

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ ARCHEOLOGICAL CERTIFICATE

- ___ Archaeological Compliance Documentation Form with property information section completed
- ___ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☒ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ✓ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ✓ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ✓ Copy of the Official Notice of Decision associated with the prior approval
- ✓ Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ✓ Letter of authorization from the property owner if application is submitted by an agent
- ✓ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ___ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ACCELERATED EXPIRATION SITE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ___ Site Plan to be Expired
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE SIGNAGE PLAN

- ___ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ___ Required notices with content per IDO Section 14-16-6-4(K)
 - ___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ___ Sign Posting Agreement
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE LANDSCAPE PLAN

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ Landscape Plan
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Wendell Montgomery

Date: 05/19/2021

Printed Name: Wendell Montgomery

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

	-
	-
	-

Staff Signature:

Date:





Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: <u>Trakor Enterprises</u>		Phone:
Address: <u>1501 University Blvd NE</u>		Email:
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87102</u>
Professional/Agent (if any): <u>Wendell Montgomery - Modulus Design, LLC</u>		Phone: <u>505 842 0354</u>
Address: <u>912 Broadway Blvd.</u>		Email:
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87102</u>
Proprietary Interest in Site:		List all owners:

BRIEF DESCRIPTION OF REQUEST

Minor Amendment to DRB Approved Site Plan (Project #1003993) located at 3421 Coors Blvd. NW - to add overflow parking area + assoc. flatwork

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <u>Tract A-30-A</u>	Block:	Unit:
Subdivision/Addition: <u>Town of Arisco Grant</u>	MRGCD Map No.:	UPC Code: <u>10/106/9520231002</u>
Zone Atlas Page(s): <u>G-11-Z</u>	Existing Zoning: <u>MX-T</u>	Proposed Zoning: <u>MX-T</u>
# of Existing Lots: <u>1</u>	# of Proposed Lots:	Total Area of Site (acres): <u>4.04</u>

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 3421 Coors Blvd NW Between: Sequoia Rd and: St. Josephs DR.

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: Wendell Montgomery Date: 02/22/2021
 Printed Name: Wendell Montgomery ☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

May 19, 2021

Albuquerque City Planning and Permitting

600 2nd Street NW

Albuquerque NM, 87102

To Whom It May Concern,

Please be advised that Modulus Design is acting as an agent on behalf of Raj Holdings, LLC for 3421 Coors Blvd NW. They will be presenting the documents to the city for approval for all work being done on 3421 Coors Blvd NW. If you have any questions, please do not hesitate to contact me at 505.975.2433.

Thank you,



Sujay Thakur

Managing Member

Raj Holdings, LLC



Letter of Justification

May 19, 2021

Sobremesa Restaurant & Brewery – 3421 Coors Blvd. NW – Site Improvements – Administrative Amendments

Prepared by Modulus Design, acting as agents for:

Sujay Thakur
Thakur Enterprises, LLC
1501 University Blvd. NE
Albuquerque, NM 87102

Dear Sir or Madam,

The attached revisions to the DRB approved Site Development Plan at 3421 Coors Blvd. NW being submitted for your review and administrative approval. The following revisions are being requested and are depicted on the attached Proposed Site Plan Improvements (Sheet AS101):

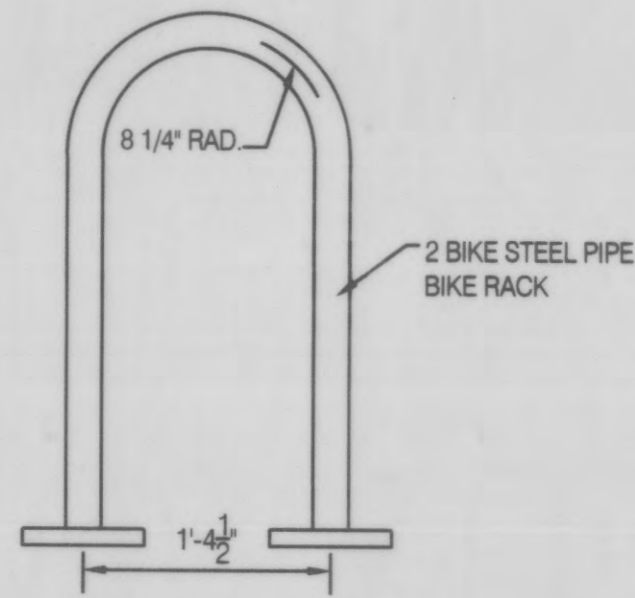
- New 10,300 SF overflow parking area of compacted crusher fines west of existing Brewery + Restaurant building.
 - Includes parking bumpers, curbs, pedestrian walkways, and dark skies compliant parking lot pole mounted lighting (to match lighting already installed elsewhere on site)
 - New crosswalk and curb work at revised pedestrian crossing
 - Parking lot shall comprise 32 additional parking spaces
- Approx 8,000 SF undeveloped area for future development of site (not in scope of Administrative Amendment)
 - New 8'-0" Concrete walkway for future expansion
 - Revised curb work at two (2) west parking spaces

Please note that no Official Notice of Decision Letter was able to be procured for this application. As such, it is assumed that the attached, signed approved Site Development Plan shall substitute for this letter.

At this time, no other site work or developed is being performed. Thank you for your review and consideration,

-Wendell Montgomery, Project Manager, Modulus Design

- 1 EXISTING 10' PNM & MOUNTAIN BELL EASEMENT (06/11/87, C33-178)
- 2 EXISTING 36' JOINT ACCESS EASEMENT (9/8/06, 06C-274)
- 3 EXISTING 50' PNM EASEMENT (1/17/08, DOC. NO. 2008)
- 4 EXISTING 10' UNDERGROUND EASEMENT FOR PNM (1/15/85, MISC. 284, PG 619)



BICYCLE RACK Not to Scale

LEGAL DESCRIPTION: TRACT A-36-A, TOWN OF ATRISCO GRANT.
SITE AREA: 4.04 AC / 176,180 SF
EXISTING ZONING: SU-1 FOR USES PERMISSIVE AND CONDITIONAL IN O-1
PROPOSED ZONING: SU-1 FOR USES PERMISSIVE AND CONDITIONAL IN O-1 AND INDOOR AND OUTDOOR STORAGE
PROPOSED LAND USE: INDOOR STORAGE FACILITY, RV STORAGE, AND A MULTI-TENANT OFFICE.
PARKING REQUIREMENTS:

WAREHOUSE: 1 SPACE PER 2,000 SQUARE FEET OF NET LEASABLE AREA	14
OFFICE: 1 SPACE PER 200 SQUARE FEET	<u>+ 53</u>
TOTAL PARKING REQUIRED:	67
PARKING SPACES PROVIDED:	71
HANDICAPPED PARKING REQUIRED/PROVIDED:	4/4
MOTORCYCLE PARKING REQUIRED/PROVIDED:	3/3
BICYCLE REQUIRED/PROVIDED:	4/4

1. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
3. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
4. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
5. UTM COORDINATION: DEVELOPMENT SHALL COMPLY WITH ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, AND SHALL BE MADE TO PM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
6. SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
7. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER) WILL NOT BE ACCEPTABLE IN THE AREA.
8. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES), CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), BUS SHELTER (2535.02), CURB AND GUTTER (2415A).
9. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.

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Sheet 1 of 7

Easement Notes

- 1 EXISTING 10' PNM & MOUNTAIN BELL EASEMENT (06/11/87, C33-178)
- 2 EXISTING 36' JOINT ACCESS EASEMENT (9/8/06, 06C-274)
- 3 EXISTING 50' PNM EASEMENT (1/17/08, DOC. NO. 2008)
- 4 EXISTING 10' UNDERGROUND EASEMENT FOR PNM (1/15/85, MISC. 284, PG 619)

SITE DATA:

LEGAL DESCRIPTION: TRACT A-36-A, TOWN OF ATRISCO GRANT.

SITE AREA: 4.04 AC. / 176,180 SF

EXISTING ZONING: SU-1 FOR USES PERMISSIVE AND CONDITIONAL IN O-1

PROPOSED ZONING: SU-1 FOR USES PERMISSIVE AND CONDITIONAL IN O-1 AND INDOOR AND OUTDOOR STORAGE

PROPOSED LAND USE: INDOOR STORAGE FACILITY, RV STORAGE, AND A MULTI-TENANT OFFICE.

PARKING REQUIREMENTS:

WAREHOUSE: 1 SPACE PER 2,000 SQUARE FEET OF NET LEASABLE AREA	14
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TOTAL PARKING REQUIRED:	67
PARKING SPACES PROVIDED:	71
HANDICAPPED PARKING REQUIRED/PROVIDED:	4/4
MOTORCYCLE PARKING REQUIRED/PROVIDED:	3/3
BICYCLE REQUIRED/PROVIDED:	4/4

TRANSIT: BUS ROUTES 96 (CROSSTOWN COMMUTER), 155 (COORS), AND 790 (BLUE LINE RAPID RIDE). SOUTHBOUND BUS STOPS FOR ROUTES 96, 155, AND 790 ARE LOCATED APPROXIMATELY 450' TO THE SOUTH OF THE SITE. NORTHBOUND BUS STOPS FOR ROUTES 96 AND 155 ARE LOCATED ACROSS COORS BLVD APPROXIMATELY 500' TO THE NORTH OF THE SITE. NORTHBOUND BUS STOP FOR ROUTE 790 ARE LOCATED DIRECTLY ACROSS COORS BLVD FROM THE SITE.

LIGHTING: LIGHTING SHALL BE FULLY SHIELDED AND CONSISTENT WITH THE COORS CORRIDOR PLAN LIGHTING REGULATIONS. THE HEIGHT OF POLE-MOUNTED LIGHTS WILL NOT EXCEED 20-FEET FROM THE GRADE OF THE PARKING LOT.

GENERAL NOTES:

- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), BUS SHELTER (2535.02), CURB AND GUTTER (2415A).

PROJECT NUMBER: 1003993
Application Number: 18EPC-40020

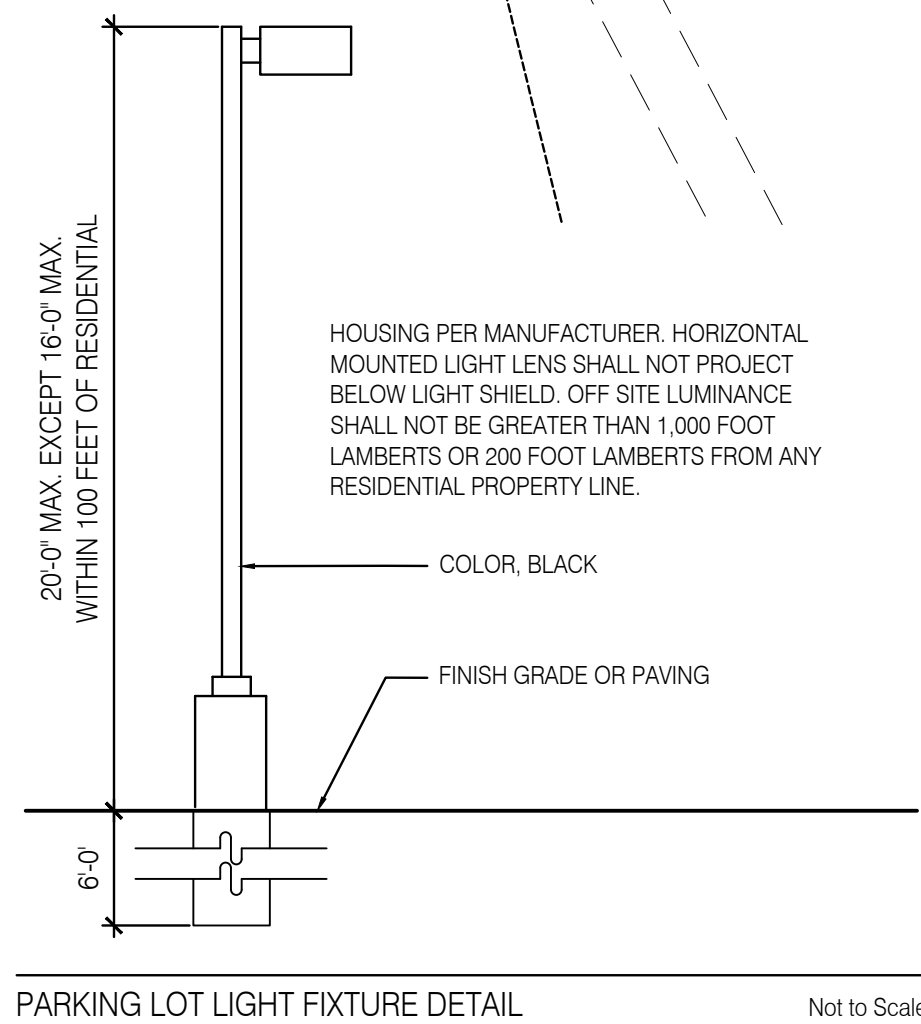
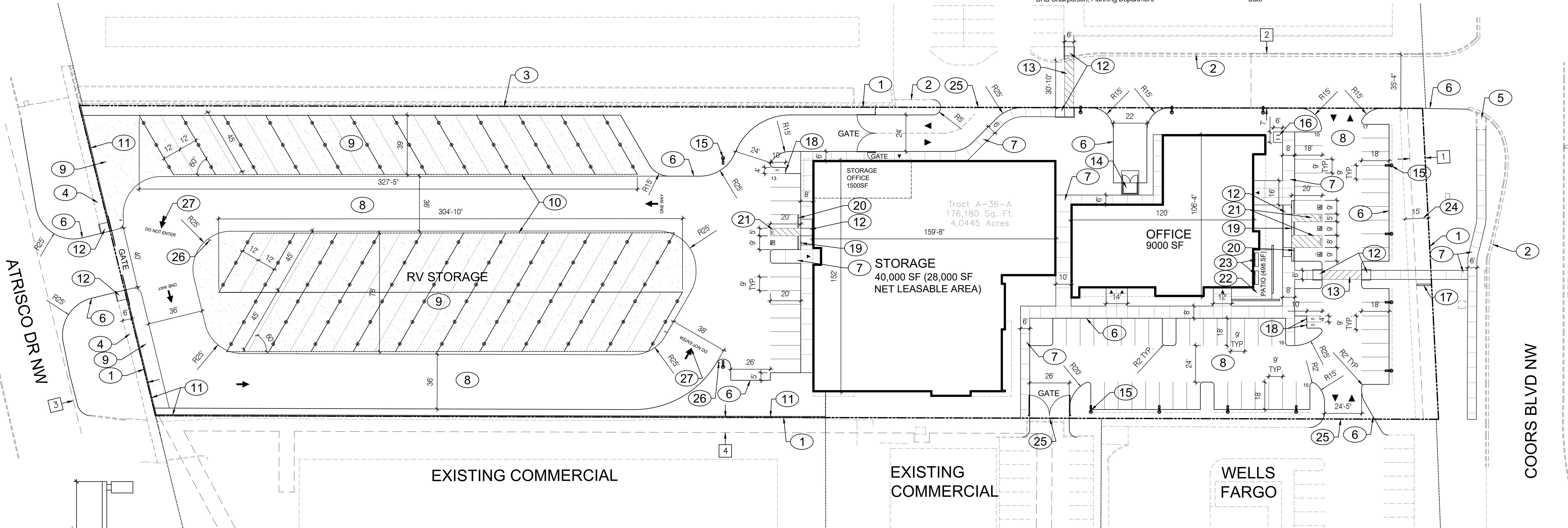
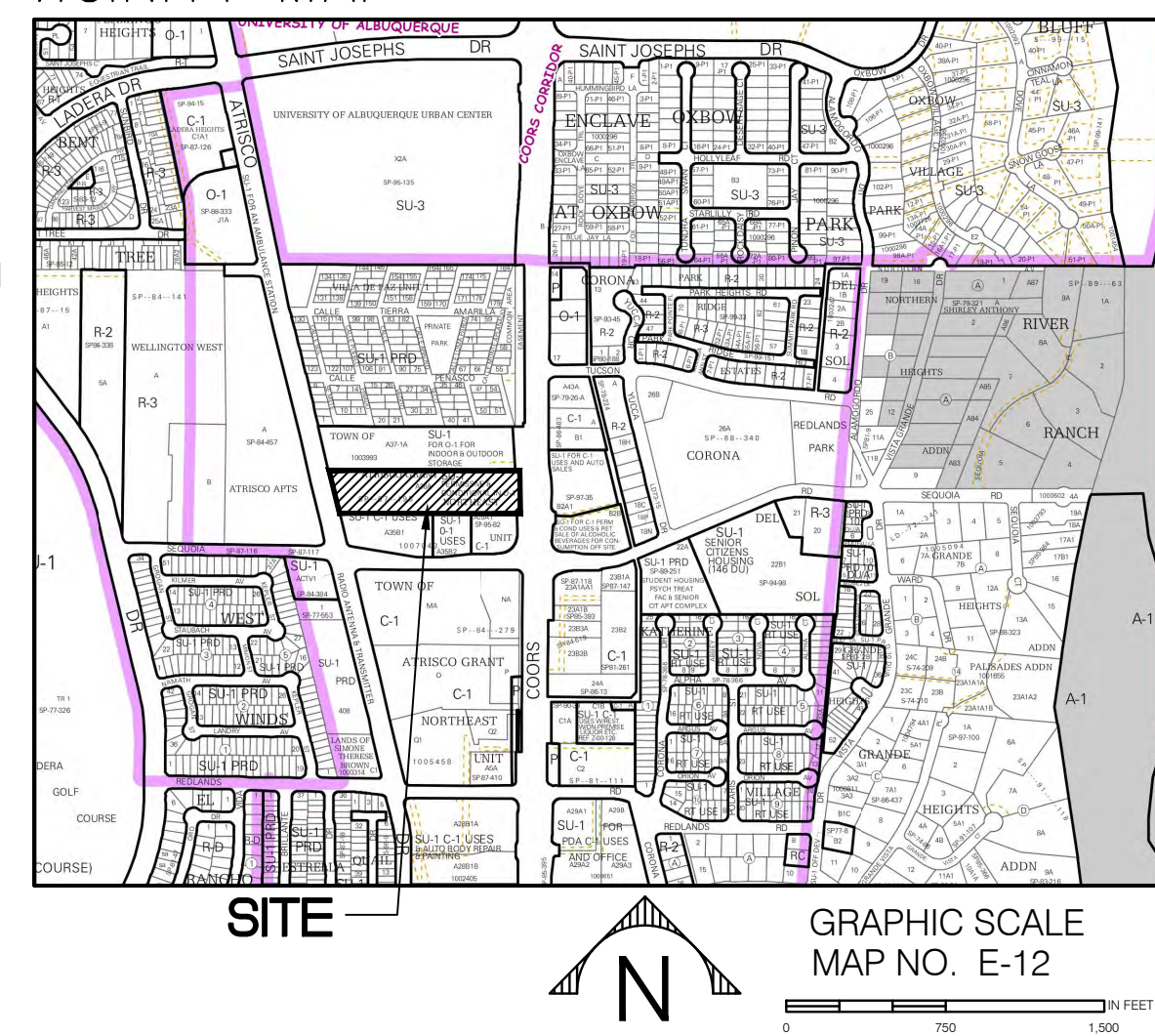
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 10, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

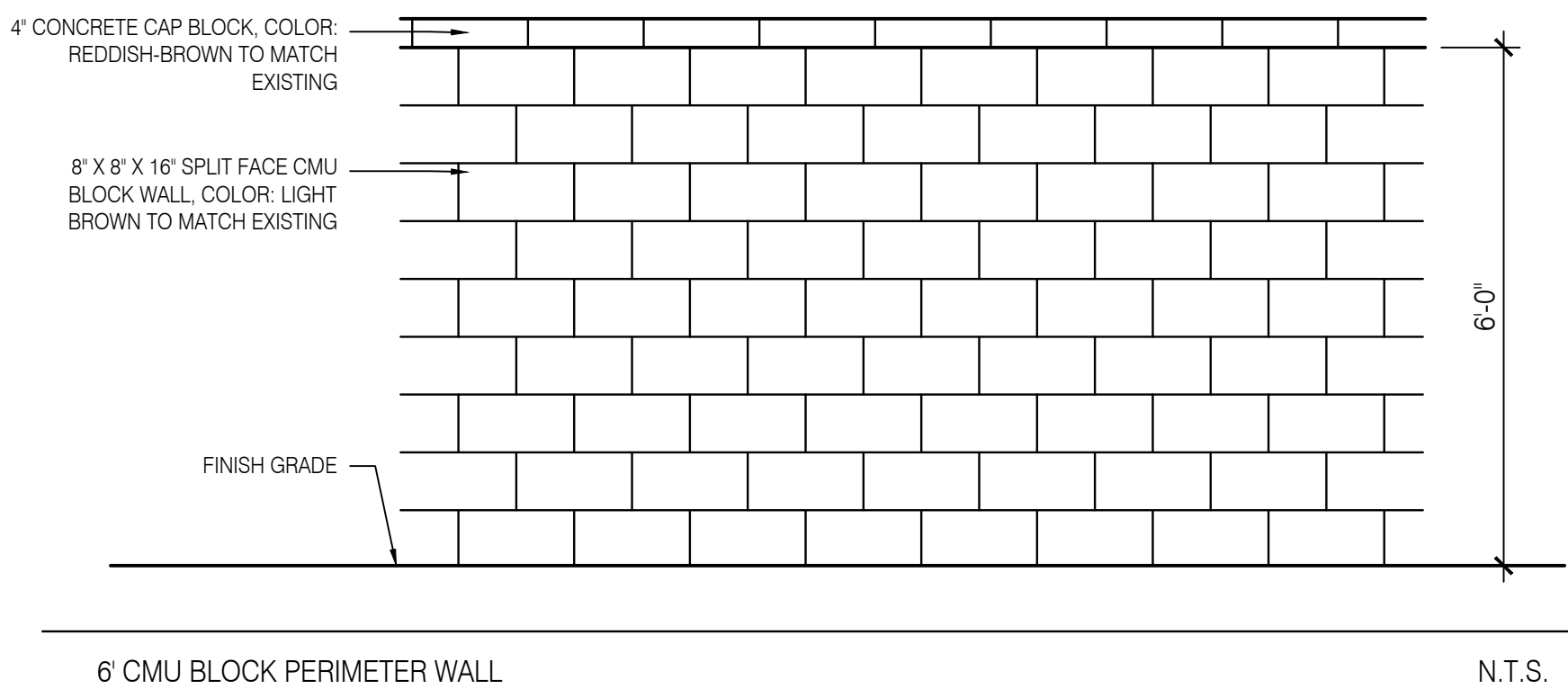
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

VICINITY MAP



Not to Scale



N.T.S.

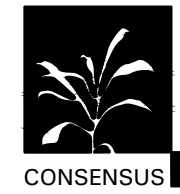
KEY NOTES:

- PROPERTY BOUNDARY
- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING CMU BLOCK WALL TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- EXISTING ACCESSIBLE RAMP TO REMAIN
- CONCRETE CURB AND GUTTER, TYP.
- CONCRETE SIDEWALK
- ASPHALT SURFACING
- GRAVEL SURFACING
- COVERED RV PARKING
- 6' CMU BLOCK PERIMETER WALL TO MATCH EXISTING PERIMETER WALL ON NORTH PROPERTY.
- ACCESSIBLE CONCRETE RAMP
- STRIPED PEDESTRIAN CROSSWALK
- REFUSE ENCLOSURE
- SITE LIGHTING, TYP.
- BICYCLE RACK
- MONUMENT SIGN
- "MOTORCYCLE PARKING ONLY" SIGN
- ADA "HANDICAP PARKING ONLY" SIGN, MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978
- "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" ADDITIONAL "VAN ACCESSIBLE" SIGN TO BE INCLUDED AT VAN ACCESSIBLE SPACE, TYPICAL AT EACH HANDICAP SPACE
- CONCRETE PARKING BUMPER, TYP.
- ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-2.1.8 NMSA 1978)
- OUTDOOR PATIO - 498 SF
- 6' BENCH
- 15' LANDSCAPE SETBACK, PER THE COORS CORRIDOR PLAN
- CROSS ACCESS AGREEMENT WILL BE PROVIDED AT FINAL SIGNOFF AT DRB.
- "DO NOT ENTER" SIGN 12"X18" ON STEEL POST, TYP. BOTH SIDES OF DRIVE
- PAINTED DIRECTIONAL ARROW AND 1'-6" TALL LETTERS, TYP.

GLOBAL STORAGE COORS

SITE PLAN FOR BUILDING PERMIT

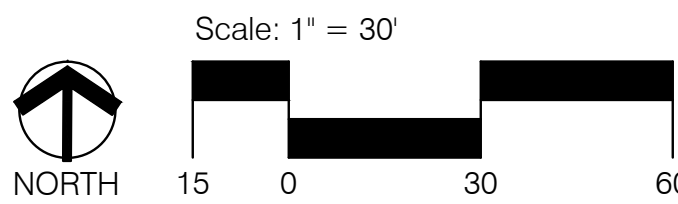
Prepared for:
Thakur Enterprises, LLC.
1501 University Boulevard NE
Albuquerque, NM 87102



Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102

Armando Lopez Architecture
221 N Main St, Studio E
Las Cruces, NM 88001

Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108



May 25, 2018

Sheet 1 of 7

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN

ALL NEW PLANTING AREAS SHALL BE TOP DRESSED WITH GRAVEL MULCH.

IRRIGATION

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE

MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE

THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

WATER HARVESTING

SEE GRADING AND DRAINAGE PLAN FOR STRATEGY TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA (4.04 AC): 176,180 SF
BUILDING AREA: -30,560 SF
NET AREA: 145,620 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 21,843 SF

PROVIDED LANDSCAPE AREA: 35,340 SF (24%)

LANDSCAPE LIVE VEGETATIVE COVERAGE

LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL.

REQUIRED LIVE VEGETATIVE COVERAGE AREA: 26,505 SF (75%)

PROVIDED LIVE VEGETATIVE COVERAGE AREA: 82,700 SF (234%)

A MINIMUM OF 30% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.

REQUIRED GROUND-LEVEL COVERAGE AREA: 10,602 SF (30%)

PROVIDED GROUND-LEVEL COVERAGE AREA: 10,665 SF (30%)

PARKING LOT TREES

67 OFF-STREET PARKING SPACES ARE PROVIDED. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES, AND NO PARKING SPACE BEING MORE THAN 100 FEET FROM A TREE.

PARKING LOT TREES REQUIRED: 7

PARKING LOT TREES PROVIDED: 15

STREET TREES

COORS BOULEVARD IS A URBAN PRINCIPAL ARTERIAL AND ATRISCO DRIVE IS AN URBAN COLLECTOR AND THEREFORE REQUIRE STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

COORS BOULEVARD FRONTAGE IS 204'.

STREET TREES REQUIRED: 8

STREET TREES PROVIDED: 8

ATRISCO DRIVE FRONTAGE IS 209'.

STREET TREES REQUIRED: 8

STREET TREES PROVIDED: 8

PARKING LOT LANDSCAPE AREA

PARKING LOTS SHALL HAVE A MINIMUM OF 20% LANDSCAPE, PER THE COORS CORRIDOR PLAN.

PARKING LOT AREA: 22,250 SF

REQUIRED PARKING LOT LANDSCAPE: (20%) 4,450 SF

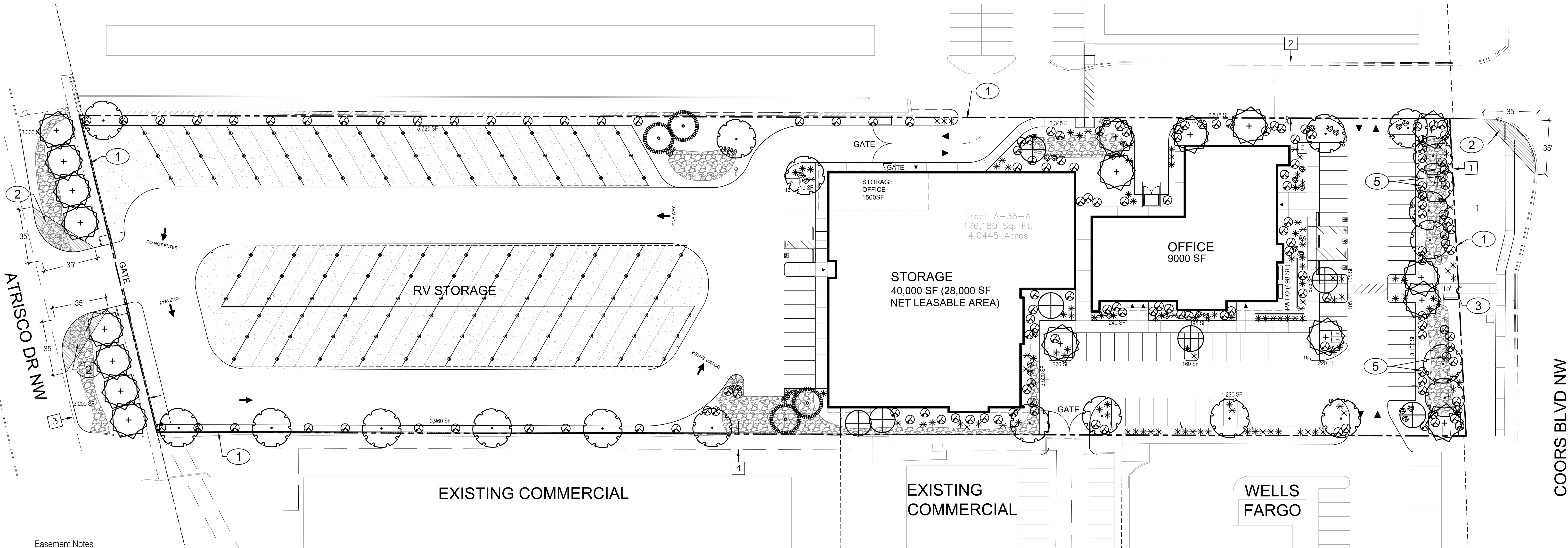
PROVIDED PARKING LOT LANDSCAPE: (22%) 5,005 SF

KEY NOTES:

- PROPERTY BOUNDARY
- CLEAR SIGHT TRIANGLE
- 15' LANDSCAPE SETBACK, PER THE COORS CORRIDOR PLAN
- PONDING, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN
- EVERGREEN SCREENING, TYP.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE	QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
								* SMALL SHRUBS & ACCENTS			
								ACHILLEA MOONSHINE MOONSHINE YARROW	1-GAL.	2' HT. X 2' SPR.	MED
18		CHILOPSIS LINEARIS DESERT WILLOW	2" B&B	10' HT. X 6' SPR. 20' HT. X 25' SPR.	LOW			CALAMAGROSTIS ACUTIFLORA KARL FOERSTER KARL FOERSTER GRASS	5-GAL.	3' HT. X 3' SPR.	MED
21		CELTIS RETICULATA NETLEAF HACKBERRY	2" B&B	10' HT. X 6' SPR. 25' HT. X 25' SPR.	LOW			HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	3' HT. X 3' SPR.	LOW
4		PINUS ELДАРICA AFGHAN PINE	B&B.	6' MIN HT. 35' HT. X 20' SPR.	MED			NOLINA TEXANA BEARGRASS	5-GAL.	4' HT. X 4' SPR.	LOW
7		VITEX AGNUS-CASTUS CHASTE TREE	2" B&B.	6' HT. X 4' SPR. 20' HT. X 20' SPR.	LOW			NANDINA DOMESTICA 'GULF STREAM' GULF STREAM NANDINA	5-GAL.	4' HT. X 4' SPR.	LOW
		LARGE SHRUBS						YUCCA PENDULA SOFT LEAF YUCCA	5-GAL.	5' HT. X 4' SPR.	LOW
		BACCHARIS 'STARH THOMPSON' DWARF COYOTE BUSH	5-GAL.	4' HT. X 4' SPR.	LOW						
		BUDDLEIA DAVIDII BUTTERFLY BUSH	5-GAL.	5' HT. X 5' SPR.	LOW						
		CARYOPTERIS X CLANDONENSIS BLUE MIST SPIREA	5-GAL.	5' HT. X 5' SPR.	LOW	37		MOSS ROCK BOULDERS (3X3 MIN)			
		JUNIPERUS SCOPULORUM MEDORA MEDORA JUNIPER	15-GAL.	15' HT. X 5' SPR.	MED	29,310 SF		3/4" - 1" GRAVEL MULCH, COLOR: REDDISH-BROWN (3" DEPTH OVER WEED CONTROL FABRIC)			
		JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	5-GAL.	1' HT. X 8' SPR.	LOW	6,030 SF		2"-4" COBBLE STONE, COLOR: GRAY (6" DEPTH OVER WEED CONTROL FABRIC)			
		PHUS TRILOBATA THREE LEAF SUMAC	5-GAL.	6' HT. X 6' SPR.	LOW						



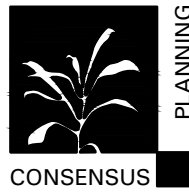
Easement Notes

- EXISTING 10' PNM & MOUNTAIN BELL EASEMENT (06/11/87, C33-178)
- EXISTING 36' JOINT ACCESS EASEMENT (9/8/06, 06C-274)
- EXISTING 50' PNM EASEMENT (1/17/08, DOC. NO. 2008)
- EXISTING 10' UNDERGROUND EASEMENT FOR PNM (1/15/85, MISC. 284, PG 619)

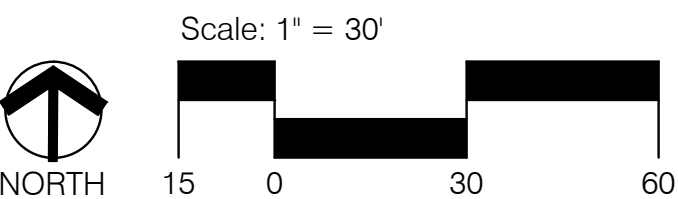
GLOBAL STORAGE COORS

LANDSCAPE PLAN

Prepared for:
Thakur Enterprises, LLC.
1501 University Boulevard NE
Albuquerque, NM 87102



Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



May 25, 2018

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Sheet 2 of 7

PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-11. THE SITE IS BOUND TO THE EAST BY COORS BLVD. TO THE WEST BY ATRISCO DR., TO THE NORTH BY A STORAGE FACILITY COMPLEX AND TO THE SOUTH BY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE TWO COMMERCIAL BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT A-36-A TOWN OF ATRISCO GRANT NORTHEAST ADDITION, ALBUQUERQUE, NM

SITE AREA: 4.04 ACRES

BENCHMARK: ACS BRASS TABLET STAMPED "8-G11", ELEVATION = 5116.009 FEET (NAD 1983)

OFF-SITE FLOW: WEST PROPERTY R.O.W. HISTORICALLY DRAINS INTO SITE. A WATER BLOCK WILL BE PROVIDED TO CONTAIN FLOWS WITHIN ATRISCO RD. THE UNDEVELOPED R.O.W. PORTION BETWEEN THE STREET AND PROPERTY LINE WILL BE GRADED TO SELF-POND.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0327J, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ENGINEER: FRED C. ARFMAN: NMPE 7322
ISAACSON & ARFMAN, PA
128 MONROE NE 87108
505-268-8828

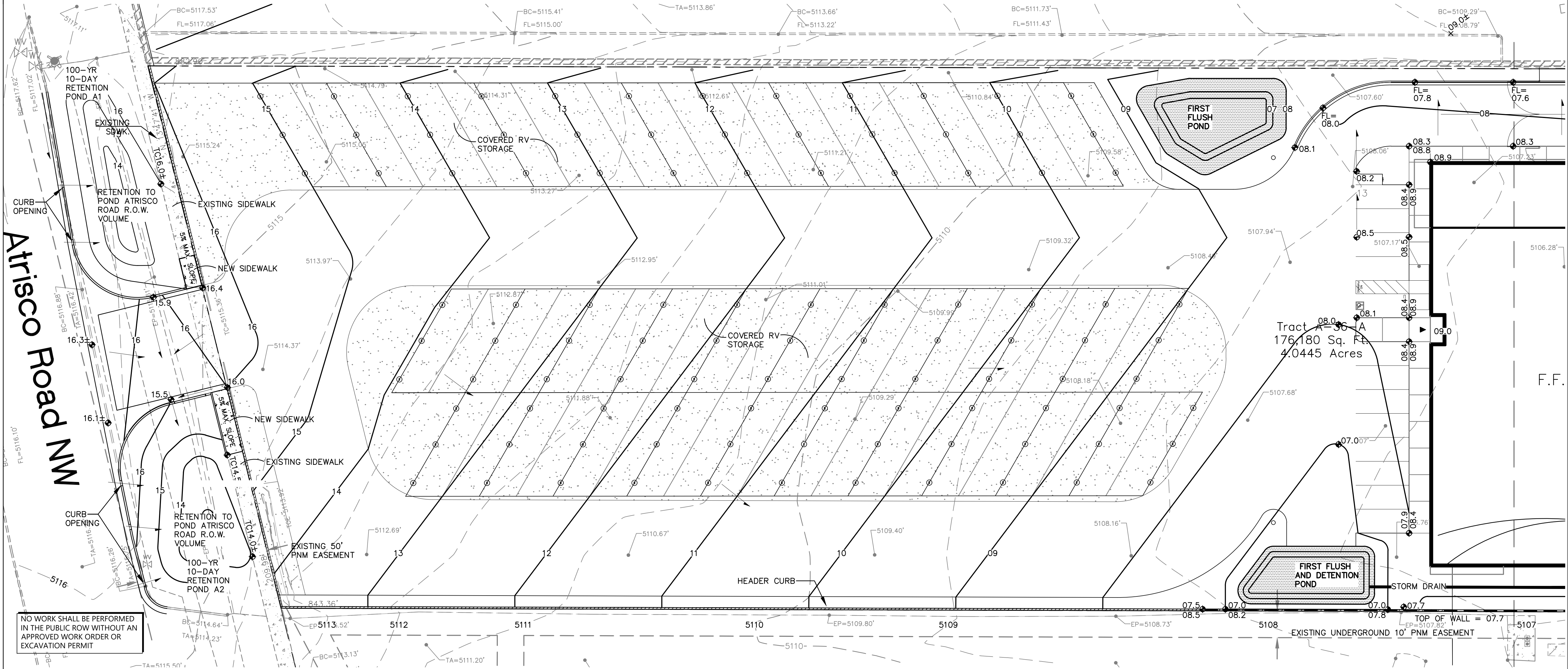
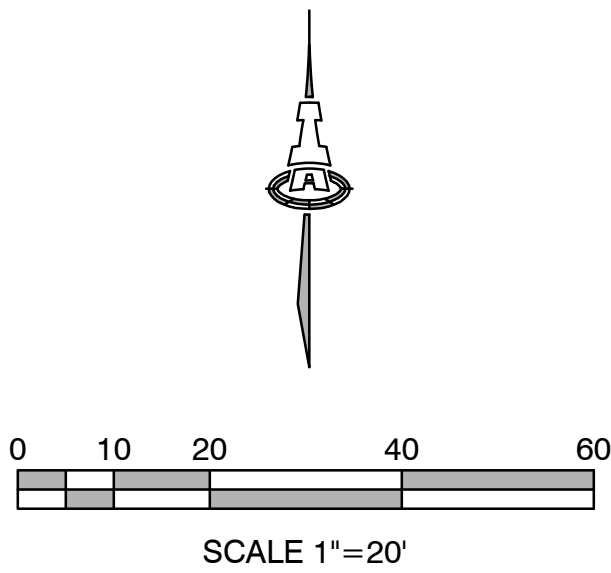
SURVEYOR: WILL PLOTNER JR: NMPS NO. 14271
CARTESIAN SURVEYS, INC
P.O. BOX 44414 RIO RANCHO, NM 87174
505-896-3050

VICINITY MAP



LEGEND

- 5105.65' EXISTING SPOT ELEVATION
- - - 5110 - - - EXISTING CONTOUR
- - - 12 - - - PROPOSED CONTOUR (1' INCREMENT)
- - - 10 - - - PROPOSED CONTOUR (0.5' INCREMENT)
- 08.9 PROPOSED SPOT ELEVATION
- FLOW ARROW
- [Pattern] PROPOSED FIRST FLUSH RETENTION POND



Atrisco Road NW

NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT

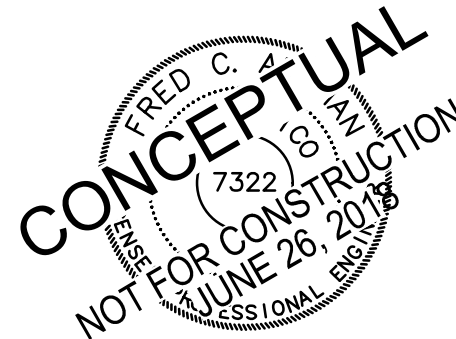
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PROJECT

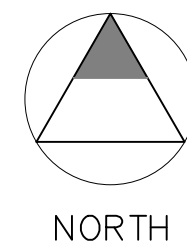
GLOBAL STORAGE - COORS

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Albuquerque, New Mexico

ISSUE

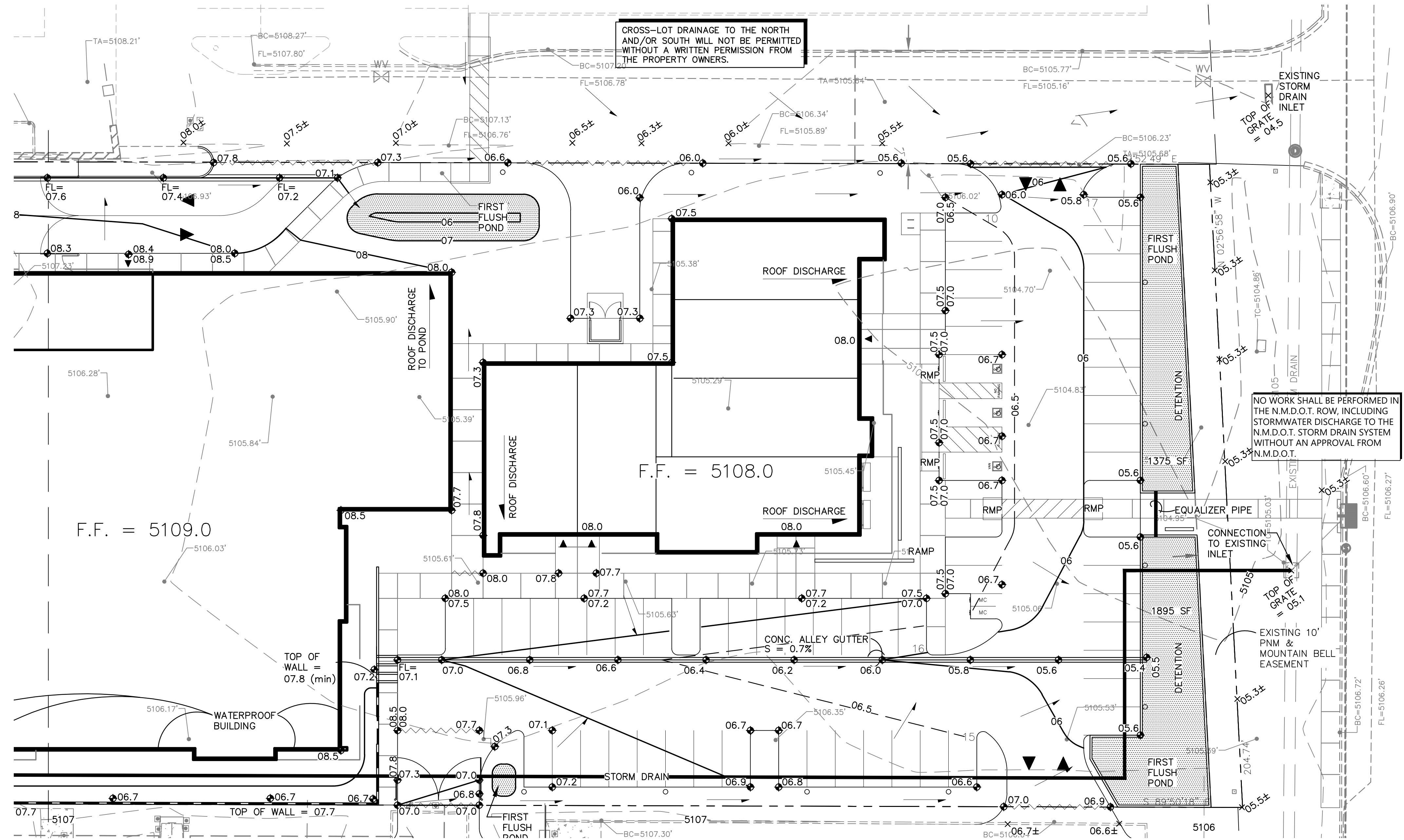
REVISION

SHEET



CONCEPTUAL
GRADING &
DRAINAGE PLAN
1 OF 2

CG-101



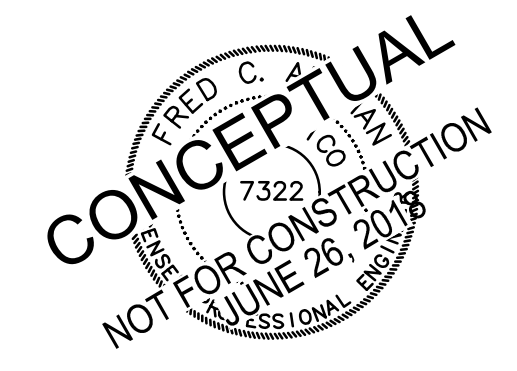
LEGEND

- 5105.65' EXISTING SPOT ELEVATION
- 5110 - EXISTING CONTOUR
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PROJECT

GLOBAL STORAGE - COORS

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Albuquerque, New Mexico

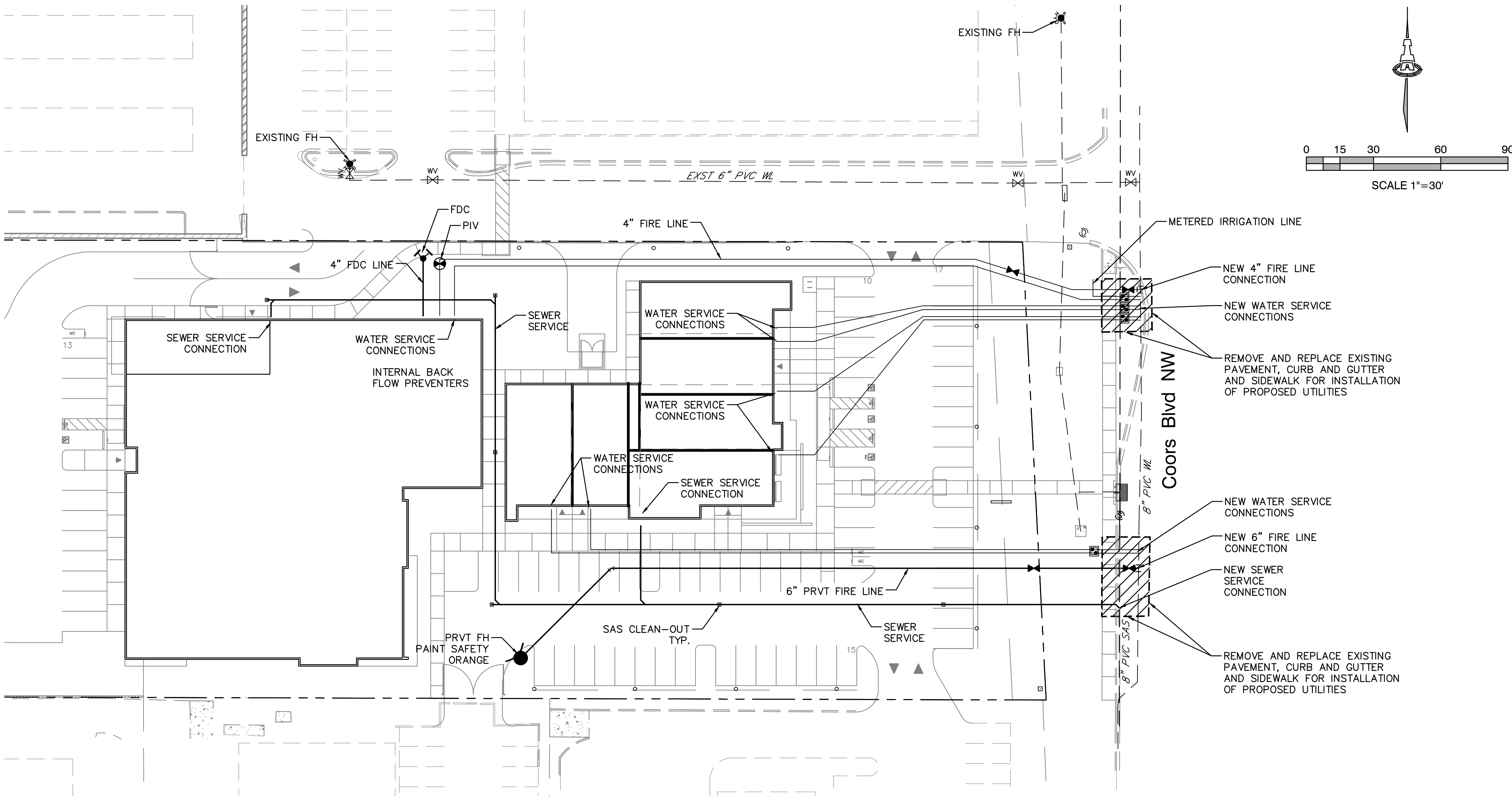
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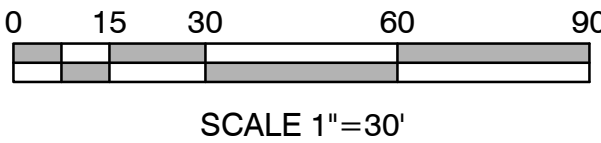
SHEET

NORTH

CONCEPTUAL
GRADING &
DRAINAGE PLAN
2 OF 2



PRIVATE FIRE LINE CONNECTIONS TO PUBLIC WATERLINE
TO BE CONSTRUCTED UNDER ABCWUA WORK ORDER



GENERAL NOTES

- 1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- 2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- 3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- 4. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- 5. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

UTILITY GENERAL NOTES

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED UTILITIES SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- B. MINIMUM COVER SHALL BE 36" FOR WATERLINES AND 48" FOR SANITARY SEWER, EXCEPT AT BUILDING CONNECTIONS.
- C. UTILITY LINES SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.
- D. UTILITY LINES SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING PLUMBING AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL. REFER TO THE MECHANICAL AND/OR PLUMBING PLANS FOR SERVICE CONNECTIONS.
- F. DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES TO DETERMINE THE SIZE, DEPTH, LOCATION, FITTINGS AND REQUIRED APPURTENANCES FOR THE DRY UTILITY SERVICE LINES ON THE SITE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE CONNECTIONS.
- G. TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.
- H. ALL WATER VALVE BOXES, MANHOLE RINGS & COVERS, AND OTHER SURFACE ITEMS FOR THE UTILITIES SHALL BE ADJUSTED TO FINISHED GRADE.
- I. ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 12" MIN CLEARANCE. IF 12" CLEARANCE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE OR AS DIRECTED BY THE ENGINEER.
- J. VALVES, METERS, SERVICE LINES, METER AND VALVE BOXES, TAPPING SLEEVES, HYDRANTS, AND OTHER WATER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 800.
- K. WATERLINES LESS THAN 4" DIAMETER SHALL BE COPPER TYPE K MEETING ASTM B 88 REQUIREMENTS. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- L. ALL FITTINGS AND COUPLINGS FOR WATERLINES LESS THAN 4" IN DIAMETER ARE TO BE COPPER, SOLDER JOINT FITTINGS IN ACCORDANCE WITH ASME 16.18 OR ASME B16.22.
- M. ALL FITTINGS AND COUPLINGS FOR WATERLINES 4" IN DIAMETER OR LARGER ARE TO BE MEGA LUG MECHANICAL JOINTS OR ENGINEER APPROVED EQUIVALENT.
- N. JOINTS SHALL BE RESTRAINED BY MEGA LUG HARNESSSES, OR ENGINEER APPROVED EQUIVALENT. JOINT RESTRAINTS SHALL BE INSTALLED AT DISTANCES FROM THE FITTINGS AS SHOWN ON THE JOINT RESTRAINT TABLE IN THESE PLANS.
- O. BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- P. FIRE LINES SHALL USE PIPE MATERIALS LISTED AND APPROVED FOR FIRE SERVICE BY UNDERWRITERS LABORATORIES.
- Q. FIRE DEPARTMENT CONNECTIONS SHALL MEET UL 405, NFPA 1963, AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- R. ADJUST WATER AND FIRE LINES TO AVOID FOOTINGS, SEWER LINES, AND OTHER CONDUITS. INSTALL FITTINGS AS NEEDED.
- S. SEWER MANHOLES, CLEANOUTS, SEWER SERVICE TAPS, AND OTHER SEWER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 900 / APWA SPEC. SECT. 900 / LOCAL UTILITY COMPANY SPECIFICATIONS
- T. SEWER SERVICE LINES SHALL BE INSTALLED AT A 2% MINIMUM SLOPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS. THE PIPE SHALL DRAIN TOWARD THE SEWER MAIN AT ALL LOCATIONS.
- U. ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

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PROJECT

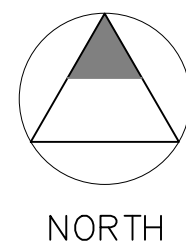
GLOBAL STORAGE - COORS

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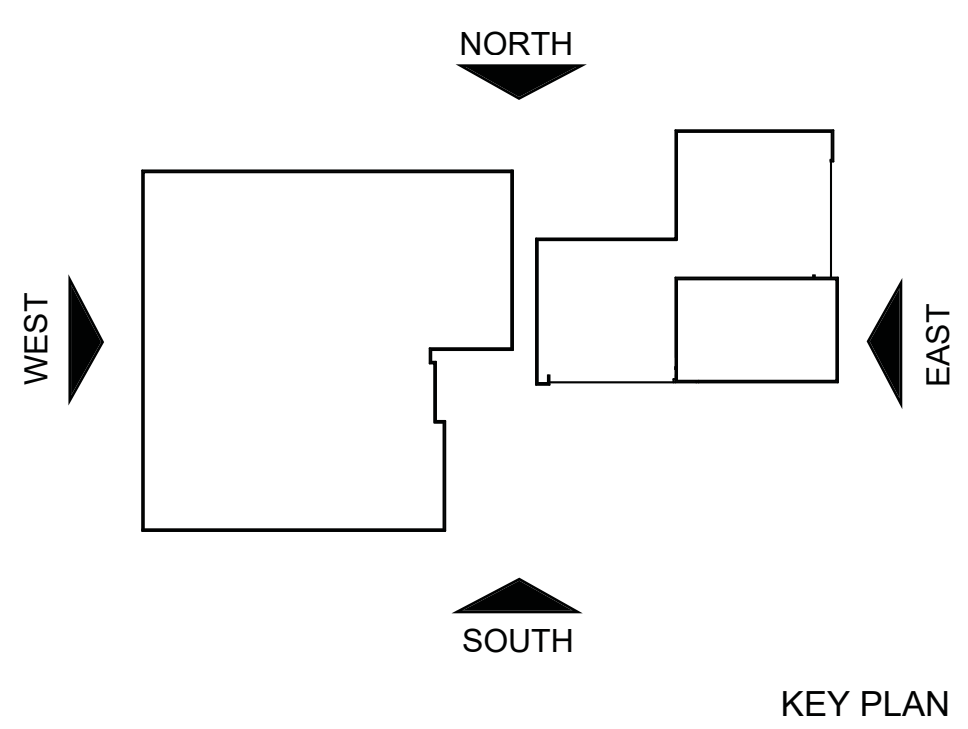
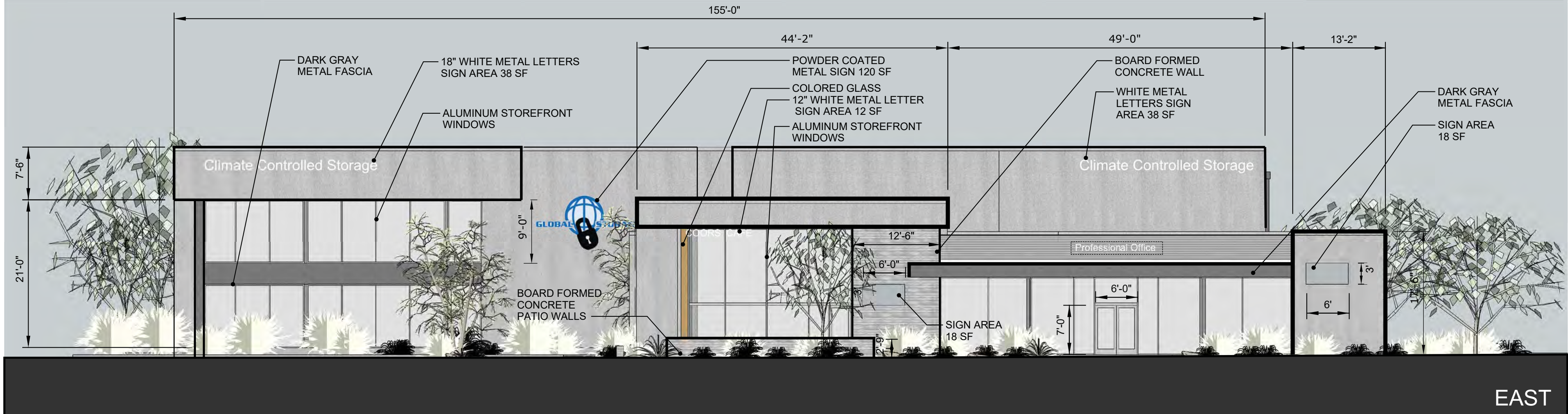
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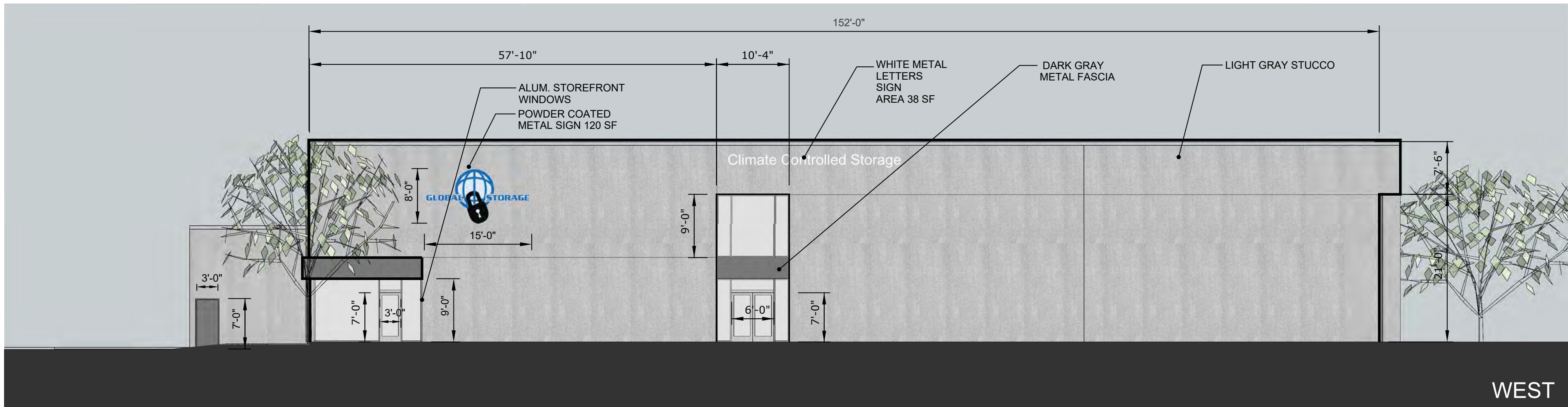
CONCEPTUAL
UTILITY PLAN

CU-101





NOTE: BUILDING-MOUNTED SIGNAGE THAT COMPLIES WITH THE APPLICABLE SIGNAGE REGULATIONS IN THE O-1 ZONE MAY BE APPROVED ADMINISTRATIVELY. ALLOWED SIZE IS UP TO 7.5% OF THE FACADE AREA TO WHICH IT IS APPLIED.



GLOBAL STORAGE COORS

BUILDING ELEVATIONS

Prepared for:
Thakur Enterprises, LLC.
1501 University Boulevard NE
Albuquerque, NM 87102

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102

Scale: 3/32" = 1'- 0"



April 30, 2018

Armando Lopez Architecture
221 N Main St, Studio E
Las Cruces, NM 88001

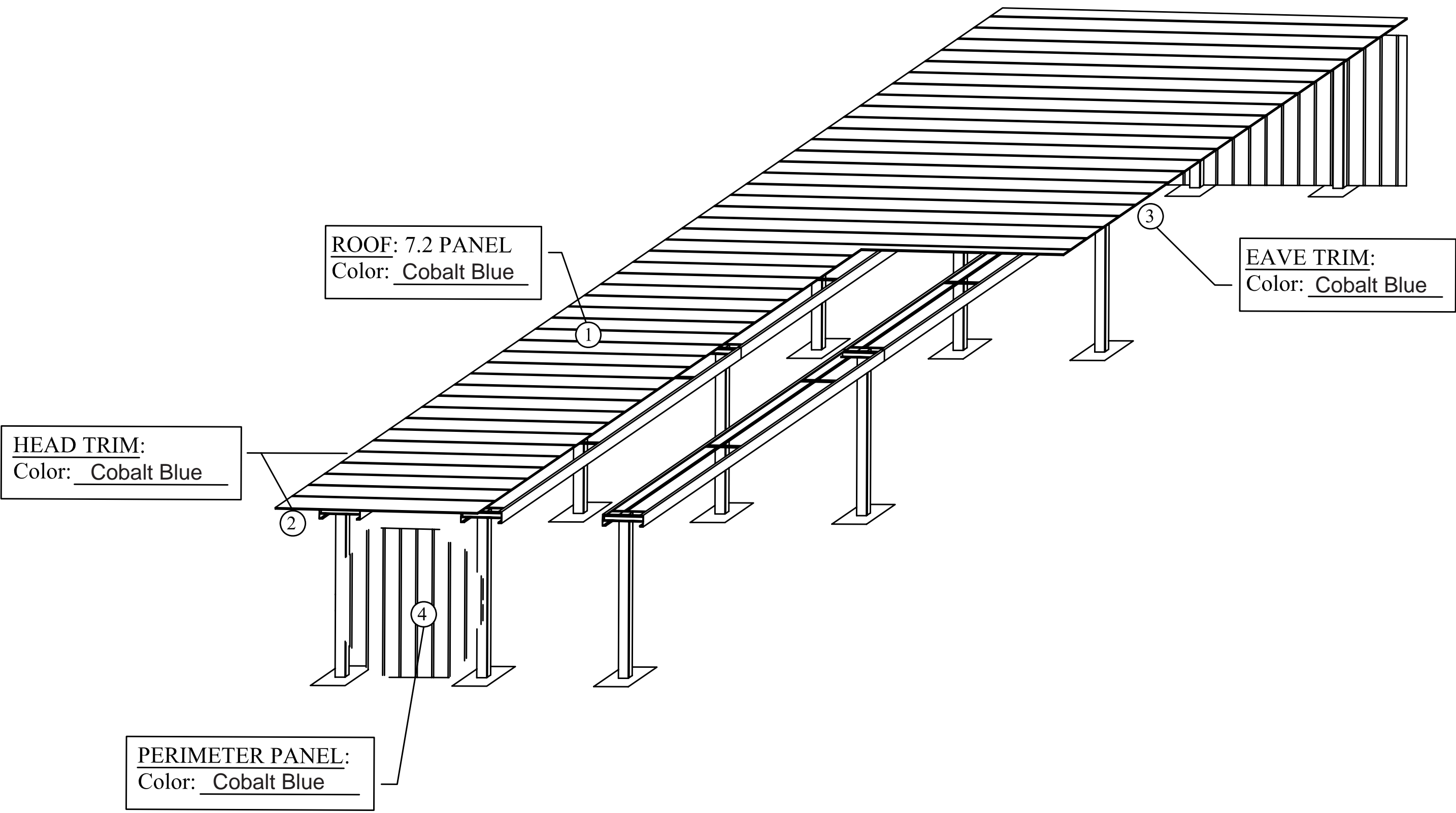
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128 Monroe St. NE
Albuquerque, NM 87108

RV STRUCTURE DETAILS



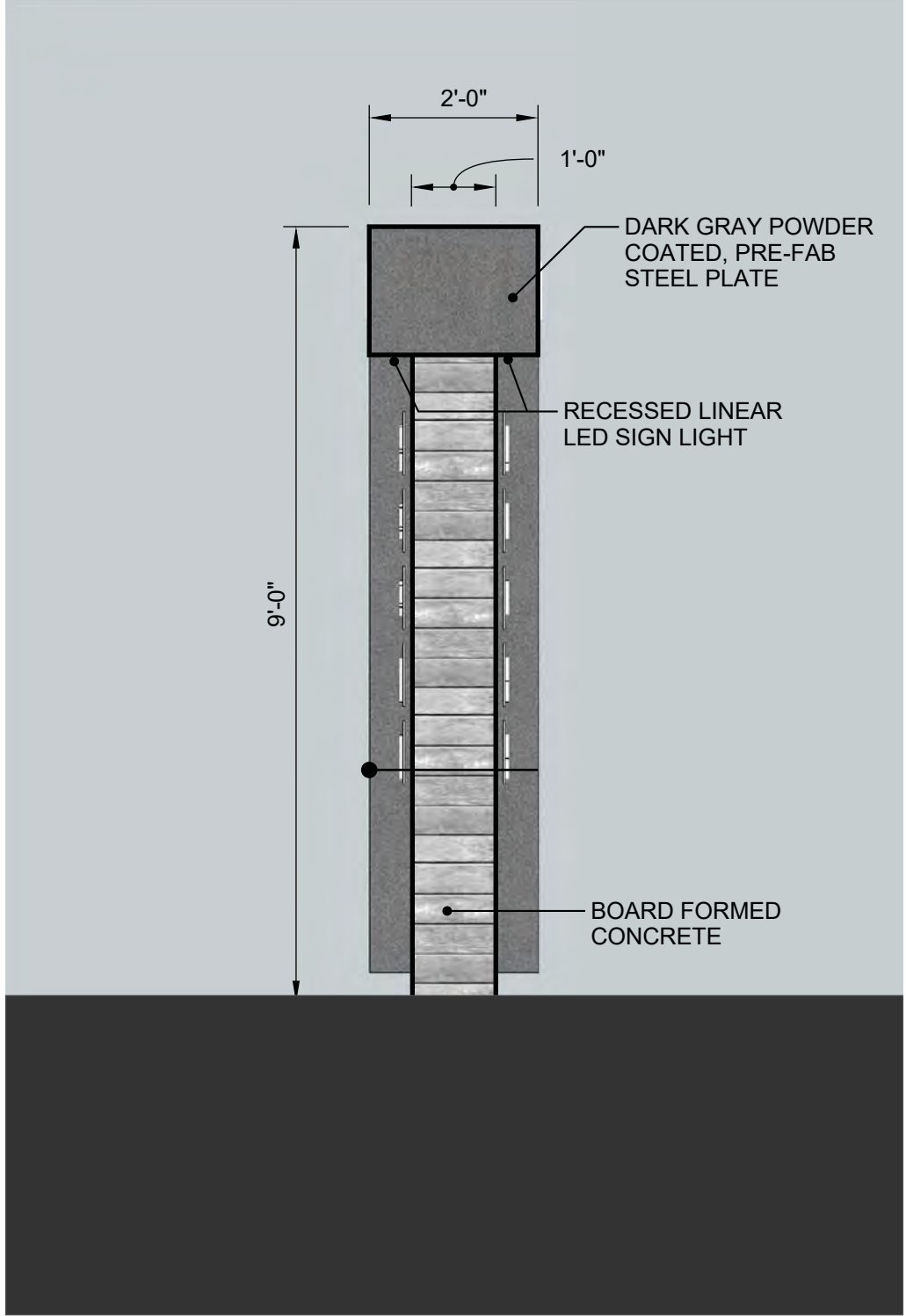
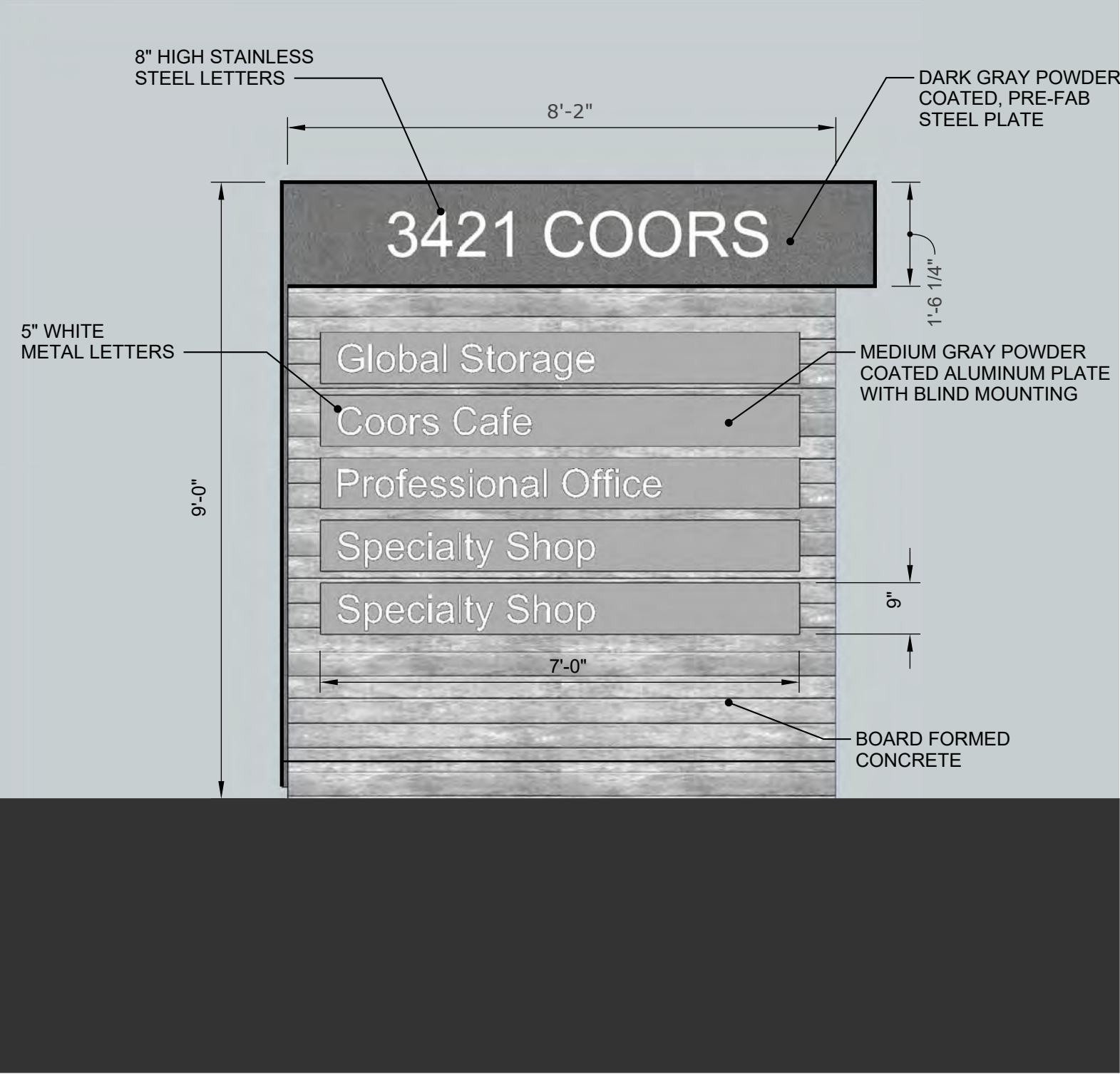
THE RABCO CORPORATION

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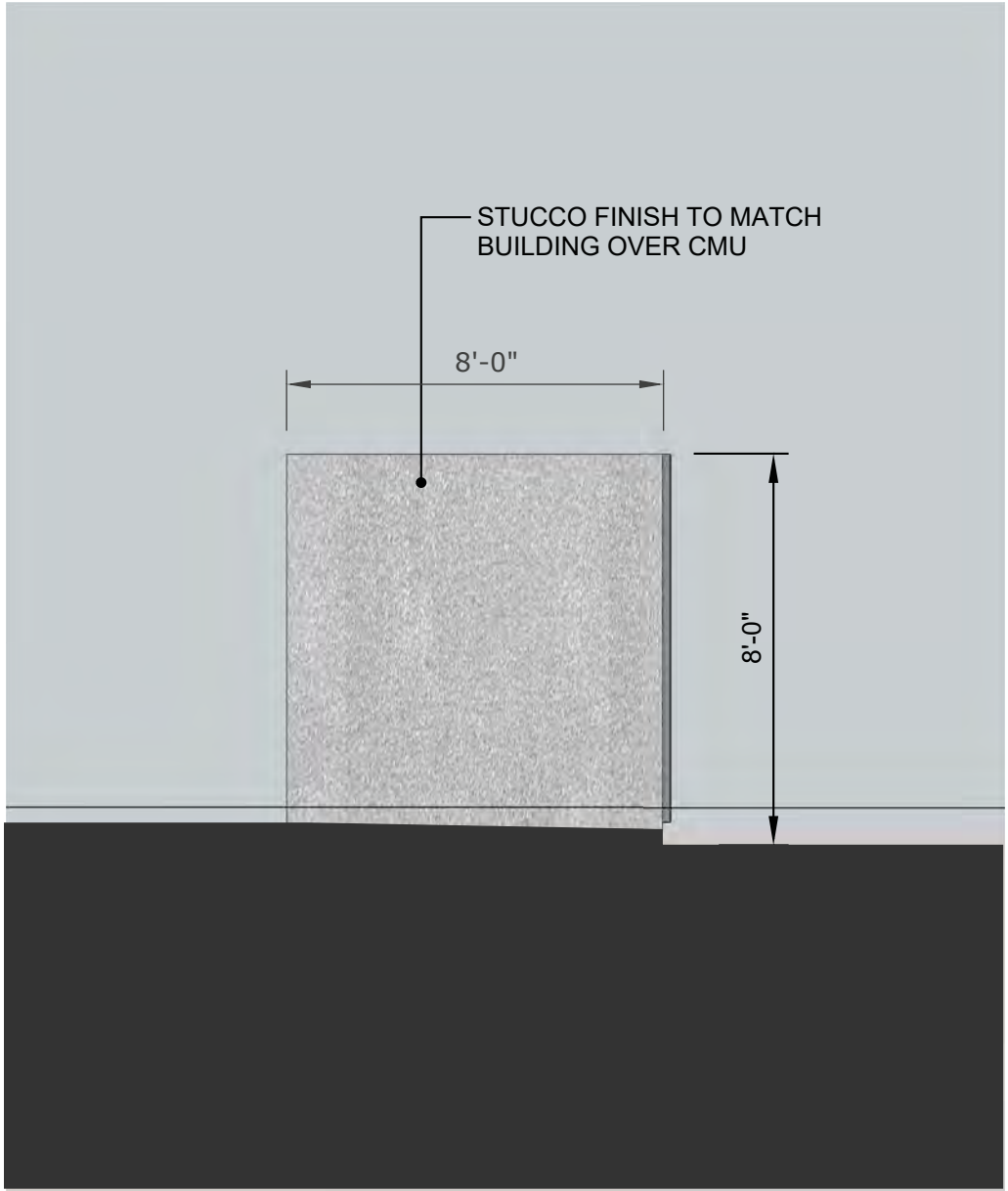
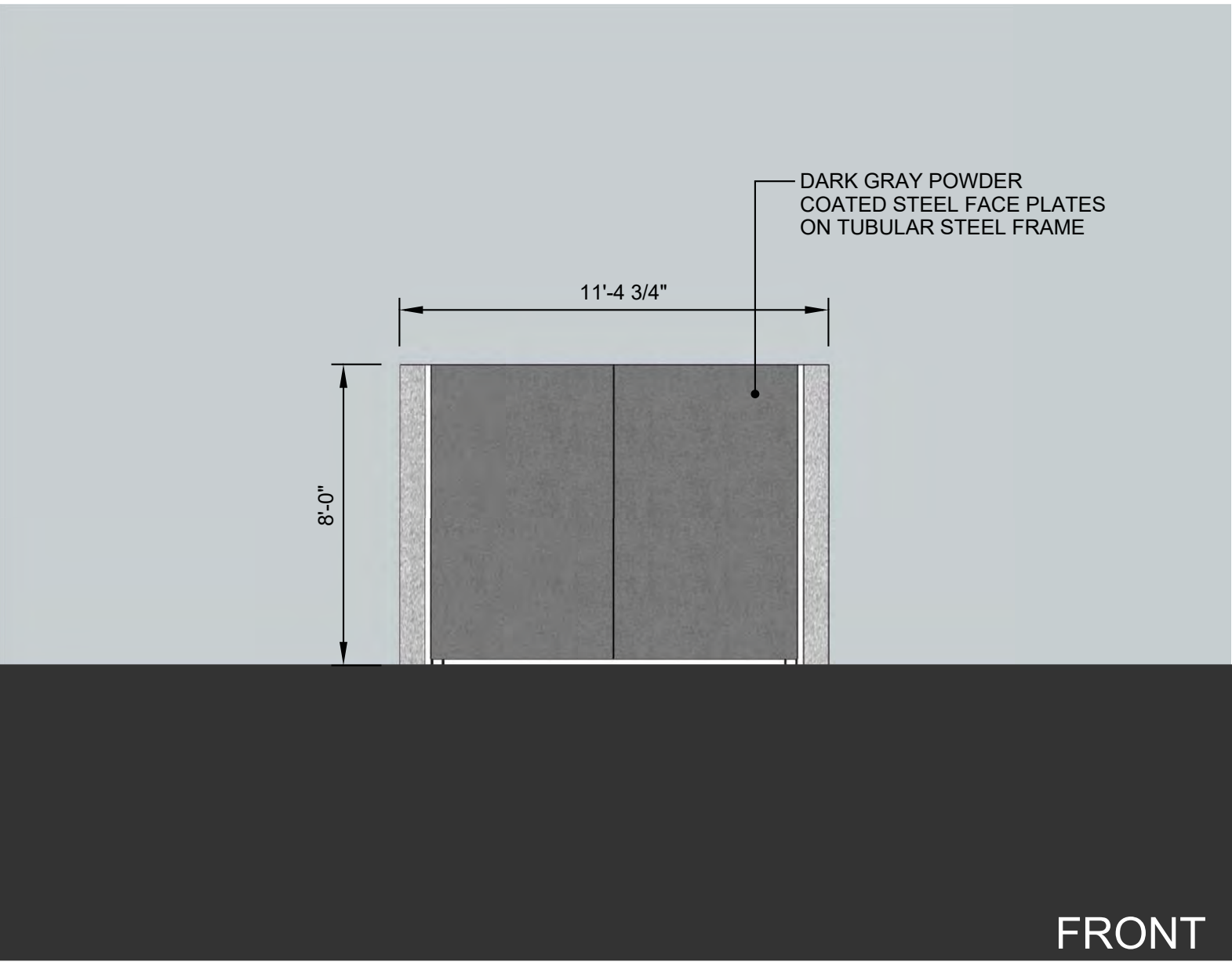
RV GENERAL NOTES:

1. The maximum height of the RV structures shall be 16 feet.
2. The color of the RV structures shall be cobalt blue.
3. The roof panels shall be galvalume.



FREE STANDING SIGN

1/2" = 1'-0"



REFUSE ENCLOSURE

1/4" = 1'-0"

GLOBAL STORAGE COORS

BUILDING ELEVATIONS

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April 30, 2018

Sheet 7 of 7

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HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFTS 5500 CONSTRUCTION TYPE 11-B
GPM 250-5 NUMBER OF HYDRANTS 2
APPROVED 5/24/18
SCHEDULED MAIN NUMBER DATE
CASE 1468-18

PROJECT

GLOBAL STORAGE - COORS

3421 Coors Road NW
Albuquerque, New Mexico

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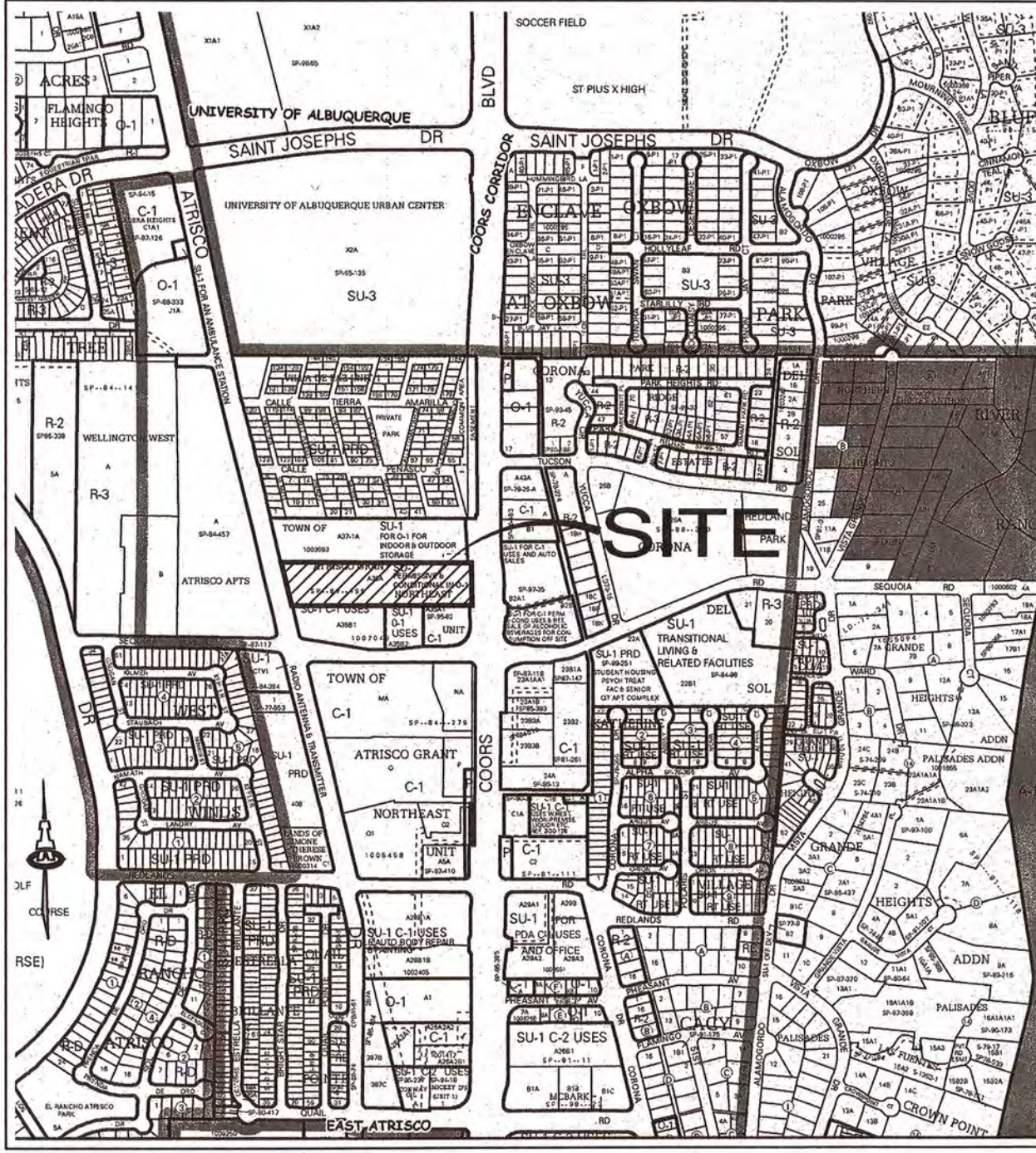
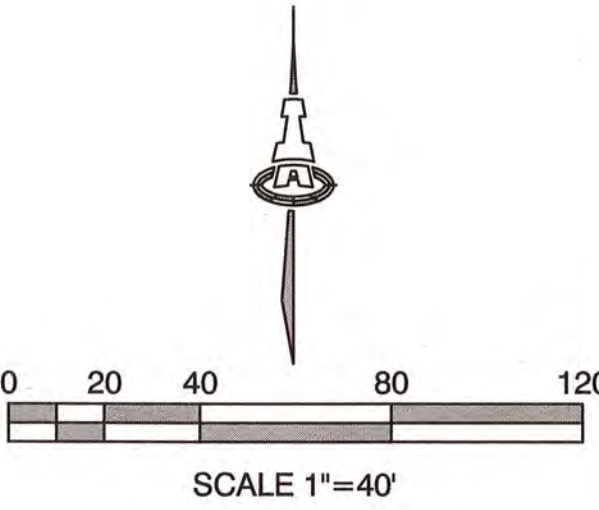
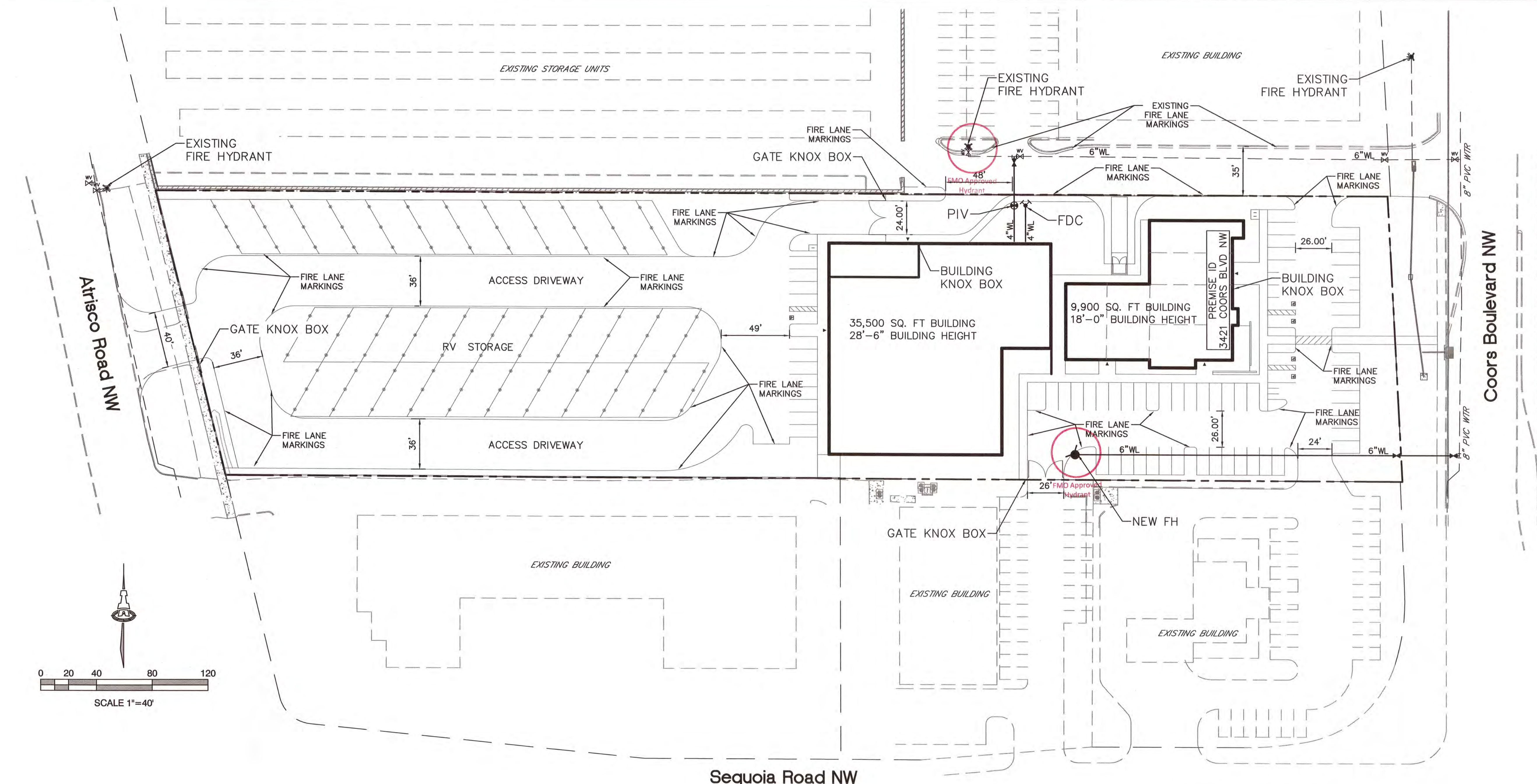
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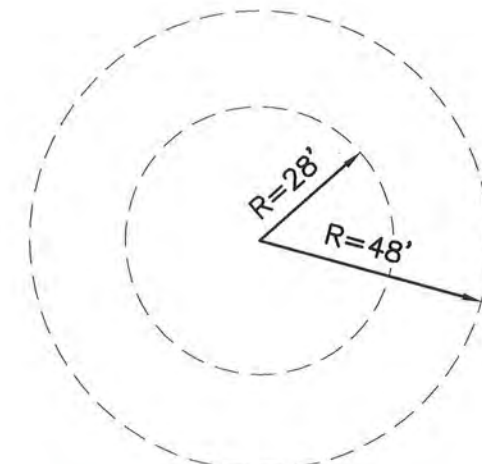

NORTH

**FIRE HYDRANT
LOCATION
AND ACCESS
PLAN**

FIRE 1



G-11



FIRE APPARATUS TURNING RADIUS
1"=40'

3421 COORS BLVD. N.W.,
ALBUQUERQUE, NM 87120

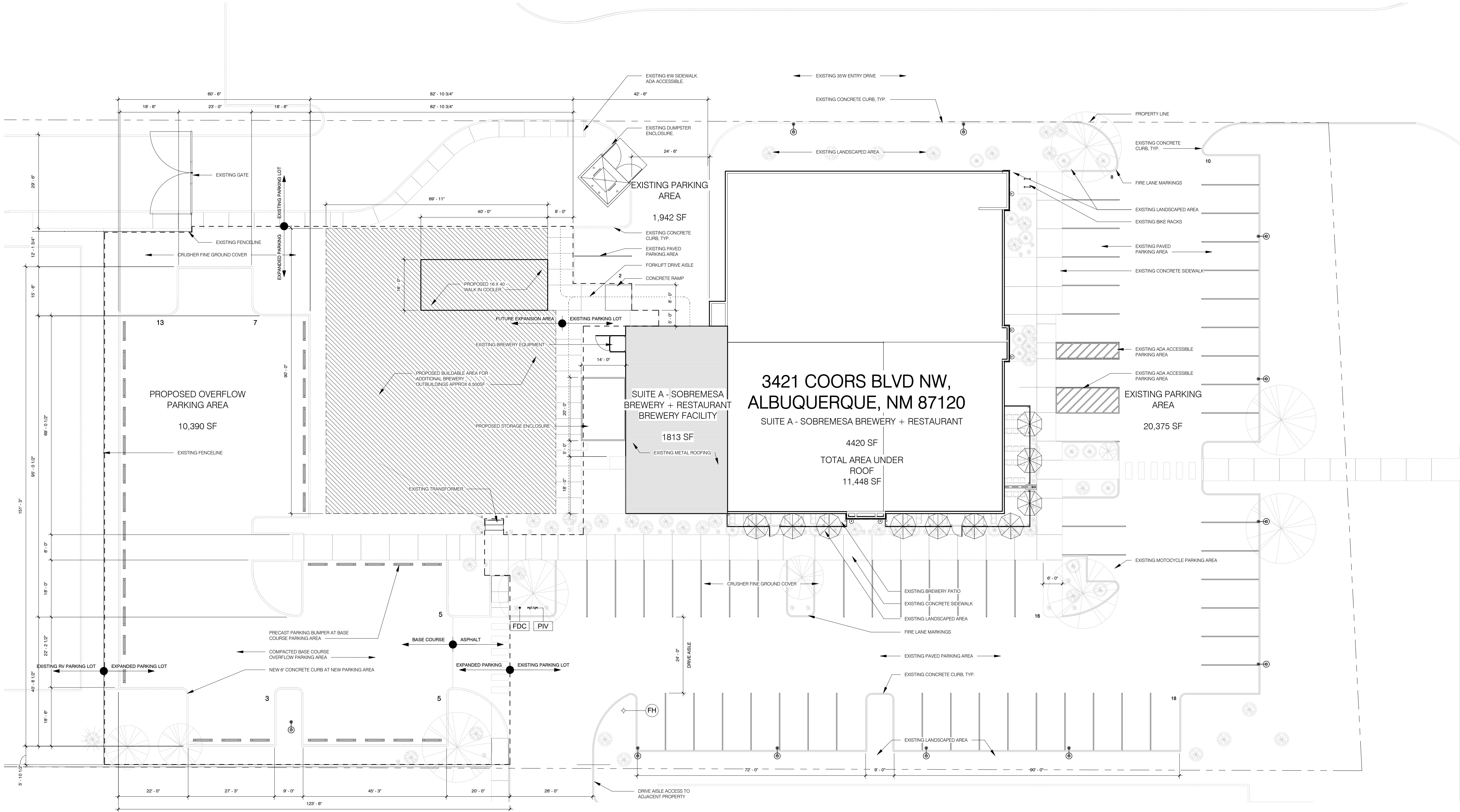
35,500 SQ. FT BUILDING
OCCUPANCY GROUP – STORAGE GROUP S
TYPE 2B CONSTRUCTION
SPRINKLED
28'–6" BUILDING HEIGHT

9,900 SQ. FT BUILDING
OCCUPANCY GROUP – MERCANTILE GROUP M
TYPE 2B CONSTRUCTION
NON–SPRINKLED
18'–0" BUILDING HEIGHT

3 EXISTING FIRE HYDRANT NEAR SITE

ALL ACCESS ROADS AND FIRE LANES HAVE
GRADES LESS THAN 10% AND A LOAD
CAPACITY OF 75,000 POUNDS.

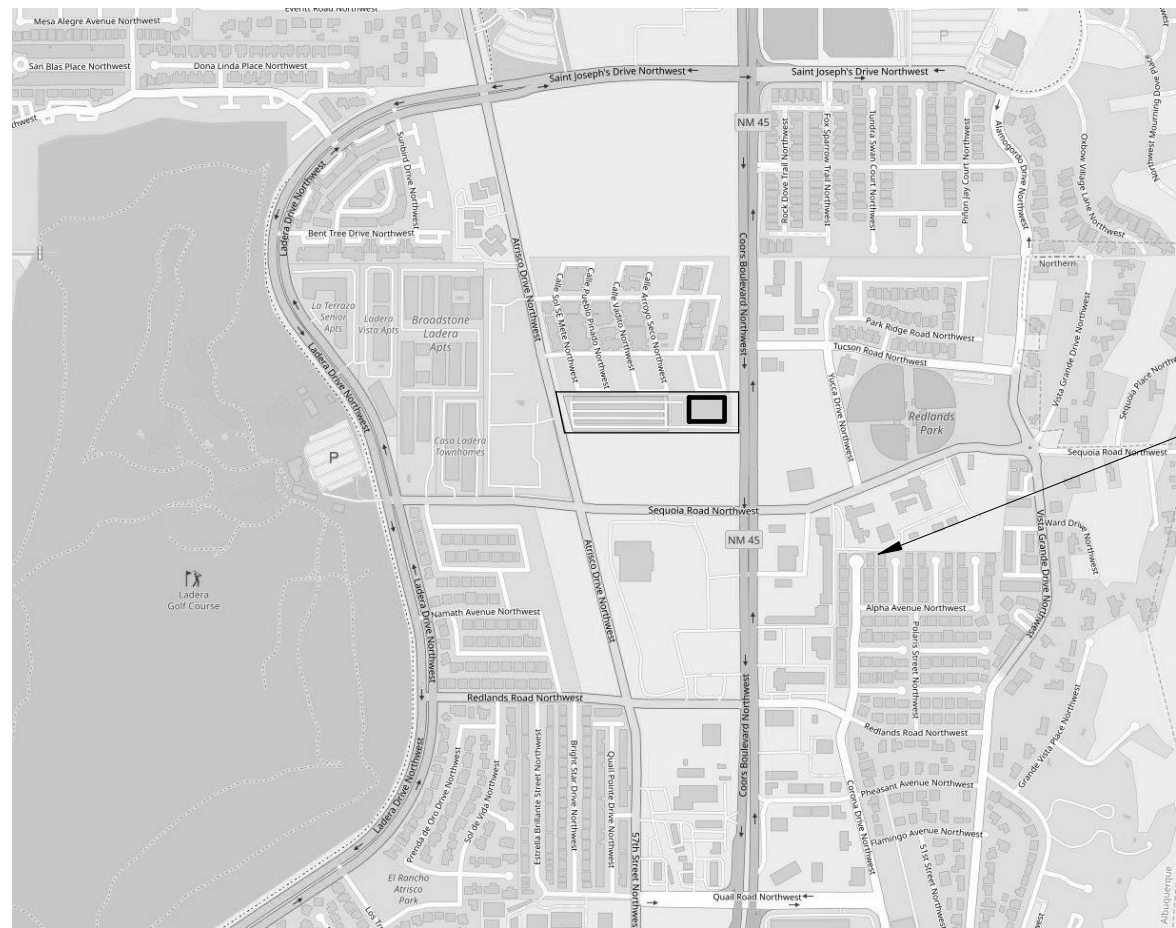
ALL ACCESS ROADS AND FIRE LANES WILL
ACCOMMODATE A 28' MINIMUM TRUCK
TURNING RADIUS



1 SITE PLAN - SITE MODIFICATIONS
1/16" = 1'-0"

PROPERTY INFORMATION

3421 COORS BLVD. NW - ALBUQUERQUE, NM 87120



LOCATION MAP

NTS

PROJECT LOCATION	
PROPERTY ADDRESS	3421 COORS BLVD. NW ALBUQUERQUE, NM 87120
ZONING	NR-C - COMMERCIAL
ZONE ATLAS PAGE	G-11-Z (MAY 2018)
UPC #	10110619520231002
LEGAL DESCRIPTION	TR A-36-A - TOWN OF ATRISCO GRANT - NE UNIT
LOT SIZE	4.0445 AC.

OPEN SPACE & LANDSCAPE CALCULATIONS

*EXISTING CALCULATIONS PER DRB APPROVED SITE PLAN

PROJECT NUMBER: 1003963
APPLICATION NUMBER: 16EPC-40020
APPROVED - 5/10/2018

TOTAL SITE AREA: 176,180 SF
BUILDING AREA: 30,560 SF
PARKING LOT AREA: 22,250 SF

OPEN SPACE: 123,368 SF (70.02%)

PROVIDED LANDSCAPE AREA - 35,340 SF (24% OF SITE AREA)

NEW CALCULATIONS PER EXISTING CONDITIONS + PROPOSED

TOTAL SITE AREA: 176,180 SF
BUILDING AREA: 11,448 SF
PARKING LOT AREAS: 20,375 SF
1,942 SF

EXISTING OPEN SPACE: 142,413 SF (80.83%)

PROPOSED OVERFLOW
PARKING AREA: 10,390 SF

OPEN SPACE: 132,023 SF (74.94%)

PROVIDED LANDSCAPE AREA - 35,340 SF (24% OF SITE AREA)

*NO CHANGE TO EXISTING LANDSCAPE

PARKING CALCULATIONS:

SITE AREA: 4.04 ACRES (176,178.4 SF)

EXISTING ZONING: NR-C (SITE ORIGINALLY PERMITTED UNDER SU-1)

TOTAL BUILDING AREA: 10,000 SF

CLUB OR EVENT FACILITY: 1 SPACE PER 4 SEATS OF MAIN AREA

152 INTERIOR OCCUPANTS = 38 SPACES

RESTAURANT: 8 SPACES PER 1,000SF OF GFA

INTERIOR HEATED - 4,584SF = 36 SPACES

PATIO - 1511SF = 12 SPACES

ARTISAN MANUFACTURING: 3 SPACES PER 1,000SF OF GFA

1863SF = 5 SPACES

= 91 SPACES REQUIRED

APPLICABLE REDUCTIONS:

PER IDO 5-5(C)(5)(c)

PROXIMITY TO TRANSIT: SITE IS <450' FROM BUS

ROUTE 790 - BLUE LINE RAPID RIDE WHICH HAS

PEAK SERVICE FREQUENCY OF 15 MINUTES. 30%

REDUCTION TO REQUIRED PARKING

91 SPACES X .70 = 63 SPACES

PROVIDED PARKING:

PARKING SPACES: 65 SPACES

HANDICAPPED SPACES PROVIDED: 3 SPACES

ADDITIONAL PARKING

MOTORCYCLE SPACES PROVIDED: 2 SPACES

BICYCLE SPACES PROVIDED: 4 SPACES

TRANSIT:

PER THE ABQ COMPREHENSIVE PLAN, THE SITE LIES AT AN

IDENTIFIED ACTIVITY CENTER AND ALONG A MAJOR TRANSIT

CORRIDOR.

BUS ROUTES 96 (CROSSTOWN COMMUTER), 155 (COORS), AND 790

(BLUE LINE RAPID RIDE). SOUTHBOUND BUS STOPS FOR ROUTES 96,

155, AND 790 ARE LOCATED APPROXIMATELY 450' TO THE SOUTH OF

THE SITE. NORTHBOUND BUS STOPS FOR ROUTES 96 AND 155 ARE

LOCATED ACROSS COORS BLVD APPROXIMATELY 590' TO THE

NORTH OF THE SITE. NORTHBOUND BUS STOP FOR ROUTE 790 ARE

LOCATED DIRECTLY ACROSS COORS BLVD FROM THE SITE.

REVISION SCHEDULE

Revision Number	Revision Description	Revision Date
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SOBREMESA BREWERY + RESTAURANT

3421 COORS BLVD. NW
Albuquerque, NM 87120



MODULUS DESIGN LLC
912 Broadway Blvd. NE
Albuquerque, NM 87102

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AS101

SITE PLAN IMPROVEMENTS

SCALE: As indicated
2/18/2021 9:59:25 AM