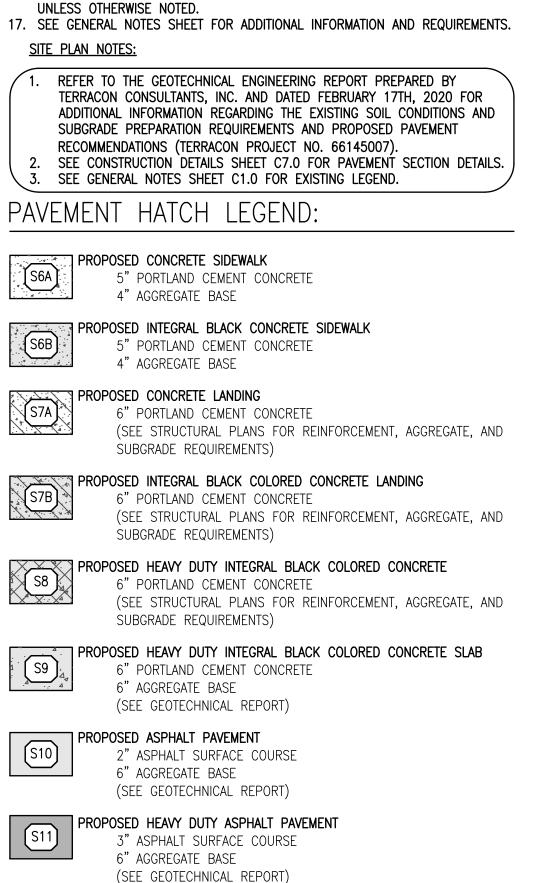
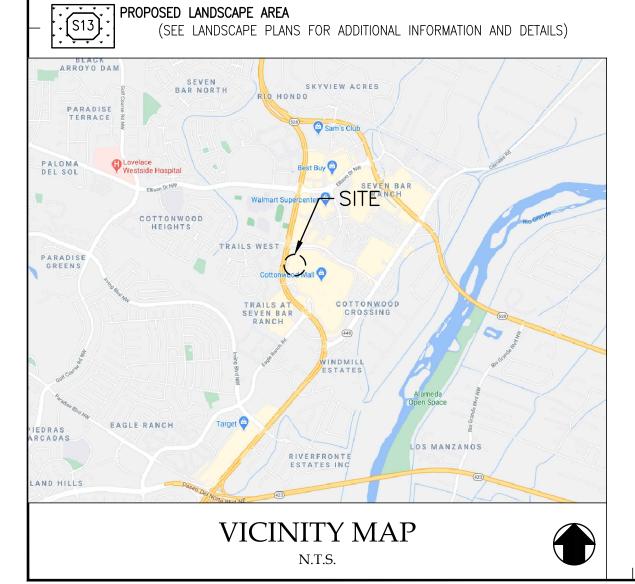
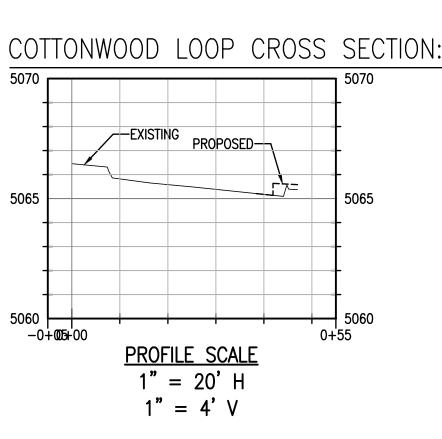


GENERAL SITE NOTES:

- I. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE
- PROPOSED SITE IMPROVEMENTS. . CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS
- EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. . ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND
- SPECIFICATIONS 5. ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED
- ACCORDANCE WITH ALL FEDERAL. STATE AND LOCAL CODES AND REQUIREMENTS. 6. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL
- PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- B. CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE
- CONTRACTOR. 10. ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 11. ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED
- 12. ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH
- 13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER. 14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT
- CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER. 15. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE,
- CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES. 16. ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS







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(S3A)

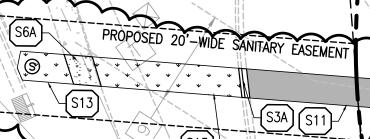
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CROSS SECTION-

EXISTING PROPERTY LINE-

SITE DISTANCE TRIANGLE-



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BY D'

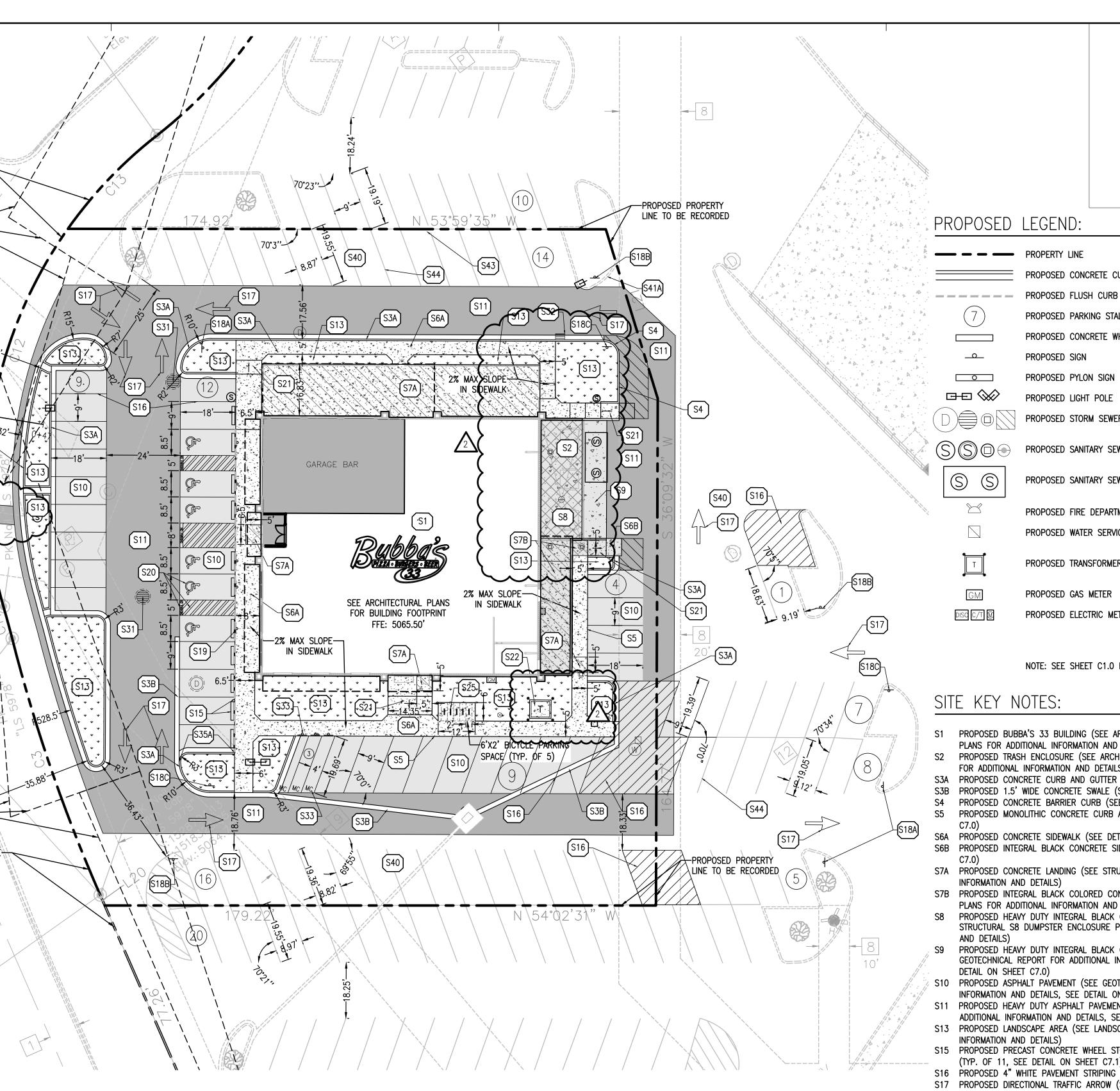
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SITE DISTANCE TRIANGLE-

EXISTING PROPERTY LINE

7



PROJECT INFORMATION:

SITE AREA: ZONED: PROPOSED BUILDING AREA: PROPOSED USE: BUILDING HEIGHT: PARKING REQUIRED: PARKING PROVIDED:

BICYCLE PARKING REQUIRED: BICYCLE PARKING PROVIDED:

MOTORCYCLE PARKING REQUIRED: MOTORCYCLE PARKING PROVIDED:

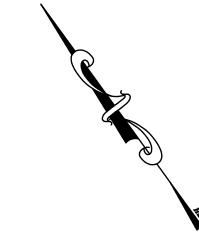
±1.03 ACRES MX-M - MIXED-USE-MODERATE INTENSITY ZONE DISTRICT 7,575 SQ. FT. RESTAURANT 25'-6" 61 STALLS (1 STALL PER 1,000 SF TIMES 8, 7,575/1000*8 = 60.6) 66 STALLS ON SITE (INCLUDING 6 ADA STALLS)

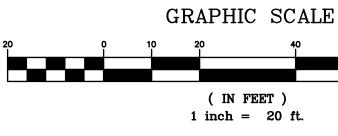
7 STALLS (10% OF REQUIRED OFF-STREET PARKING SPACES = 0.1*61 = 6.1 => 7) 10 STALLS (2 STALLS PER RACK)

3 (SITES THAT ARE REQUIRED TO PROVIDE BETWEEN 51-100 PARKING SPACES WILL BE REQUIRED TO PROVIDE 3-MOTORCYCLE, MOPED, OR SCOOTER PARKING SPACES)

SITE DISTANCE NOTE:

LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ÁLLOWED WITHIN THÈ ĆLEAR SÌGHT TRIANGLE.





GM

DISC C/T

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PROPOSED CONCRETE CURB AND GUTTER

PROPOSED PARKING STALL COUNT

PROPOSED CONCRETE WHEEL STOP

PROPOSED STORM SEWER STRUCTURES

PROPOSED SANITARY SEWER STRUCTURES

PROPOSED WATER SERVICE TAP

PROPOSED GAS METER

PROPOSED SANITARY SEWER GREASE INTERCEPTOR

PROPOSED FIRE DEPARTMENT CONNECTION (FDC)

PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS

PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT

S#

PROPOSED SIGN

PROPOSED PYLON SIGN

PROPOSED LIGHT POLE

NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

SITE KEY NOTES:

- S1 PROPOSED BUBBA'S 33 BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS) S3A PROPOSED CONCRETE CURB AND GUTTER (SEE DETAIL ON SHEET C7.0)
- S3B PROPOSED 1.5' WIDE CONCRETE SWALE (SEE DETAIL ON SHEET C7.1) PROPOSED CONCRETE BARRIER CURB (SEE DETAIL ON SHEET C7.0)
- S5 PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK (SEE DETAIL ON C7.0) S6A PROPOSED CONCRETE SIDEWALK (SEE DETAIL ON SHEET C7.0)
- S6B PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK (SEE DETAIL ON SHEET C7.0) S7A PROPOSED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL
- INFORMATION AND DETAILS) S7B PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S8 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE (SEE THE STRUCTURAL S8 DUMPSTER ENCLOSURE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE SLAB (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS. SEE DETAIL ON SHEET C7.0)
- S10 PROPOSED ASPHALT PAVEMENT (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS, SEE DETAIL ON SHEET C7.0)
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS, SEE DETAIL ON SHEET C7.0)
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S15 PROPOSED PRECAST CONCRETE WHEEL STOP ADJACENT TO FLUSH CURB (TYP. OF 11, SEE DETAIL ON SHEET C7.1)
- S16 PROPOSED 4" WHITE PAVEMENT STRIPING PER LOCAL CODE
- S17 PROPOSED DIRECTIONAL TRAFFIC ARROW (SEE DETAIL ON SHEET C7.0) S18A PROPOSED 30" R5-1 "DO NOT ENTER" SIGN (SEE DETAILS ON SHEET C7.2)
- S18B PROPOSED 24"X36" R6-2L "ONE WAY" SIGN (SEE DETAILS ON SHEET C7.2)
- S18C PROPOSED 24"X36" R6-2R "ONE WAY" SIGN (SEE DETAILS ON SHEET C7.2) S19 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE,
- 66-7-352.4C NMSA 1978 (TYP. OF 6, SEE DETAIL ON SHEET C7.0) S20 PROPOSED BLUE HANDICAP ACCESSIBLE PARKING STALL STRIPING AND
- SYMBOL PER LOCAL CODE, 66-1-4.1.B NMSA 1978 (TYP., SEE DETAIL ON SHEET C7.0) S21 PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER
- LOCAL CODES S22 PROPOSED CONCRETE TRANSFORMER PAD WITH STEEL BOLLARD PROTECTION (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER PAD LOCATION,
- SIZE AND THICKNESS WITH ELECTRIC COMPANY PRIOR TO INSTALLATION) S25 PROPOSED MAGLIN MBR501 BIKE RACKS WITH BLACK POWDER COATED FINISH (TOTAL OF 5 BIKE RACKS PROVIDING 10 BICYCLE PARKING SPACES – SEE DETAIL ON SHEET C7.2)
- S31 PROPOSED 8" THICK CONCRETE COLLAR (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1)
- S32 PROPOSED CURB TRANSITION (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1) S33 PROPOSED MOTORCYCLE PARKING SIGN PER THE CITY OF ALBUQUERQUE
- ZONING CODE (TYP. OF 3, SEE DETAIL ON SHEET C7.2) S34 PROPOSED MOTORCYCLE PARKING STALLS TO HAVE "MC" PAINTED IN WHITE AT THE REAR OF THE PARKING STALLS PER THE CITY OF ALBUQUERQUE
- ZONING CODE (TYP. OF 3).
- S35 CURB TRANSITION FOR 0" TO 6" IN HEIGHT S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41A EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- S43 EXISTING LIGHT POLE TO REMAIN S44 EXISTING PAVEMENT STRIPING TO REMAIN

21 South Evergreen Avenue Suite 200 Arlington Heights, IL 60005 t: 847 788 9200 f: 847 788 9537 **PROJECT TEAM** COPYRIGHT NOTICE This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the press written permission from the Prof **ISSUE/REVISION RECORD** DESCRIPTION DATE 02/26/21 COORDINATION SET 03/19/21 PERMIT SET 04/09/21 SITE PLAN 04/14/21 PERMIT RESPONSE 04/30/21 PERMIT RESPONSE 2 06/17/21 PERMIT RESPONSE #2 **PROFESSIONAL SEAL** Proj 20182050 The Haae expires 12/31/22 date 6/18/21 PROFESSIONAL IN CHARGE MICHAEL HAAS PROFESSIONAL ENGINEER LICENSE NO. 26056 **PROJECT MANAGER** EDWARD GOSS



QUALITY CONTROL

EDWARD GOSS

DRAWN BY

ALBUQUERQUE **NEW MEXICO**

10000 COORS BYPASS NW ALBUQUERQUE, NM 87114



PROJECT NUMBER 20182050 (

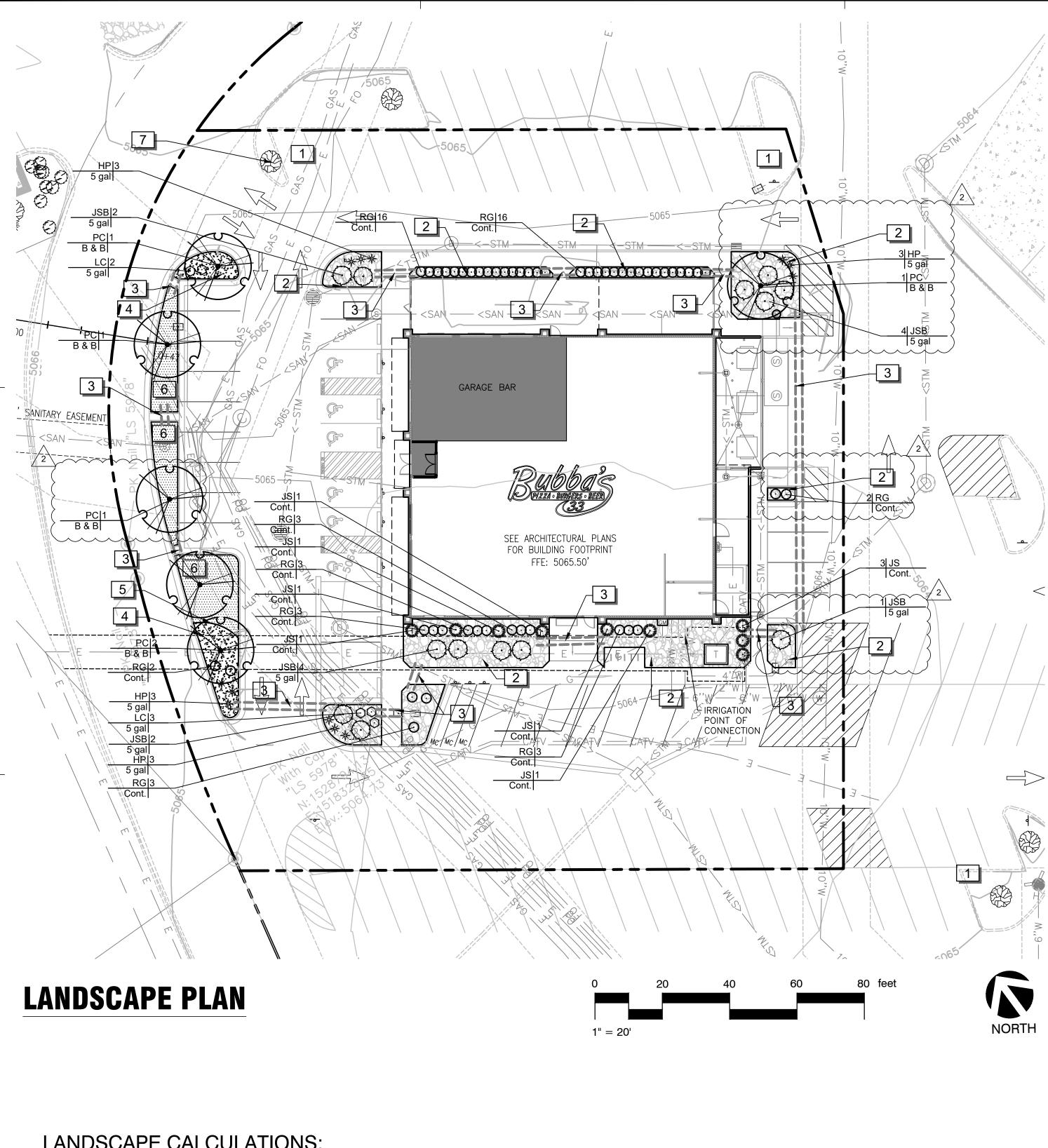
SHEET TITLE

SITE PLAN









LANDSCAPE CALCULATIONS:

REQUIRED:

PROVIDED:

OFF-STREET PARKING LANDSCAPING 1 TREE PER 10 PARKING SPACES

7 TREES

(68/10=6.8)

7 TREES (INCLUDING 1 EXISTING TREE)

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	ANY DAMAGE TO ADJACENT PROPERTY OF OTHERS IS TO BE REPAIRED TO ITS ORIGIN ADDITIONAL COST TO OWNER.
2	INSTALL RIVER ROCK MULCH 5"-7" DIAMET PLANT BED ADJACENT TO BUILDING FOUN INDICATED ON PLAN. RIVER ROCK MULCH WITH TOP OF SIDEWALK.
3	4", SCHEDULE 40 PVC IRRIGATION SLEEVE
4	INSTALL 3" DEPTH GRAVEL MULCH 1" MINU COLOR ON FILTER FABRIC WEED BARRIER AND LEVELED TO A NEAT CLEAN APPEARA CONCRETE LEVEL.
5	CULTIVATED BEDLINE 4" DEPTH. (TYP.)
6	ALL LAWNS ARE TO BE ESTABLISHED BY S COMMON TO LOCALITY.
7	EXISTING TREE TO REMAIN. PROVIDE PRO ENTIRE CONSTRUCTION PROCESS.

PLANT SCHEDULE

TREES	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	ROOT	<u>SIZE</u>
2 Co	PC	6	PISTACIA CHINENSIS	CHINESE PISTACHE	B & B	2"CAL
<u>SHRUBS</u>	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>	HEIGHT
*	HP	12	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	
AND A DESCRIPTION OF A	JS	9	JUNIPERUS CHINENSIS `SPARTAN`	SPARTAN JUNIPER	CONT.	7` HT. MIN.
\bigcirc	JSB		JUNIPERUS SABINA `BUFFALO`	BUFFALO JUNIPER	5 GAL	
\bigcirc	LC	5	LEUCOPHYLLUM FRUTESCENS `COMPACTA`	COMPACT TEXAS RANGER	5 GAL	
\odot	RG	51	ROSMARINUS OFFICINALIS `GORIZIA`	ROSEMARY `GORIZIA`	CONT.	24" HT. MIN
GROUND COVERS	<u>CODE</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	
	BD	782 SF	BOUTELOUA DACTYLOIDES	BUFFALO GRASS	SOD	
	ICUT					

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)

GROUND COVERS	<u>QTY</u>	NAME
	356 SF	3" DEPTH GR 1" MINUS DIA

GENERAL NOTES:

- 1. GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.

- 6. ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.

- FIELD CONDITIONS. SEE CIVIL SITE PLAN.
- FEDERAL CODES.
- IS LOCATED OUTSIDE, REFER TO SHEET L2.1 IRRIGATION NOTES AND DETAILS.

MAINTENANCE OF LANDSCAPING:

THE OWNER, TENANT, OR AGENT, IF ANY, SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

OR AREAS OF WORK BY INAL CONDITION WITH NO

TER ON WEED BARRIER IN NDATION AND WHERE H TO BE INSTALLED FLUSH

IUS DIAMETER, TAN/BROWN R IN LANDSCAPE AREAS, RANCE, 1/2" BELOW

SEEDING WITH VARIETY

OTECTION DURING THE

GRAVEL MULCH ON FILTER FABRIC WEED BARRIER AMETER, TAN/BROWN COLOR .

2. CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.

3. TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.

4. EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.

5. EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.

7. NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.

8. SAMPLES OF RIVER ROCK COBBLESTONE ARE TO BE PROVIDED TO OWNER/TENANT FOR REVIEW AND APPROVAL TWO (2) WEEKS PRIOR TO CONSTRUCTION. NO COBBLESTONE IS TO BE INSTALLED WITHOUT PRIOR APPROVAL FROM TEXAS ROADHOUSE.

9. REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO

10. CONTRACTOR TO PROVIDE SITE IRRIGATION FOR ALL LANDSCAPE AREAS. IRRIGATION FOR THESE AREAS TO PROVIDE 100% COVERAGE OF ALL PLANTED AREAS. SHRUB BEDS TO BE WATERED WITH SUBSURFACE IRRIGATION. LAWN AREAS TO BE KEPT ON SEPARATE ZONES FROM SHRUB BEDS, DO NOT SPRAY ONTO BUILDING. IRRIGATION SYSTEM TO BE DESIGNED INSTALLED PER ALL LOCAL, STATE AND

11. REFER TO PLUMBING PLANS FOR BACKFLOW PREVENTER INFORMATION (IF LOCATED WITHIN THE BUILDING). IF BACKFLOW PREVENTOR

GreenbergFarrow

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DATE	DESCRIPTION PERMIT SET	
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PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

PROFESSIONAL ENGINEER LICENSE NO.

PROJECT MANAGER EDWARD GOSS

QUALITY CONTROL DENNIS JARRARD DRAWN BY

JEAN SHI

PROJECT NAME

TEXAS

ROADHOUSE

ALBUQUERQUE **NEW MEXICO**

10000 COORS BYPASS NW ALBUQUERQUE, NM 87114



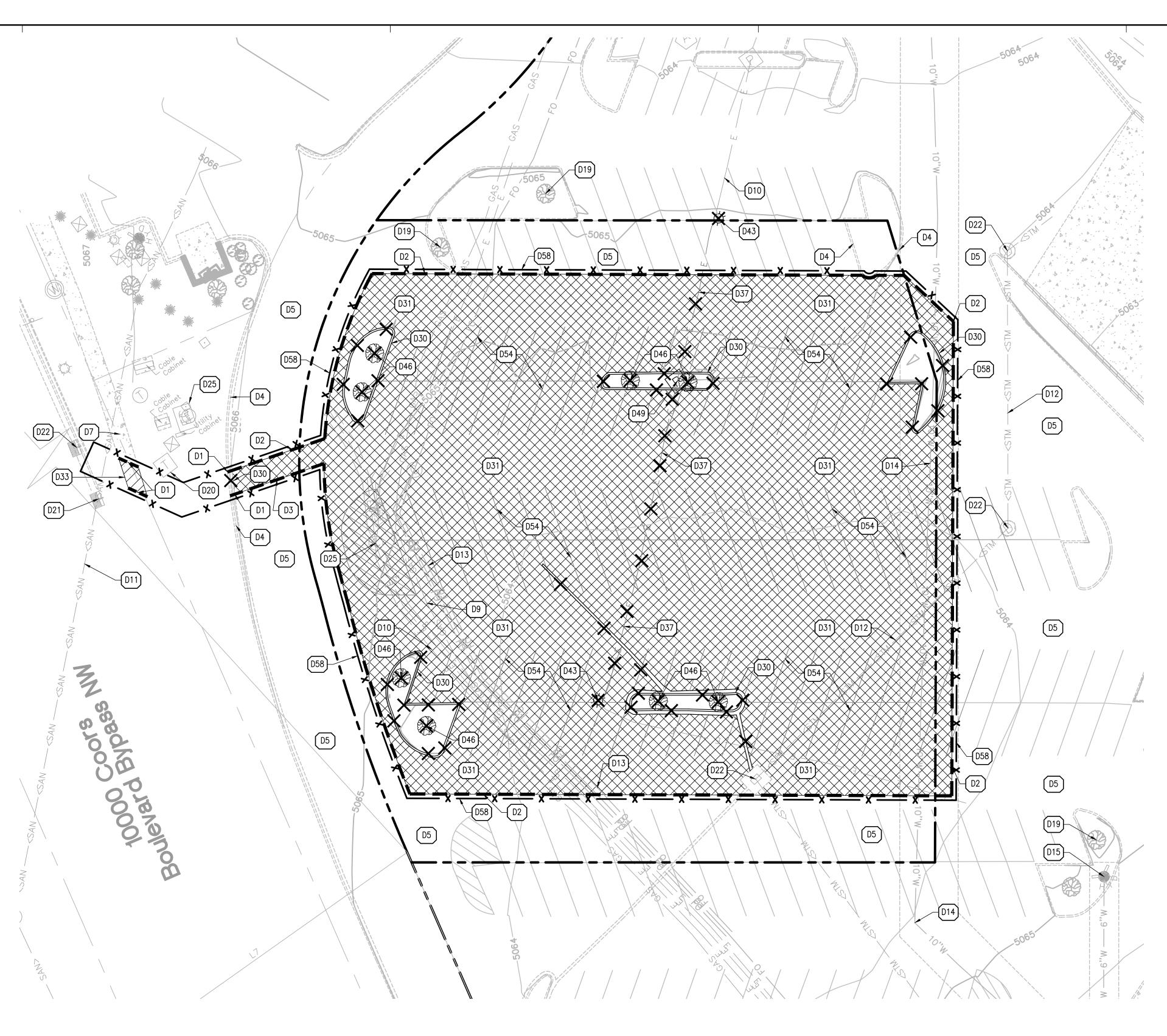
PROJECT NUMBER 20182050.0 SHEET TITLE

LANDSCAPE PLAN



GENERAL DEMOLITION NOTES:

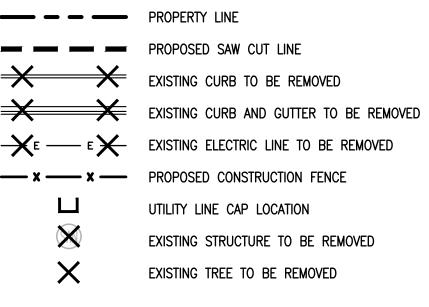
- CONTRACTOR SHALL CONTACT STATE ONE CALL SYSTEM (811) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WORK WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF EXISTING SITE FEATURES NOT NOTED FOR REMOVAL.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED (SEE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL INFORMATION AND DETAILS).
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC AND CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
- 5. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY PROVIDED TO THE ENGINEER FOR DESIGN. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY REQUIRE REMOVAL FOR THE PROPOSED SITE IMPROVEMENTS BUT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCING ANY SITE DEMOLITION OPERATIONS TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE PROPOSED AREA OF WORK. CONTRACTOR SHALL ALSO CONTACT CAITLIN DAWSON WITH TEXAS ROADHOUSE (502-855-5556 OR CAITLIN.DAWSON@TEXASROADHOUSE.COM) TO COORDINATE DISCONNECTION OF THE EXISTING BUILDING TELEPHONE SERVICE
- B. CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS OF EXISTING ROADWAYS AND UTILITIES WITH THE NECESSARY GOVERNING AUTHORITIES. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OF
- WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, WHEEL STOPS AND MISCELLANEOUS DEBRIS) NOTED TO BE REMOVED SHALL BE DEMOLISHED, REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR. 10. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDINGS, PAVEMENTS
- OR WALKS OR WITHIN 24" THEREOF SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT. 11. AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, FINAL GRADE OF BACKFILL
- IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION SWALES OR OTHER MEANS OF MAINTAINING ADEQUATE SITE DRAINAGE.
- 12. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED (REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPING REMOVAL REQUIREMENTS).
- 13. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION NOTED TO BE REMOVED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR (REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPING REMOVAL REQUIREMENTS).
- 14. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- 15. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- 16. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- 17. ALL EXISTING SANITARY SEWERS, STORM SEWERS, WATER MAINS OR IRRIGATION LINES AND APPURTENANCES NOTED FOR REMOVAL WITHIN THE AREA OF THE PROPOSED CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. ALL ABANDONED SEWER LINES SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET LONG NON-SHRINK CONCRETE MORTAR PLUGS UNLESS OTHERWISE
- NOTED 18. CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS TO HAVE RECYCLABLE
- MATERIALS REMOVED FROM THE SITE AND RECYCLED. 19. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



DEMOLITION PLAN LEGEND:

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NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

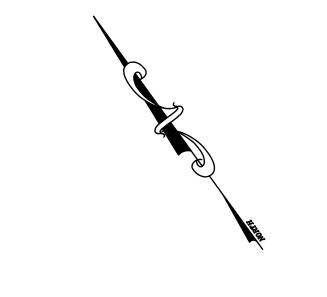
DEMOLITION HATCH LEGEND:

EXISTING ASPHALT PAVEMENT TO BE REMOVED

EXISTING CONCRETE PAVEMENT TO BE REMOVED D33

DEMOLITION KEY NOTES:

- D# D1 SAW CUT EXISTING CONCRETE CURB SAW CUT EXISTING ASPHALT PAVEMENT SAW CUT EXISTING CONCRETE PAVEMENT EXISTING CONCRETE CURB TO REMAIN EXISTING ASPHALT PAVEMENT TO REMAIN EXISTING CONCRETE SIDEWALK TO REMAIN APPROXIMATE LOCATION OF EXISTING NATURAL GAS LINE TO REMAIN D10 APPROXIMATE LOCATION OF EXISTING ELECTRICAL LINE TO REMAIN D11 APPROXIMATE LOCATION OF EXISTING SANITARY SEWER LINE TO REMAIN D12 APPROXIMATE LOCATION OF EXISTING STORM SEWER LINE TO REMAIN D13 APPROXIMATE LOCATION OF EXISTING TELEPHONE LINE TO REMAIN D14 APPROXIMATE LOCATION OF EXISTING WATER LINE TO REMAIN D15 EXISTING FIRE HYDRANT TO REMAIN D16 EXISTING LIGHT POLE TO REMAIN D19 EXISTING TREE TO REMAIN AND BE PROTECTED D20 EXISTING TELEPHONE PEDESTAL TO REMAIN D21 EXISTING SANITARY STRUCTURE TO REMAIN D22 EXISTING STORM STRUCTURE TO REMAIN D25 EXISTING ELECTRICAL STRUCTURE TO REMAIN D30 EXISTING CONCRETE CURB TO BE REMOVED D31 EXISTING ASPHALT PAVEMENT TO BE REMOVED D33 EXISTING SIDEWALK TO BE REMOVED AND REPLACED D37 APPROXIMATE LOCATION OF EXISTING ELECTRICAL LINE TO BE REMOVED D43 EXISTING LIGHT POLE TO BE REMOVED D46 EXISTING TREE TO BE REMOVED D49 EXISTING ELECTRICAL STRUCTURE TO BE REMOVED (COORDINATE WITH ELECTRICAL PROVIDER PRIOR TO REMOVAL)
- D54 EXISTING PARKING STRIPES TO BE REMOVED D58 PROPOSED CONSTRUCTION FENCE

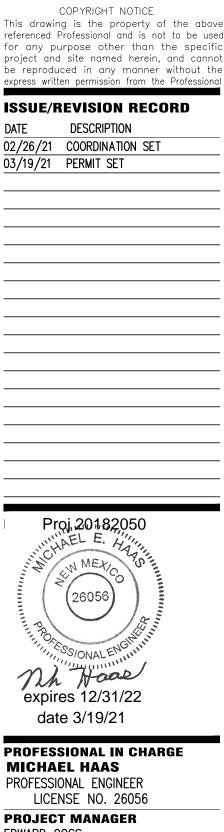


GRAPHIC SCALE

(IN FEET) 1 inch = 20 ft.

GreenbergFarrow

21 South Evergreen Avenue Suite 200 Arlington Heights, IL 60005 t: 847 788 9200 f: 847 788 9537 PROJECT TEAM



EDWARD GOSS QUALITY CONTROL EDWARD GOSS DRAWN BY MITCH HEFFERNAN

PROJECT NAME

TEXAS ROADHOUSE

ALBUQUERQUE **NEW MEXICO**

10000 COORS BYPASS NW ALBUQUERQUE, NM 87114

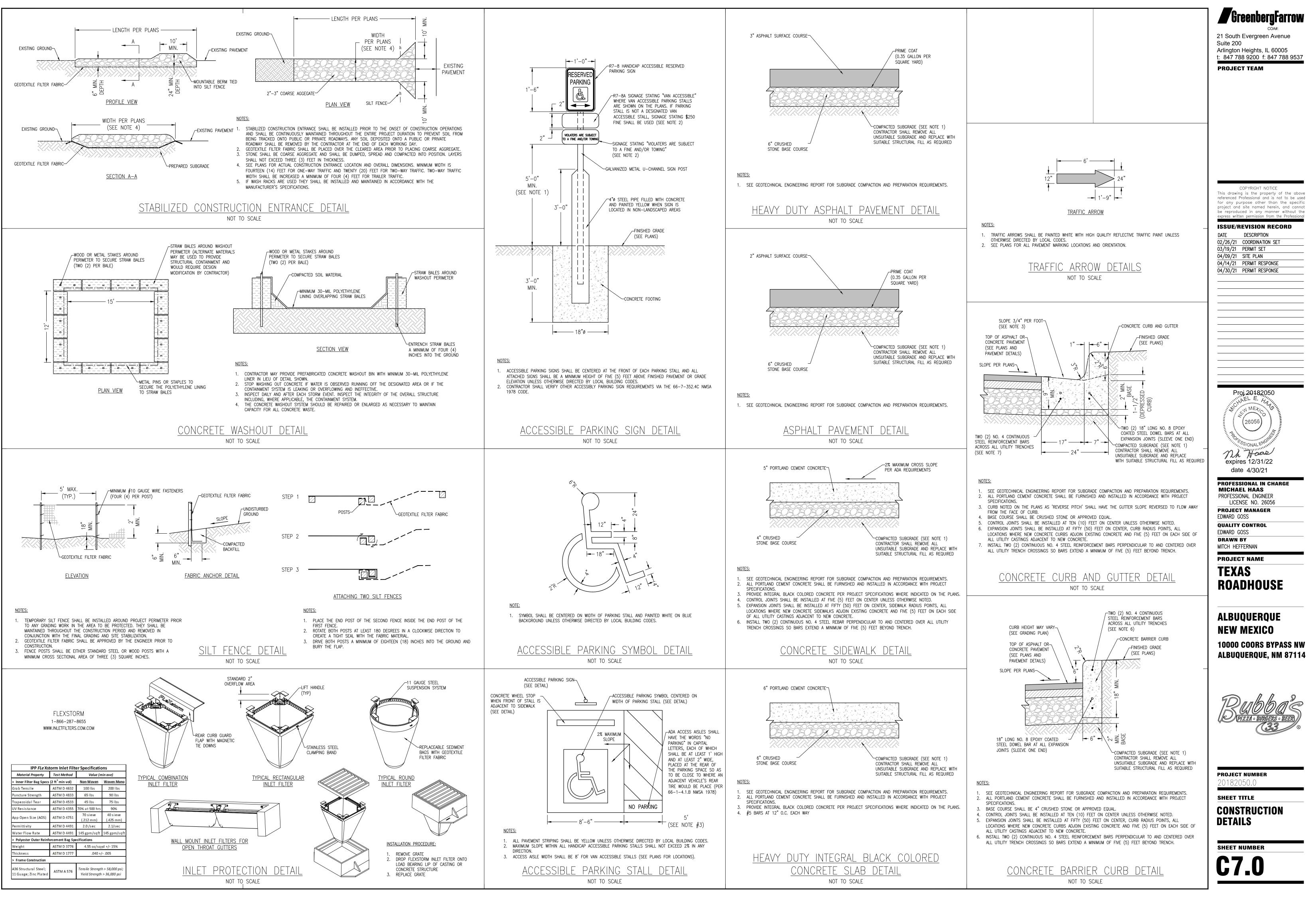


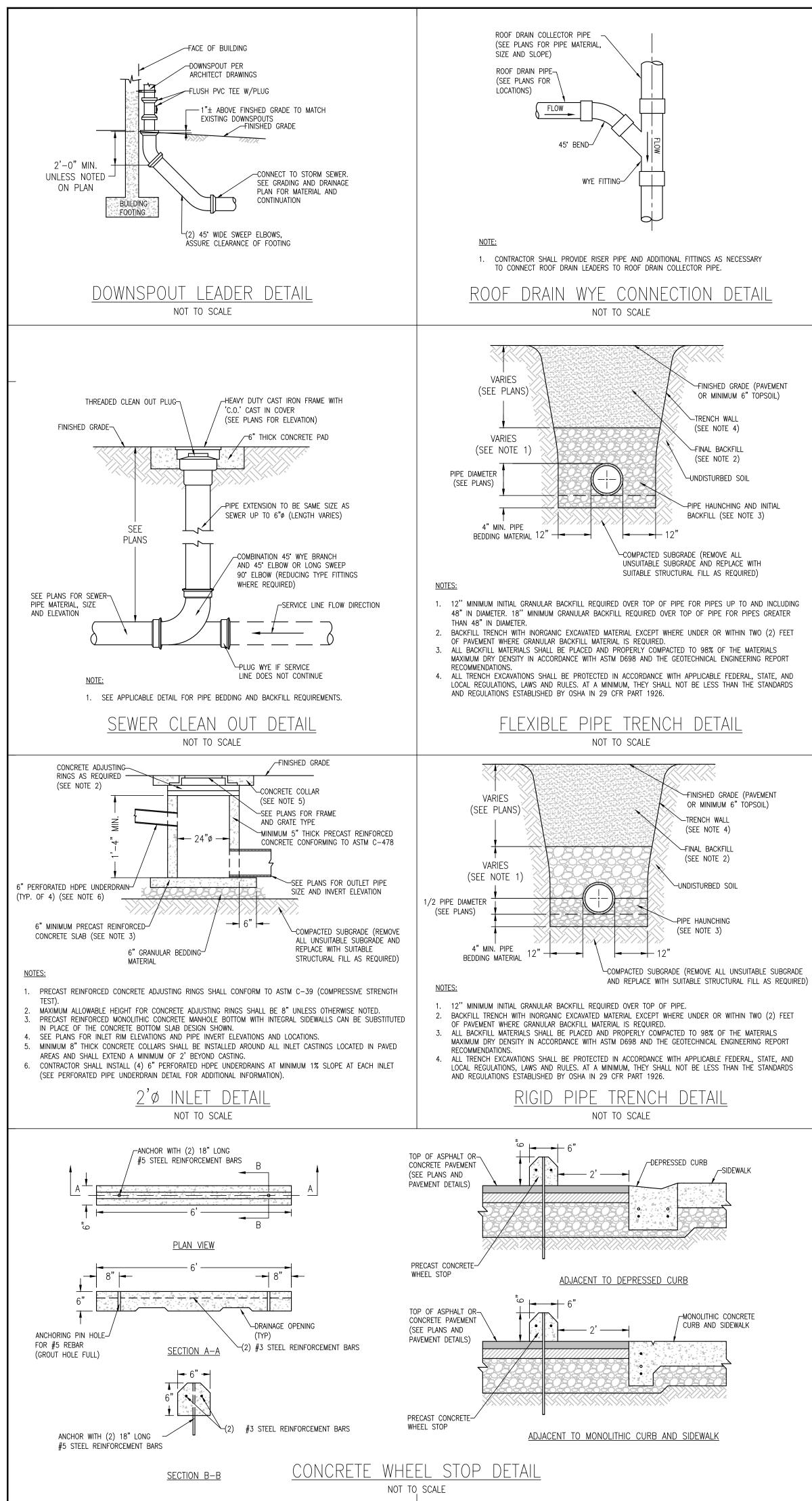
PROJECT NUMBER 20182050 0

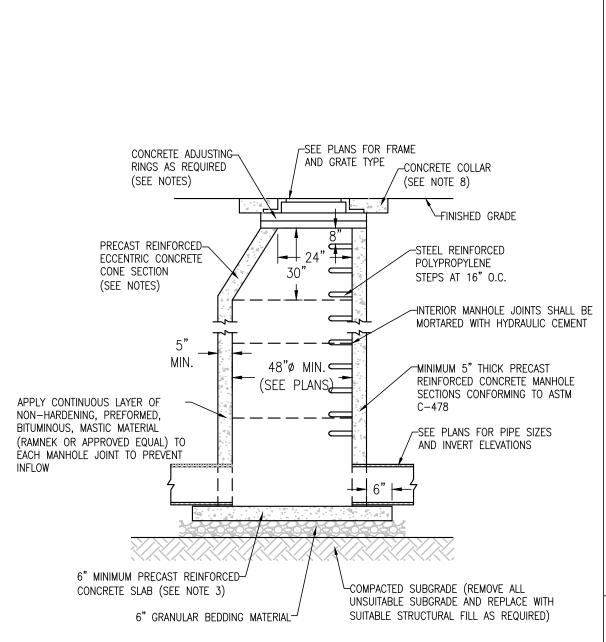
SHEET TITLE

DEMOLITION PLAN





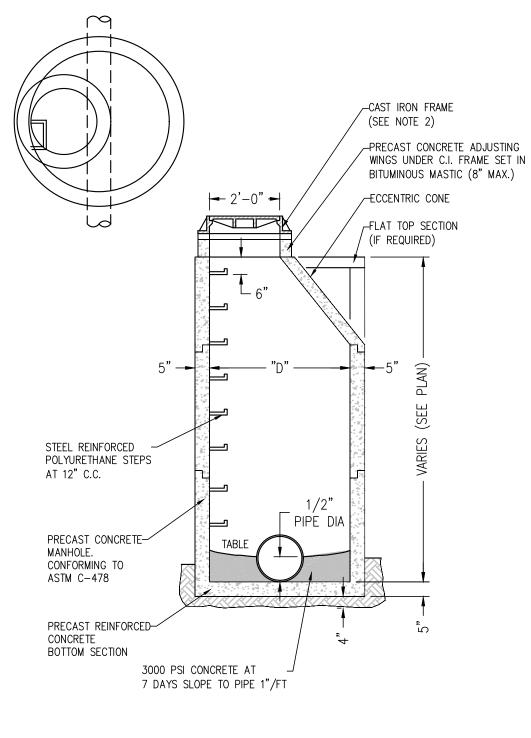




NOTES:

- 1. PRECAST REINFORCED CONCRETE CONE SECTION AND ADJUSTING RINGS SHALL CONFORM TO ASTM C-39 (COMPRESSIVE STRENGTH TEST).
- 2. MAXIMUM ALLOWABLE HEIGHT FOR CONCRETE ADJUSTING RINGS SHALL BE 8" UNLESS OTHERWISE NOTED. 3. PRECAST REINFORCED MONOLITHIC CONCRETE MANHOLE BOTTOM WITH INTEGRAL SIDEWALLS CAN BE SUBSTITUTED IN PLACE OF THE CONCRETE BOTTOM SLAB DESIGN SHOWN.
- FLAT-TOP SLABS SHALL BE PROVIDED FOR SHALLOW MANHOLE INSTALLATIONS ONLY AND SHALL BE DESIGNED FOR HS-20 TRAFFIC LOADING WHEN LOCATED IN PAVED AREAS. MANHOLE BARREL SECTIONS SHALL BE TONGUE AND GROOVE TYPE.
- 6. MANHOLE WALL THICKNESSES AND CONE SECTION HEIGHT DIMENSIONS SHOWN ARE THE MINIMUM REQUIRED FOR 48" PRECAST REINFORCED CONCRETE STORM MANHOLES. DIMENSIONS FOR LARGER DIAMETER STORM MANHOLE STRUCTURES SHALL BE ADJUSTED PER MANUFACTURER SPECIFICATIONS 7. SEE PLANS FOR MANHOLE DIAMETER SIZES, RIM ELEVATIONS AND PIPE INVERT ELEVATIONS AND
- LOCATIONS 8. MINIMUM 8" THICK CONCRETE COLLARS SHALL BE INSTALLED AROUND ALL CATCH BASIN CASTINGS LOCATED IN PAVED AREAS AND SHALL EXTEND A MINIMUM OF 2' BEYOND CASTING.

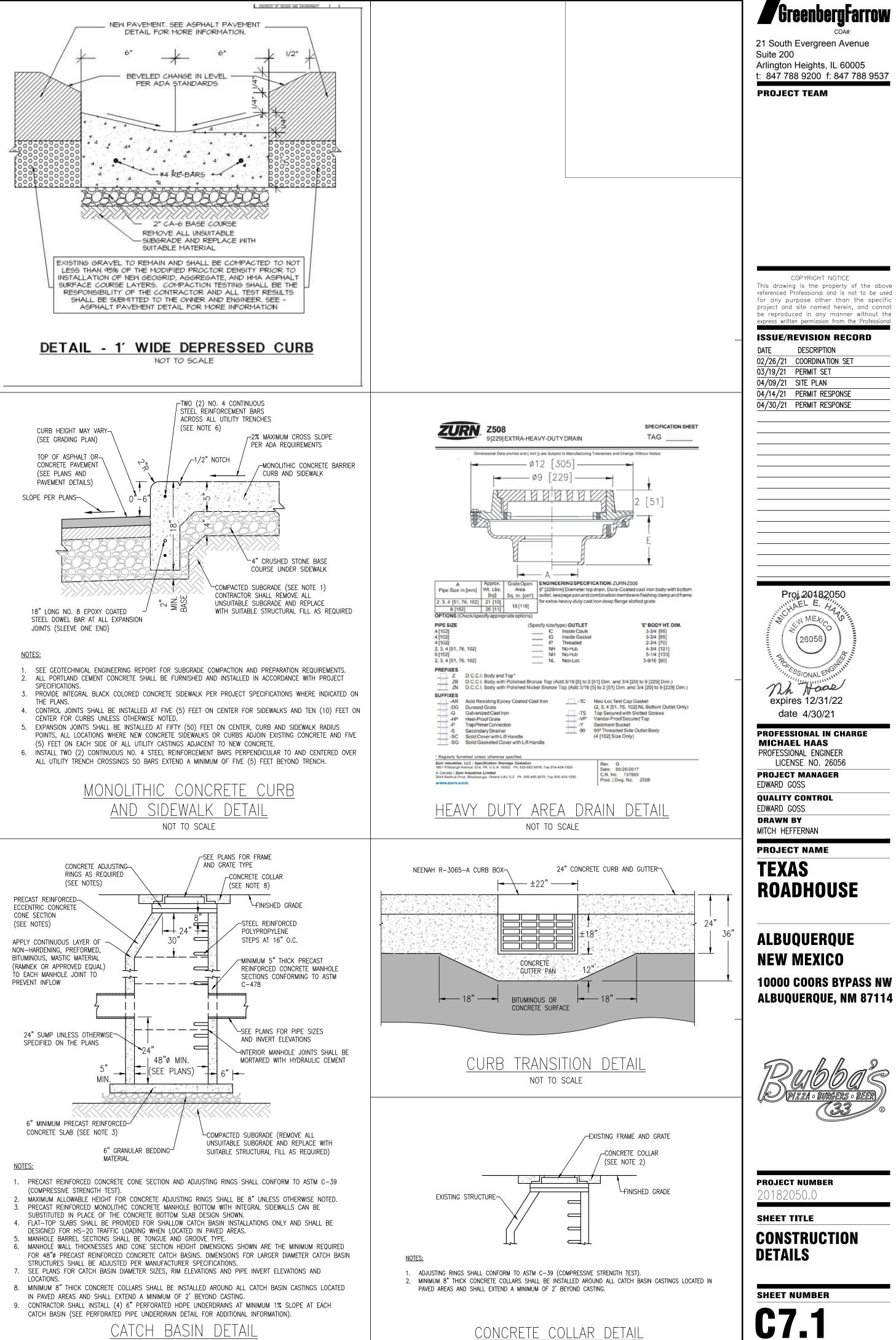
STORM MANHOLE DETAIL NOT TO SCALE



NOTES:

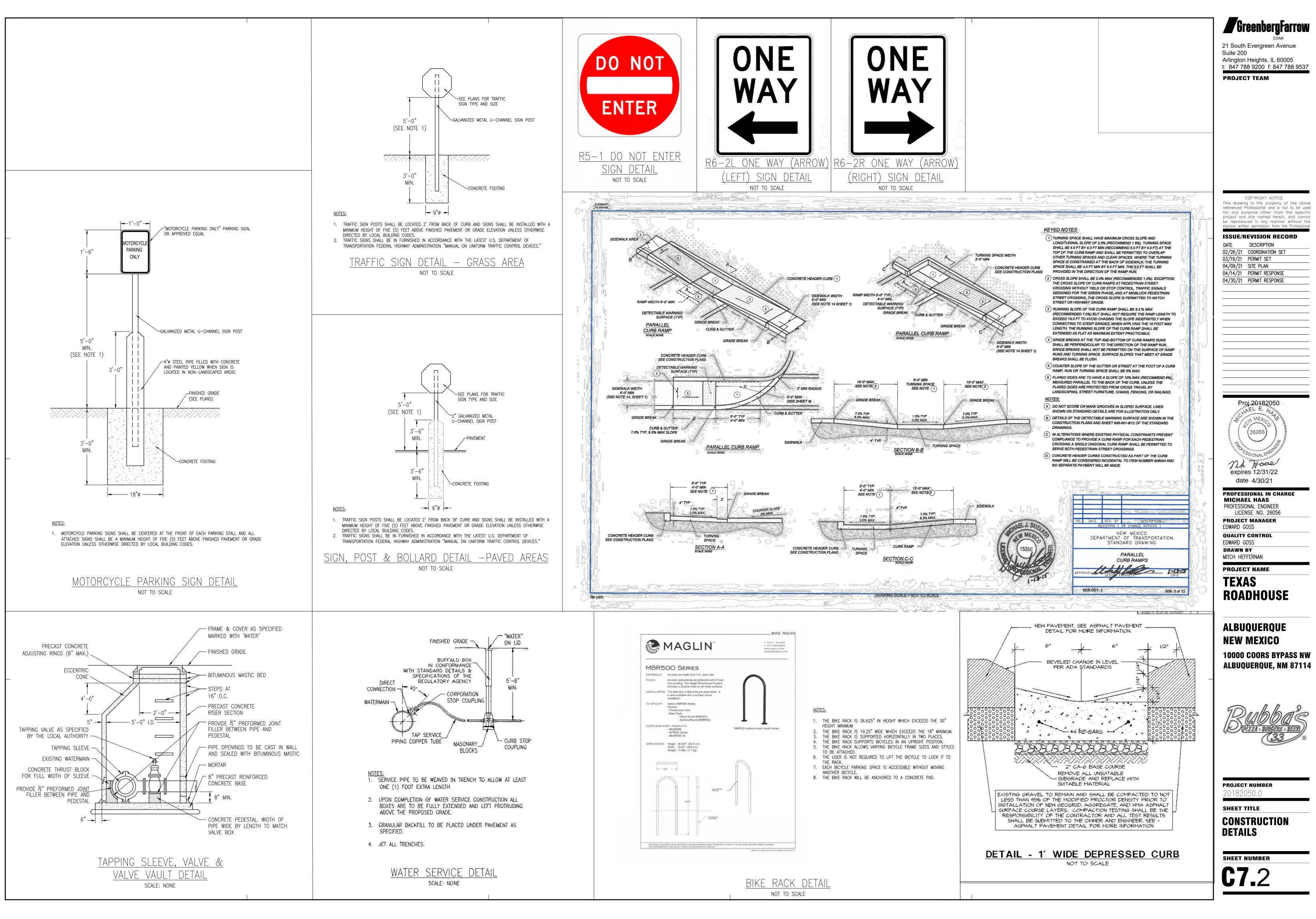
- 1. PROVIDE MINIMUM 4" OF PIPE BEDDING MATERIAL UNDER MANHOLE BOTTOM SECTION & FILL
- ENTIRE EXCAVATION AROUND MANHOLE UP TO ${\mathbb Q}$ OF SEWER WITH BEDDING MATERIAL. 2. MANHOLES SHALL BE FURNISHED WITH A WATERTIGHT FRAME AND SOLID CAST IRON COVER WITH
- THE WORDS 'SANITARY SEWER' IMPRINTED ON THE COVER WITH RAISED LETTERS. 3. PIPE SECTION SHALL BE LAID THRU MANHOLE TO FORM CHANNEL & TOP HALF BROKEN OUT EVEN WITH CONCRETE TABLE.
- 4. PROVIDE BITUMINOUS MASTIC BETWEEN ALL SECTIONS, RINGS & FRAME. 5. PROVIDE SMOOTH "Y" TRANSITIONS FOR ALL BRANCHES AND BENDS IN LINE.
- 6. WHERE SEWER DEPTH IS 8'-O" OR LESS USE "FLAT" TOP IN PLACE OF CONE DESIGNED TO
- SUPPORT AASHTO H20 LOADING. D = 4'-0" FOR 24" DIA. & UNDER 5'-0" FOR 27" TO 36" DIA. 6'-0" FOR 36" TO 48" 7. MANHOLE COVERS MUST HAVE O-RING GASKETS AND SEALED PICK HOLES. 8. PROVIDE CHIMNEY SEAL AND PIPE BOOT ON ALL SANITARY MANHOLES.

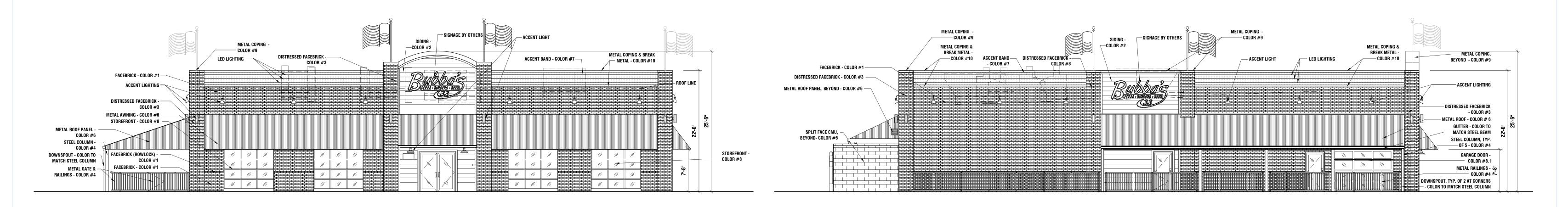
SANITARY SEWER MANHOLE DETAIL NOT TO SCALE



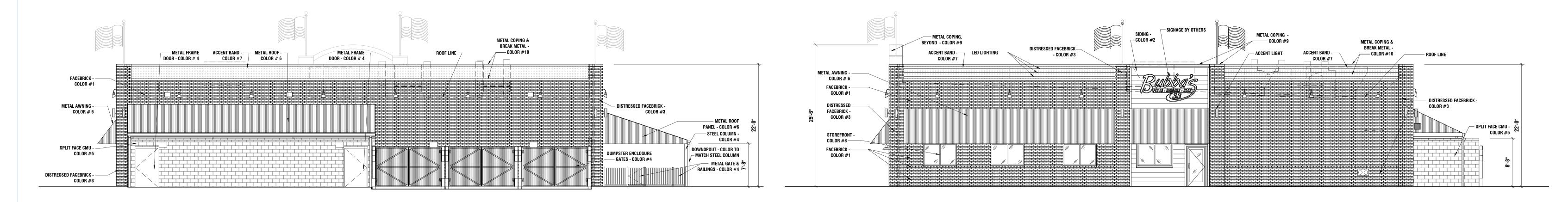
NOT TO SCALE

CATCH BASIN DETAIL NOT TO SCALE





FRONT ELEVATION NORTHWEST



REAR ELEVATION SOUTHEAST



CLIENT COPYRIGHT NOTICE



PROJECT NAME

EXTERIOR FINISH SCHEDULE		
BUILDING ITEMS	DESCRIPTION	
FACEBRICK	COLOR #1 Statesville Olde Jefferson - "Authentic Tumbled"	
FIBER CEMENT SIDING	COLOR #2 Sherwin-Williams: SW1770 "Less white Indigo Batik"	
DISTRESSED FACEBRICK	COLOR #3 Statesville Sherwood Forest - "Authentic Tumbled"	
METAL DOORS, FRAMES, STEEL COLUMNS, BEAMS, DUMPSTER GATES, & BOLLARDS	COLOR #4 Porter Paints: Exterior; Color: Black	
SPLIT FACE CMU WALL	COLOR #5 Sherwin-Williams: SW1770 "Less White Indigo Batik"	
METAL AWNING	COLOR #6 METAL SALES: CORRUGATED; COLOR: GALVALUME	
ACCENT BAND	COLOR #7 DIAMOND PLATED METAL	
STOREFRONT	COLOR #8 DARK BRONZE	
GARAGE DOORS	COLOR #8.1 PRE-FINISHED BLACK	
METAL COPING	COLOR #9 PRE-FINISHED WHITE	
METAL COPING & BREAK METAL Flashing	COLOR #10 PRE-FINISHED GALVALUME	
DISCLAIMER NOTE: The colors depicted on these elevations are for graphic representation purposes only. Please Refer to material board for actual sample of colors and textures		

PROJECT ADDRESS SEQ COORS BYPASS NW & 7 BAR LOOP ROAD NW

PROJECT NUMBER

LEFT ELEVATION NORTHEAST

RIGHT ELEVATION Southwest



CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



Mayor Timothy M. Keller

May 3, 2021

Michael E. Haas, P.E. GreenbergFarrow 21 South Evergreen Avenue - Suite 200 Arlington Heights, IL 60005

RE: Bubba's 33 10000 Coors Bypass NW Grading and Drainage Plan Engineer's Stamp Date: 04/14/21 Hydrology File: B14D004H

Dear Mr. Haas:

- PO Box 1293 Based upon the information provided in your resubmittal received 04/19/2021, the Grading & Drainage Plan is approved for Building Permit.
- Albuquerque Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.
- NM 87103 If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Also, the Payment-in-Lieu of \$ 5,952.00 must be paid prior to Hydrology's Permanent Release of Occupancy approval. Due to COVID-19, please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero (<u>sdcordero@cabq.gov</u>). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology with be able to process Permanent Release of Occupancy approval when officially submitted.

CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Transmittals for: PROJECTS Only

Payment-in-Lieu for Storm Water Quality Volume Requirement

CASH COUNT	AMOUNT	ACCOUNT NUMBER	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
TOTAL CHECKS	\$ 5,952.00	461615	305	PCDMD	24_MS4	7547210	\$ 5,952.00
TOTAL AMOUNT						TOTAL DEPOSIT	\$ 5,952.00

Hydrology#: <u>B14D004H</u> Payment In-I Volume Req	Lieu for Storm Water Quality uirement
Address/Legal Description:	10000 Coors Bypass NW
DEPARTMENT NAME:	Planning Department/Development Review Services, Hydrology
PREPARED BY Renée	C. Brissette, P.E. CFM PHONE 505-924-3995
BUSINESS DATE <u>May 3</u>	, 2021
DUAL VERIFICATION OF	DEPOSIT Renée C. Brissette EMPLOYEE SIGNATURE
AND BY EMPLOYEE SIG	GNATURE
Remitter:	
Ванк: Снеск # [.]	DATE ON CHECK

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2nd St. NW. **Bring three copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2nd St. NW, or e-mail with the Hydrology submittal to PLNDRS@cabq.gov.

GENERAL GRADING NOTES:

- 1. ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT. 2. CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE
- POINTS DURING CONSTRUCTION OPERATIONS.
- 3. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
 ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH
- ALL FROPOSED GRADING, FAVEMENT, AFRONS, CORDS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
 CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE
- STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
 7. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED
- GRADE WITHIN THE PROJECT LIMITS.
 8. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- 9. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- 10. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
 MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT
- EXCEED 2% IN ANY DIRECTION. 13. MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT
- CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED. 14. ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR
- LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION. 15. EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF
- THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- 16. ALL STRUCTURE BENCH WALLS SHALL BE SHAPED AND FORMED FOR A CLEAN TRANSITION WITH PROPER HYDRAULICS TO ALLOW THE SMOOTH CONVEYANCE OF FLOWS THROUGH THE MANHOLE OR BOX INLET. THE BENCH WALL SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 80-PERCENT OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A "U" SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM ½-INCH PER FOOT SLOPE TO THE MANHOLE WALL.
- 17. ALL STORM WATER INLETS AND CATCH BASIN CASTINGS SHALL HAVE THE WORDS "NO DUMPING, DRAINS TO STREAM", OR SIMILARLY APPROVED MESSAGE, CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" IN HEIGHT. IN ADDITION, A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.

18. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT BENCHMARKS:

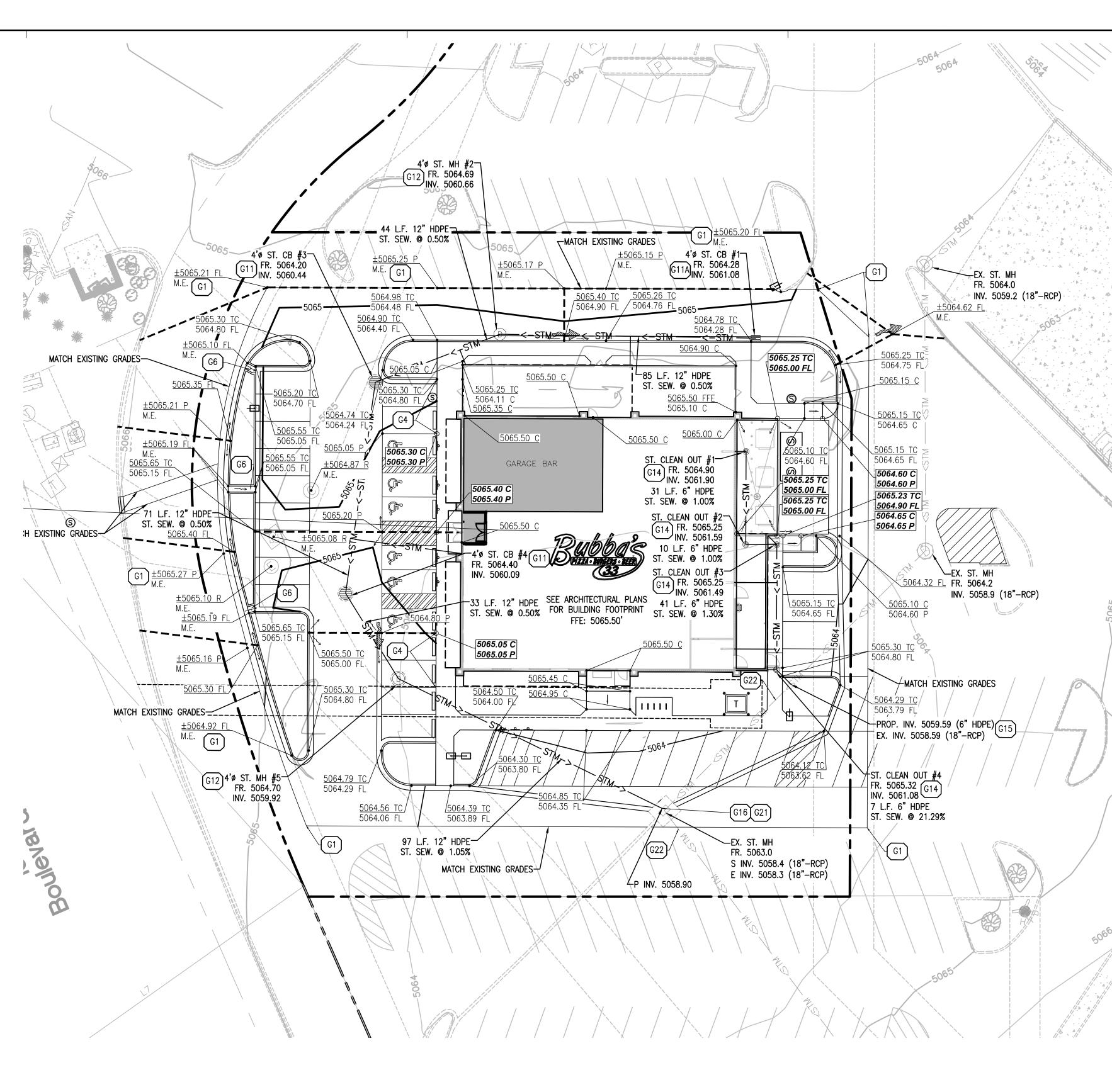
SITE BENCHMARKS:

BM #1 ACS MONUMENT "10-B13" ELEVATION= 5074.478 (NAVD 88)

BM #2 ACS MONUMENT "8-B13" ELEVATION= 5059.673 (NAVD 88)

FLOOD NOTE:

PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C0108G WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

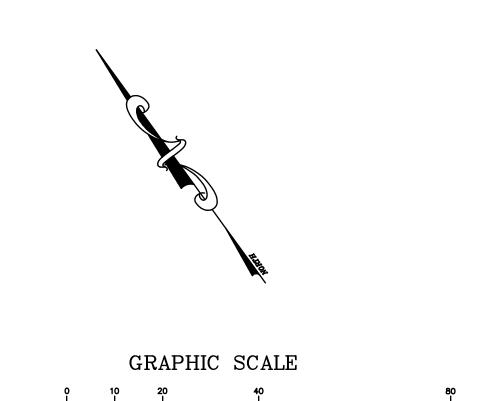




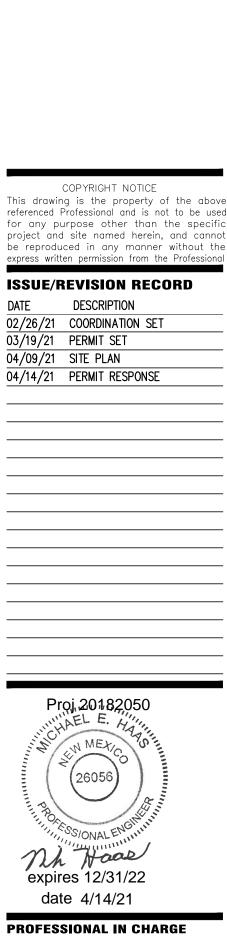
PROPOSED	LEGEND:

<u> </u>	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
	PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FFE: FINISHED FLOOR ELEVATION TC: TOP OF CURB ELEVATION FL: CURB FLOWLINE ELEVATION C: TOP OF CONCRETE ELEVATION P: TOP OF PAVEMENT ELEVATION FG: FINISHED GRADE ELEVATION ME: MATCH EXISTING ELEVATION
	PROPOSED SPOT ELEVATION EXPOSED CURB FACE VARIES
	SITE BENCH MARK (SEE SURVEY FOR ADDITIONAL INFORMATION)
	PROPOSED GRADING RIDGE LINE
	PROPOSED DRAINAGE FLOW DIRECTION
	PROPOSED OVERLAND FLOOD ROUTE
	PROPOSED STORM SEWER STRUCTURE WITH OPEN GRATE
	PROPOSED STORM SEWER STRUCTURE WITH CLOSED LID
	PROPOSED STORM SEWER CLEAN OUT
	PROPOSED HEAVY DUTY AREA DRAIN
	PROPOSED STORM SEWER
GRADING 8	C DRAINAGE KEY NOTES:

- G1 FIELD VERIFY AND MATCH EXISTING ELEVATION AT PROJECT SCOPE OF WORK LIMITS (TYP.)
- G4 CURB TRANSITION FOR 0" TO 6" IN HEIGHT G6 PROPOSED 2' WIDE CURB OPENING FOR DRAINAGE
- G11 PROPOSED 4'Ø PRECAST CONCRETE CATCH BASIN WITH NEENAH R-2502-D FRAME AND GRATE AND CONCRETE COLLAR PER CATCH BASIN DETAIL G11A PROPOSED 4'Ø PRECAST CONCRETE CATCH BASIN WITH NEENAH R-3065-A
- CURB BOX G12 PROPOSED 4'Ø PRECAST CONCRETE MANHOLE WITH NEENAH R-1772 FRAME
- AND LID G13 PROPOSED BUILDING ROOF DRAIN CONNECTION (COORDINATE EXACT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS). CONTRACTOR SHALL INSTALL NEW WYE FITTING AT PROPOSED STORM SEWER
- CONNECTION POINTS G14 PROPOSED STORM SEWER CLEAN OUT G15 CORE DRILL AND CONNECT PROPOSED 6" STORM SEWER LINE TO EXISTING STORM SEWER LINE WITH AN INSERTA TEE AND RISER SECTION (CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATION PRIOR TO STORM SEWER
- INSTALLATION) G16 CORE DRILL AND CONNECT PROPOSED STORM SEWER LINE TO EXISTING STORM SEWER STRUCTURE PER LOCAL CODES (CONTRACTOR TO FIELD VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO CONSTRUCTION.)
- G21 EXISTING STORM SEWER STRUCTURE TO REMAIN G22 EXISTING STORM SEWER LINE TO REMAIN



(IN FEET) 1 inch = 20 ft.





QUALITY CONTROL EDWARD GOSS DRAWN BY

MITCH HEFFERNAN

TEXAS ROADHOUSE

ALBUQUERQUE NEW MEXICO

10000 COORS BYPASS NW ALBUQUERQUE, NM 87114



PROJECT NUMBER 20182050.0

SHEET TITLE

GRADING AND DRAINAGE PLAN





21 South Evergreen Avenue Suite 200 Arlington Heights, IL 60005 t: 847 788 9200 f: 847 788 9537 PROJECT TEAM

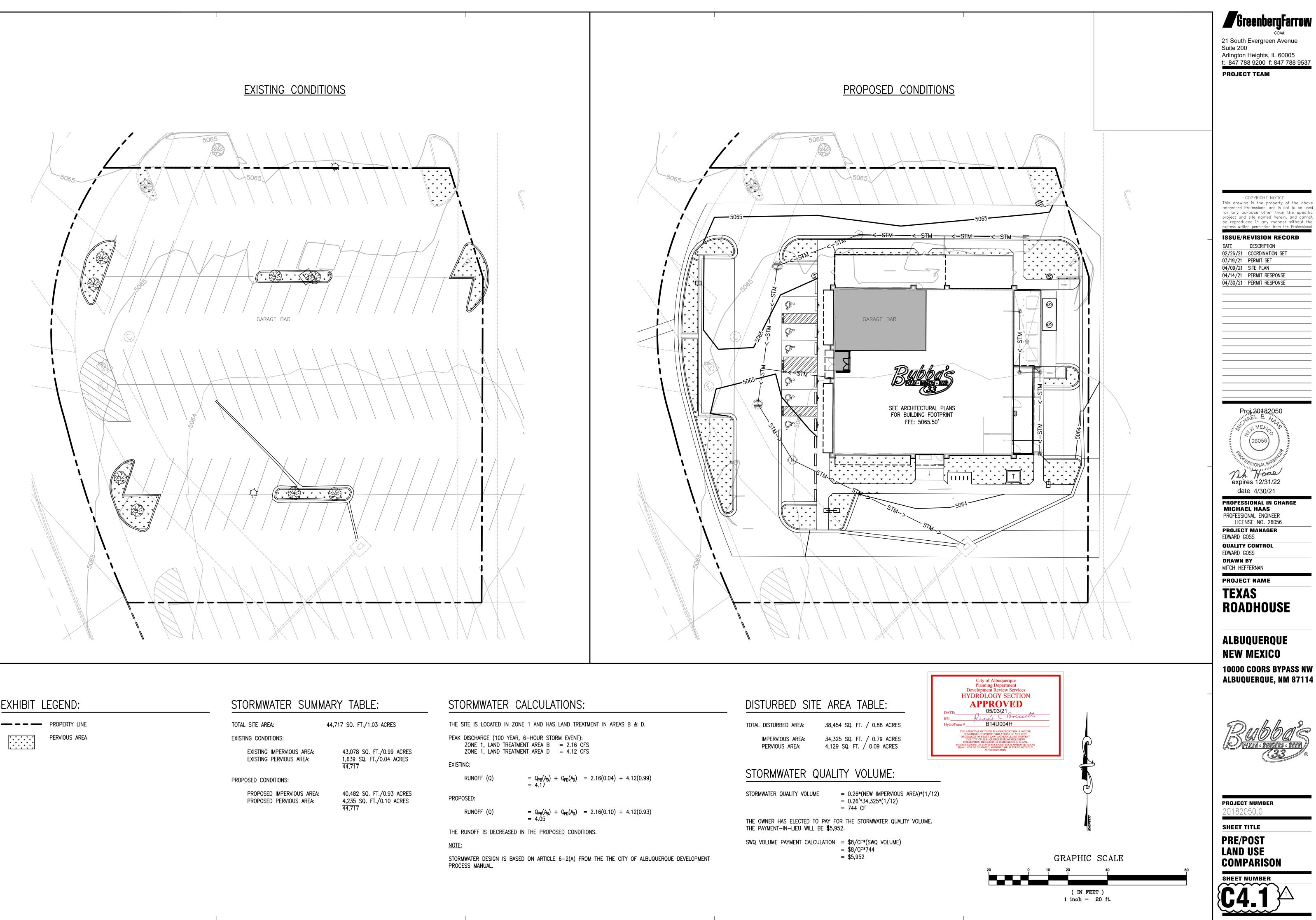


EXHIBIT LEGEND:

TOTAL DISTURBED AREA:	38,454 SQ. FT. / 0.88 ACRE
IMPERVIOUS AREA: PERVIOUS AREA:	34,325 SQ. FT. / 0.79 ACRE 4,129 SQ. FT. / 0.09 ACRES
STORMWATER (QUALITY VOLUME:
STORMWATER QUALITY VOLUN	ME = 0.26*(NEW IMPERVIOU = 0.26'*34,325*(1/12) = 744 CF
THE OWNER HAS ELECTED T THE PAYMENT-IN-LIEU WILL	O PAY FOR THE STORMWATER QU/ BE \$5,952.