



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Strategic Restaurant Concepts, LLC		Phone: 502-855-5556
Address: 6040 Dutchmans Lane		Email: Caitlin.kincaid@texasroadhouse.com
City: Louisville	State: KY	Zip: 40205
Professional/Agent (if any): Brandon Goldberg (GreenbergFarrow)		Phone: 224-764-0369
Address: 21 South Evergreen Avenue, Suite 200		Email: bgoldberg@greenbergfarrow.com
City: Arlington Heights	State: IL	Zip: 60005
Proprietary Interest in Site:		List all owners:

BRIEF DESCRIPTION OF REQUEST

Minor Amendment to the Cottonwood Mall's original Site Plan for the new construction of a 7,575-square foot Bubba's 33 restaurant.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: B-4-A	Block:	Unit:
Subdivision/Addition: Cottonwood Mall	MRGCD Map No.:	UPC Code: 101306546539410602
Zone Atlas Page(s): B-13-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): +/-1.03 Acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: **TBD** Between: **Coors Bypass NW** and: **7 Bar Loop Road NW**

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: Brandon Goldberg	Date: 3/8/21
Printed Name: Brandon Goldberg	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - ☒ Copy of the Official Notice of Decision associated with the prior approval
 - ☒ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - ☐ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☐ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Brandon Goldberg

Date: 3/8/21

Printed Name: Brandon Goldberg

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

-

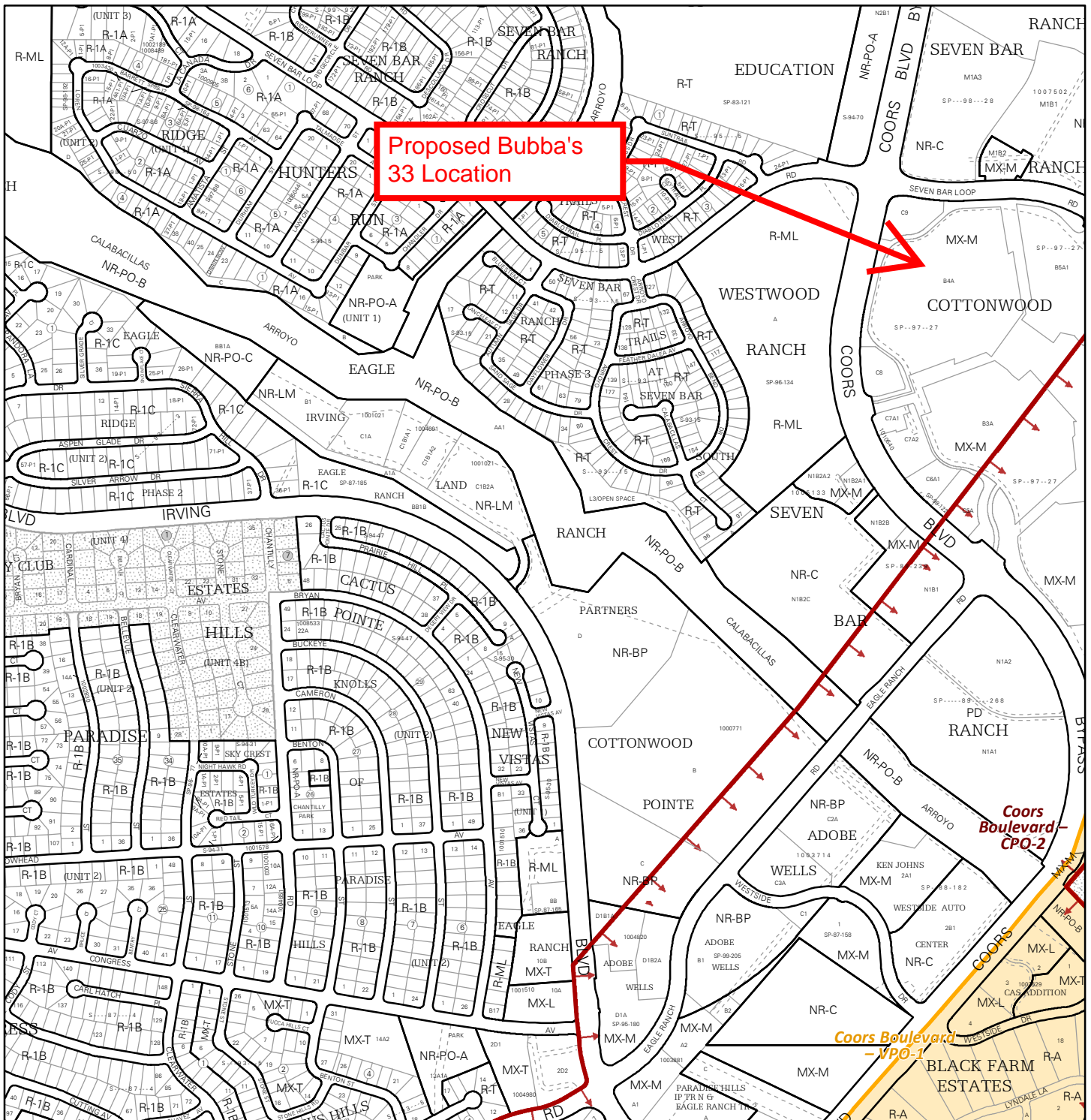
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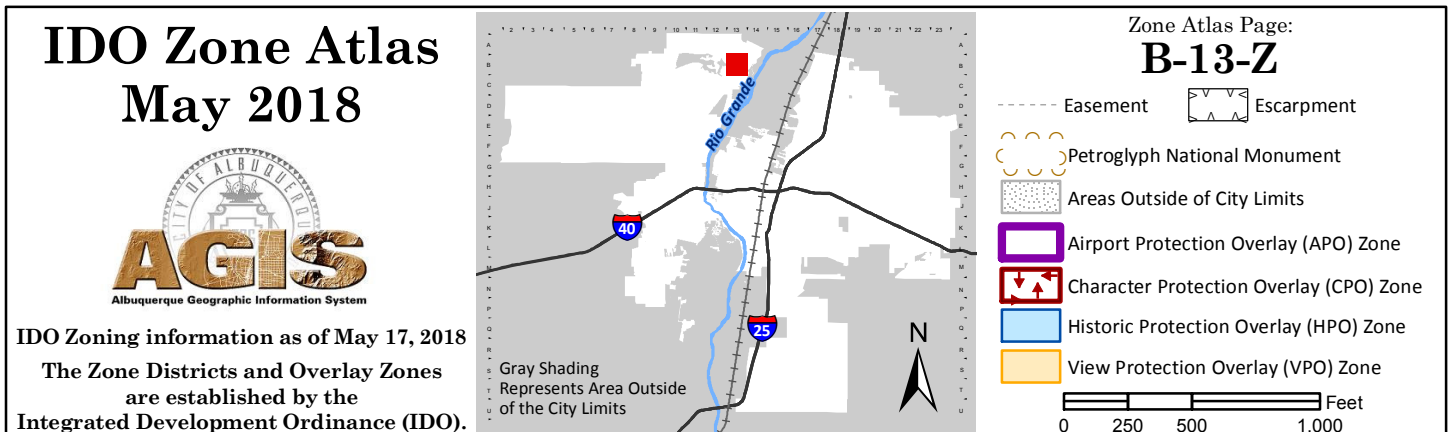
Staff Signature:

Date:





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>



WASHINGTON PRIME GROUP

April 15, 2021

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102
T: 505-924-3910

Re: Bubba's 33 – Albuquerque, NM

Dear Development Review Team:

Mall at Cottonwood II LLC (the "Owner") is aware of the proposed Bubba's 33 restaurant, which is to be located on an outparcel of the Cottonwood Mall. The proposed Bubba's 33 restaurant will be 7,575 square feet in size. Additionally, Owner is aware that the building's Designer, GreenbergFarrow, will be making a formal Minor Amendment to a Site Plan Review submittal, on behalf of the proposed Bubba's 33 restaurant. As the property owner, we permit GreenbergFarrow to submit for the project's required Minor Amendment to a Site Plan Review, which is reflected on the drawings prepared by Greenberg Farrow, Project No. 20182050.0, last revised date 4/9/2021. Any future Minor Amendments will require additional review and consent by Owner.

Should you have any questions or require additional information, please contact Brandon Goldberg at bgoldberg@greenbergfarrow.com or 224-764-0369.

Sincerely,

MALL AT COTTONWOOD II LLC

By: 

Name: Chris D Carlo

Its: 4/15/21

Director - Construction



21 South Evergreen Avenue
Suite 200
Arlington Heights, IL 60005
847.788.9200
www.greenbergfarrow.com
We Are Global

April 20, 2021

To City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102
(505) 924-3910

Project Bubba's 33 – Albuquerque, NM
Project #: 20182050.0

Dear Development Review Team,

It is our Client's wish, Texas Roadhouse, to construct a new Bubba's 33 restaurant in Albuquerque, NM. The site is an outparcel for the Cottonwood Mall (parcel number 101306546539410602). The site is located in a Mixed – Use – Moderate Intensity Zone District (MX-M). The building is to be 7,575-square feet. Additionally, the building will have an outdoor patio, which will be covered, and outdoor gaming area, for Customers to play corn hole / bags. Both paces will be located behind a fence. This area is roughly 1,550-square feet and is not included in the building's 7,575-square foot footprint. Lastly, the building will be 25.5-feet in height (this does not include the building's rooftop-mounted flags)

Per Table 5-5-1 of the City of Albuquerque's IDO, restaurants are required to have 8-parking spaces for every 1,000-square feet of the building's gross floor area. Based on a Bubba's 33 that is 7,575-square feet in size, the the project is required to have 61-parking stalls (7,575-square feet / 1,000-square feet x 8-parking stalls = 60.6-parking stalls). Per our proposed Site Plan, the project will provide 61-parking stalls. Additionally, our project will provide racks for 10-bicycles (2 stalls per rack). Lastly, we will provide 3-motorcycle parking spots.

Should you have any questions or require additional information, please contact me at bgoldberg@greenbergfarrow.com or 224-764-0369

Sincerely,

Brandon Goldberg
Site Development Coordinator



ADMINISTRATIVE AMENDMENT
FILE #1844 PROJECT #1002609
New loading docks and
signage for northwest
building.
P. 123 23 Mar 2018
APPROVED BY DATE

PARKING COMPUTATIONS:

PARKING REQUIRED:		
RETAIL = PARKING REQ'D FOR 5.0 RATIO 1,005.0 X 5 =	5,025	
ENTERTAINMENT CENTERS/RESTAURANT = 4,038 SEATS / 4 =	1,064	
SUBTOTAL	6,089	
10% CREDIT FOR TRANSIT ROUTE	-604	
PARKING REQUIRED FOR 4.5 RATIO	5,485	
5% CREDIT FOR TRANSIT FACILITY	-271	
TOTAL PARKING REQUIRED	5,214	
HANDICAPPED SPACES REQ'D: 20 + 4,160 / 100 =	53	
VAN ACCESSIBLE SPACES REQUIRED: 62/8 =	7	
TOTAL HANDICAPPED SPACES PROVIDED:	70	
VAN ACCESSIBLE SPACES PROVIDED:	9	

PARKING PROVIDED:	EXISTING	PROPOSED
STD SPACES (9'X18')	3,870	3,819
SMALL CAR (8'X16')	1,337	1,337
HANDICAPPED (13'X18')	70	70
TOTAL	5,277	5,226

PARKING RATIO PROVIDED

TOTAL GLA FOR MALL	1,105,959 SF
EXISTING = 5,277 / 1,106.0	4.77
PROPOSED = 5,226 / 1,106.0	4.73
PERCENT SMALL CAR PROVIDED = 1,337/5,226 =	25.6%

LANDSCAPE COMPUTATIONS:

LANDSCAPE REQUIRED:		
TOTAL PARCEL AREA	77.78 AC	3,388,011 SF
LESS DEDUCTIONS	EXISTING	PROPOSED
PER ZONING CODE		
BUILDING FOOTPRINT	746,688 SF	746,688 SF
SERVICE AREAS	29,560 SF	29,560 SF
PUBLIC R/W LANDSCAPE	317,753 SF	317,753 SF
SUBTOTAL DEDUCTIONS	1,094,001 SF	1,094,001 SF
NET SITE AREA	2,294,895	1,976,472 SF
REQUIRED PERCENTAGE	15%	20%
LANDSCAPE REQUIRED	344,234	395,298 SF
LANDSCAPE PROVIDED	413,190	413,190
PERCENTAGE PROVIDED	18.00%	20.90%

AREA DESCRIPTIONS

PONDS	46,517 SF	46,517 SF
BERMS	66,524 SF	66,524 SF
MEDIAN	14,125 SF	14,125 SF
CANOE ISLANDS	21,593 SF	21,593 SF
ISLANDS	80,250 SF	80,618 SF
BUILDING LANDSCAPE	68,140 SF	68,140 SF
ENTRANCES	55,035 SF	55,035 SF
PNM SUBSTATION BUFFER	5,595 SF	5,595 SF
BIKE/PEDESTRIAN PATHS	13,156 SF	13,156 SF
FILLET BY OUTLOTS	5,944 SF	5,944 SF
TOTAL ON-SITE	376,879 SF	376,879 SF
SEVEN BAR LOOP 15' SETBACK	36,311 SF	36,311 SF
TOTAL COUNTABLE LANDSCAPING	413,190 SF	413,190 SF

NON-COUNTABLE LANDSCAPING

ON SITE BUFFERS		
MALL COORS BYPASS - 35'	28,600	28,600
OUTLOTS COORS BYPASS - 35'	14,600	14,600
OUTLOTS CORRALES ROAD - 15'	18,750	18,750
OFF SITE R/W LANDSCAPING:		
COORS BYPASS ROADSIDE	69,300	69,300
COORS BYPASS MEDIAN	82,809	82,809
SEVEN BAR LOOP ROADSIDE	28,935	28,935
SEVEN BAR LOOP MEDIAN	43,250	43,250
CORRALES ROADSIDE	30,435	30,435
CORRALES ROAD MEDIAN	45,714	45,714
TOTAL NON-COUNTABLE LANDSCAPE	362,393	362,393
LESS SIDEWALK AREA	-44,640	-44,640
TOTAL LANDSCAPE DEDUCTION (NET SITE)	317,753	317,753
TOTAL LANDSCAPE PROVIDED	730,943	730,943

AMENDED SITE
DEVELOPMENT PLAN
SCALE: 1" = 120'

FRCH
DESIGN WORLDWIDE

WASHINGTON
PRIME GROUP™

Contact Information

Owner
Washington Prime Group
180 East Broad Street
Columbus, Ohio 43215
P: (614) 621-9000
F: (614) 621-9321

Architect
FRCH Design Worldwide
311 Elm Street, Suite 600
Cincinnati, Ohio 45202
P: (513) 241-5015

MEP
Thorson Baker & Associates, Inc.
3030 W. Streetsboro Road (Rt. 303)
Richfield, Ohio 44286
P: (330) 659-6688

Civil
Collins Engineers, Inc.
2033 W. Howard Ave
Milwaukee, WI 53212
P: (414) 282-6905

Sheet Issue Information

Issued PERMIT SET 01-26-18

Revised	Description	Date
4	ADMIN. AMENDMENT	3-15-18
5	ADMIN. AMENDMENT	3-16-18

Professional Stamp



Project Information

Title Cottonwood Mall
Exterior Shell
Address 10000 Coors Bypass NW
Albuquerque, NM 87114

Project Number 034870.000

Sheet Information

Title AMENDED SITE
DEVELOPMENT PLAN

Drawn KCH
Reviewed RAT
Scale As Noted
Authorized For REVIEW

C-0

City of Albuquerque
Planning Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: January 18, 1991

OFFICIAL NOTIFICATION OF DECISION

Melvin Simon & Associates
12121 Wilshire Blvd., Suite 521
Los Angeles, CA 90025

FILE: Z-84-113-1

LEGAL DESCRIPTION: requests approval of a Site Plan for Subdivision purposes for Tract H-1, Seven Bar Ranch Subdivision, presently zoned SU-1-RC (Special Use for a Regional Shopping Center); located on the east side of the Coors Boulevard Bypass Road, between Coors Road N.W. and 7-Bar Loop Road N.W., and containing approximately 97.6 acres. (B-14)

On January 17, 1991, the Environmental Planning Commission voted to approve Z-84-113-1, your request for site lighting for Cottonwood Mall based on the following findings and subject to the following conditions:

FINDINGS

1. The applicant has demonstrated that lighting needs are different for this site than for other sites within the Coors Corridor, making a unique solution appropriate.
2. Parking lot lighting needs are fundamentally different for enclosed, internal malls, due to the limited exposure of lighted store windows and signs, and the concentration of pedestrian activity at relatively few building entrances; these conditions create a more isolated, less active feel for much of the parking area, justifying the need for higher light levels and more uniform illumination to provide an appropriate feeling of safety.
3. The characteristics cited above are not shared by conventional external-type shopping centers where store fronts and windows are oriented to the adjacent parking areas.
4. This shopping center site is not located within the view preservation area defined in the Coors Corridor Plan.
5. The site lighting solution approved in this case shall not be used as a precedent for other sites within the Coors Corridor Plan area.

CONDITIONS:

1. The use of light standards up to 50 feet tall shall be limited to the main mall lot within the internal ring road.
2. Light standards greater than 35 feet tall shall not be permitted within 100 feet of adjacent public street rights-of-way.
3. All pad sites shall be limited to light standards 35 feet tall or less.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY FEBRUARY 1, 1991, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

NOTIFICATION OF DECISION

JANUARY 17, 1991

Z-84-113-1

PAGE 2

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

For [Signature]
Ken Balizer
Planning Director

KB/ROC/lj

12082

cc: Herbert M. Denish & Asso., P.O. Box 2001, Albuq., NM; 87103
Paradise Hills Civic Association, Mr. Jack Corder, 10312 Leyman Ct., NW, Albuq., NM; 87114
Paradise Hills Civic Association, Alan Goodman, 10119 Paseo del Norte, Albuq., NM; 87114

City of Albuquerque
Planning Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: December 21, 1990

**OFFICIAL NOTIFICATION OF DECISION
AMENDED**

Melvin Simon & Associates
12121 Wilshire Blvd., Suite 521
Los Angeles, CA 90025

FILE: 2-84-113-1

LEGAL DESCRIPTION: requests approval of a Site Plan for Subdivision purposes for Tract H-1, Seven Bar Ranch Subdivision, presently zoned SU-1-RC (Special Use for a Regional Shopping Center); located on the east side of the Coors Boulevard Bypass Road, between Coors Road N.W. and 7-Bar Loop Road N.W., and containing approximately 97.6 acres. (B-14)

On December 20, 1990, the Environmental Planning Commission voted to approve Z-84-113-1, your request for approval of a site plan for subdivision purposes based on the following findings and subject to the following conditions, and the sign lighting issue will be deferred for thirty days to the January 17, 1991 public hearing.

Findings:

1. In general, the plan complies with the submittal requirements for site development plans for subdivision purposes.
2. The site plan for subdivision purposes is in compliance with the intent of the recent amendments to the Coors Corridor Plan regarding signage and site lighting.
3. Because approval of this plan will permit subdivision and sale of parts of the site, it is essential that the applicant demonstrate adequate agreements for compliance with prior conditions of approval regarding contribution to development of a park-and-ride facility in the area, purchase of transit passes for mall employees, and encouragement and coordination of alternative transportation mode usage by mall employees and patrons.
4. Approval of this plan does not imply that all necessary off site improvements are the sole responsibility of this developer. The responsibility for widening Coors Boulevard to six lanes from the Callabacillas Arroyo to Paseo del Norte shall be identified prior to development of Phase 2.
5. Due to the unique nature of a regional mall including greater parking requirements and numerous out parcels and due to safety issues and aesthetic considerations unique to development of a regional mall certain exceptions to the Coors Corridor Plan concerning lighting and signage guidelines are warranted.
6. The infrastructure list included is the total infrastructure list for SAD #223. Items on the list are not the sole responsibility of this developer.

Conditions:

1. The allowed building square footage for each tract must be specified on the plan to ensure that the allowed site maximum of 1.31 million square feet cannot be exceeded; the Ward TBA site may not exceed an F.A.R. of 0.27.
2. The plan must specify that any shift in unused land use intensity from one tract to another will constitute an amendment to the plan that will require full documentation of the resultant intensity allowances for each tract, and concurrence by all affected property owners.
3. Landscape coverage shall be specified as either 20% of the paved area, or 15% of the net site area, whichever results in the greatest coverage; and the note pertaining to preference for clustering landscaping rather than reliance on parking lot islands shall be eliminated.
4. Public sidewalks that meander out of the public right-of-way will require appropriate easements.

AMENDMENT
NOTIFICATION OF DECISION
DECEMBER 21, 1990
Z-84-113-1
PAGE 2

5. Landscape setbacks along Seven-Bar Loop Road and Corrales Road shall be specified as a minimum of width 15 feet wide, with an average width of 20 feet.
6. A total of 450 square feet in signage made up of no more than three signs of 75 square feet each and to include an additional 225 square feet in other signs with no sign exceeding 32 square feet. No one sign can be higher than five feet in height and eight feet in width.
7. Right-of-way for adjacent streets shall be dedicated into entrance drives to the ends of the curb returns.
8. Cross-access and parking easements shall be clarified to specify beneficiaries of the easements and Maintenance responsibilities shall be indicated on the plan.
9. Notes pertaining to shared parking shall be clarified to indicate that total parking requirements may not be reduced below Zoning Code minimums.
10. Signature lines shall be provided on the plan for concurrence by the Transit SunTran and the Environmental Health Departments. Final sign-off shall not occur until the applicant demonstrates appropriate agreements for compliance with previous conditions requiring contribution to a park-and-ride facility nearby, provision of transit passes for mall employees, and encouragement and coordination of alternative transportation usage by employees and patrons of the mall.
11. The responsibility for widening Coors Boulevard to six lanes from the Calabacillas Arroyo to Paseo del Norte shall be identified prior to final sign-off.
12. A service access and utility easement for the proposed PHM substation shall be provided.
13. The existing drainage easement beginning on the east side of this site shall not be altered or eliminated without the concurrence of AMAFCA.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY JANUARY 4, 1991, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,


Ken Balizer
Planning Director

KB/ROC/lj

12010

cc: Herbert M. Denish & Asso., P.O. Box 2001, Albuquerque, NM; B71D3
Paradise Hills Civic Association, Mr. Jack Corder, 10312 Leyman Ct., NW, Albuquerque, NM; B7114
Paradise Hills Civic Association, Alan Goodman, 10119 Paseo del Norte, Albuquerque, NM; B7114
George Rannovich, Bohannon-Huston Inc., 7500 Jefferson NE, Albuquerque, NM
H.L. Berger, La Kingdom, 345 Riverview, Wichita, KA

City of Albuquerque
Planning Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: December 21, 1990

OFFICIAL NOTIFICATION OF DECISION

Melvin Simon & Associates
12121 Wilshire Blvd., Suite 521
Los Angeles, CA 90025

FILE: Z-84-113-1

LEGAL DESCRIPTION: requests approval of a Site Plan for Subdivision purposes for Tract A-1, Seven Bar Ranch Subdivision, presently zoned SU-1-RC (Special Use for a Regional Shopping Center); located on the east side of the Coors Boulevard Bypass Road, between Coors Road N.W. and 7-Bar Loop Road N.W., and containing approximately 97.6 acres. (B-14)

On December 20, 1990, the Environmental Planning Commission voted to approve Z-84-113-1, your request for approval of a site plan for subdivision purposes based on the following findings and subject to the following conditions, and the sign lighting issue will be deferred for thirty days to the January 17, 1991 public hearing.

Findings:

1. In general, the plan complies with the submittal requirements for site development plans for subdivision purposes.
2. The site plan for subdivision purposes is in compliance with the intent of the recent amendments to the Coors Corridor Plan regarding signage and site lighting.
3. Because approval of this plan will permit subdivision and sale of parts of the site, it is essential that the applicant demonstrate adequate agreements for compliance with prior conditions of approval regarding contribution to development of a park-and-ride facility in the area, purchase of transit passes for mall employees, and encouragement and coordination of alternative transportation mode usage by mall employees and patrons.
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5. Due to the unique nature of a regional mall including greater parking requirements and numerous out parcels and due to safety issues and aesthetic considerations unique to development of a regional mall certain exceptions to the Coors Corridor Plan concerning lighting and signage guidelines are warranted.
6. The infrastructure list included is the total infrastructure list for SAD #223. Items on the list are not the sole responsibility of this developer.

Conditions:

1. The allowed building square footage for each tract must be specified on the plan to ensure that the allowed site maximum of 1.31 million square feet cannot be exceeded; the Ward TBA site may not exceed an F.A.R. of 0.27.
2. The plan must specify that any shift in unused land use intensity from one tract to another will constitute an amendment to the plan that will require full documentation of the resultant intensity allowances for each tract, and concurrence by all affected property owners.
3. Landscape coverage shall be specified as either 20% of the paved area, or 15% of the net site area, whichever results in the greatest coverage; and the note pertaining to preference for clustering landscaping rather than reliance on parking lot islands shall be eliminated.
4. Public sidewalks that meander out of the public right-of-way will require appropriate easements.

NOTIFICATION OF DECISION

DECEMBER 21, 1990

7-84-113-1

PAGE 2

5. Landscape setbacks along Seven-Bar Loop Road and Corrales Road shall be specified as a minimum of width 15 feet wide, with an average width of 20 feet.
6. A total of 450 square feet in signage made up of no more than three signs not of 75 square feet each and to then to include an additional 225 square feet in other signs with no sign exceeding 32 square feet. No one sign can be higher than five feet in height and eight feet in width.
7. Right-of-way for adjacent streets shall be dedicated into entrance drives to the ends of the curb returns.
8. Cross-access and parking easements shall be clarified to specify beneficiaries of the easements and Maintenance responsibilities shall be indicated on the plan.
9. Notes pertaining to shared parking shall be clarified to indicate that total parking requirements may not be reduced below Zoning Code minimums.
10. Signature lines shall be provided on the plan for concurrence by the Transit SunTran and the Environmental Health Departments. Final sign-off shall not occur until the applicant demonstrates appropriate agreements for compliance with previous conditions requiring contribution to a park-and-ride facility nearby, provision of transit passes for mall employees, and encouragement and coordination of alternative transportation usage by employees and patrons of the mall.
11. The responsibility for widening Coors Boulevard to six lanes from the Calabacillas Arroyo to Paseo del Norte shall be identified prior to final sign-off.
12. A service access and utility easement for the proposed PNM substation shall be provided.
13. The existing drainage easement beginning on the east side of this site shall not be altered or eliminated without the concurrence of AMAFCA.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY JANUARY 4, 1991, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

Richard Dineen

for
Ken Balizer
Planning Director

KB/ROC/lj

12010

cc: Herbert M. Danish & Asso., P.O. Box 2001, Albuquerque, NM; B7103
Paradise Hills Civic Association, Mr. Jack Corder, 10312 Leyman Ct., NW, Albuquerque, NM; 87114
Paradise Hills Civic Association, Alan Goodman, 10119 Paseo del Norte, Albuquerque, NM; 87114
George Rannovich, Bohannon-Huston Inc., 7500 Jefferson NE, Albuquerque, NM
H.L. Berger, La Kingdom, 345 Riverview, Wichita, KA

GENERAL SITE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SITE PLAN NOTES:

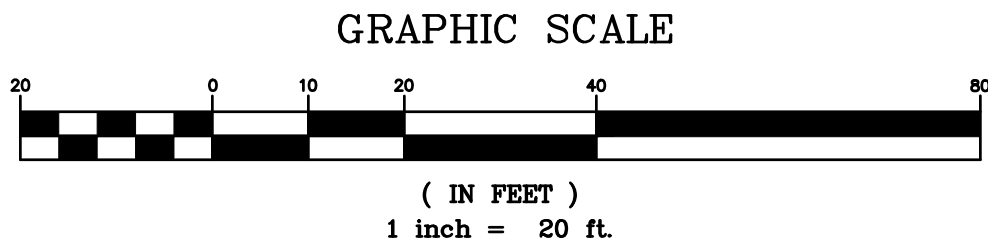
- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. AND DATED FEBRUARY 17TH, 2020 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND SUBGRADE PREPARATION REQUIREMENTS AND PROPOSED PAVEMENT RECOMMENDATIONS (TERRACON PROJECT NO. 66145007).
- SEE CONSTRUCTION DETAILS SHEET C7.0 FOR PAVEMENT SECTION DETAILS.
- SEE GENERAL NOTES SHEET C1.0 FOR EXISTING LEGEND.

PAVEMENT HATCH LEGEND:

- S6A** PROPOSED CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" AGGREGATE BASE
- S6B** PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" AGGREGATE BASE
- S7A** PROPOSED CONCRETE LANDING
6" PORTLAND CEMENT CONCRETE
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- S7B** PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING
6" PORTLAND CEMENT CONCRETE
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- S8** PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE
7" PORTLAND CEMENT CONCRETE
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- S9** PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE SLAB
6" PORTLAND CEMENT CONCRETE
6" AGGREGATE BASE
(SEE GEOTECHNICAL REPORT)
- S10** PROPOSED ASPHALT PAVEMENT
2" ASPHALT SURFACE COURSE
6" AGGREGATE BASE
(SEE GEOTECHNICAL REPORT)
- S11** PROPOSED HEAVY DUTY ASPHALT PAVEMENT
3" ASPHALT SURFACE COURSE
6" AGGREGATE BASE
(SEE GEOTECHNICAL REPORT)
- S13** PROPOSED LANDSCAPE AREA
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)

PROJECT INFORMATION:

SITE AREA:	±1.03 ACRES
ZONED:	MX-M - MIXED-USE-MODERATE INTENSITY ZONE DISTRICT
PROPOSED BUILDING AREA:	7,575 SQ. FT.
PROPOSED USE:	RESTAURANT
BUILDING HEIGHT:	25'-6"
PARKING REQUIRED:	61 STALLS (1 STALL PER 1,000 SF TIMES 8, 7,575/1000*8 = 60.6)
PARKING PROVIDED:	66 STALLS ON SITE (INCLUDING 6 ADA STALLS)
BICYCLE PARKING REQUIRED:	7 STALLS (10% OF REQUIRED OFF-STREET PARKING SPACES = 0.1*61 = 6.1 => 7)
BICYCLE PARKING PROVIDED:	10 STALLS (2 STALLS PER RACK)
MOTORCYCLE PARKING REQUIRED:	3 (SITES THAT ARE REQUIRED TO PROVIDE BETWEEN 51-100 PARKING SPACES WILL BE REQUIRED TO PROVIDE 3-MOTORCYCLE, MOPED, OR SCOOTER PARKING SPACES)
MOTORCYCLE PARKING PROVIDED:	3



PROPOSED LEGEND:

- PROPERTY LINE
- ===== PROPOSED CONCRETE CURB AND GUTTER
- ===== PROPOSED REVERSE PITCH CURB AND GUTTER
- ===== PROPOSED DEPRESSED CURB AND GUTTER
- 7 PROPOSED PARKING STALL COUNT
- PROPOSED CONCRETE WHEEL STOP
- PROPOSED SIGN
- PROPOSED PYLON SIGN
- PROPOSED LIGHT POLE
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED STORM SEWER GREASE INTERCEPTOR
- PROPOSED SANITARY SEWER STRUCTURES
- PROPOSED SANITARY SEWER GREASE INTERCEPTOR
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED WATER SERVICE TAP
- PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS
- PROPOSED GAS METER
- PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT

NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

SITE KEY NOTES:

- S1 PROPOSED BUBBA'S 33 BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3A PROPOSED CONCRETE CURB AND GUTTER (SEE DETAIL ON SHEET C7.0)
- S3B PROPOSED 1.5" WIDE CONCRETE SWALE (SEE DETAIL ON SHEET C7.1)
- S5 PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK (SEE DETAIL ON C7.0)
- S6A PROPOSED CONCRETE SIDEWALK (SEE DETAIL ON SHEET C7.0)
- S6B PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK (SEE DETAIL ON SHEET C7.0)
- S7A PROPOSED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S7B PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S8 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S9 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE SLAB (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS)
- S10 PROPOSED ASPHALT PAVEMENT (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS)
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS)
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S15 PROPOSED PRECAST CONCRETE WHEEL STOP (TYP. OF 12, SEE DETAIL ON SHEET C7.1)
- S16 PROPOSED 4" WHITE PAVEMENT STRIPING PER LOCAL CODE
- S19 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE, 66-7-352.4C NMSA 1978 (TYP. OF 6, SEE DETAIL ON SHEET C7.0)
- S20 PROPOSED BLUE HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE, 66-1-4.1.B NMSA 1978 (TYP., SEE DETAIL ON SHEET C7.0)
- S21 PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES
- S22 PROPOSED CONCRETE TRANSFORMER PAD WITH STEEL BOLLARD PROTECTION (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER PAD LOCATION, SIZE AND THICKNESS WITH ELECTRIC COMPANY PRIOR TO INSTALLATION)
- S25 PROPOSED MAGLIN MBR501 BIKE RACKS WITH BLACK POWDER COATED FINISH (TOTAL OF 5 BIKE RACKS PROVIDING 10 BICYCLE PARKING SPACES - SEE DETAIL ON SHEET C7.2)
- S31 PROPOSED 8" THICK CONCRETE COLLAR (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1)
- S32 PROPOSED CURB TRANSITION (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1)
- S33 PROPOSED MOTORCYCLE PARKING SIGN PER THE CITY OF ALBUQUERQUE ZONING CODE (TYP. OF 3)
- S34 PROPOSED MOTORCYCLE PARKING STALLS TO HAVE "MC" PAINTED IN WHITE AT THE REAR OF THE PARKING STALLS PER THE CITY OF ALBUQUERQUE ZONING CODE (TYP. OF 3).
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41A EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- S43 EXISTING LIGHT POLE TO REMAIN
- S44 EXISTING PAVEMENT STRIPING TO REMAIN

PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/26/21	COORDINATION SET
03/19/21	PERMIT SET
04/09/21	SITE PLAN
04/14/21	PERMIT RESPONSE

Proj. 20182050

MICHAEL E. HAAS

NEW MEXICO

26056

PROFESSIONAL ENGINEER

Na Haas

expires 12/31/22

date 4/14/21

PROFESSIONAL IN CHARGE

MICHAEL HAAS

PROFESSIONAL ENGINEER

LICENSE NO. 26056

PROJECT MANAGER

EDWARD GOSS

QUALITY CONTROL

EDWARD GOSS

DRAWN BY

MITCH HEFFERNAN

PROJECT NAME

TEXAS

ROADHOUSE

ALBUQUERQUE

NEW MEXICO

10000 COORS BYPASS NW

ALBUQUERQUE, NM 87114



PROJECT NUMBER

20182050.0

SHEET TITLE

SITE

PLAN

SHEET NUMBER

C3.0