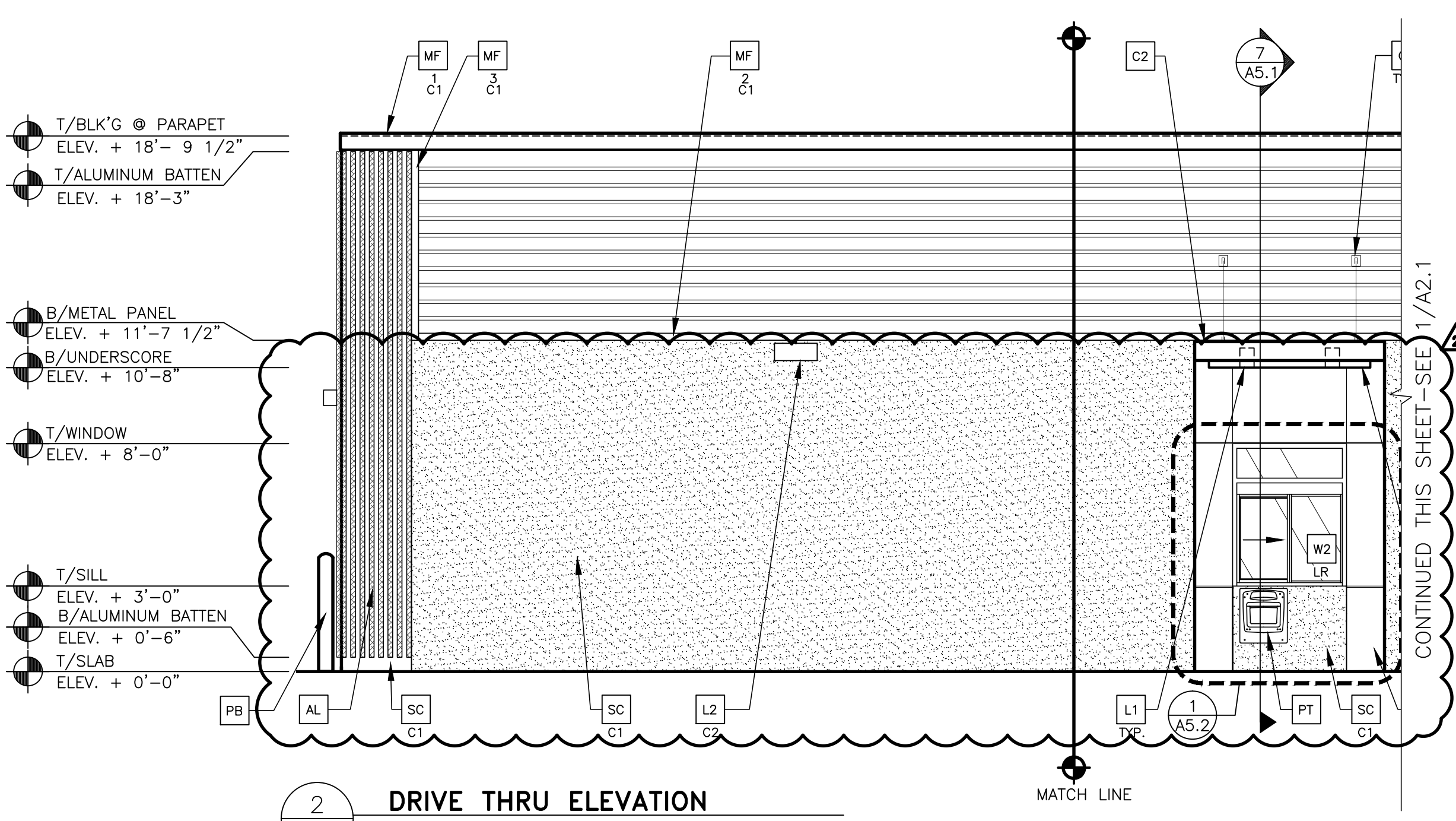
513 MAIN STREET, SUITE 300  
 FORT WORTH, TEXAS 76102  
 817.820.0433 or 817.705.3387 c

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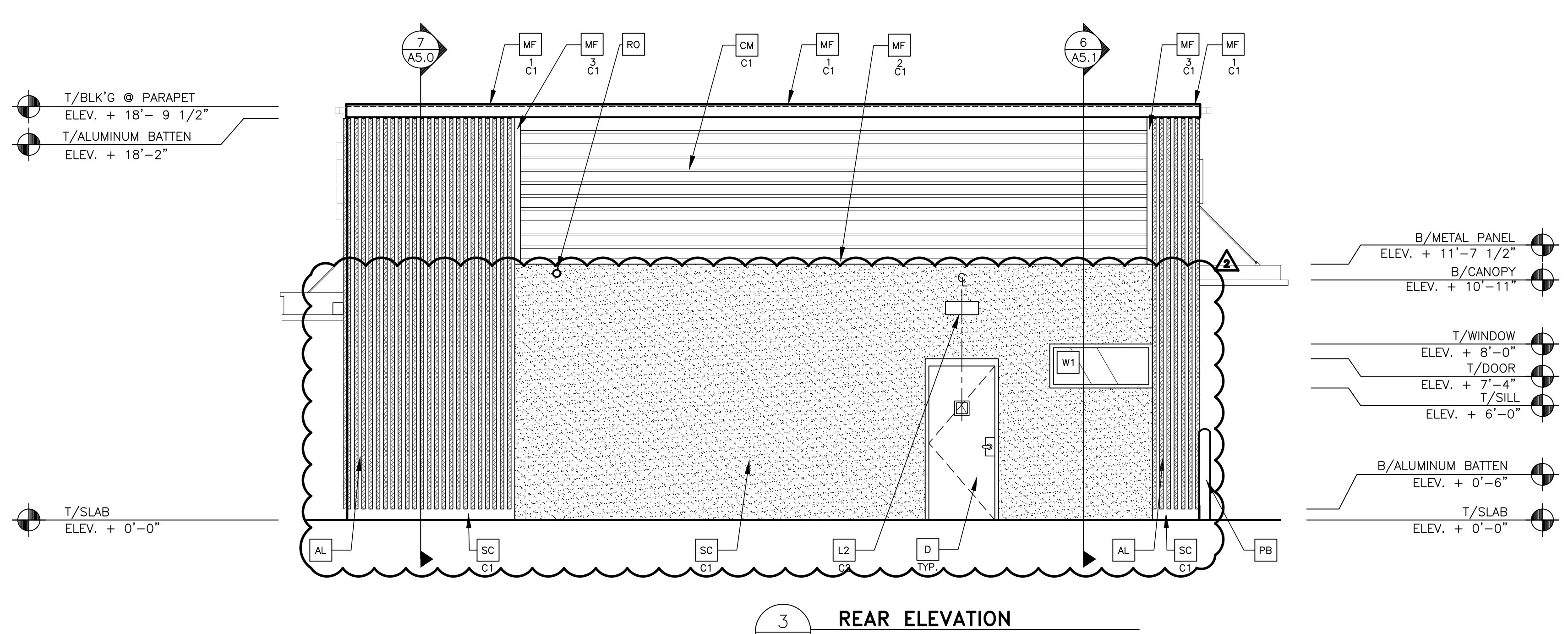
PROJECT NAME	2018 BB20 STANDARD BUILDING
PROJECT NUMBER	38111 - FDOT NW PROTOTYPE
DESIGNER	WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD ROOF FRAMING MEMBERS
SITE ADDRESS	5900 MENAUL BLVD NE ALBUQUERQUE, NM 87110
PROJECT MANAGER	DON J. ROBSCHACH
PROTOTYPE ISSUE DATE	2018
REVIEWED	ROD
FIRST ISSUE DATE	01/14/19
SHEET NO.	A2.0
ELEVATIONS	



1 DRIVE THRU ELEVATION  
A2.1 1/4" = 1'-0"



2 DRIVE THRU ELEVATION  
A2.1 1/4" = 1'-0"



3 REAR ELEVATION  
A2.1 1/4" = 1'-0"

**KEY NOTES:**

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COLOR: RAL 7022
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- FB CO2- CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
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- SC STUCCO  
C1-COLOR:  
C1 = "FAIRVIEW TAUPÉ" HC69 BY BENJAMIN MOORE  
C2 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE  
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE (OR APPROVED EQUAL).
- W2 DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL  
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SLIDE DIRECTION: RL = RIGHT TO LEFT  
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COLOR: DARK BRONZE (OR APPROVED EQUAL).

11/01/22 FACILITIES UPDATE  
2

PRELIMINARY DESIGN



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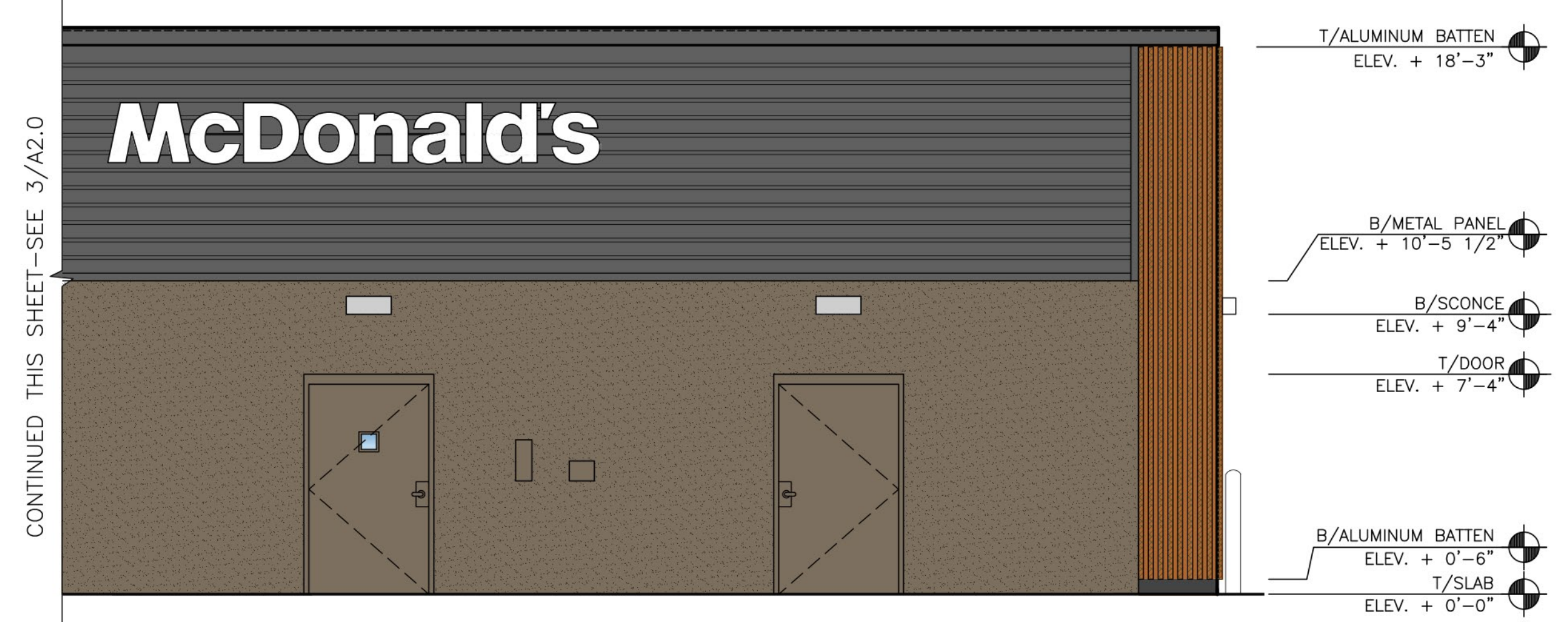
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PROJECT NAME	2018 BB20 STANDARD BUILDING
PROTOTYPE ISSUE DATE	2018
DESIGNER	WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD ROOF FRAMING MEMBERS
REVIEWED	ROD
FIRST ISSUE DATE	01/14/19
SITE ADDRESS	5900 MANUAL BLVD NE ALBUQUERQUE, NM 87110
PROJECT NUMBER	030-001

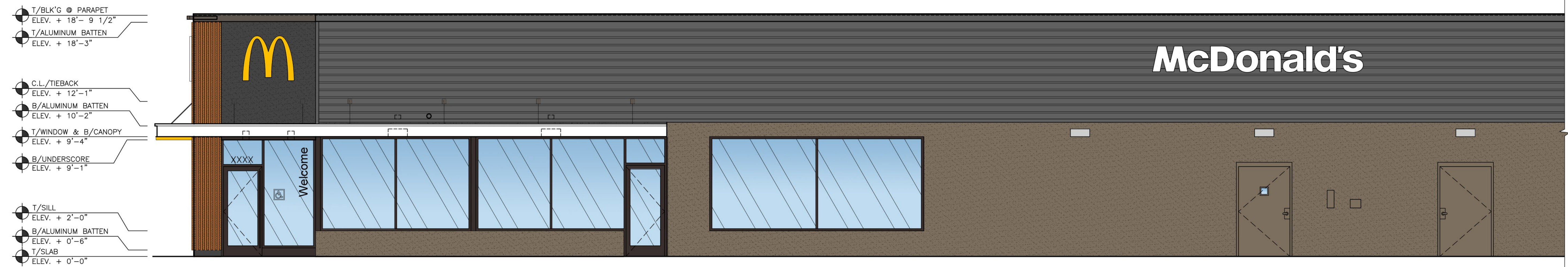
A2.1  
ELEVATIONS






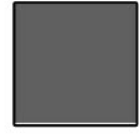



1 FRONT ELEVATION  
A2.0 1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION  
A2.0 1/4" = 1'-0"



3 NON-DRIVE-THRU ELEVATION  
A2.0 1/4" = 1'-0"

 "FAIRVIEW TAUPE" HC85 BY BENJAMIN MOORE	 ALUMINUM BATTEN SYSTEM	 GOLD	 WEATHERED ZINC
 RAL 7022	 "IRON ORE" SW 7069 BY SHERWIN WILLIAMS	 DARK BRONZE	

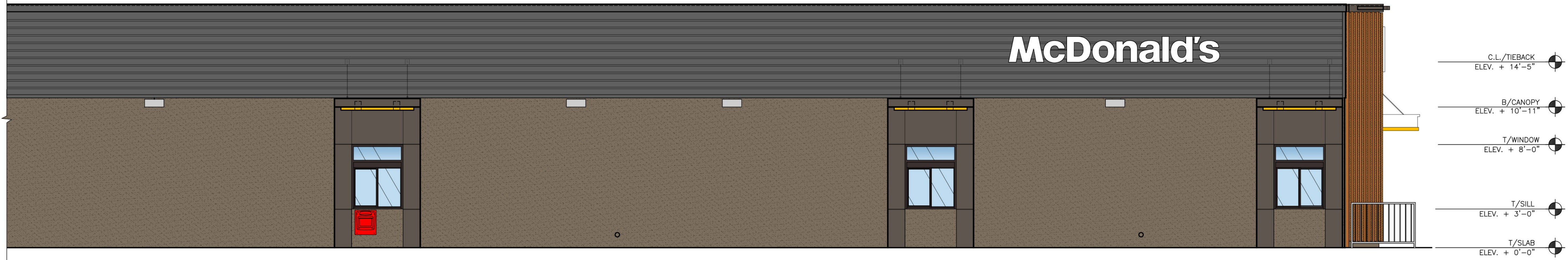
11/01/22	FACILITIES UPDATE
2	

**R**  
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FORT WORTH, TEXAS 76102  
817.820.0433 o 817.705.3387 c

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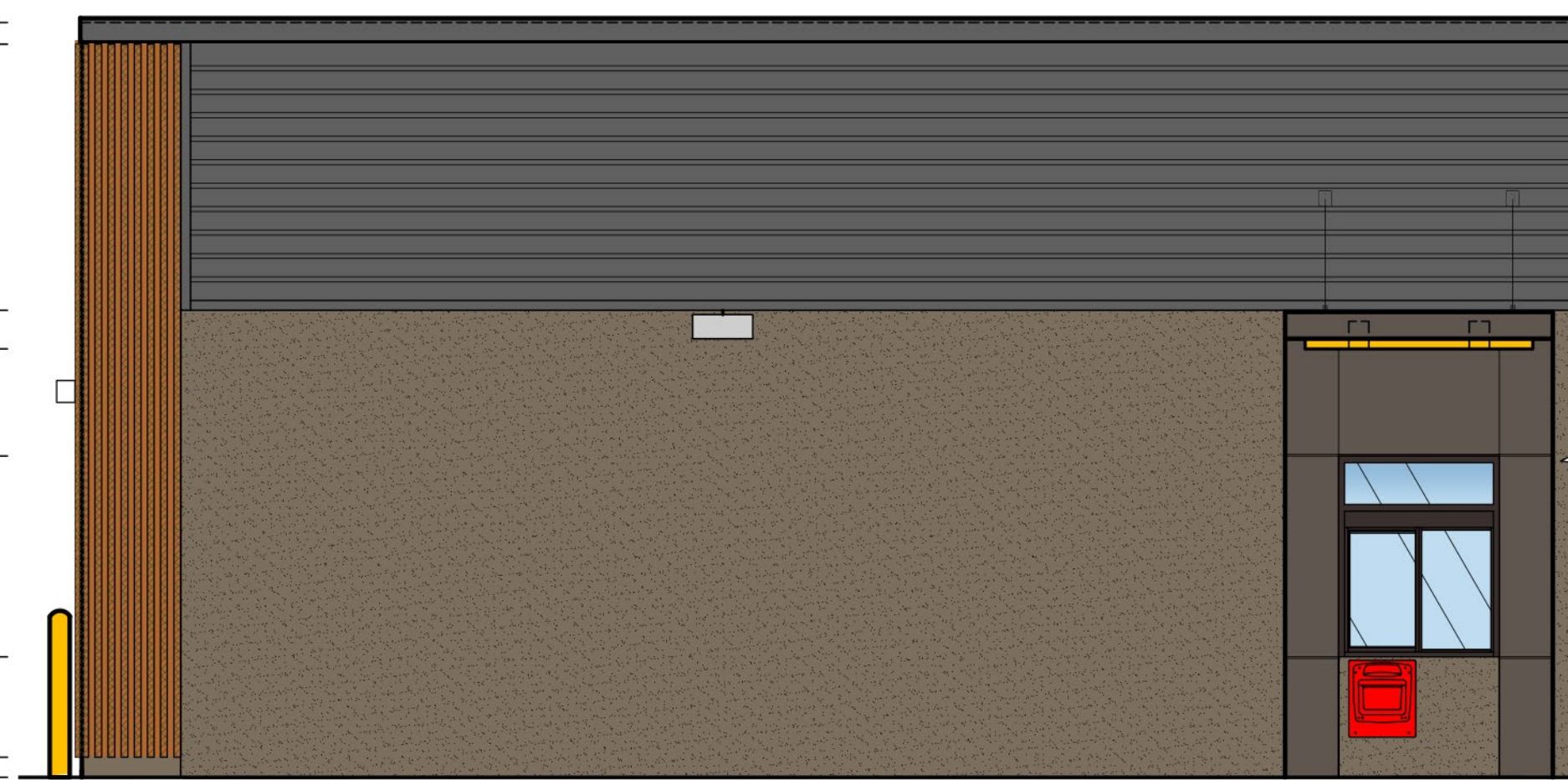
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DESCRIPTION WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD ROOF FRAMING MEMBERS	REVIEWER RPM/MPH
SHEET NO. <b>A2.0</b> ELEVATIONS	FIRST ISSUE DATE 01/14/19
SITE ADDRESS 030-001 5900 MEMPHIS BLVD NE ALBUQUERQUE, NM 87110	

CONTINUED THIS SHEET—SEE 2/A2.1



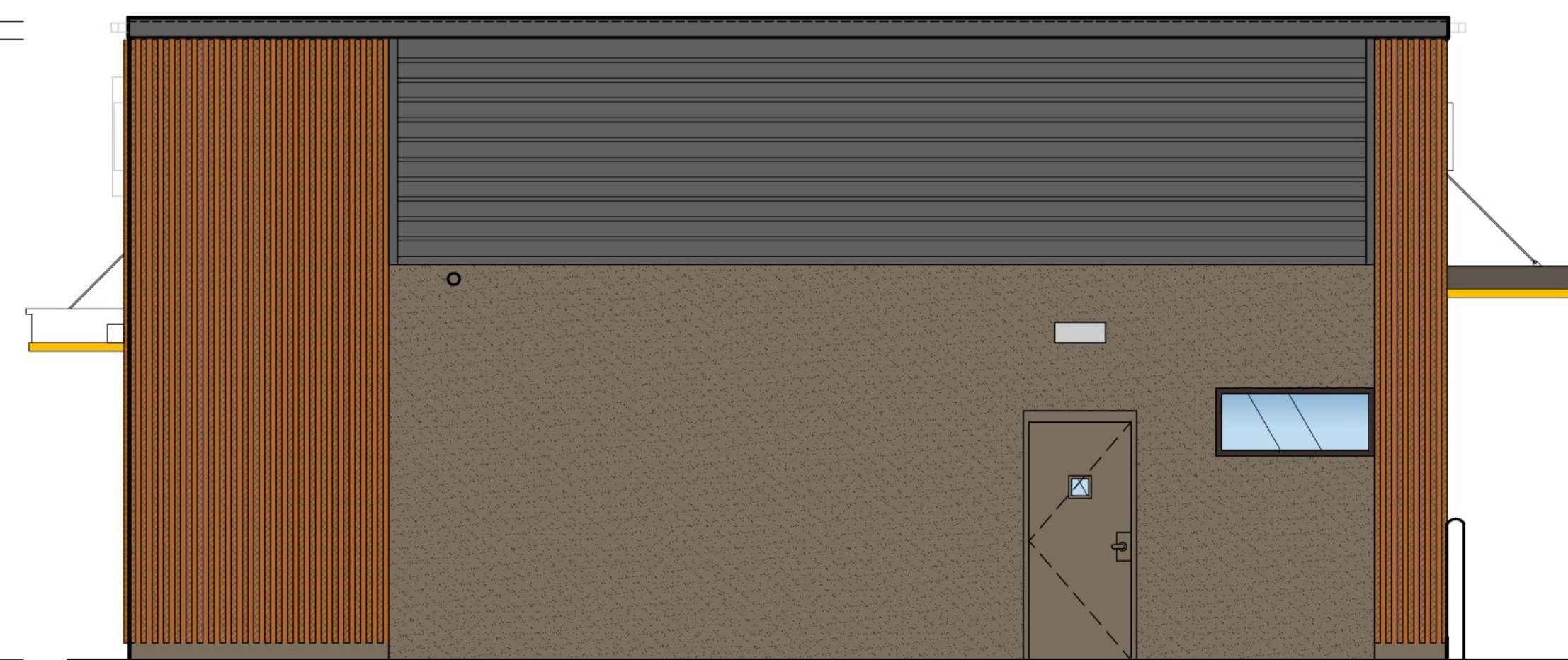
1 DRIVE THRU ELEVATION  
A2.1 1/4" = 1'-0"

- T/BLK'G @ PARAPET  
ELEV. + 18'-9 1/2"
- T/ALUMINUM BATTEN  
ELEV. + 18'-3"
- B/METAL PANEL  
ELEV. + 11'-7 1/2"
- B/UNDERSCORE  
ELEV. + 10'-8"
- T/WINDOW  
ELEV. + 8'-0"
- T/SILL  
ELEV. + 3'-0"
- B/ALUMINUM BATTEN  
ELEV. + 0'-6"
- T/SLAB  
ELEV. + 0'-0"



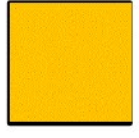






2 DRIVE THRU ELEVATION  
A2.1 1/4" = 1'-0"

- T/BLK'G @ PARAPET  
ELEV. + 18'-9 1/2"
- T/ALUMINUM BATTEN  
ELEV. + 18'-2"
- T/SLAB  
ELEV. + 0'-0"



3 REAR ELEVATION  
A2.1 1/4" = 1'-0"

-  "FAIRVIEW TAUPE" HC85 BY BENJAMIN MOORE
-  ALUMINUM BATTEN SYSTEM
-  GOLD
-  WEATHERED ZINC
-  RAL 7022
-  "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
-  DARK BRONZE

11/01/22 FACILITIES UPDATE



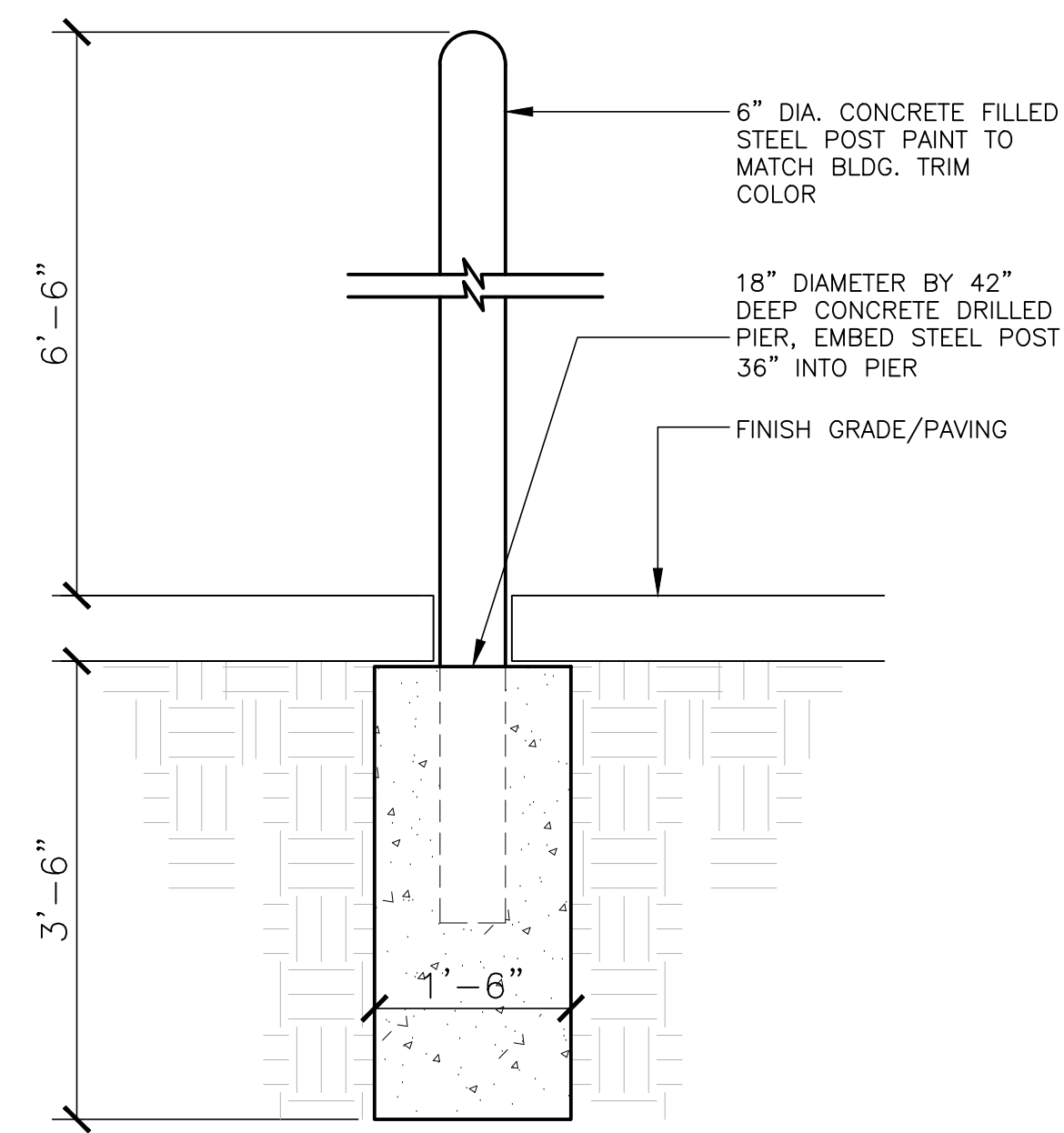
513 MAIN STREET, SUITE 300  
FORT WORTH, TEXAS 76102  
817.820.0433 o 817.705.3387 c

McDonald's USA, LLC

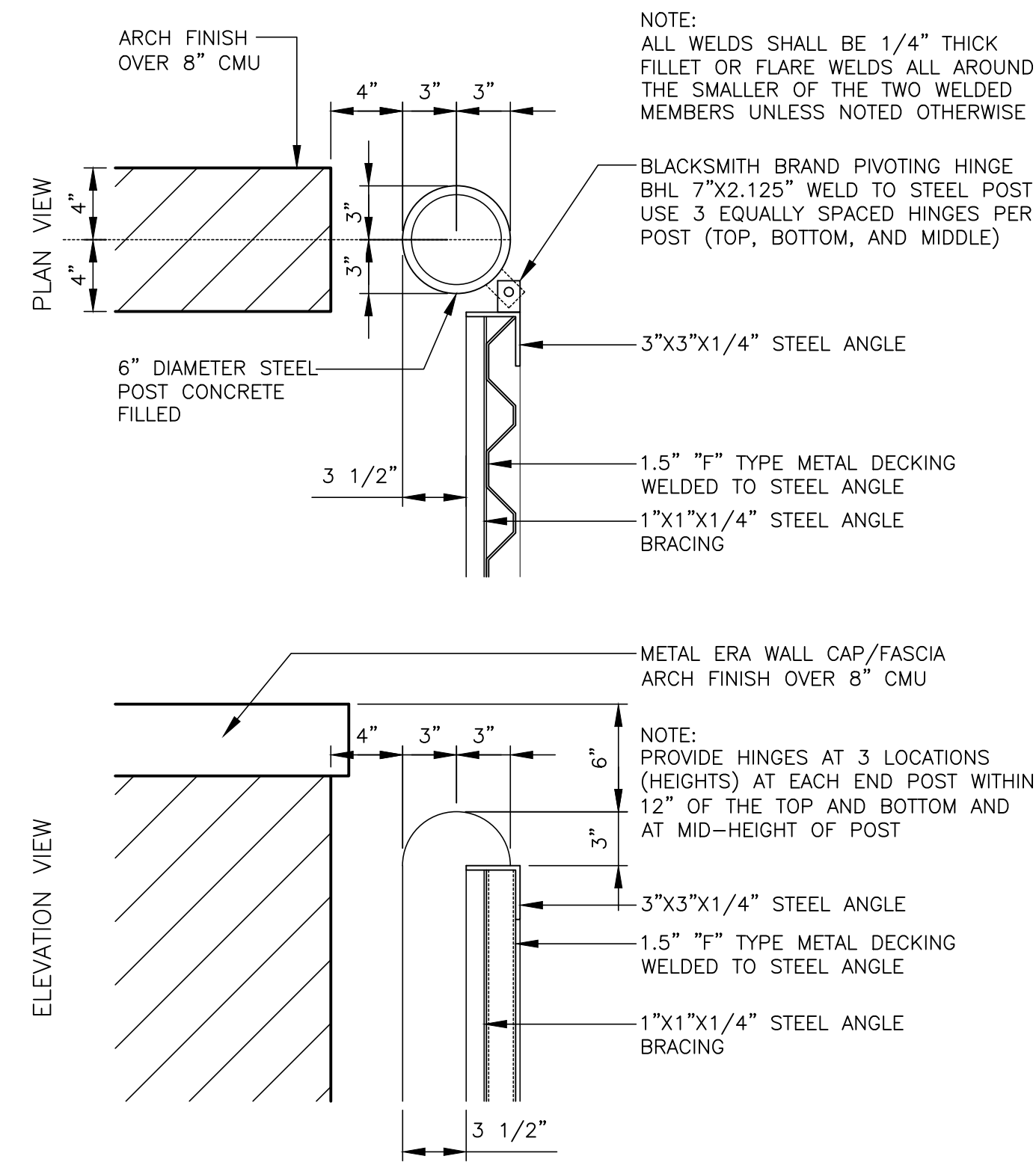
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PROJECT NAME	2018 BB20 STANDARD BUILDING	PROTOTYPE ISSUE DATE	2018
DESCRIPTION	WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD ROOF FRAMING MEMBERS	REVIEWED	
SITE ID	030-001	FIRST ISSUE DATE	01/14/19
SITE ADDRESS	5900 MEMPHIS BLVD NE ALBUQUERQUE, NM 87110		

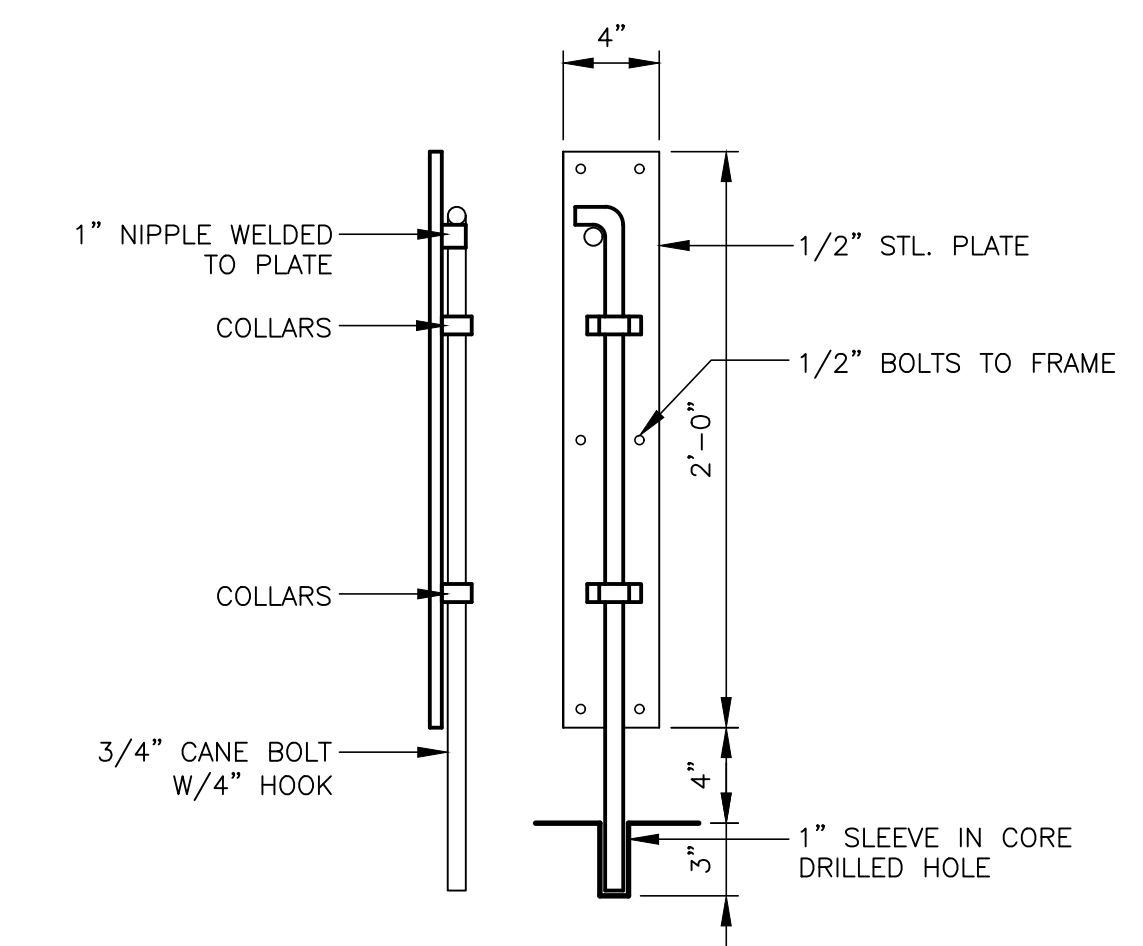
SHEET NO. **A2.1**  
ELEVATIONS



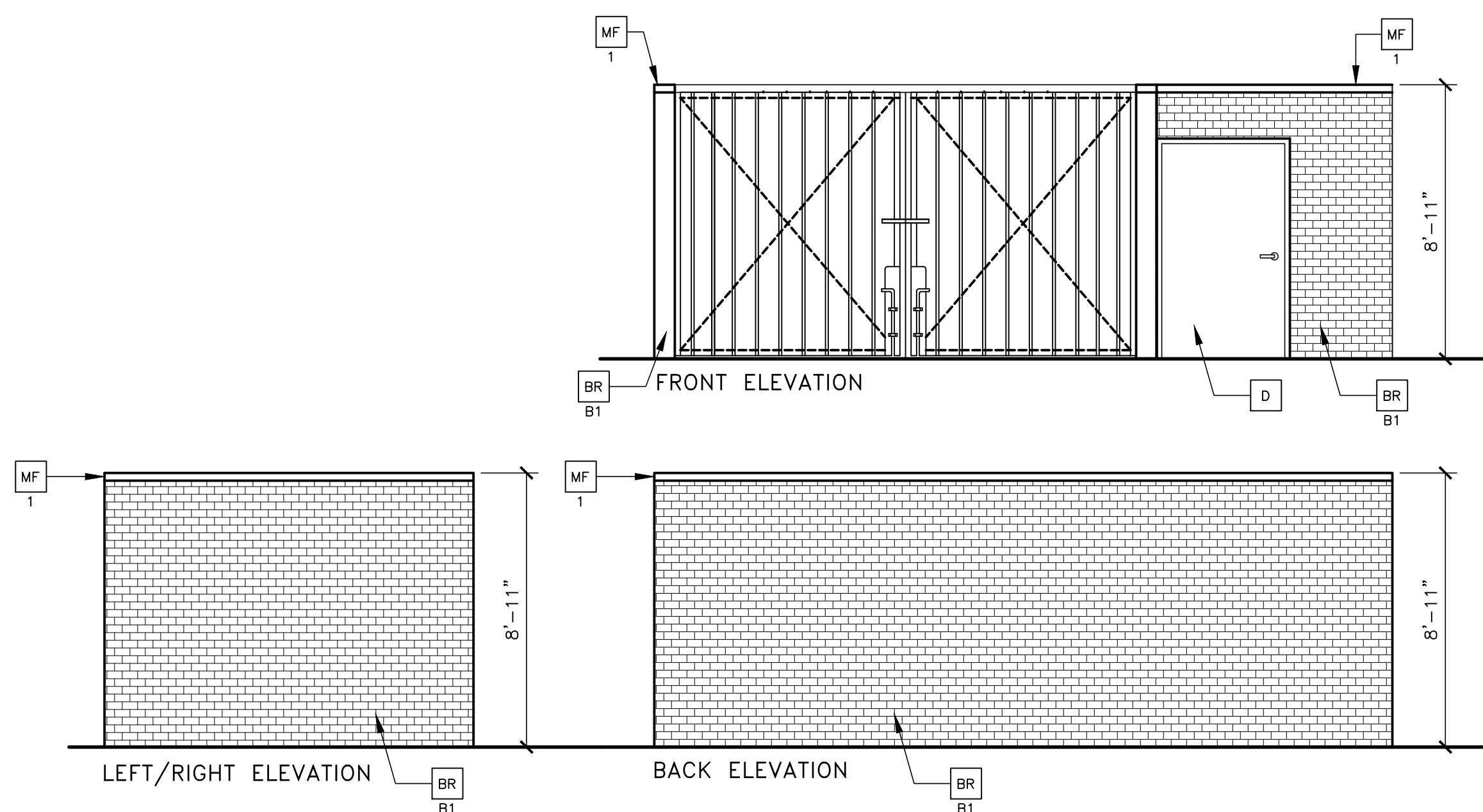
4 GATE POST DETAIL SCALE 3/4"=1'-0"



2 GATE HINGE DETAIL SCALE 1-1/2"=1'-0"

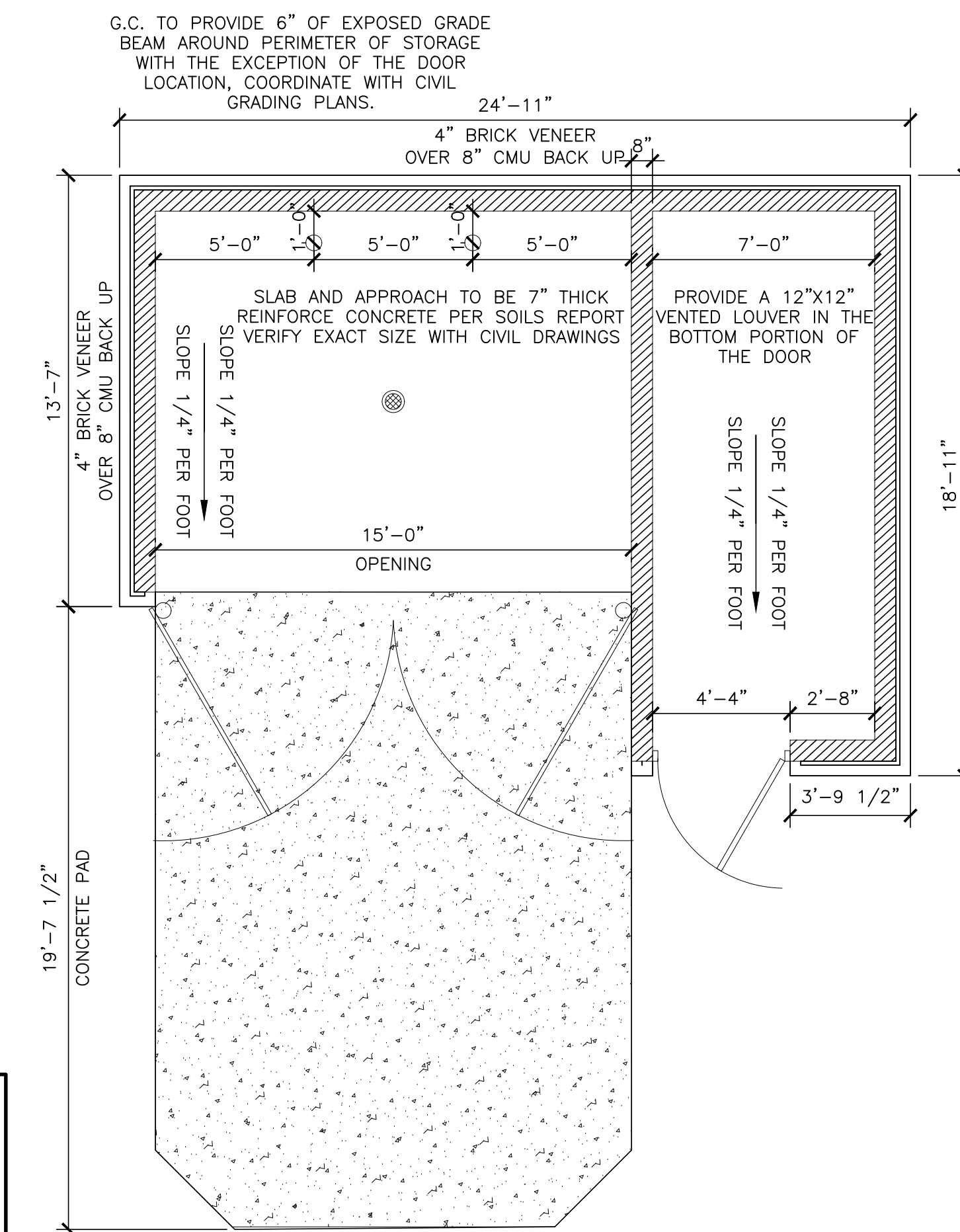


3 CANE BOLT DETAIL SCALE 1-1/2"=1'-0"



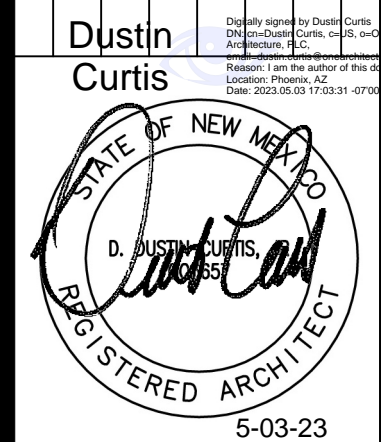
- BR FACEBRICK
- B1-COLOR:  
B1 = "SIENNA BLEND VELOUR A" BY BELDEN OR EQUAL
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.0
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.

5 TRASH ENCLOSURE ELEVATIONS SCALE 1/4"=1'-0"



1. PROVIDE CLOSELY SPACED CONTROL JOINTS IN ALL MASONRY WALLS (MINIMUM ONE PER WALL FACE).
  2. PROVIDE TECHNIQUES MENTIONED IN SOILS REPORT TO CONTROL EXCESS POST CONSTRUCTION MOISTURE TO SUBGRADE. MAINTAIN MOISTURE BARRIERS.
  3. SEE SITE PLAN FOR LOCATION.
- NOTE:  
STORAGE ROOM IS TO BE EQUIPPED WITH A "WHIRLY BIRD" ROOF VENTILATOR, 2X2 FLUORESCENT LIGHT (WEATHER TIGHT) W/ SWITCH AND DUPLEX RECEPTACLE.  
G.C. TO APPLY BLOCK SEALANT AND PAINT TO ALL EXPOSED CMU SURFACES.  
G.C. TO PROVIDE A TPO ROOF COVERING. PER THE STANDARD DETAILS AS SHOW ON THE ROOFING PLANS, USE A METAL ERA FASCIA TRIM TO MATCH THE BUILDING

1 TRASH ENCLOSURE PLAN SCALE 1/4"=1'-0"



**R**  
513 MAIN STREET, SUITE 300  
FORT WORTH, TEXAS 76102  
817.820.0433 o 817.705.3387 c

**McDonald's USA, LLC**  
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PROJECT NAME	2018 BB20 STANDARD BUILDING
PROTOTYPE ISSUE DATE	2018
PROTOTYPE	38111 - F011 NW PROTOTYPE
REVIEWED	ROD
FIRST ISSUE DATE	01/14/19
DESCRIPTION	WOOD BEARING WALLS WITH 4" BRICK VENEER
WOOD ROOF FRAMING MEMBERS	
SITE ADDRESS	5900 MENAUL BLVD NE ALBUQUERQUE, NM 87110
SITE ID	030-001

SHEET NO. **ST1.0**  
TRASH ENCLOSURE