



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

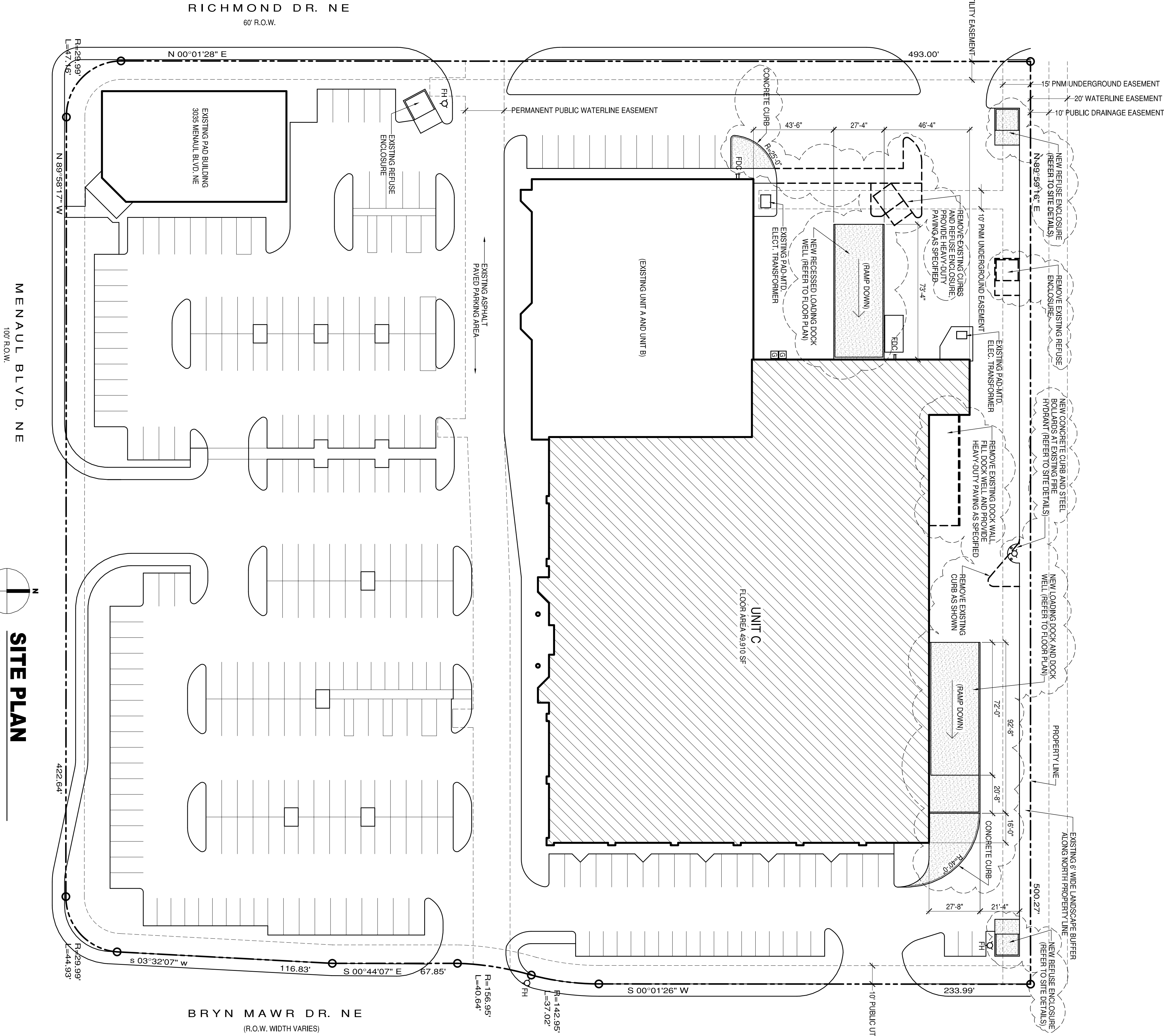
PERMIT

PERMIT NUMBER: FP 21-006724

APPROVED DATE: 07/02/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND
APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN
ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL
FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180
DAYS. FINAL INSPECTION IS REQUIRED.



PROJECT DATA

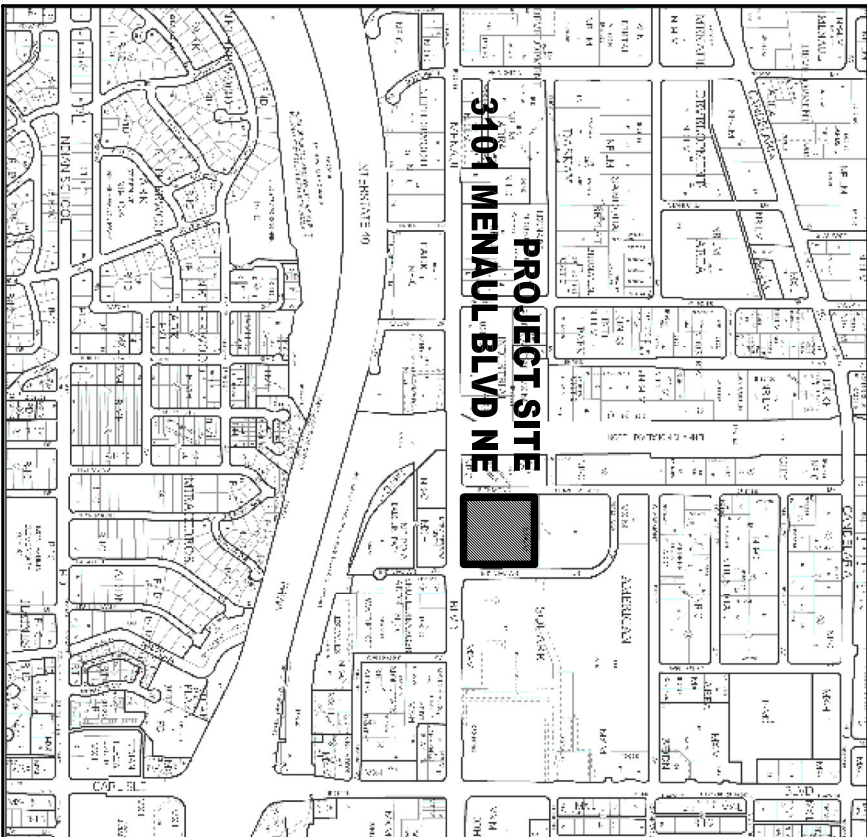
STREET ADDRESS: 3101 MENAUL BLVD NE, ALBUQUERQUE, NM 87107
PROJECT DESCRIPTION: CHANGES TO THE REAR TRUCK LOADING
AREA INCLUDING CONCRETE AND MASONRY STRUCTURES, ASPHALT
PAVING, EXTERIOR OVERHEAD DOORS.
LEGAL DESCRIPTION: TRACT C, AMERICAN SQUARE
UPC: 101659548201010
LOT SIZE: 3.9217 AC
IDO ZONE DISTRICT: NF-C
FEMA FLOOD ZONE: X
APPROVED SITE DEVELOPMENT PLAN: 246-129

PARKING ANALYSIS

EXISTING RETAIL: 10,200 SF @ 4 SPACES PER 1000 SF = 41 SPACES
EXISTING MEDICAL CLINIC: 6,620 SF @ 5 SPACES PER 1000 SF = 34 SPACES
EXISTING OFFICEHOUSE: 2,886 SF @ 8 SPACES PER 1000 SF = 22 SPACES
EXISTING OFFICE: 2,975 SF @ 3.5 SPACES PER 1000 SF = 11 SPACES
UNIT C (PROTECTED FOR OFFICE/WAREHOUSE USE): 18 SPACES
TOTAL BASIC PARKING REQUIREMENT: 128 SPACES
LESS 10% REDUCTION FOR TRANSIT SYSTEM PROXIMITY < 12 SPACES >
TOTAL VEHICLE PARKING REQUIREMENT: 114 SPACES
TOTAL EXISTING PARKING SPACES PROVIDED: 272 SPACES
(INCLUDES 14 ACCESSIBLE SPACES AND 57 SMALL CAR SPACES)

GENERAL NOTES

1. ALL EASEMENTS SHOWN ARE EXISTING.
2. STRUCTURES AND SITE IMPROVEMENTS ARE EXISTING, PROPOSED
NEW WORK IS SHOWN IN CLOUDED AREAS.

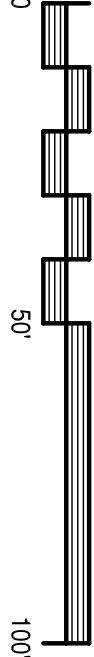


VICINITY MAP

ZONE ATLAS PAGE H-16-Z

SITE PLAN

SCALE: 1" = 30'-0"



AMERICAN CROSSING UNIT C
3101 MENAUL BLVD NE
ALBUQUERQUE, NEW MEXICO 87107

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DATE: 06-29-2021

REVISIONS:

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architecture + design

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SHEET NUMBER

1 OF 1