



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST

Minor Amendment to the Cottonwood Mall's original Site Plan for the new construction of a 7,575-square foot Bubba's 33 restaurant.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

### LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Brandon Goldberg</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #





COOPER TRACT

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

--- -- PROPERTY LINE

## PARKING COMPUTATIONS

PARKING REQUIRED:	
RETAIL + PARKING REQUIRED FOR 5.0 A/RATION 1,000.0 X 5 =	5,005
ENTERTAINMENT CENTER/RESTAURANT + 4,000 SEATS / 4 =	1,004
SUBTOTAL	6,009
10% CREDIT FOR TRANSIT ROUTE	-608
PARKING REQUIRED FOR 4.3 BATIO	5,405
5% CREDIT FOR TRANSIT FACILITY	-274
TOTAL PARKING REQUIRED	5,131
HANDICAPPED SPACES REQ'D: 20 + 4,130 / 100 =	53
VAN ACCESSIBLE SPACES REQUIRED: 60/8 =	7
TOTAL HANDICAPPED SPACES PROVIDED:	70
VAN ACCESSIBLE SPACES PROVIDED:	7
PARKING REQUIRED PER CURRENT ZONING CODE	3,803

PARKING PROVIDED	EXISTING	PROPOSED
STD SPACES (STANDARD)	1,648	1,597
SMALL CAR (BAY)	1,337	1,337
HANDICAPPED (BAY)	70	80
TOTAL	3,055	2,914

PARKING RATIO PROVIDED	
TOTAL GARAGE FOR MAUL	1,305,850 SF
EXISTING = 5,137/1,306.0	4.64
PROPOSED = 1,333/2,106.0	4.53
PERCENT SMALL CAR PROVIDED = 1,337/5,000 = 26.7%	

## LANDSCAPING COMPUTATIONS:

LANDSCAPING REQUIRED		
TOTAL PARCEL AREA	77.78AC	3,388,111 SF
LESS DEDUCTIONS	EXISTING	PROPOSED
PER ZONING CODE		
BUILDING FOOTPRINT	746,688 SF	763,263 SF
SERVICE AREAS	28,560 SF	29,560 SF
PUBLIC ROW LANDSCAPED	317,753 SF	317,753 SF
SUBTOTAL DEDUCTIONS	1,094,001 SF	1,101,576 SF

	NET SITE AREA	PAVED AREA
TOTAL AREA	2,234.895	1,968.897 SF
REQUIRED PERCENTAGE	15%	30%
LANDSCAPED REQUIRED	344.234	393.779 SF

LANDSCAPE PROVIDED	423,966	423,966
PERCENTAGE PROVIDED	18.47%	21.45%

AREA DESCRIPTION		
PONDS	46,517 SF	46,517 SF
BERMS	66,534 SF	66,534 SF
MEDAINS	14,125 SF	14,125 SF
CANOE ISLANDS	21,593 SF	21,593 SF
ISLANDS	80,618 SF	78,525 SF
BUILDING LANDSCAPE	68,140 SF	73,258 SF
ENTRANCES	55,035 SF	55,035 SF
PARK SUBSTATION BUFFER	5,995 SF	5,995 SF
BIKE/PEDESTRIAN PATHS	13,156 SF	13,156 SF
FILTERS BY OUTCLOS	5,844 SF	5,844 SF

TOTAL ON-SITE	376,879 SF	376,879 SF
---------------	------------	------------

SEVEN BAR LOOPS 15' SETBACK	36,311 SF	36,311 SF
TOTAL COUNTABLE LANDSCAPING	423,966 SF	423,966 SF

NON-COUNTABLE LANDSCAPING			
ON-SITE BUFFERS			
PAVING (CONCRETE/ASPHALT)	100	30,000	30,000

WALL COORS BYPASS - 35"	28,500	28,500
OUTLOTS COORS BYPASS - 35"	14,600	14,600
OUTLOTS CORRALES ROAD - 15'	18,750	18,750

OFF SITE R/W LANDSCAPING:		
COORS BYPASS ROADSIDE	69,300	69,300
COORS BYPASS MEDIAN	83,800	83,800

CLOUDS SPRINGS MEDIAN	82,909	82,909
SEVENBAR LOOP ROADSIDE	28,935	28,935
SEVENBAR LOOP MEDIAN	43,250	43,250

CORRALES ROADSIDE	30,435	30,435
CORRALES ROAD MEDIANS	45,714	45,714

TOTAL NON-COUNTABLE LANDSCAPE	352,393	352,393
LESS SIDEWALK AREA	-44,640	-44,640

TOTAL LANDSCAPE DEDUCTION (NET SIZE)	317,753	317,753
TOTAL LANDSCAPE PROVIDED	730,943	730,943

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



xx xx 2022

PROJECT TITLE	COTTONWOOD MALL 10000 Coors Bypass NW ALBUQUERQUE, NEW MEXICO 87104	
PROJECT MANAGER	DEVIN NGUYEN	BUSINESS
SHEET TITLE	OVERALL SITE	

DATE: 21 Dec 2022	AS101
SCALE: AS NOTED	



GENERAL SITE NOTES:

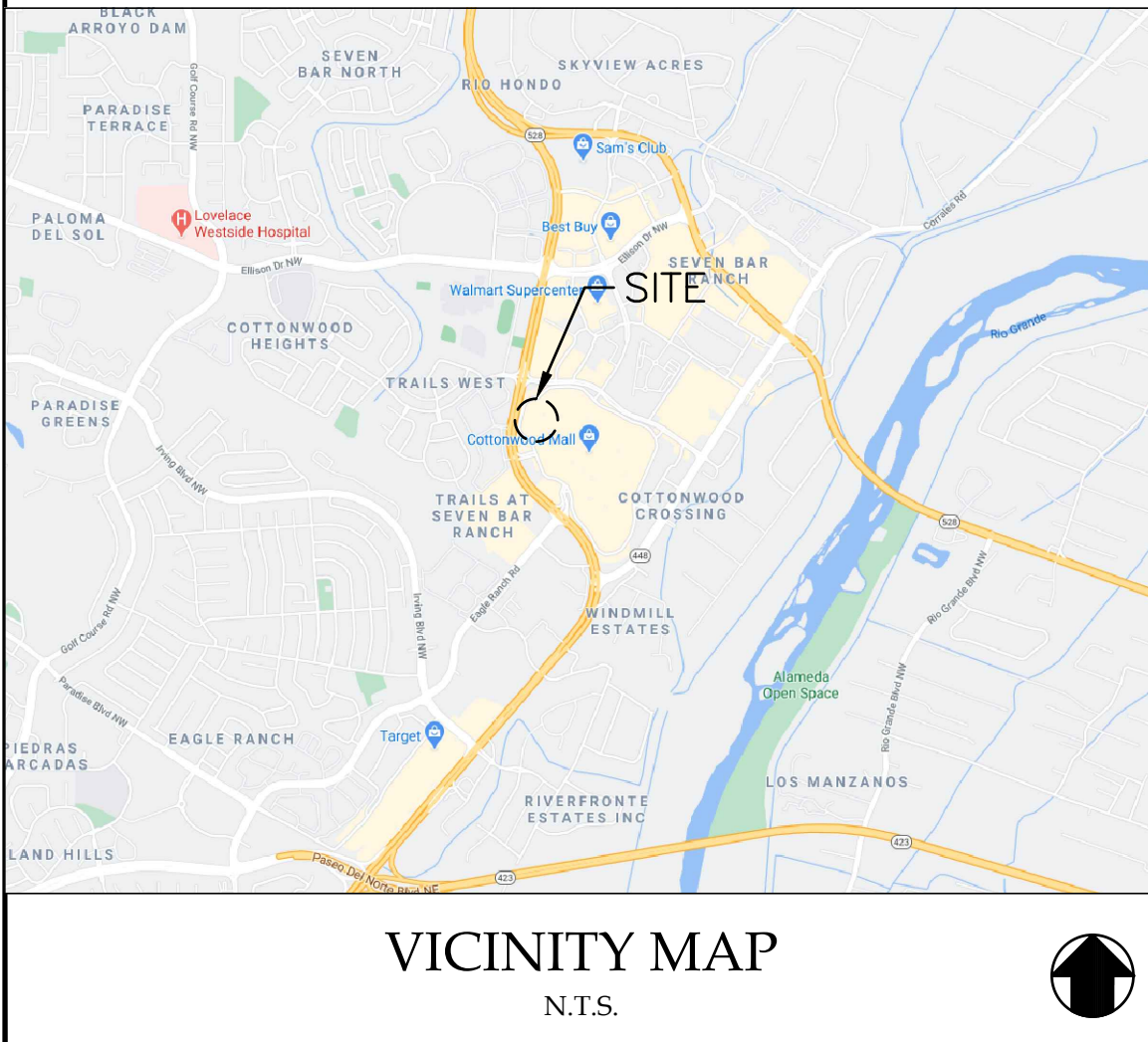
1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
6. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
7. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
8. CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
9. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
11. ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
12. ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
15. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
16. ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
17. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SITE PLAN NOTES:

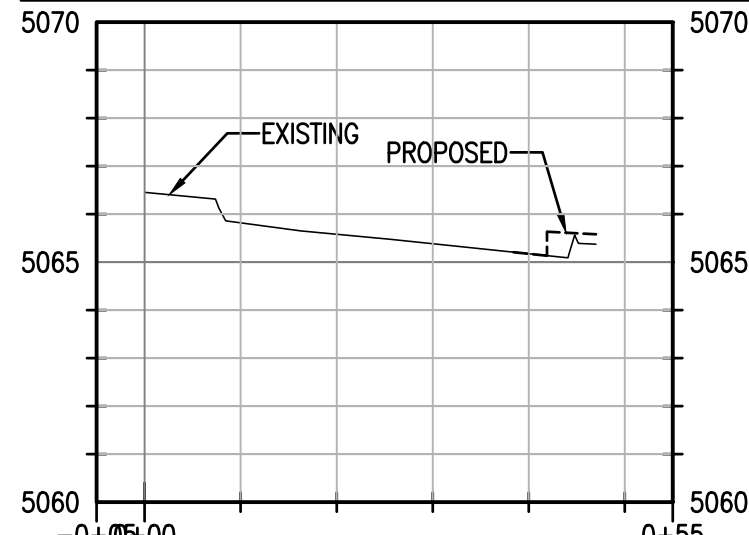
1. REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. AND DATED FEBRUARY 17TH, 2020 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND SUBGRADE PREPARATION REQUIREMENTS AND PROPOSED PAVEMENT RECOMMENDATIONS (TERRACON PROJECT NO. 66145007).
2. SEE CONSTRUCTION DETAILS SHEET C7.0 FOR PAVEMENT SECTION DETAILS.
3. SEE GENERAL NOTES SHEET C1.0 FOR EXISTING LEGEND.

PAVEMENT HATCH LEGEND:

- S6A** PROPOSED CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE
- S6B** PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE
- S7A** PROPOSED CONCRETE LANDING  
6" PORTLAND CEMENT CONCRETE  
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- S7B** PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING  
6" PORTLAND CEMENT CONCRETE  
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- S8** PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE  
6" PORTLAND CEMENT CONCRETE  
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- S9** PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE SLAB  
6" PORTLAND CEMENT CONCRETE  
6" AGGREGATE BASE  
(SEE GEOTECHNICAL REPORT)
- S10** PROPOSED ASPHALT PAVEMENT  
2" ASPHALT SURFACE COURSE  
6" AGGREGATE BASE  
(SEE GEOTECHNICAL REPORT)
- S11** PROPOSED HEAVY DUTY ASPHALT PAVEMENT  
3" ASPHALT SURFACE COURSE  
6" AGGREGATE BASE  
(SEE GEOTECHNICAL REPORT)
- S13** PROPOSED LANDSCAPE AREA  
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)



COTTONWOOD LOOP CROSS SECTION:



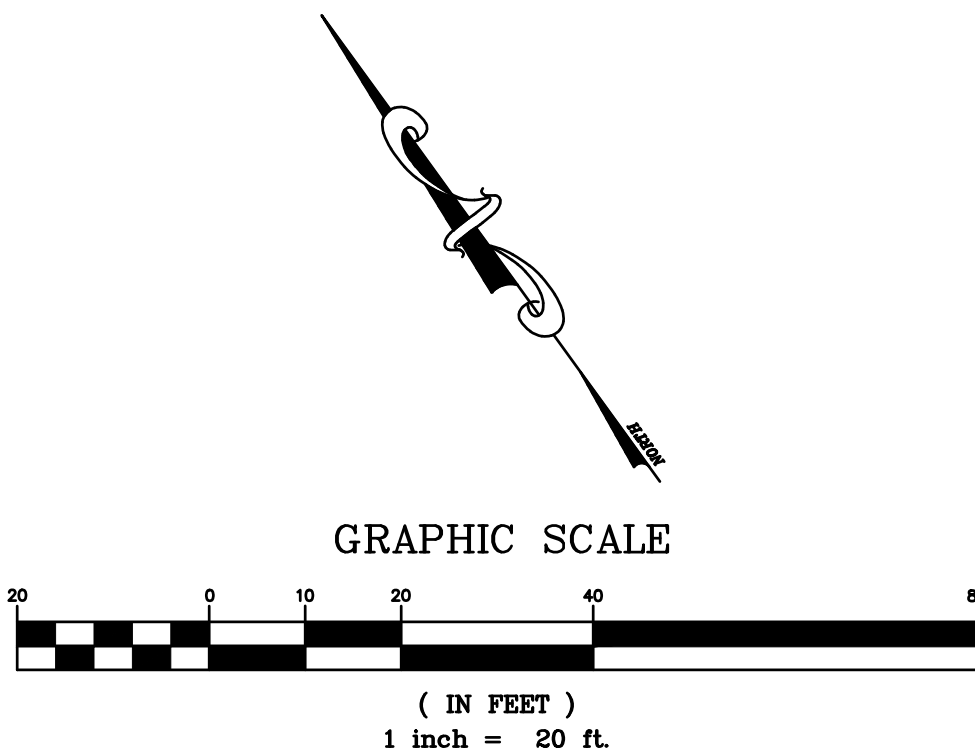
PROFILE SCALE  
1" = 20' H  
1" = 4' V

PROJECT INFORMATION:

- SITE AREA:**  
ZONED: MX-M - MIXED-USE-MODERATE INTENSITY ZONE DISTRICT  
PROPOSED BUILDING AREA: 7,575 SQ. FT.  
PROPOSED USE: RESTAURANT  
BUILDING HEIGHT: 25'-6"  
PARKING REQUIRED: 61 STALLS (1 STALL PER 1,000 SF TIMES 8, 7,575/1000\*8 = 60.6)  
PARKING PROVIDED: 66 STALLS ON SITE (INCLUDING 6 ADA STALLS)
- BICYCLE PARKING REQUIRED:** 7 STALLS (10% OF REQUIRED OFF-STREET PARKING SPACES = 0.1\*61 = 6.1 => 7)  
**BICYCLE PARKING PROVIDED:** 10 STALLS (2 STALLS PER RACK)
- MOTORCYCLE PARKING REQUIRED:** 3 (SITES THAT ARE REQUIRED TO PROVIDE BETWEEN 51-100 PARKING SPACES WILL BE REQUIRED TO PROVIDE 3-MOTORCYCLE, MOPED, OR SCOOTER PARKING SPACES)  
**MOTORCYCLE PARKING PROVIDED:** 3

SITE DISTANCE NOTE:

LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



PROPOSED LEGEND:

- PROPERTY LINE
- ===== PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CURB
- (7) PROPOSED PARKING STALL COUNT
- ===== PROPOSED CONCRETE WHEEL STOP
- PROPOSED SIGN
- PROPOSED PYLON SIGN
- PROPOSED LIGHT POLE
- (D) (S) (S) (S) PROPOSED STORM SEWER STRUCTURES
- (S) (S) (S) (S) PROPOSED SANITARY SEWER STRUCTURES
- (S) (S) PROPOSED SANITARY SEWER GREASE INTERCEPTOR
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED WATER SERVICE TAP
- T PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS
- GM PROPOSED GAS METER
- ME 71 E PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT

NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

SITE KEY NOTES:

- S1 PROPOSED BUBBA'S 33 BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3A PROPOSED CONCRETE CURB AND GUTTER (SEE DETAIL ON SHEET C7.0)
- S3B PROPOSED 1.5' WIDE CONCRETE SWALE (SEE DETAIL ON SHEET C7.1)
- S4 PROPOSED CONCRETE BARRIER CURB (SEE DETAIL ON SHEET C7.0)
- S5 PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK (SEE DETAIL ON C7.0)
- S6A PROPOSED CONCRETE SIDEWALK (SEE DETAIL ON SHEET C7.0)
- S6B PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK (SEE DETAIL ON SHEET C7.0)
- S7A PROPOSED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S7B PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S8 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE (SEE THE STRUCTURAL S8 DUMPSTER ENCLOSURE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S9 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE SLAB (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS, SEE DETAIL ON SHEET C7.0)
- S10 PROPOSED ASPHALT PAVEMENT (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS, SEE DETAIL ON SHEET C7.0)
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS, SEE DETAIL ON SHEET C7.0)
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S15 PROPOSED PRECAST CONCRETE WHEEL STOP ADJACENT TO FLUSH CURB (TYP. OF 11, SEE DETAIL ON SHEET C7.1)
- S16 PROPOSED 4" WHITE PAVEMENT STRIPING PER LOCAL CODE
- S17 PROPOSED DIRECTIONAL TRAFFIC ARROW (SEE DETAIL ON SHEET C7.0)
- S18A PROPOSED 30" R5-1 "DO NOT ENTER" SIGN (SEE DETAILS ON SHEET C7.2)
- S18B PROPOSED 24"x36" R6-2L "ONE WAY" SIGN (SEE DETAILS ON SHEET C7.2)
- S18C PROPOSED 24"x36" R6-2R "ONE WAY" SIGN (SEE DETAILS ON SHEET C7.2)
- S19 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE, 66-7-352.4C NMSA 1978 (TYP. OF 6, SEE DETAIL ON SHEET C7.0)
- S20 PROPOSED BLUE HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE, 66-1-4.1.8 NMSA 1978 (TYP., SEE DETAIL ON SHEET C7.0)
- S21 PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES
- S22 PROPOSED CONCRETE TRANSFORMER PAD WITH STEEL BOLLARD PROTECTION (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER PAD LOCATION, SIZE AND THICKNESS WITH ELECTRIC COMPANY PRIOR TO INSTALLATION)
- S25 PROPOSED MAGLIN WBR501 BIKE RACKS WITH BLACK POWDER COATED FINISH (TOTAL OF 5 BIKE RACKS PROVIDING 10 BICYCLE PARKING SPACES - SEE DETAIL ON SHEET C7.2)
- S31 PROPOSED 8" THICK CONCRETE COLLAR (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1)
- S32 PROPOSED CURB TRANSITION (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1)
- S33 PROPOSED MOTORCYCLE PARKING SIGN PER THE CITY OF ALBUQUERQUE ZONING CODE (TYP. OF 3, SEE DETAIL ON SHEET C7.2)
- S34 PROPOSED MOTORCYCLE PARKING STALLS TO HAVE "MC" PAINTED IN WHITE AT THE REAR OF THE PARKING STALLS PER THE CITY OF ALBUQUERQUE ZONING CODE (TYP. OF 3).
- S35 CURB TRANSITION FOR 0" TO 6" IN HEIGHT
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41A EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- S43 EXISTING LIGHT POLE TO REMAIN
- S44 EXISTING PAVEMENT STRIPING TO REMAIN

PROJECT TEAM

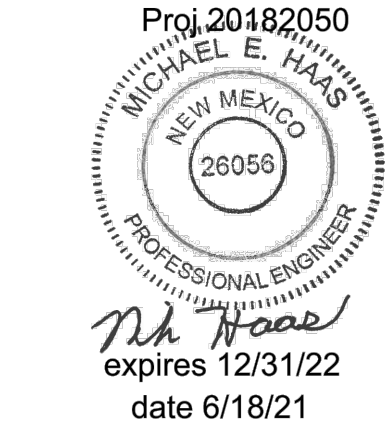
COPYRIGHT NOTICE

This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional.

ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/26/21	COORDINATION SET
03/19/21	PERMIT SET
04/09/21	SITE PLAN
04/14/21	PERMIT RESPONSE
04/30/21	PERMIT RESPONSE
06/17/21	PERMIT RESPONSE #2

PROFESSIONAL SEAL



**PROFESSIONAL IN CHARGE**  
**MICHAEL HAAS**  
PROFESSIONAL ENGINEER  
LICENSE NO. 26056

**PROJECT MANAGER**  
EDWARD GOSS

**QUALITY CONTROL**  
EDWARD GOSS

**DRAWN BY**  
MITCH HEFFERNAN

PROJECT NAME

**TEXAS ROADHOUSE**

**ALBUQUERQUE  
NEW MEXICO**

**10000 COORS BYPASS NW  
ALBUQUERQUE, NM 87114**



**PROJECT NUMBER**  
20182050.0

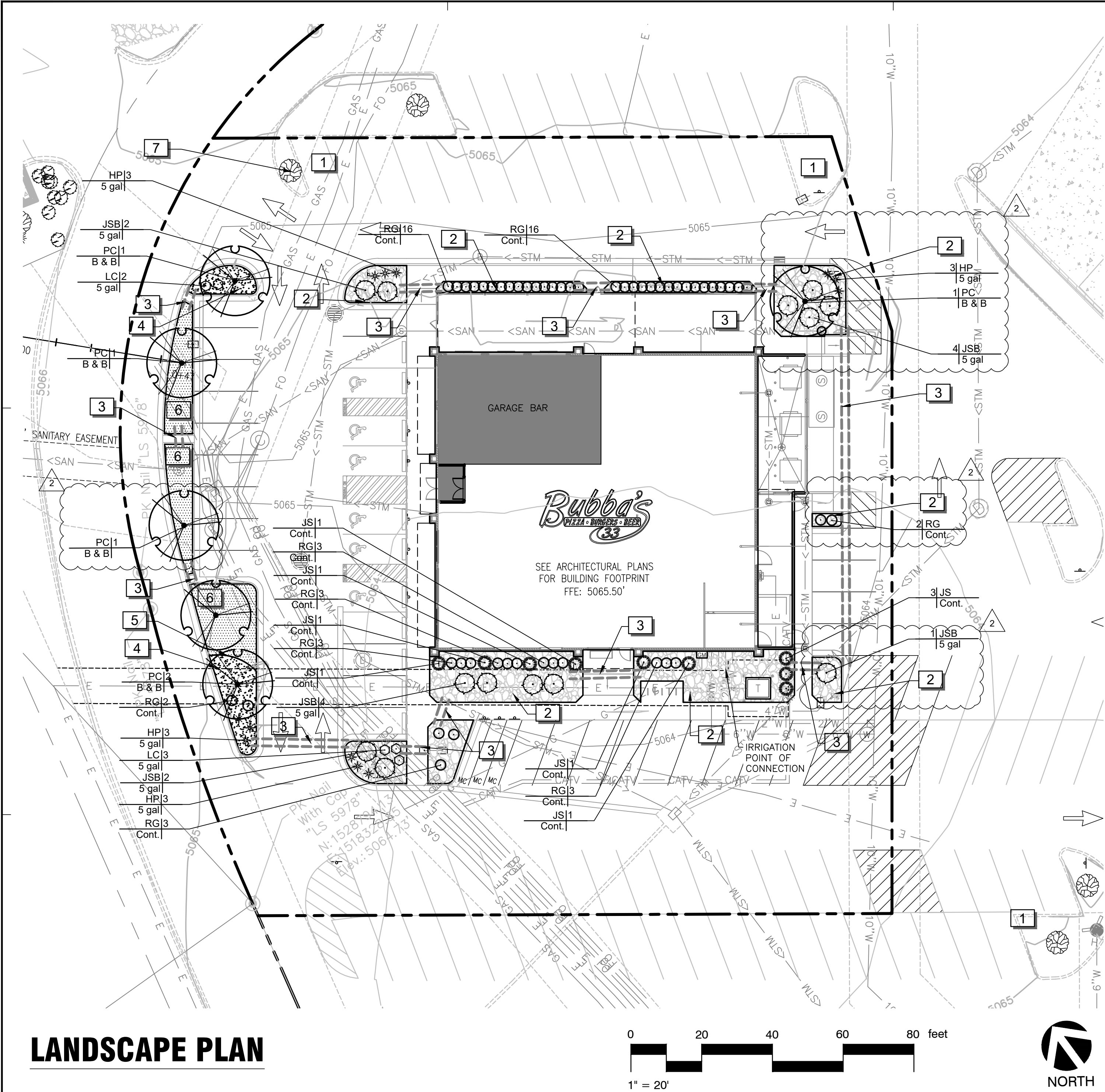
SHEET TITLE

**SITE PLAN**

SHEET NUMBER

**C3.0**





## LANDSCAPE PLAN

### LANDSCAPE CALCULATIONS:

	REQUIRED:	PROVIDED:
OFF-STREET PARKING LANDSCAPING 1 TREE PER 10 PARKING SPACES	7 TREES (68/10=6.8)	7 TREES (INCLUDING 1 EXISTING TREE)

### REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	ANY DAMAGE TO ADJACENT PROPERTY OR AREAS OF WORK BY OTHERS IS TO BE REPAIRED TO ITS ORIGINAL CONDITION WITH NO ADDITIONAL COST TO OWNER.
2	INSTALL RIVER ROCK MULCH 5"-7" DIAMETER ON WEED BARRIER IN PLANT BED ADJACENT TO BUILDING FOUNDATION AND WHERE INDICATED ON PLAN. RIVER ROCK MULCH TO BE INSTALLED FLUSH WITH TOP OF SIDEWALK.
3	4", SCHEDULE 40 PVC IRRIGATION SLEEVE.
4	INSTALL 3" DEPTH GRAVEL MULCH 1" MINUS DIAMETER, TAN/BROWN COLOR ON FILTER FABRIC WEED BARRIER IN LANDSCAPE AREAS, AND LEVELED TO A NEAT CLEAN APPEARANCE, 1/2" BELOW CONCRETE LEVEL.
5	CULTIVATED BEDLINE 4" DEPTH. (TYP.)
6	ALL LAWNS ARE TO BE ESTABLISHED BY SEEDING WITH VARIETY COMMON TO LOCALITY.
7	EXISTING TREE TO REMAIN. PROVIDE PROTECTION DURING THE ENTIRE CONSTRUCTION PROCESS.

### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
	PC	6	PISTACIA CHINENSIS	CHINESE PISTACHE	B & B	2" CAL
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
	HP	12	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	
	JS	9	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	CONT.	7' HT. MIN.
	JSB	13	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 GAL	
	LC	5	LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	COMPACT TEXAS RANGER	5 GAL	
	RG	51	ROSMARINUS OFFICINALIS 'GORIZIA'	ROSEMARY 'GORIZIA'	CONT.	24" HT. MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	BD	782 SF	BOUTELOUA DACTYLOIDES	BUFFALO GRASS	SOD	

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)

GROUND COVERS	QTY	NAME
	356 SF	3" DEPTH GRAVEL MULCH ON FILTER FABRIC WEED BARRIER 1" MINUS DIAMETER, TAN/BROWN COLOR .

### GENERAL NOTES:

- GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
- CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.
- TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
- EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
- EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
- ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
- NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
- SAMPLES OF RIVER ROCK COBBLESTONE ARE TO BE PROVIDED TO OWNER/TENANT FOR REVIEW AND APPROVAL TWO (2) WEEKS PRIOR TO CONSTRUCTION. NO COBBLESTONE IS TO BE INSTALLED WITHOUT PRIOR APPROVAL FROM TEXAS ROADHOUSE.
- REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO FIELD CONDITIONS. SEE CIVIL SITE PLAN.
- CONTRACTOR TO PROVIDE SITE IRRIGATION FOR ALL LANDSCAPE AREAS. IRRIGATION FOR THESE AREAS TO PROVIDE 100% COVERAGE OF ALL PLANTED AREAS. SHRUB BEDS TO BE WATERED WITH SUBSURFACE IRRIGATION. LAWN AREAS TO BE KEPT ON SEPARATE ZONES FROM SHRUB BEDS, DO NOT SPRAY ONTO BUILDING. IRRIGATION SYSTEM TO BE DESIGNED INSTALLED PER ALL LOCAL, STATE AND FEDERAL CODES.
- REFER TO PLUMBING PLANS FOR BACKFLOW PREVENTER INFORMATION (IF LOCATED WITHIN THE BUILDING). IF BACKFLOW PREVENTOR IS LOCATED OUTSIDE, REFER TO SHEET L2.1 IRRIGATION NOTES AND DETAILS.

### MAINTENANCE OF LANDSCAPING:

THE OWNER, TENANT, OR AGENT, IF ANY, SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

#### PROJECT TEAM

COPYRIGHT NOTICE  
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional.

#### ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/19/21	PERMIT SET
04/14/21	PERMIT RESPONSE
04/30/21	PERMIT RESPONSE
06/17/21	PERMIT RESPONSE #2 / 2

#### PROFESSIONAL SEAL

#### PROFESSIONAL IN CHARGE

PROFESSIONAL ENGINEER  
LICENSE NO.  
**PROJECT MANAGER**  
EDWARD GOSS  
**QUALITY CONTROL**  
DENNIS JARRARD  
**DRAWN BY**  
JEAN SHI

#### PROJECT NAME

## TEXAS ROADHOUSE

## ALBUQUERQUE NEW MEXICO

10000 COORS BYPASS NW  
ALBUQUERQUE, NM 87114



#### PROJECT NUMBER

20182050.0

#### SHEET TITLE

## LANDSCAPE PLAN

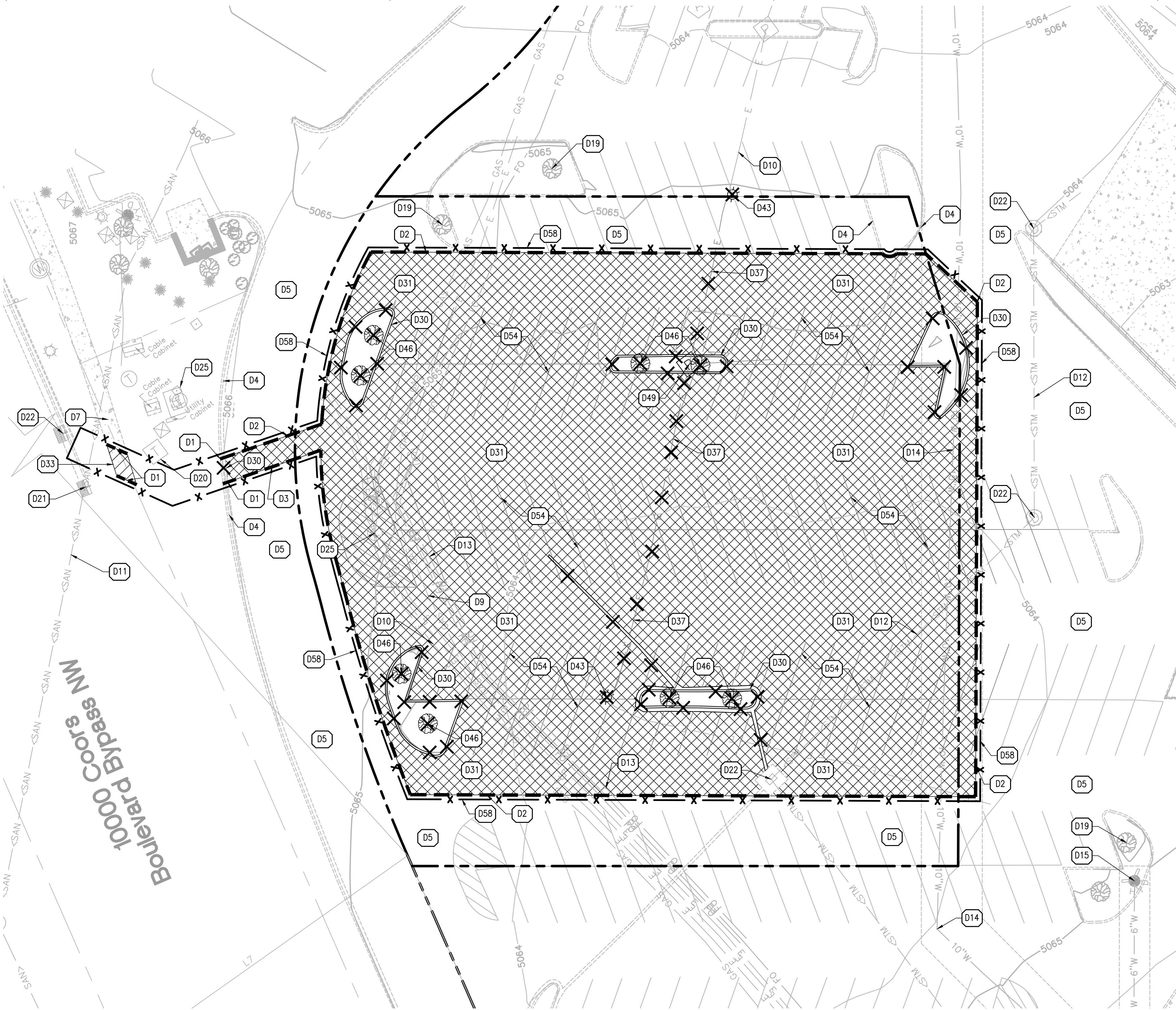
#### SHEET NUMBER

# L1.0



GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL CONTACT STATE ONE CALL SYSTEM (811) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
2. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WORK WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF EXISTING SITE FEATURES NOT NOTED FOR REMOVAL.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED (SEE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL INFORMATION AND DETAILS).
5. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC AND CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
6. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY PROVIDED TO THE ENGINEER FOR DESIGN. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS, BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY REQUIRE REMOVAL FOR THE PROPOSED SITE IMPROVEMENTS BUT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCING ANY SITE DEMOLITION OPERATIONS TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE PROPOSED AREA OF WORK. CONTRACTOR SHALL ALSO CONTACT CAITLIN DAWSON WITH TEXAS ROADHOUSE (502-855-5556 OR CAITLIN.DAWSON@TEXASROADHOUSE.COM) TO COORDINATE DISCONNECTION OF THE EXISTING BUILDING TELEPHONE SERVICE.
8. CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS OF EXISTING ROADWAYS AND UTILITIES WITH THE NECESSARY GOVERNING AUTHORITIES.
9. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, WHEEL STOPS AND MISCELLANEOUS DEBRIS) NOTED TO BE REMOVED SHALL BE DEMOLISHED, REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
10. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDINGS, PAVEMENTS, OR WALKS OR WITHIN 24" THEREOF SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
11. AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION SWALES OR OTHER MEANS OF MAINTAINING ADEQUATE SITE DRAINAGE.
12. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED (REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPING REMOVAL REQUIREMENTS).
13. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION NOTED TO BE REMOVED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR (REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPING REMOVAL REQUIREMENTS).
14. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
15. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
16. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
17. ALL EXISTING SANITARY SEWERS, STORM SEWERS, WATER MAINS OR IRRIGATION LINES AND APPURTENANCES NOTED FOR REMOVAL WITHIN THE AREA OF THE PROPOSED CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. ALL ABANDONED SEWER LINES SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET LONG NON-SHRINK CONCRETE MORTAR PLUGS UNLESS OTHERWISE NOTED.
18. CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS TO HAVE RECYCLABLE MATERIALS REMOVED FROM THE SITE AND RECYCLED.
19. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



DEMOLITION PLAN LEGEND:

- PROPERTY LINE
- - - PROPOSED SAW CUT LINE
- ✕ ✕ EXISTING CURB TO BE REMOVED
- ✕ ✕ EXISTING CURB AND GUTTER TO BE REMOVED
- ✕ ✕ EXISTING ELECTRIC LINE TO BE REMOVED
- x - PROPOSED CONSTRUCTION FENCE
- ⊥ UTILITY LINE CAP LOCATION
- ✕ ✕ EXISTING STRUCTURE TO BE REMOVED
- ✕ ✕ EXISTING TREE TO BE REMOVED

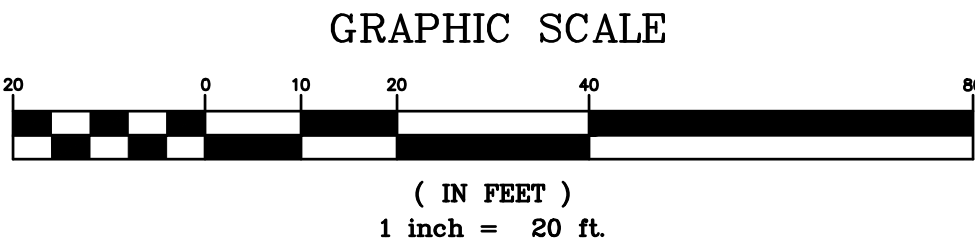
NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

DEMOLITION HATCH LEGEND:

- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING CONCRETE PAVEMENT TO BE REMOVED

DEMOLITION KEY NOTES:

- D# D#
- D1 SAW CUT EXISTING CONCRETE CURB
- D2 SAW CUT EXISTING ASPHALT PAVEMENT
- D3 SAW CUT EXISTING CONCRETE PAVEMENT
- D4 EXISTING CONCRETE CURB TO REMAIN
- D5 EXISTING ASPHALT PAVEMENT TO REMAIN
- D7 EXISTING CONCRETE SIDEWALK TO REMAIN
- D9 APPROXIMATE LOCATION OF EXISTING NATURAL GAS LINE TO REMAIN
- D10 APPROXIMATE LOCATION OF EXISTING ELECTRICAL LINE TO REMAIN
- D11 APPROXIMATE LOCATION OF EXISTING SANITARY SEWER LINE TO REMAIN
- D12 APPROXIMATE LOCATION OF EXISTING STORM SEWER LINE TO REMAIN
- D13 APPROXIMATE LOCATION OF EXISTING TELEPHONE LINE TO REMAIN
- D14 APPROXIMATE LOCATION OF EXISTING WATER LINE TO REMAIN
- D15 EXISTING FIRE HYDRANT TO REMAIN
- D16 EXISTING LIGHT POLE TO REMAIN
- D19 EXISTING TREE TO REMAIN AND BE PROTECTED
- D20 EXISTING TELEPHONE PEDESTAL TO REMAIN
- D21 EXISTING SANITARY STRUCTURE TO REMAIN
- D22 EXISTING STORM STRUCTURE TO REMAIN
- D25 EXISTING ELECTRICAL STRUCTURE TO REMAIN
- D30 EXISTING CONCRETE CURB TO BE REMOVED
- D31 EXISTING ASPHALT PAVEMENT TO BE REMOVED
- D33 EXISTING SIDEWALK TO BE REMOVED AND REPLACED
- D37 APPROXIMATE LOCATION OF EXISTING ELECTRICAL LINE TO BE REMOVED
- D43 EXISTING LIGHT POLE TO BE REMOVED
- D46 EXISTING TREE TO BE REMOVED
- D49 EXISTING ELECTRICAL STRUCTURE TO BE REMOVED (COORDINATE WITH ELECTRICAL PROVIDER PRIOR TO REMOVAL)
- D54 EXISTING PARKING STRIPES TO BE REMOVED
- D58 PROPOSED CONSTRUCTION FENCE



21 South Evergreen Avenue  
Suite 200  
Arlington Heights, IL 60005  
t: 847 788 9200 f: 847 788 9537

PROJECT TEAM

COPYRIGHT NOTICE  
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional

ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/26/21	COORDINATION SET
03/19/21	PERMIT SET

Proj. 20182050

MICHAEL E. HAAS  
NEW MEXICO  
26056

PROFESSIONAL ENGINEER  
N. Noae  
expires 12/31/22  
date 3/19/21

PROFESSIONAL IN CHARGE

MICHAEL HAAS  
PROFESSIONAL ENGINEER  
LICENSE NO. 26056

PROJECT MANAGER

EDWARD GOSS

QUALITY CONTROL

EDWARD GOSS

DRAWN BY

MITCH HEFFERNAN

PROJECT NAME

TEXAS  
ROADHOUSE

ALBUQUERQUE  
NEW MEXICO

10000 COORS BYPASS NW  
ALBUQUERQUE, NM 87114



PROJECT NUMBER

20182050.0

SHEET TITLE

DEMOLITION  
PLAN

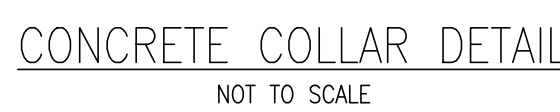
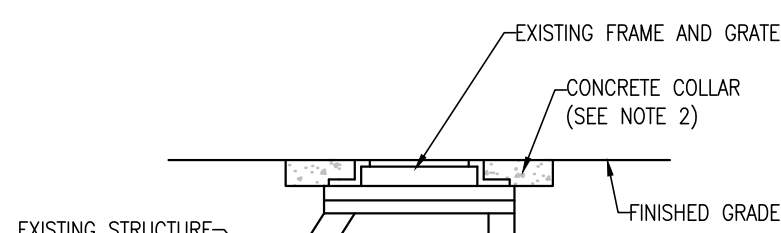
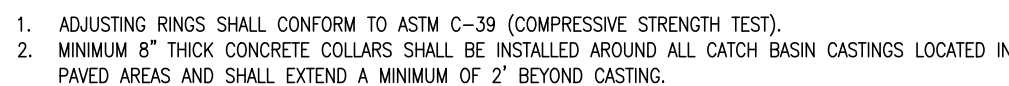
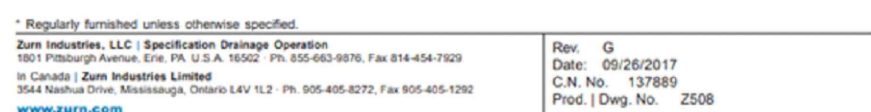
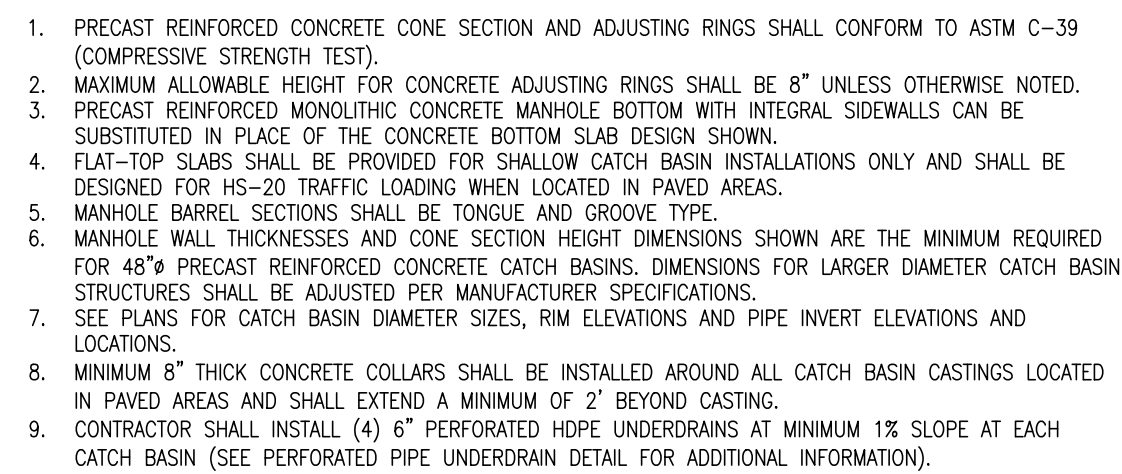
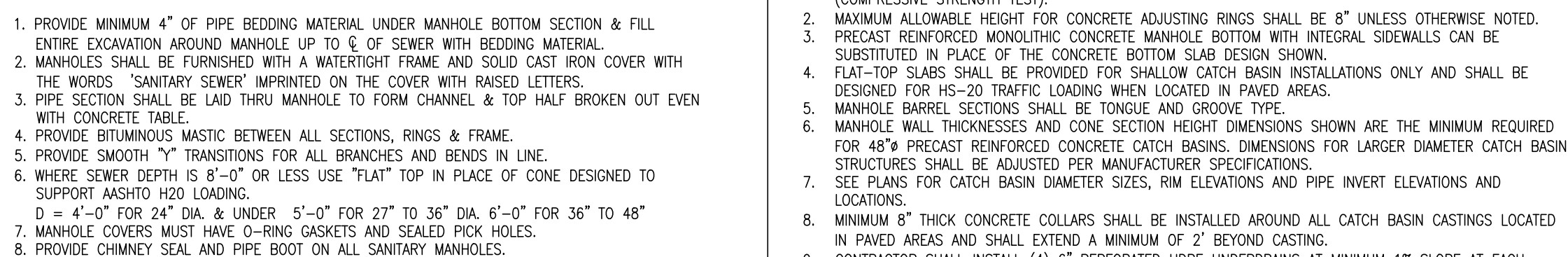
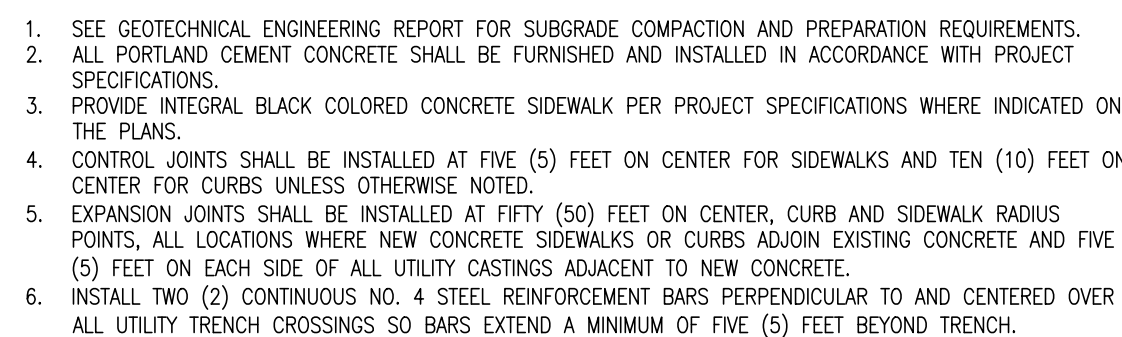
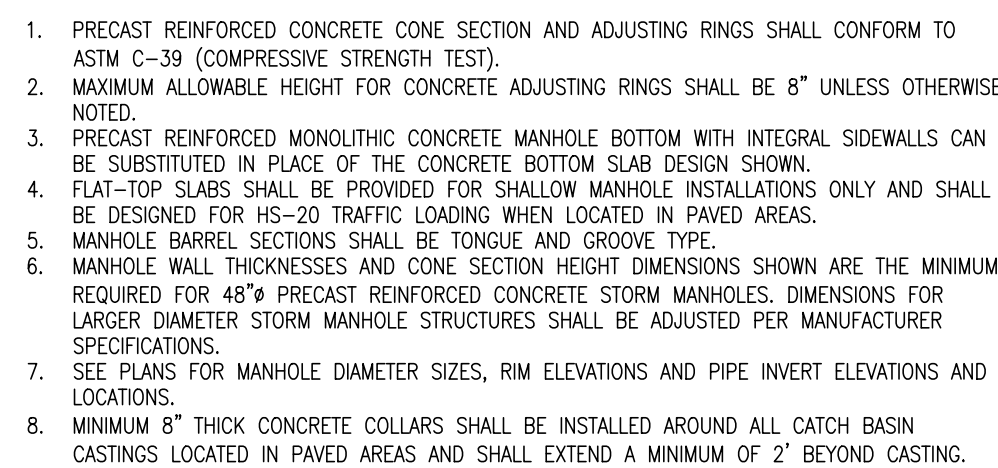
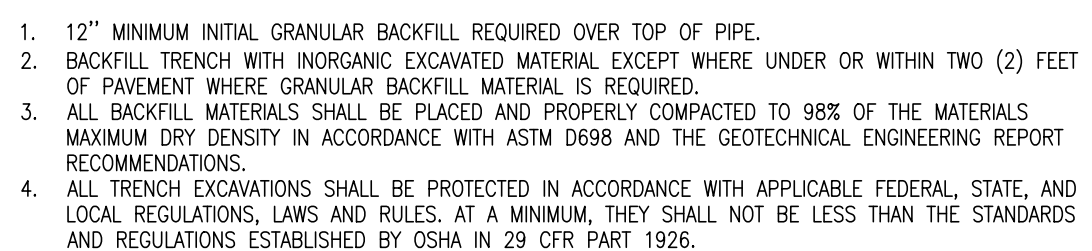
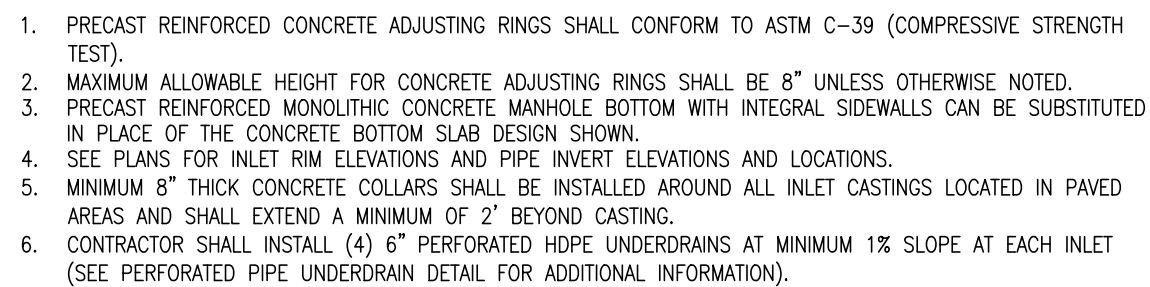
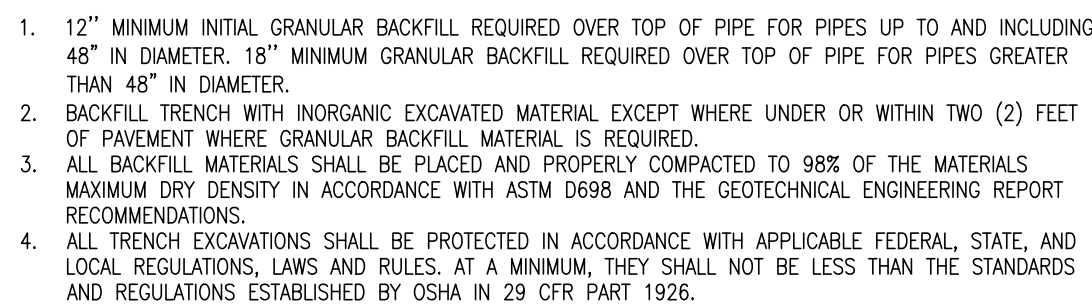
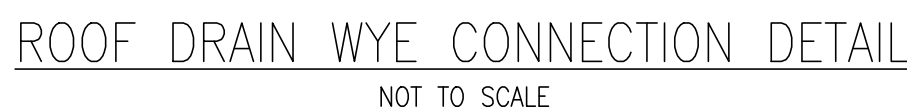
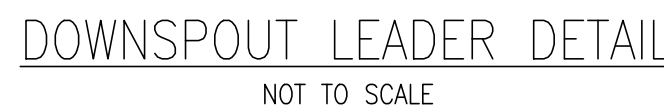
SHEET NUMBER

C2.0





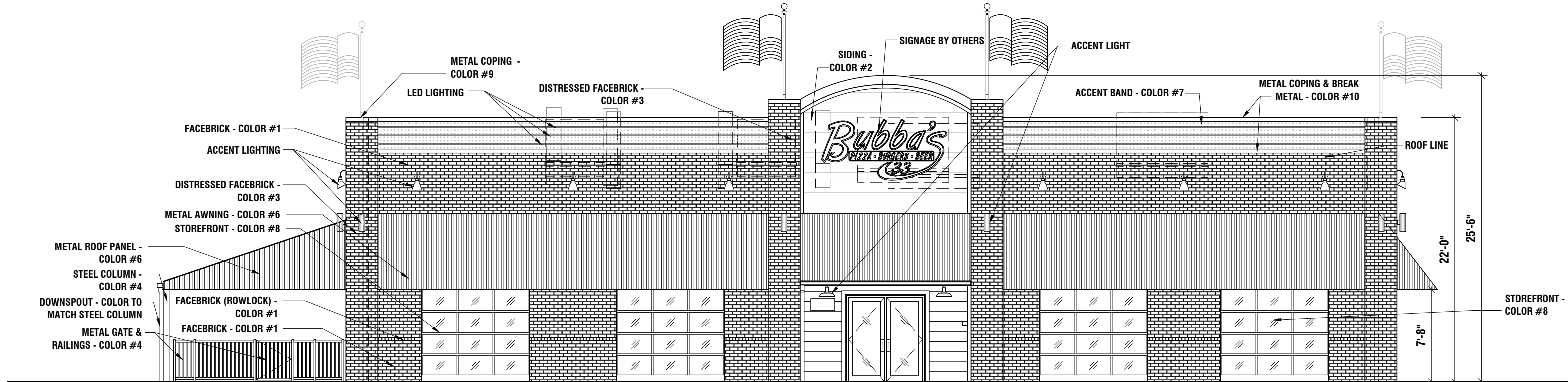




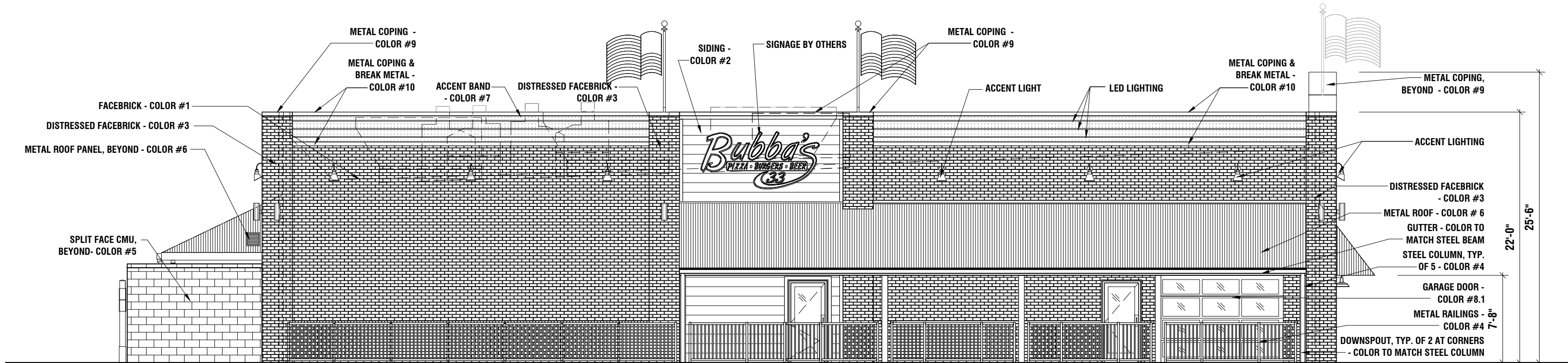




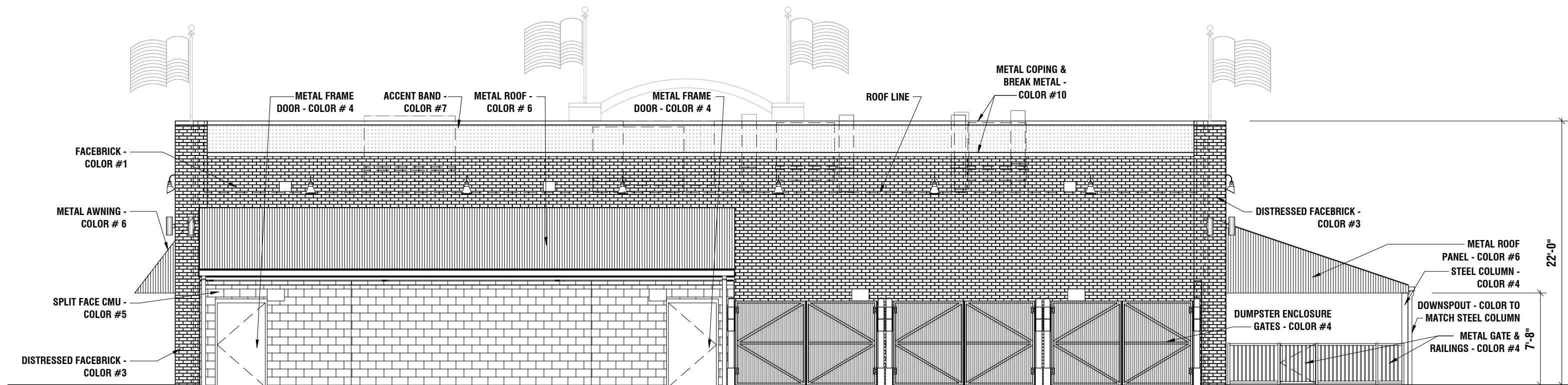




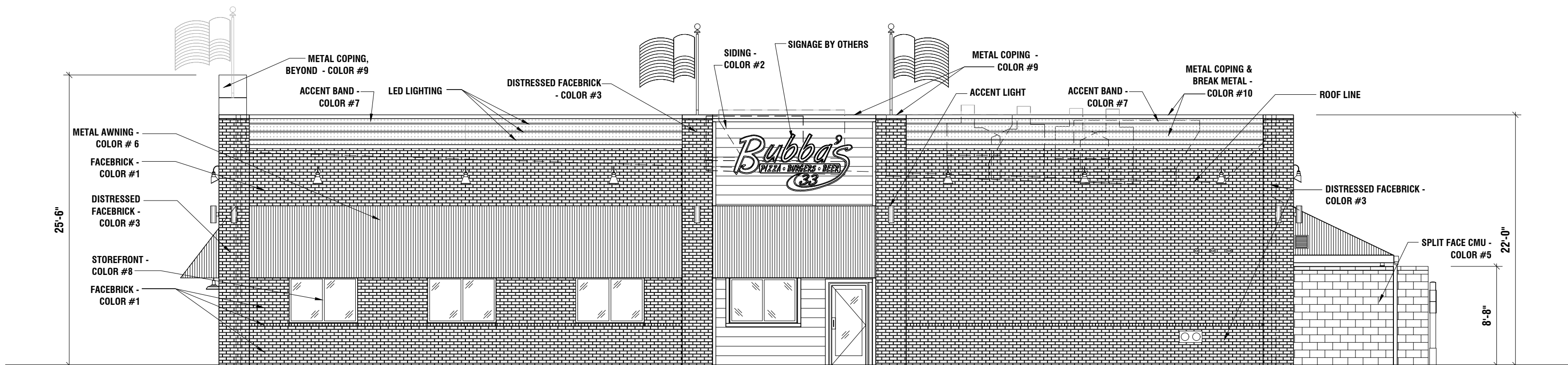
FRONT ELEVATION  
NORTHWEST



LEFT ELEVATION  
NORTHEAST



REAR ELEVATION  
SOUTHEAST



RIGHT ELEVATION  
SOUTHWEST

EXTERIOR FINISH SCHEDULE	
BUILDING ITEMS	DESCRIPTION
FACEBRICK	COLOR #1
	STATESVILLE
FIBER CEMENT SIDING	COLOR #2
	SHERWIN-WILLIAMS: SW1770 "LESS WHITE INDIGO BATIK"
DISTRESSED FACEBRICK	COLOR #3
	STATESVILLE
METAL DOORS, FRAMES, STEEL COLUMNS, BEAMS, DUMPSTER GATES, & BOLLARDS	COLOR #4
	PORTER PAINTS: EXTERIOR; COLOR: BLACK
SPLIT FACE CMU WALL	COLOR #5
	SHERWIN-WILLIAMS: SW1770 "LESS WHITE INDIGO BATIK"
METAL AWNING	COLOR #6
	METAL SALES: CORRUGATED; COLOR: GALVALUME
ACCENT BAND	COLOR #7
	DIAMOND PLATED METAL
STOREFRONT	COLOR #8
	DARK BRONZE
GARAGE DOORS	COLOR #8.1
	PRE-FINISHED BLACK
METAL COPING	COLOR #9
	PRE-FINISHED WHITE
METAL COPING & BREAK METAL FLASHING	COLOR #10
	PRE-FINISHED GALVALUME
DISCLAIMER NOTE: THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES	



# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 3, 2021

Michael E. Haas, P.E.  
GreenbergFarrow  
21 South Evergreen Avenue - Suite 200  
Arlington Heights, IL 60005

**RE: Bubba's 33**  
**10000 Coors Bypass NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 04/14/21**  
**Hydrology File: B14D004H**

Dear Mr. Haas:

PO Box 1293

Based upon the information provided in your resubmittal received 04/19/2021, the Grading & Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

Also, the Payment-in-Lieu of \$ 5,952.00 must be paid prior to Hydrology's Permanent Release of Occupancy approval. Due to COVID-19, please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero ([sdcordova@cabq.gov](mailto:sdcordova@cabq.gov)). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.



# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)





TREASURY DIVISION DAILY DEPOSIT

Transmittals for:  
PROJECTS Only

## Payment-in-Lieu for Storm Water Quality Volume Requirement

CASH COUNT	AMOUNT	ACCOUNT NUMBER	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
TOTAL CHECKS	\$ 5,952.00	461615	305	PCDMD	24_MS4	7547210	\$ 5,952.00
TOTAL AMOUNT						TOTAL DEPOSIT	<b>\$ 5,952.00</b>

Hydrology#: B14D004H Name: Bubba's 33  
Payment In-Lieu for Storm Water Quality  
Volume Requirement

Address/Legal Description: 10000 Coors Bypass NW

DEPARTMENT NAME: Planning Department/Development Review Services, Hydrology

PREPARED BY Renée C. Brissette, P.E. CFM PHONE 505-924-3995

BUSINESS DATE May 3, 2021

DUAL VERIFICATION OF DEPOSIT

Renée C. Brissette  
EMPLOYEE SIGNATURE

AND BY \_\_\_\_\_  
EMPLOYEE SIGNATURE

REMITTER: \_\_\_\_\_

AMOUNT: \_\_\_\_\_

BANK: \_\_\_\_\_

CHECK #: \_\_\_\_\_ DATE ON CHECK: \_\_\_\_\_

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2<sup>nd</sup> St. NW. **Bring three copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2<sup>nd</sup> St. NW, or e-mail with the Hydrology submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).



GENERAL GRADING NOTES:

- ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
- MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
- ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
- EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A. AND LOCAL REGULATIONS.
- ALL STRUCTURE BENCH WALLS SHALL BE SHAPED AND FORMED FOR A CLEAN TRANSITION WITH PROPER HYDRAULICS TO ALLOW THE SMOOTH CONVEYANCE OF FLOWS THROUGH THE MANHOLE OR BOX INLET. THE BENCH WALL SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 80-PERCENT OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A 'U' SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/2-INCH PER FOOT SLOPE TO THE MANHOLE WALL.
- ALL STORM WATER INLETS AND CATCH BASIN CASTINGS SHALL HAVE THE WORDS 'NO DUMPING, DRAINS TO STREAM', OR SIMILARLY APPROVED MESSAGE, CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" IN HEIGHT. IN ADDITION, A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT BENCHMARKS:

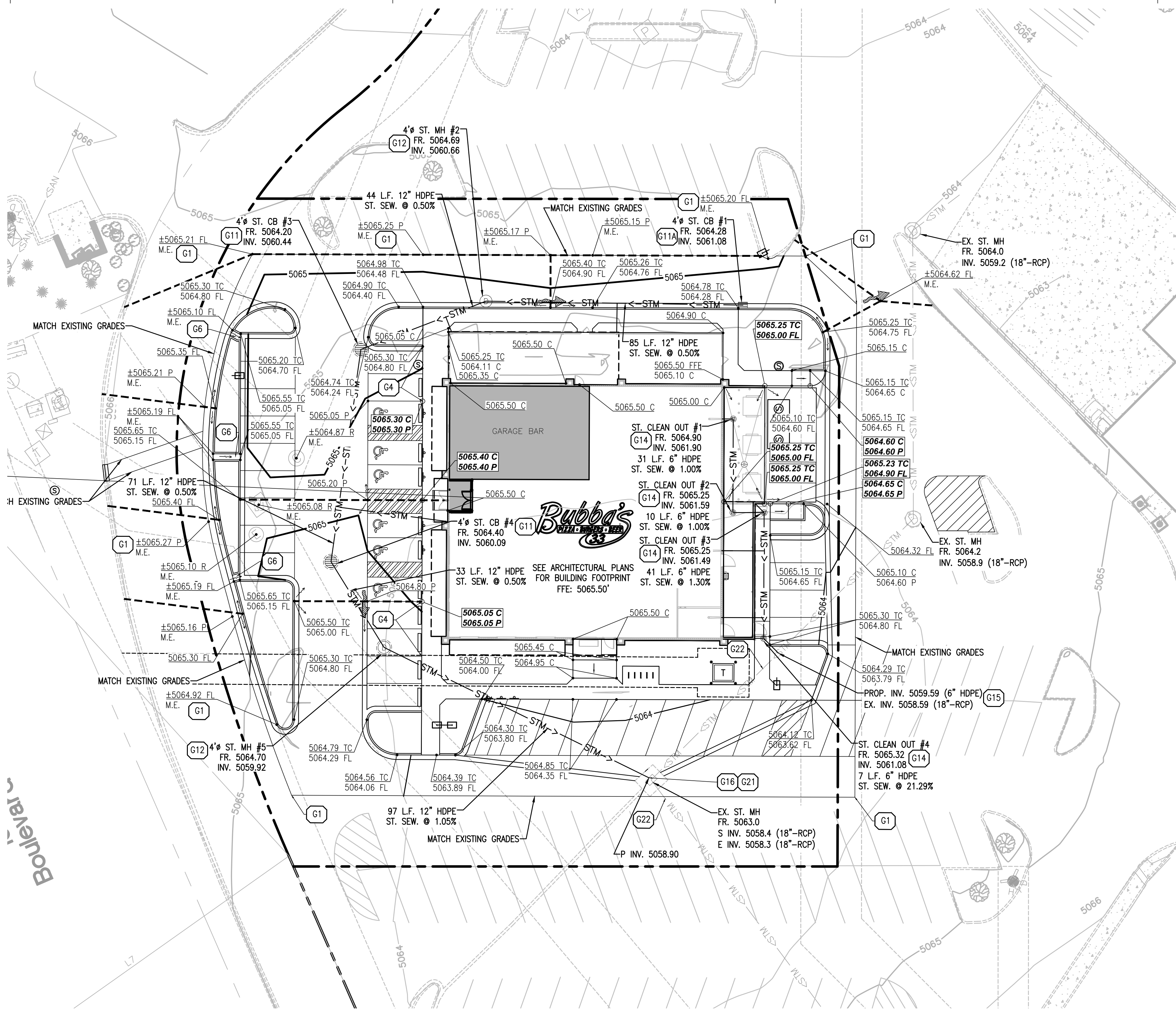
SITE BENCHMARKS:

BM #1 ACS MONUMENT "10-B13"  
ELEVATION= 5074.478 (NAVD 88)

BM #2 ACS MONUMENT "8-B13"  
ELEVATION= 5059.673 (NAVD 88)

FLOOD NOTE:

PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C0108G WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

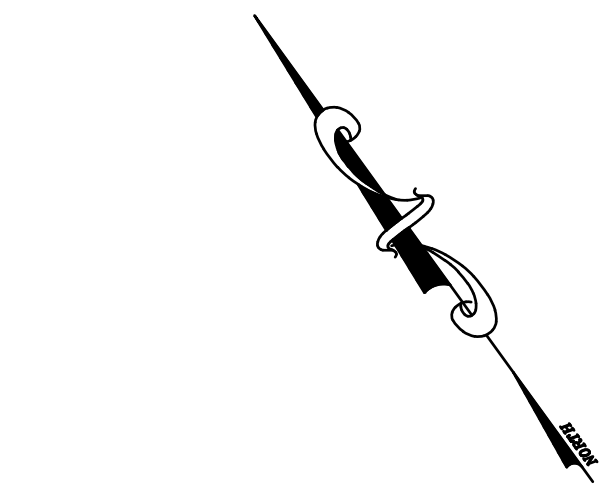


PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION
- TC: TOP OF CURB ELEVATION
- FL: CURB FLOWLINE ELEVATION
- C: TOP OF CONCRETE ELEVATION
- P: TOP OF PAVEMENT ELEVATION
- FG: FINISHED GRADE ELEVATION
- ME: MATCH EXISTING ELEVATION
- PROPOSED SPOT ELEVATION EXPOSED CURB FACE VARIES
- SITE BENCH MARK (SEE SURVEY FOR ADDITIONAL INFORMATION)
- PROPOSED GRADING RIDGE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED OVERLAND FLOOD ROUTE
- PROPOSED STORM SEWER STRUCTURE WITH OPEN GRATE
- PROPOSED STORM SEWER STRUCTURE WITH CLOSED LID
- PROPOSED STORM SEWER CLEAN OUT
- PROPOSED HEAVY DUTY AREA DRAIN
- PROPOSED STORM SEWER

GRADING & DRAINAGE KEY NOTES:

- G1 FIELD VERIFY AND MATCH EXISTING ELEVATION AT PROJECT SCOPE OF WORK LIMITS (TYP.)
- G4 CURB TRANSITION FOR 0" TO 6" IN HEIGHT
- G6 PROPOSED 2' WIDE CURB OPENING FOR DRAINAGE
- G11 PROPOSED 4' PRECAST CONCRETE CATCH BASIN WITH NEENAH R-2502-D FRAME AND GRATE AND CONCRETE COLLAR PER CATCH BASIN DETAIL
- G11A PROPOSED 4' PRECAST CONCRETE CATCH BASIN WITH NEENAH R-3065-A CURB BOX
- G12 PROPOSED 4' PRECAST CONCRETE MANHOLE WITH NEENAH R-1772 FRAME AND LID
- G13 PROPOSED BUILDING ROOF DRAIN CONNECTION (COORDINATE EXACT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS). CONTRACTOR SHALL INSTALL NEW WYE FITTING AT PROPOSED STORM SEWER CONNECTION POINTS
- G14 PROPOSED STORM SEWER CLEAN OUT
- G15 CORE DRILL AND CONNECT PROPOSED 6" STORM SEWER LINE TO EXISTING STORM SEWER LINE WITH AN INSERTA TEE AND RISER SECTION (CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATION PRIOR TO STORM SEWER INSTALLATION)
- G16 CORE DRILL AND CONNECT PROPOSED STORM SEWER LINE TO EXISTING STORM SEWER STRUCTURE PER LOCAL CODES (CONTRACTOR TO FIELD VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO CONSTRUCTION.)
- G21 EXISTING STORM SEWER STRUCTURE TO REMAIN
- G22 EXISTING STORM SEWER LINE TO REMAIN



COPYRIGHT NOTICE  
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional

ISSUE/REVISION RECORD	
DATE	DESCRIPTION
02/26/21	COORDINATION SET
03/19/21	PERMIT SET
04/09/21	SITE PLAN
04/14/21	PERMIT RESPONSE

Proj. 20182050  
MICHAEL E. HAAS  
NEW MEXICO  
26056  
PROFESSIONAL ENGINEER  
MICHAEL HAAS  
PROFESSIONAL ENGINEER  
LICENSE NO. 26056  
PROJECT MANAGER  
EDWARD GOSS  
QUALITY CONTROL  
EDWARD GOSS  
DRAWN BY  
MITCH HEFFERNAN  
PROJECT NAME  
**TEXAS ROADHOUSE**

**ALBUQUERQUE  
NEW MEXICO**  
10000 COORS BYPASS NW  
ALBUQUERQUE, NM 87114





**COPYRIGHT NOTICE**  
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional.

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
02/28/21	COORDINATION SET
03/19/21	PERMIT SET
04/09/21	SITE PLAN
04/14/21	PERMIT RESPONSE
04/30/21	PERMIT RESPONSE

Proj. 20182050



*Michael E. Haas*  
expires 12/31/22  
date 4/30/21

**PROFESSIONAL IN CHARGE**

**MICHAEL HAAS**  
PROFESSIONAL ENGINEER  
LICENSE NO. 26056

**PROJECT MANAGER**

EDWARD GOSS

**QUALITY CONTROL**

EDWARD GOSS

**DRAWN BY**

MITCH HEFFERNAN

**PROJECT NAME**

**TEXAS  
ROADHOUSE**

**ALBUQUERQUE  
NEW MEXICO**

**10000 COORS BYPASS NW  
ALBUQUERQUE, NM 87114**



**PROJECT NUMBER**

20182050.0

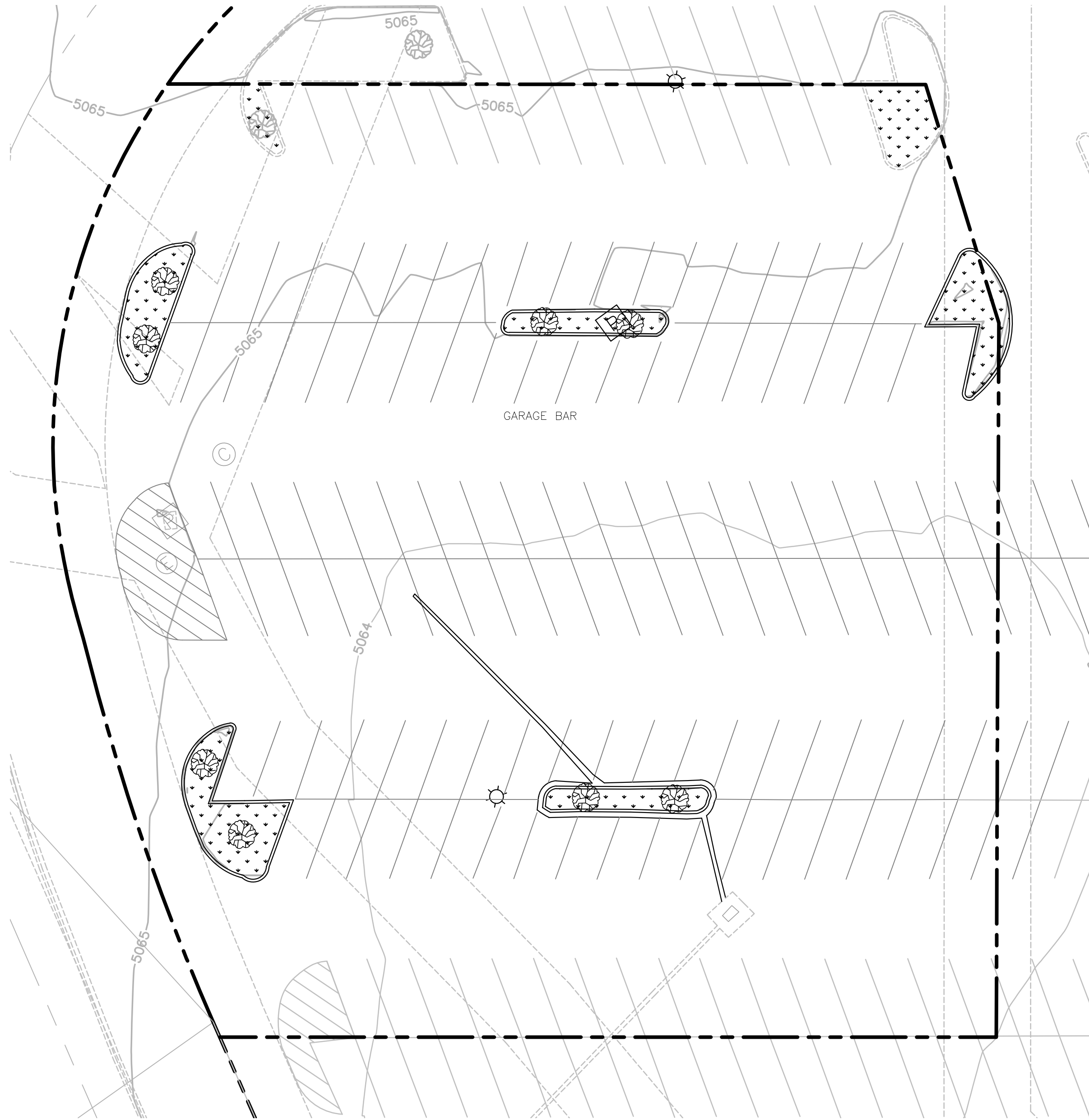
**SHEET TITLE**

**PRE/POST  
LAND USE  
COMPARISON**

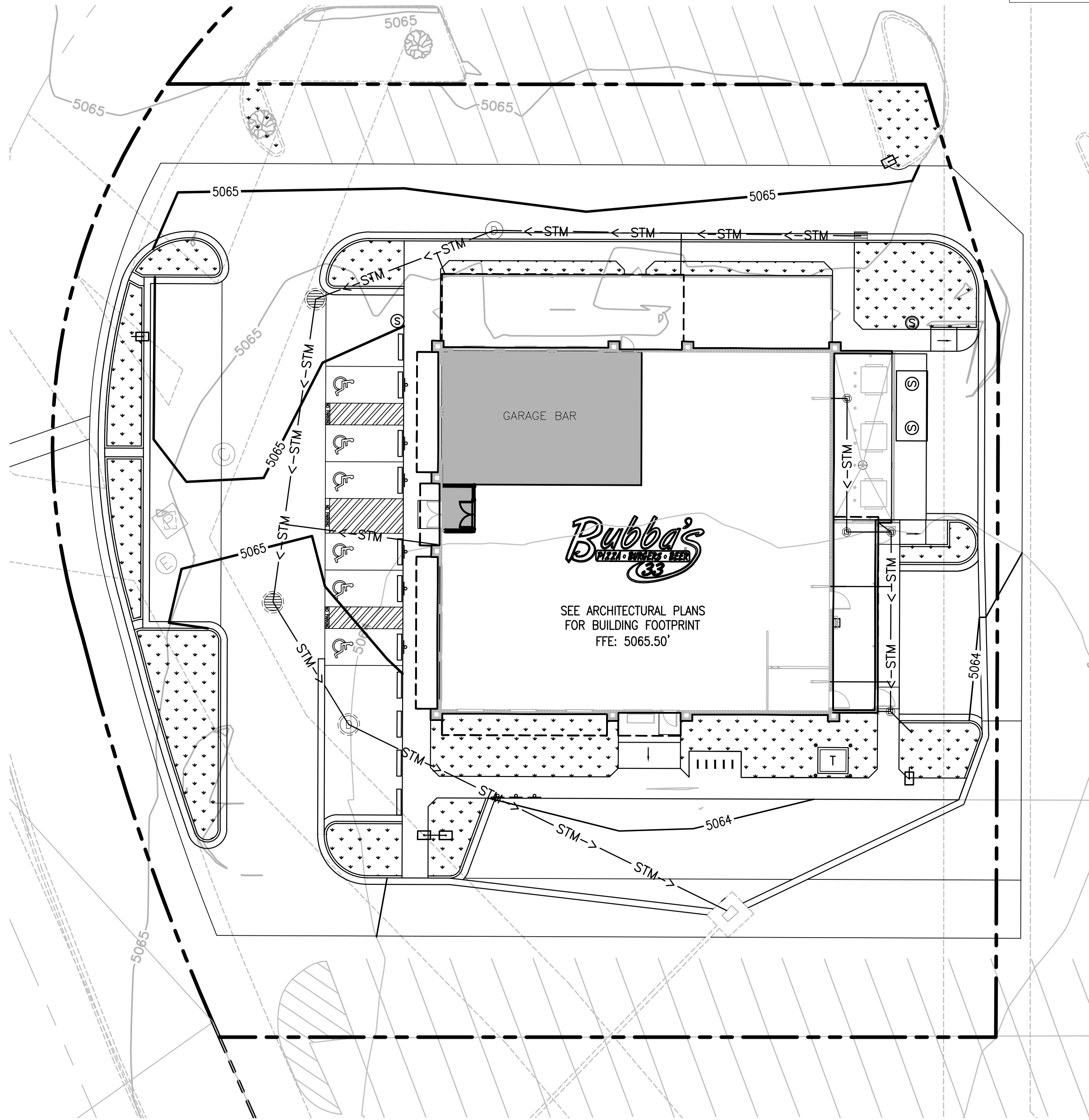
**SHEET NUMBER**

**C4.1**

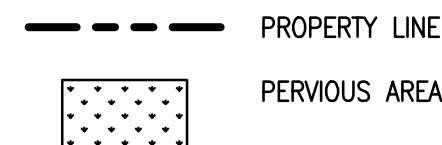
EXISTING CONDITIONS



PROPOSED CONDITIONS



**EXHIBIT LEGEND:**



**STORMWATER SUMMARY TABLE:**

TOTAL SITE AREA:	44,717 SQ. FT./1.03 ACRES
EXISTING CONDITIONS:	
EXISTING IMPERVIOUS AREA:	43,078 SQ. FT./0.99 ACRES
EXISTING PERVIOUS AREA:	1,639 SQ. FT./0.04 ACRES
PROPOSED CONDITIONS:	
PROPOSED IMPERVIOUS AREA:	40,482 SQ. FT./0.93 ACRES
PROPOSED PERVIOUS AREA:	4,235 SQ. FT./0.10 ACRES

**STORMWATER CALCULATIONS:**

THE SITE IS LOCATED IN ZONE 1 AND HAS LAND TREATMENT IN AREAS B & D.

PEAK DISCHARGE (100 YEAR, 6-HOUR STORM EVENT):  
ZONE 1, LAND TREATMENT AREA B = 2.16 CFS  
ZONE 1, LAND TREATMENT AREA D = 4.12 CFS

EXISTING:  
RUNOFF (Q) =  $Q_{pB}(A_B) + Q_{pD}(A_D) = 2.16(0.04) + 4.12(0.99) = 4.17$

PROPOSED:  
RUNOFF (Q) =  $Q_{pB}(A_B) + Q_{pD}(A_D) = 2.16(0.10) + 4.12(0.93) = 4.05$

THE RUNOFF IS DECREASED IN THE PROPOSED CONDITIONS.

**NOTE:**

STORMWATER DESIGN IS BASED ON ARTICLE 6-2(A) FROM THE THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.

**DISTURBED SITE AREA TABLE:**

TOTAL DISTURBED AREA:	38,454 SQ. FT. / 0.88 ACRES
IMPERVIOUS AREA:	34,325 SQ. FT. / 0.79 ACRES
PERVIOUS AREA:	4,129 SQ. FT. / 0.09 ACRES

**STORMWATER QUALITY VOLUME:**

STORMWATER QUALITY VOLUME =  $0.26 * (\text{NEW IMPERVIOUS AREA}) * (1/12)$   
=  $0.26 * 34,325 * (1/12)$   
= 744 CF

THE OWNER HAS ELECTED TO PAY FOR THE STORMWATER QUALITY VOLUME.  
THE PAYMENT-IN-LIEU WILL BE \$5,952.

SWQ VOLUME PAYMENT CALCULATION =  $\$8/\text{CF} * (\text{SWQ VOLUME})$   
=  $\$8/\text{CF} * 744$   
= \$5,952



**GRAPHIC SCALE**



( IN FEET )  
1 inch = 20 ft.