



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: City of Albuquerque DMD Juanito SERNA		Phone: 505.218.2004
Address: One Civic Plaza		Email: JESERNA@CABQ.GOV
City: ALBUQ.	State: NM	Zip: 87102
Professional/Agent (if any): LEE GAMELSKY ARCHITECTS P.C. Att: LEE GAMELSKY		Phone: 505.842.8865
Address: 2412 Miles Rd SE		Email: lee@lganm.com
City: ALBUQ.	State: NM	Zip: 87106
Proprietary Interest in Site: ARCHITECT of Project		List all owners: City of ALBUQ.

BRIEF DESCRIPTION OF REQUEST

An update of the previously approved Site Plan from DRB for Building Permit Approval - BP-2022-47072

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: within NW/4 NW/4 EXC A SWLY FOR SEC 33	Block: TIONRLE	Unit:
Subdivision/Addition: Town of Atrisco Grant	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): M-09	Existing Zoning: NRC / NR-PO-A	Proposed Zoning: NRC
# of Existing Lots: 3 including future park	# of Proposed Lots: 3	Total Area of Site (acres): 15.79 including future park

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 1000 DE VARGAS RD SW	Between: 98th ST SW	and: TIMARRON DR. SW
---	---------------------	----------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

DRB- S1-2018-00233, Conditional Use VA-2018-0054/2018-001373

Signature: [Signature]	Date: 20 December 2022
Printed Name: LEE GAMELSKY	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:			Date:		
			Project #		

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☐ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ The approved Site Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval – *on signed off DRB cover sheet*
- ☒ The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units
IN COMPLIANCE W/ FACADE DESIGN- BUILDING DESIGN- SOLAR STUDIES - ETC.
Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units
Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ACCELERATED EXPIRATION SITE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ ALTERNATIVE LANDSCAPE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

SITE PLAN – ADMINISTRATIVE / MINOR AMENDMENT

JUSTIFICATION LETTER

20 December 2022

City of Albuquerque
Mr. James Aranda
Zoning Enforcement Officer
Planning Department
Plaza del Sol Building
600 2nd NW, 3rd Floor
Albuquerque, NM 87102

RE: Westgate Community Center
Building Additions and Site Improvements
10001 DeVargas Road SW
Albuquerque, NM 87121

Building Permit: BP-2022-47072

LEGAL: TR OF LAND, WITHIN NW/4 NW/4 EXC A SWLY POR SEC 33 T10NR2E
(AKA PARCEL 1 SURVEY OF TOWN OF ATRISCO GRANT)
CONTAINING 12.8369 AC.

ZONING: NRC (FOR THE 12.84 AC PARCEL)
NR-PO-A (FUTURE PARK AREA) (2.95 AC)
TOTAL ACREAGE 15.79 AC

PREVIOUS APPROVALS:
CONDITIONAL USE: VA-2018-0054/2018-001373
DRB: SI-2018-00233

The previously approved DRB application was reviewed and approved during the time that the IDO was adopted.

The new Site Plan differs from the previously approved Site Plan that was part of the DRB Application in the following areas:

1. A new bus stop is proposed at the south end of the parking area and the number of parking spaces will be reduced at that location; but the total number of provided parking spaces still exceeds the number of required parking spaces.
2. A park with multi-purpose fields and a paved pedestrian trail will be constructed north of the building.
3. A new parking area (58 spaces) northwest of the building will be constructed at the time the multi-purpose fields/park is developed (north of the building).
4. An outdoor spray pad (water feature) and Support Building will be constructed north of the existing Plaza.

5. The total square footage of the buildings will be 37,263 GSF.

The previously approved DRB application indicated a total building area of 35,400 GSF.

Therefore, the Total new Building Area will be 1,863 GSF greater, or 5% greater than the previously approved DRB application.

More specifically, the increase in GSF is attributed to the following:

- Phase 1 (existing) is 15,750 SF vs. 15,327 in the DRB.
- Meeting room additions will be 7,900 GSF vs. 7,004 GSF in the DRB.
- Child Development Classrooms will be 2,875 GSF vs. 2,717 in the DRB.
- Gymnasium will be 9,800 GSF vs. 9,345 GSF in the DRB.
- A Support Building of 938 GSF is now indicated.

This Site Plan Administrative/Minor Amendment meets all the criteria listed in the IDO 14-16-6-4(Y)(2):

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by actions of the owner of the property.

The Site Plan-Administrative illustrates a new Bus Stop, Revised Parking at the Bus Stop location, a future Park, new Parking at the Park area northwest of the building, and a slight increase in the total building area.

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

The proposed new Total Building Area is 37,263 GSF, an increase of 1,863 GSF above the DRB approved Plan, which is a 5% increase. The 5% increase is below the 10% threshold in Table 6-4-4 for Building Gross Floor Area. The Total number of Parking Spaces will be 115 spaces located on the south side of the building and 58 spaces located on the north side of the building for a total of 173 parking spaces. The DRB application indicated a total of 136 spaces.

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

In developing the Park, the Total amount of Open Space is increased.

4. The amendment does not reduce any building setback adjacent to development containing residential used by any amount.

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

This is non-applicable.

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.
7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines this.
8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties. The new Bus Stop will serve one bus route. The Bus Stop may actually reduce traffic by moving people from their cars to ride the bus.
9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property. All major infrastructure is already in place, existing from the first phase of construction.
10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval or plan for or including the subject property.

Not applicable.

11. The amendment does not affect a property in an Overlay zone.

Not applicable.

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

The previously approved DRB application was for a Community Center. The project continues to be a Community Center and related outdoor recreation and park uses.

13. The amendment does not expand a nonconformity as regulation per Section 14-16-6-8 (Nonconformities).

Not applicable.

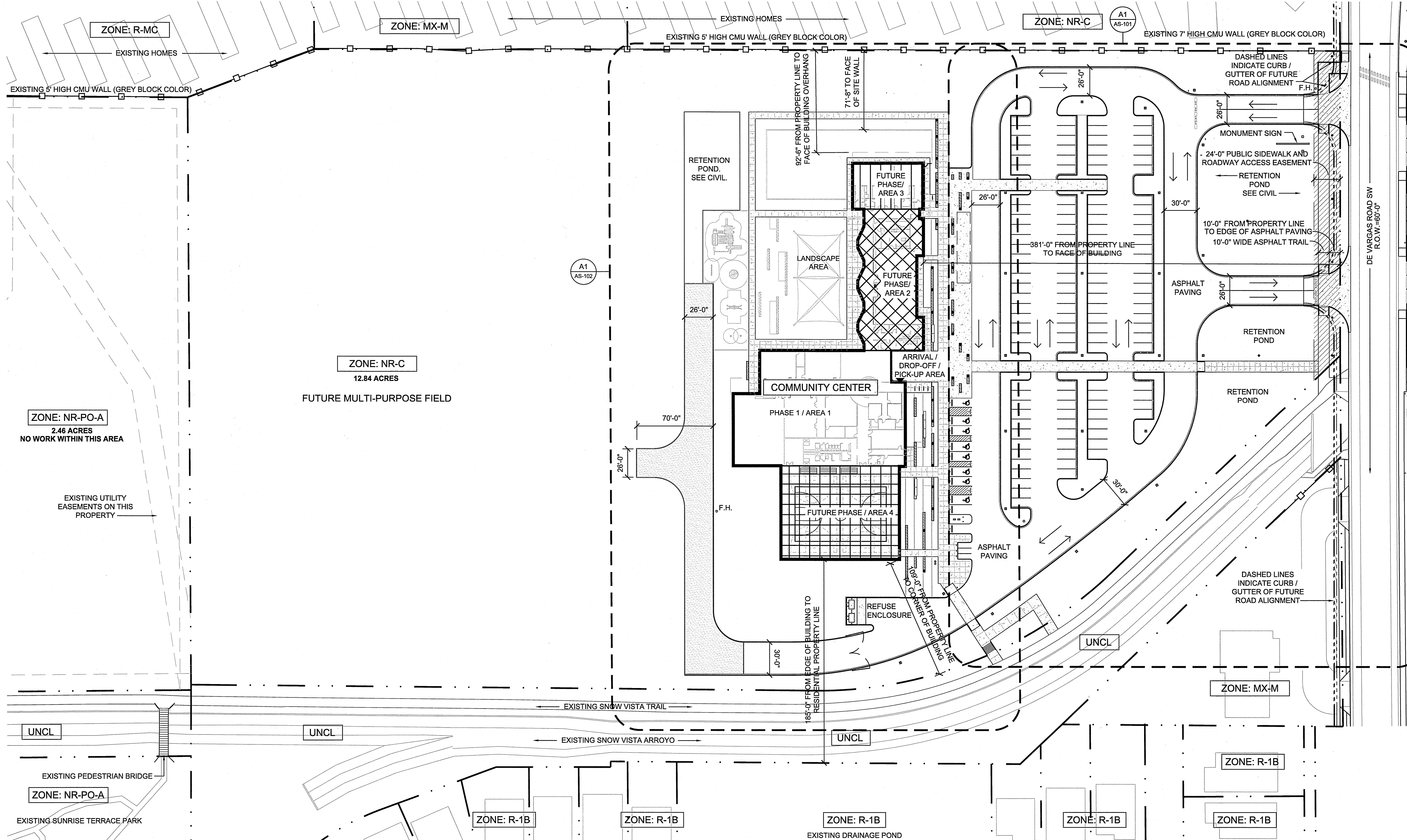
In summary, the proposed Site Plan – Administrative meets the requirements of a Minor Amendment as listed in the IDO.

If you have questions or comments, please feel free to contact me.

Sincerely,



Lee Gamelsky AIA, Principal
LEED AP BD+C



WESTGATE COMMUNITY CENTER • CONCEPTUAL SITE PLAN

1" = 50'-0"

PROJECT SUMMARY

THE PROPOSED WESTGATE COMMUNITY CENTER BUILDING WILL BE APPROX. 35,400 GSF FACILITY, TO BE CONSTRUCTED IN PHASES. SEE THE COMMUNITY CENTER BUILDING PHASES / AREA LEGEND BELOW.

COMMUNITY CENTER BUILDING AND SITE IMPROVEMENTS PHASES AND AREAS LEGEND:

	PHASE 1 / AREA 1: 15,327 GSF: LOBBY, OFFICES, ACTIVITY ROOMS, COMPUTER ROOM, GAME ROOM AND FITNESS ROOM.
	FUTURE PHASE, AREA 2: 7,004 GSF: MEETING ROOMS AND WARMING KITCHEN.
	FUTURE PHASE, AREA 3: 2,717 GSF: HEADSTART CLASSROOMS.
	FUTURE PHASE, AREA 4: 9,345 GSF: GYMNASIUM

TOTAL BUILDING AREA FOR ALL PHASE 1 AND FUTURE PHASE BUILDING AREAS: 35,400 GSF

LEGEND

	EXISTING CMU BLOCK WALL. (GREY COLOR)
	EXISTING CHAIN LINK FENCE.
	EXISTING WIRE FENCE.
	EXISTING PROPERTY LINE.
	AREA OF PROPOSED 24' WIDE PUBLIC SIDEWALK AND ROADWAY ACCESS EASEMENT.
	LIGHT POLE NOT TO EXCEED 25'
	LIGHT POLE NOT TO EXCEED 12'
	STEP LIGHT WITHIN 24" CONCRETE CUBE BOLLARD.
	F.H. FIRE HYDRANT.
	24" GABION WALL. HEIGHT VARIES FROM 1'-0" TO 4'-0" ABOVE GRADE.
	CONCRETE PAVING (SIDEWALKS, CURB AND GUTTER, ETC.)
	8" THICK AGGREGATE BASE COURSE COMPACTED TO 95% MIN. OVER EXISTING GRADE COMPACTED TO 95% MIN. ENGINEERED TO SUPPORT FIRE APPARATUS EQUIPMENT / VEHICLES (75,000 LBS).

ZONING LEGEND

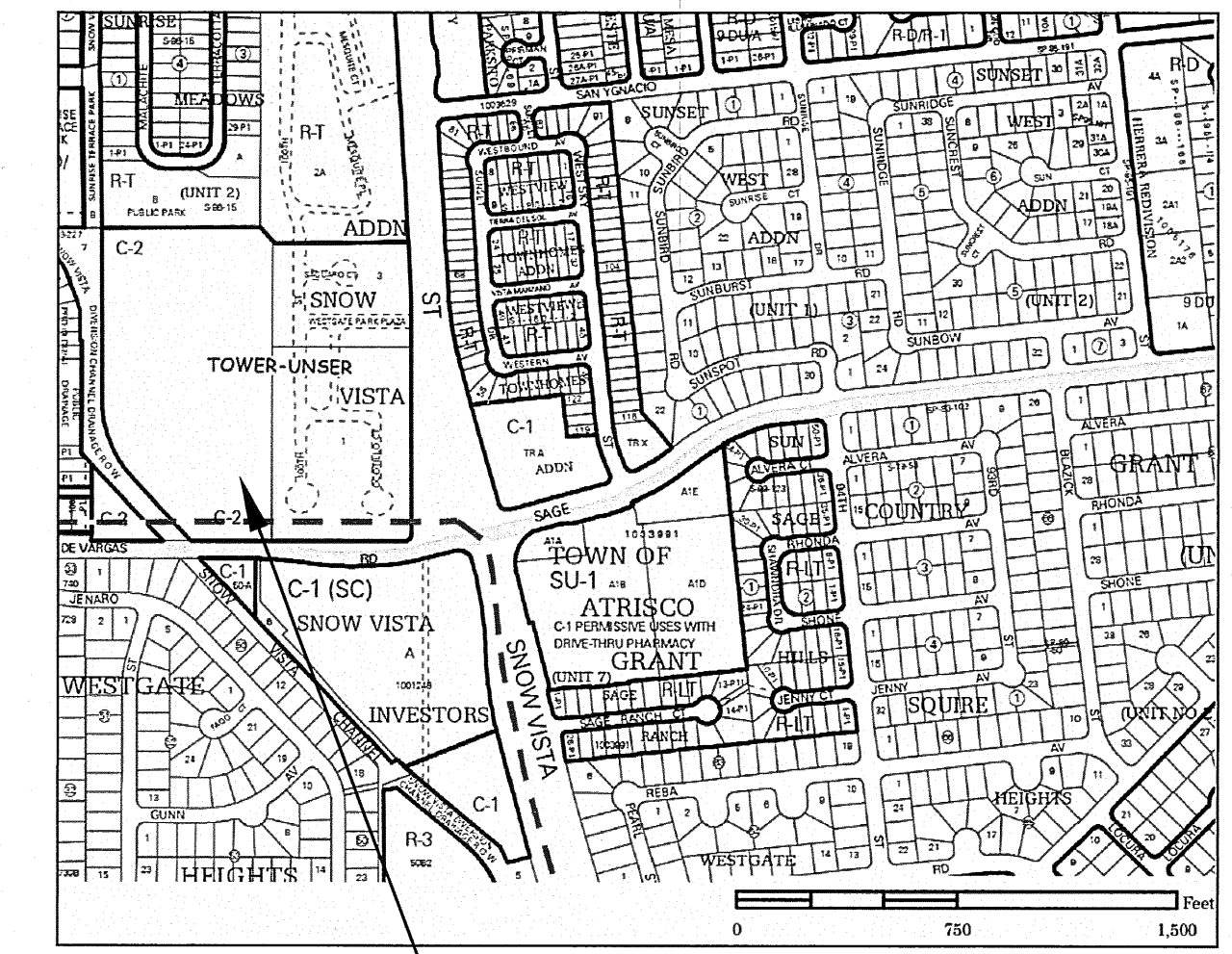
ZONE: NR-C	NON-RESIDENTIAL - COMMERCIAL
ZONE: R-T	RESIDENTIAL - TOWNHOUSE
ZONE: R-1B	RESIDENTIAL - SINGLE FAMILY
ZONE: R-1C	RESIDENTIAL - SINGLE FAMILY
ZONE: R-MC	MANUFACTURED HOME COMMUNITY
ZONE: MX-M	MIXED USE - MODERATE INTENSITY
ZONE: MX-L	MIXED USE - LOW INTENSITY
ZONE: NR-PO-A	NON-RESIDENTIAL - PARKS & OPEN SPACE, CITY OWNED OR MANAGED PARKS
UNCL	UNCLASSIFIED

GENERAL NOTES

- A CONDITIONAL USE APPLICATION FOR A COMMUNITY CENTER AND PARK AND RIDE IN THE NR-C ZONE WAS APPROVED BY THE ZONING HEARING EXAMINER. HEARING DATE: 9.18.18. SPECIAL EXCEPTION NO.: VA-2018-00054 PROJECT NO.: 2018-001373 THIS DRB APPLICATION IS ONLY FOR THE COMMUNITY CENTER.
- ALL SIDEWALKS, RAMPS, CURB CUTS, CURB AND GUTTER SHALL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS: SIDEWALK (2430) RAMPS (2426 AND 2440) CURB CUTS (2426) CURB AND GUTTER (2415 A AND B)
- LIGHT FIXTURES SHALL HAVE FULL CUT-OFF SHIELDS SO THAT NO FUGITIVE LIGHT ESCAPES BEYOND THE PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE SHIELDED ACCORDINGLY. MAXIMUM ILLUMINATION AT THE PROPERTY LINE IS NOT TO EXCEED 200 FOOT LAMBERTS. EXTERIOR LIGHTING IS TO BE EXTINGUISHED NO LATER THAN 11:00 PM EXCEPT TO COMPLETE AN ACTIVITY THAT IS IN PROGRESS PRIOR TO 11:00PM. LIGHT FIXTURES SHALL BE LED, METAL HALIDE OR HALOGEN.
- LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

SITE INFORMATION

SITE AREA: 12.84 ACRES
UPC: 100905502447920905
LEGAL DESCRIPTION: TR OF LAND WITHIN NW/4 NW/4 EXC A SWLY POR SEC 33 T10N R2E (AKA PARCEL 1 SURVEY OF TOWN OF ATRISCO GRANT) CONT 12.8369 AC M/L
ZONING: NR-C
LAND USE: COMMUNITY CENTER
COMMUNITY CENTER PARKING REQUIREMENTS
[PER IDO TABLE 5-5-1]: 2 SPACES PER 1,000 GFA
COMMUNITY CENTER AREA = 31,676 GSF. (31,676 / 1000) X 2 = 63,352 SPACES
DAY CARE PARKING REQUIREMENTS
[PER IDO TABLE 5-5-1]: 1 SPACES PER 400 GFA
DAYCARE CENTER AREA = 2,717. (2,717 / 400) = 6.7925 SPACES
TOTAL PARKING SPACES REQUIRED:
COMMUNITY CENTER PARKING (63,352) + DAYCARE PARKING (6.7925) = 70.115 = 70 SPACES
MOTORCYCLE PARKING SPACES REQUIRED BASED ON 70 SPACES
[PER IDO TABLE 5-5-4]: 3 SPACES
ACCESSIBLE PARKING SPACES REQUIRED
[PER NM BUILDING CODE TABLE 1106.1]: 8 SPACES (2 VAN ACCESSIBLE)
ELECTRIC VEHICLE CHARGING STATION REQUIREMENTS:
WHEN >200 SPACES PROVIDED = 2% OF TOTAL SPACES TO BE ELECTRIC CHARGING
SINCE TOTAL NO. OF SPACES IS <200, NO ELECTRIC CHARGING STATIONS REQUIRED.
PARKING SPACES PROVIDED:
123 FULL SIZE SPACES + 8 ACCESSIBLE SPACES (2 VAN ACCESSIBLE) + 3 MOTORCYCLE SPACES + 2 ELECTRIC VEHICLE CHARGING SPACES = 136 TOTAL SPACES PROVIDED
BICYCLE PARKING SPACES REQUIRED:
[PER IDO TABLE 5-5-5]: 10% OF REQUIRED OFF-STREET PARKING SPACES.
70 REQUIRED VEHICULAR PARKING SPACES x (.10) = 7 REQUIRED BICYCLE PARKING SPACES
BICYCLE PARKING SPACES PROVIDED:
10 BICYCLE SPACES PROVIDED



Zone Location Maps M-09-Z / L-09-Z

PROJECT NUMBER: 2018 - 001373

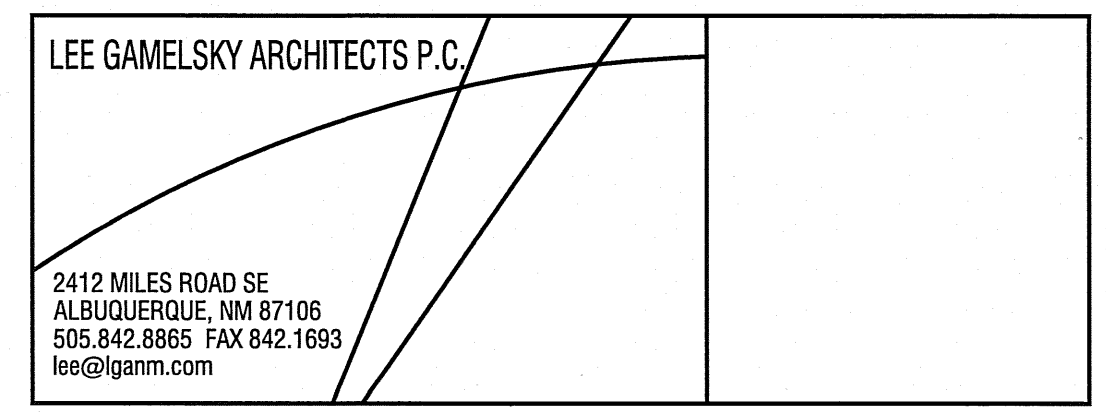
Application Number: SI-2018-00233

DRB SITE DEVELOPMENT PLAN APPROVAL

	12/19/18
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	11-19-18
ABCWUA	DATE
N/A	DATE
PARKS AND RECREATION DEPARTMENT	DATE
	12/19/18
CITY ENGINEERING / HYDROLOGY	DATE
	12/19/18
CODE ENFORCEMENT	DATE
N/A	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
	12-19-18
SOLID WASTE MANAGEMENT	DATE
	12-27-18
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

INDEX OF DRAWINGS

1	AS-100	SITE PLAN
2	AS-101	ENLARGED SITE PLAN
3	AS-102	ENLARGED SITE PLAN
4	AS-103	SITE DETAILS, REFUSE ENCLOSURE, AND SIGNAGE
5	L-100	LANDSCAPE PLAN
6	L-101	ENLARGED LANDSCAPE PLAN (SOUTH)
7	L-102	ENLARGED LANDSCAPE PLAN (NORTH)
8	C-100	OVERALL GRADING AND DRAINAGE PLAN
9	C-101	GRADING AND DRAINAGE: SOUTH
10	C-102	GRADING AND DRAINAGE: EAST
11	C-103	GRADING AND DRAINAGE: WEST
12	C-200	UTILITY PLAN
13	A-200	EXTERIOR BUILDING ELEVATIONS - COMMUNITY CENTER
14	R-100	RENDERING (8-1/2 X 11) ATTACHED SEPARATELY



WESTGATE COMMUNITY CENTER

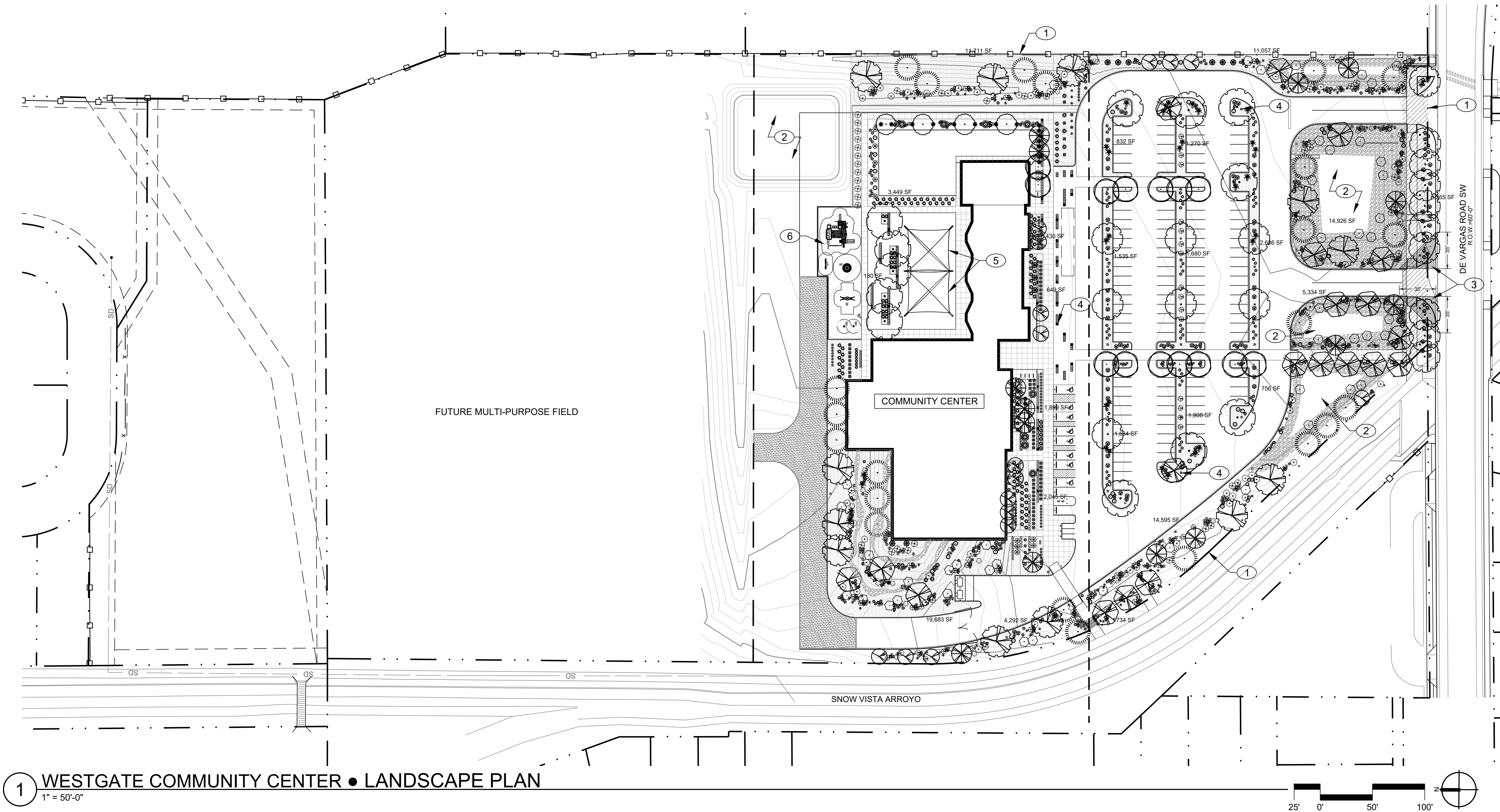
10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMELSKY, AIA Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 2018-001373

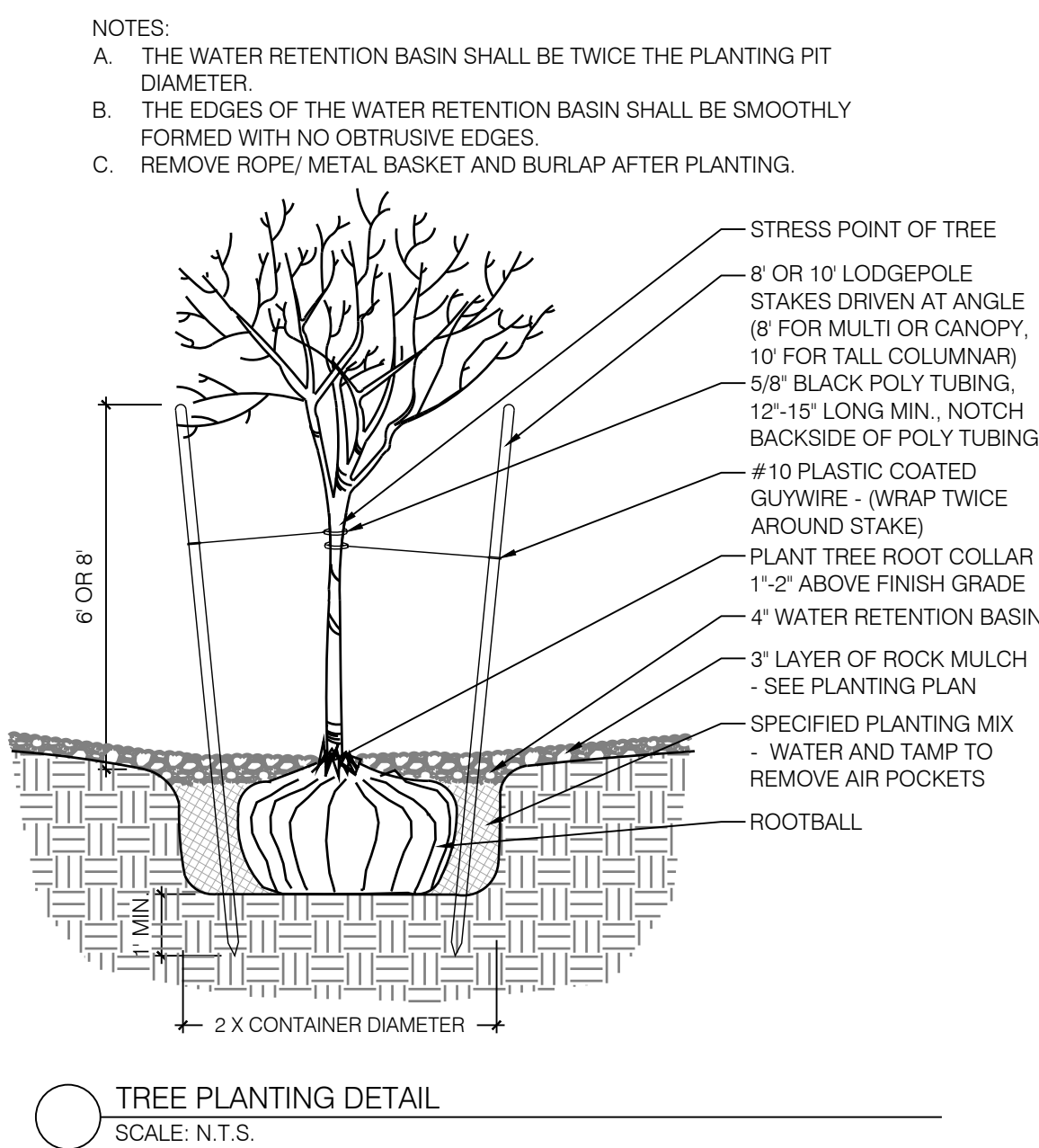
SITE PLAN

By: JPW	Sheet: OF
SITE DEVELOPMENT PLAN	AS-100



1 WESTGATE COMMUNITY CENTER • LANDSCAPE PLAN

1" = 50'-0"



GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES AS DEFINED IN THE LEGEND AT RIGHT.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (3) .25 GPM BUBBLERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (1) .25 GPM BUBBLERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. THE IRRIGATION SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH CITY OF ALBUQUERQUE DETAILS AND SPECIFICATIONS.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS. THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNMS NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA:	299,693 SF (6.88 AC)
BUILDING AREA (BUILDING ENVELOPE):	- 34,399 BLDG ENVL SF
NET AREA	265,294 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	39,794 SF
PROVIDED LANDSCAPE AREA	106,626 SF (40%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	97,651 SF (91% OF LANDSCAPE AREA)
PROVIDED GROUND-LEVEL PLANT COVERAGE	24,435 SF (25% OF LIVE VEGETATIVE COVERAGE)

LANDSCAPE TURF
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS. NO TURF GRASS IS USED.

PARKING LOT AREA
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

WESTGATE COMMUNITY CENTER IS PROVIDING 133 PARKING SPACES.
TOTAL PARKING LOT AREA: 93,422 SF
LANDSCAPE AREA: 18,740 SF (20% OF PARKING LOT AREA)

PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

WESTGATE COMMUNITY CENTER IS PROVIDING 133 PARKING SPACES.
PARKING LOT TREES REQUIRED: 14
PARKING LOT TREES PROVIDED: 16

STREET TREES
DE VARGAS ROAD REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

DE VARGAS ROAD SW FRONTAGE IS 297'.
STREET TREES REQUIRED: 12 (2 PROVIDED IN ADJACENT LANDSCAPE)

WALKWAY TREES
SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL PEDESTRIAN WALKWAYS.

KEY NOTES:

- PROPERTY BOUNDARY
- PONDING AREA. SEE CIVIL
- CLEAR SIGHT TRIANGLE
- SITE LIGHTING, TYP., SEE ARCHITECTURAL
- 40'X40' FABRIC SHADE STRUCTURE
- PLAY AREA WITH VARIOUS PLAY EQUIPMENT FOR AGES 2-5 AND 5-12 WITH ENGINEERED WOOD FIBER MULCH SURFACING.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
TREES				
16		CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M)	2.5' B&B	8' HT. X 4' SPR. 15' HT. X 15' SPR.
20		CHILOPSIS LINEARIS 'BUBBA' DESERT WILLOW (MULTI STEM) (RW)	24' BOX	6' HT. X 4' SPR. 20' HT. X 25' SPR.
30		GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST (M+)	2.5' B&B	8' HT. X 4' SPR. 45' HT. X 35' SPR.
12		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+)	B&B	6' HT. X 2' SPR. 12' HT. X 5' SPR.
22		PINUS NIGRA AUSTRIAN PINE (M+)	B&B	8' HT. X 4' SPR. 35' HT. X 25' SPR.
4		PYRUS CALLEPYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR (M+)	2.5' B&B	8' HT. X 4' SPR. 30' HT. X 15' SPR.
12		QUERCUS BUCKLEYI EMERALD SUNSHINE ELM (M)	2.5' B&B	8' HT. X 4' SPR. 35' HT. X 25' SPR.
14		VITEX AGNUS-CASTUS CHASTETREE (MULTI STEM) (M)	24' BOX	6' HT. X 4' SPR. 20' HT. X 20' SPR.
SHRUBS AND GROUNDCOVERS				
91		ACHILLEA 'MOONSHINE' MOONSHINE YARROW (M)	1-GAL	2' HT. X 2' SPR.
39		BUDDLEIA DAVIDII 'BLACK KNIGHT' BLACK KNIGHT BUTTERFLY BUSH (M)	5-GAL	7' HT. X 5' SPR.
80		CARYOPTERIS CLAN. 'DARK KNIGHT' DARK KNIGHT SPIREA (L+)	5-GAL	4' HT. X 4' SPR.
57		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL	5' HT. X 5' SPR.
49		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE (M)	5-GAL	16' HT. X 14' SPR.
30		JUNIPERUS HORIZ 'BLUE CHIP' BLUE CHIP JUNIPER (L+)	5-GAL	1' HT. X 7' SPR.
9		LAGERSTROEMIA INDICA 'DYNAMITE' DYNAMITE CRAPE MYRTLE (M)	15-GAL	12' HT. X 6' SPR.
66		NEPETA HYBRID 'WALKERS LOW' WALKERS LOW CATMINT (L+)	1-GAL	2' HT. X 3' SPR.
98		OENOTHERA BERLANDIERI NEW MEXICO PRIMROSE (L+)	1-GAL	1' HT. X 3' SPR.
54		PINUS MUGO PUNILIO DWARF MUGO PINE (M+)	5-GAL	4' HT. X 4' SPR.
78		POTENTILLA FRUTICOSA 'JACKMANII' JACKMAN'S SHRUBBY CINQUEFOIL (M+)	5-GAL	4' HT. X 4' SPR.
55		RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC (L+)	5-GAL	2' HT. X 8' SPR.
20		SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE (L+)	3-GAL	2' HT. X 3' SPR.
DESERT ACCENTS				
18		AGAVE HAVARDIANA HARVARD AGAVE (RW)	3-GAL	3' HT. X 4' SPR.
12		AGAVE PERRYI VAR. TRUNCATA ARTICHOKE AGAVE (RW)	3-GAL	2' HT. X 3' SPR.
22		DASYLIRION WHEELERI DESERT SPOON (RW)	5-GAL	4' HT. X 4' SPR.
69		HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA (L+)	3-GAL	3' HT. X 3' SPR.
13		YUCCA PENDULA SOFT LEAF YUCCA (L+)	5-GAL	4' HT. X 5' SPR.
ORNAMENTAL GRASSES				
146		CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS (M)	5-GAL	30' HT. X 3' SPR.
213		MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS (M)	5-GAL	3' HT. X 3' SPR.
37		SPOROBOLUS WRIGHTII 'LOS LUNAS' LOS LUNAS GIANT SACATON (M)	5-GAL	8' HT. X 6' SPR.

MULCHES AND BOULDERS

211		PUEBLO ROSE LANDSCAPE BOULDERS
25,776 - SF		AMARETTO BROWN CRUSHER FINES (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
58,938 - SF		3/4" COYOTE MIST CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
21,949 - SF		2"-4" PUEBLO ROSE ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)

LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@ganm.com

WESTGATE COMMUNITY CENTER

10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: Date: 13 DECEMBER 2018
--	--------------------------------------

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.:

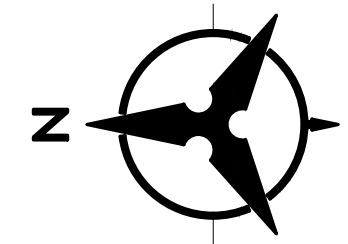
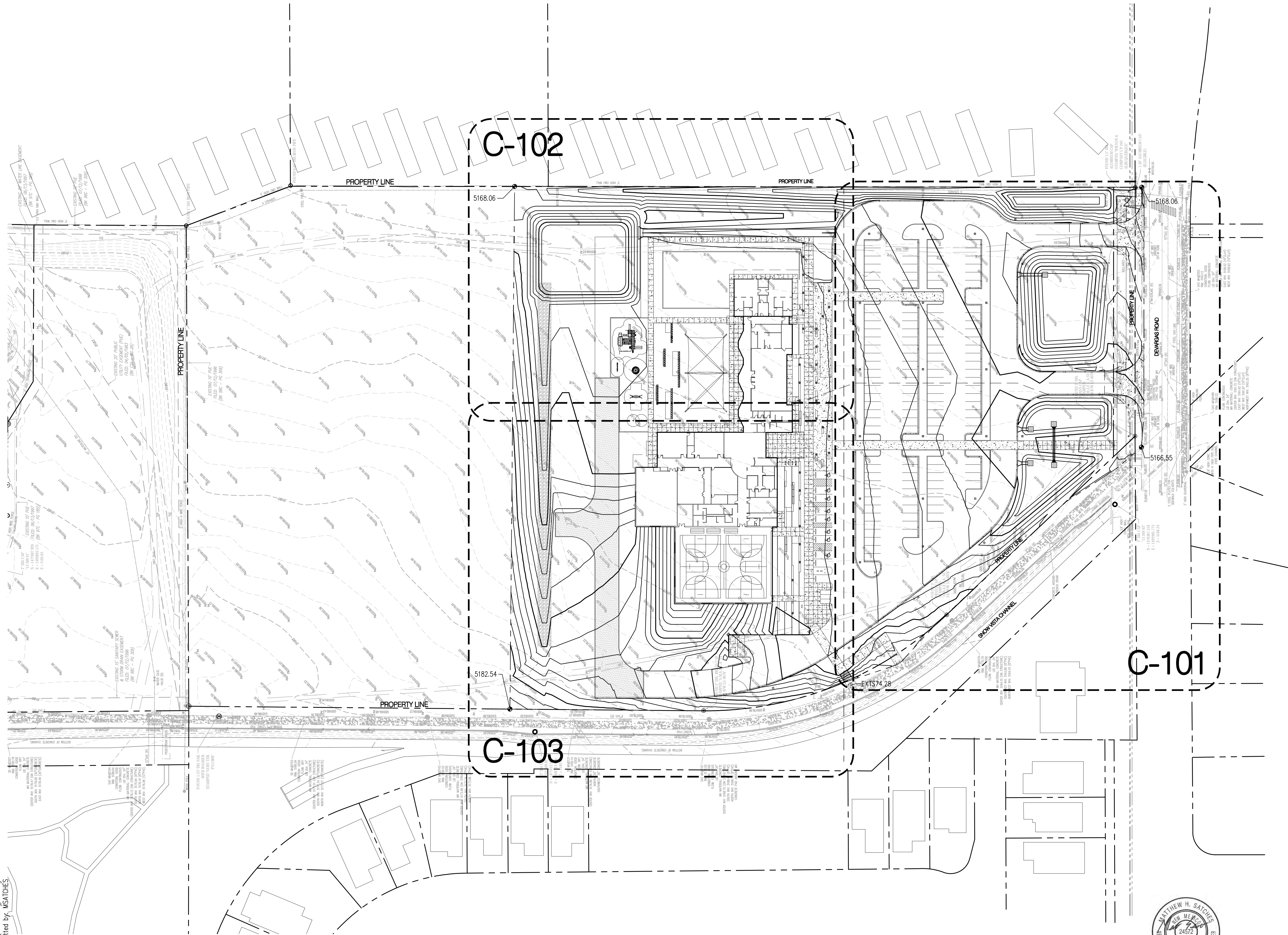
LANDSCAPE PLAN

By: JPW	Sheet: Of:
SITE DEVELOPMENT PLAN	L-100



CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

P:\2019\018\1\CDP\Plans\General\2019016.dwg
Fri, 7-Dec-2018 - 8:34 am, Plotted by: MSATCHES



50 25 0 50
1"=50'

LEGEND

- PROPERTY LINE
- - - LIMITS OF GRADING
- - - 5025 - - - EXISTING INDEX CONTOUR
- - - 5024 - - - EXISTING INTERMEDIATE CONTOUR
- EX5025.25 EXISTING GROUND SPOT ELEVATION
- 5025 PROPOSED INDEX CONTOUR
- 5024 PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION
TC=TOP OF CURB,
FL=FLOW LINE,
TS=TOP OF SIDEWALK
TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- S=2.0% DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- SWALE FLOWLINE
- TOP OF BERM
- GRADE BREAK

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@gamm.com

WESTGATE COMMUNITY CENTER

10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT:
LEE GAMELSKY, AIA

Project #:
Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.:

OVERALL GRADING AND DRAINAGE PLAN

By: JPW

Sheet: Of:

SITE DEVELOPMENT PLAN

C-100

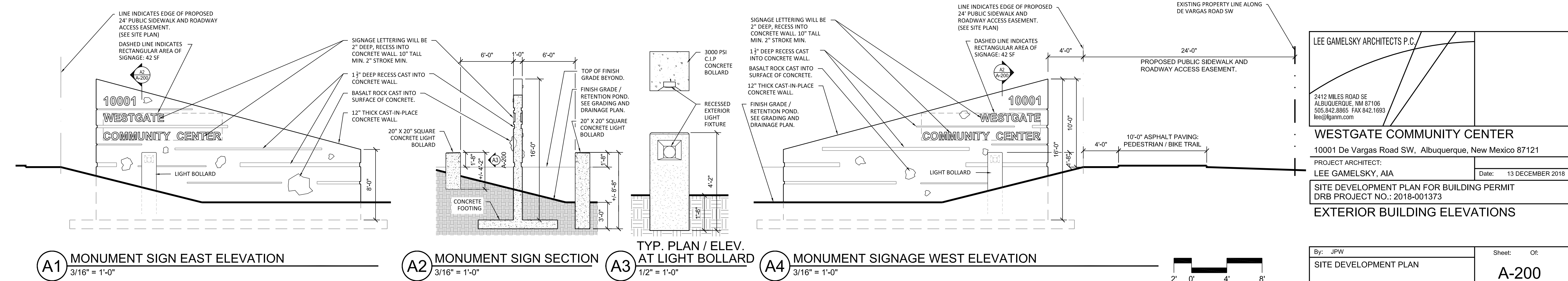
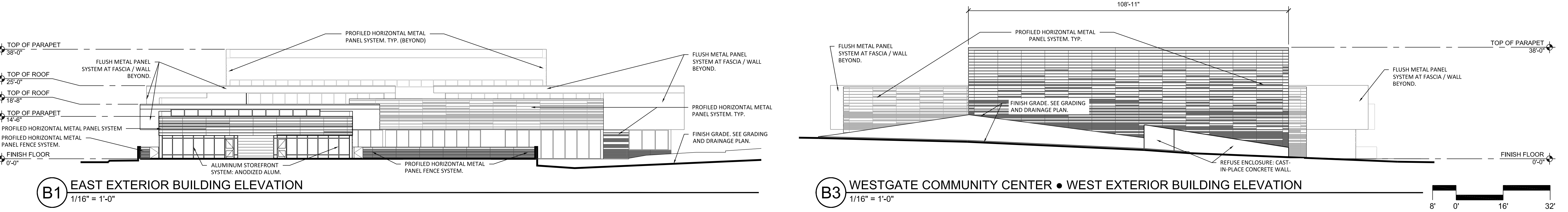
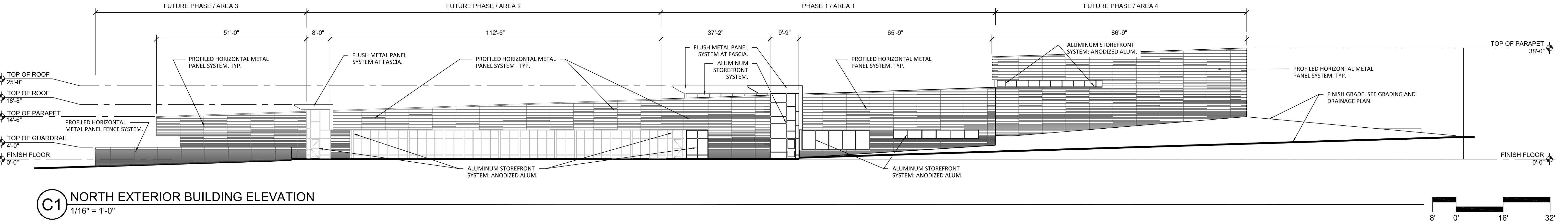
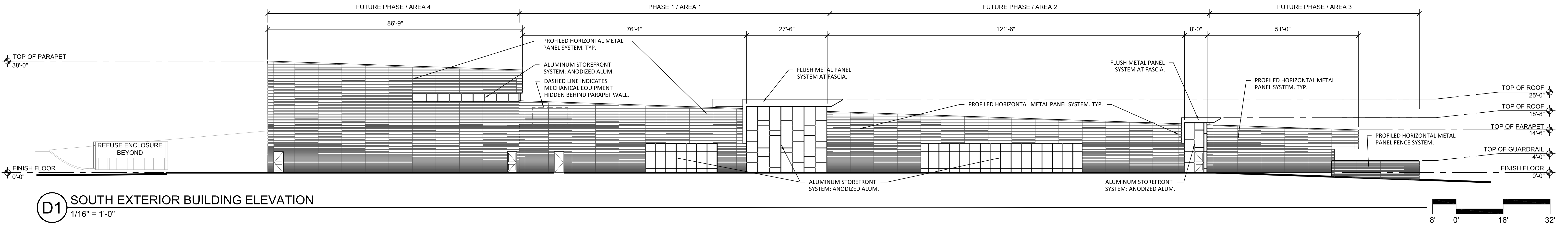


NOT FOR CONSTRUCTION

Bohannon & Huston
www.bhinc.com 800.877.5332

GENERAL NOTES: EXTERIOR ELEVATIONS

- A. PROFILED HORIZONTAL METAL PANEL SYSTEM TO INCORPORATE THREE COLORS OF METAL PANELS: LIGHT GREY, LIGHT BLUE AND SAGE.
B. FLUSH METAL PANEL SYSTEM TO HAVE DARK BLUE COLOR FINISH.
C. BUILDING ADDRESS SIGNAGE (MONUMENT SIGN) WILL BE 10" MIN. HIGH LETTERS WITH 2" MIN. STROKE. INSTALLED AS 2" DEEP RECESS WITHIN CAST-IN-PLACE CONCRETE WALL.



LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@gamsm.com

WESTGATE COMMUNITY CENTER
10001 De Vargas Road SW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT:
LEE GAMESKY, AIA

Date: 13 DECEMBER 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 2018-001373

EXTERIOR BUILDING ELEVATIONS

By: JPW

Sheet: Of:

A-200

LEGEND

	EXISTING OVERHEAD ELECTRICAL, TO REMAIN.		EXISTING PAINTED (RED) CURB DESIGNATING "NO PARKING - FIRE DEPARTMENT ACCESS LANE", PER FIRE ORDINANCE 503.3.1
	EXISTING 7'-0" HIGH, BLOCK SITE WALL, TO REMAIN.		NEW PAINTED (RED) CURB DESIGNATING "NO PARKING - FIRE DEPARTMENT ACCESS LANE", PER FIRE ORDINANCE 503.3.1
	EXISTING TRANSFORMER		# INDICATES PARKING STALL BEGINNING AND ENDING IN CONTINUOUS AISLE.
	EXISTING 16' HIGH LED DOWNLIGHT SITE LIGHT POLE FIXTURES		# INDICATES HANDICAP PARKING STALL BEGINNING AND ENDING IN CONTINUOUS AISLE.
	EXISTING RECESSED LED LIGHT FIXTURE MOUNTED IN 48" HIGH (TYP) SITE WALL FEATURE.		EXISTING RELOCATED 16' HIGH LED DOWNLIGHT SITE LIGHT POLE FIXTURES
	EXISTING FIRE HYDRANTS		NEW CONCRETE SIDEWALK/ PAD.
	BUILDING ENTRANCE		NEW ASPHALT PAVEMENT, INSTALL PER GEOTECHNICAL REPORT.
	EXISTING ASPHALT PAVING.		NEW 6" THICK CONCRETE DRIVE PAD.
	EXISTING CONCRETE SIDEWALK.		FUTURE ASPHALT PAVEMENT, INSTALL PER GEOTECHNICAL REPORT.
	EXISTING CONCRETE DRIVE PAD.		
	EXISTING 8" THICK AGGREGATE BASE COURSE.		

KEYED NOTES •

01100.01	PROPERTY LINE.
01100.02	DASHED LINE INDICATES EDGE OF ROOF STRUCTURE ABOVE.
01100.05	DASHED LINE INDICATES 24'-0" PUBLIC SIDEWALK AND ROADWAY ACCESS EASEMENT.
03300.01	EXISTING CONCRETE SIDEWALK/ PAD TO REMAIN.
03300.02	EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
03300.03	NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430.
03300.06	CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415.
03300.09	NEW SIDEWALK: 4" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB/SIDEWALK, REINFORCE WITH 4X4-W2.9/W2.9 WELDED WIRE MESH, FLAT SHEETS ONLY, INSTALL 16 CHAIRS CENTERED IN SLAB.
03300.46	EXISTING CAST IN PLACE CONCRETE WALL / PREMISE ID MONUMENT SIGN TO REMAIN.
03300.54	EXISTING HEADER CURB TO REMAIN.
03300.68	EXISTING ADA RAMP TO REMAIN.
03300.72	TOP OF NEW CONCRETE ACROSS ROADWAY FLUSHES OUT W/ NEW CONCRETE SIDEWALK AT BUS STOP.
03300.79	INSTALL NEW CONCRETE HEADER CURB PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415 B.
05600.80	EXISTING (10 SPACES) BICYCLE PARKING.
10400.15	EXISTING DO NOT ENTER SIGNAGE (R5-1) PER COA TRAFFIC CONTROL SIGNING DWG. 2802 / MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD AND LETTERING ARE WHITE, CIRCLE IS RED, TO REMAIN.
10400.16	EXISTING NO RIGHT TURN SIGN (R3-1) PER COA TRAFFIC CONTROL SIGNING DWG. 2802 / MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD IS WHITE, ARROW AND BORDERS ARE BLACK, CIRCLE/ SLASH ARE RED, TO REMAIN. (SIGN FACES EAST).
10400.17	EXISTING NO LEFT TURN SIGN (R3-2) PER COA TRAFFIC CONTROL SIGNING DWG. 2802 / MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD IS WHITE, ARROW AND BORDERS ARE BLACK, CIRCLE/ SLASH ARE RED, TO REMAIN. (SIGN FACES WEST).
10400.18	EXISTING STOP SIGN (R1-1) AND NO RIGHT TURN SIGN (R3-1) PER MUTCD STANDARDS. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD IS RED, BORDER AND LETTERING ARE WHITE, TO REMAIN. (SIGN FACES WEST).
10400.19	EXISTING SERVICE VEHICLES ONLY SIGN. SEE TYPICAL TRAFFIC SIGNAGE DETAIL. ALUMINUM OR FIBERGLASS PLATE. SIGN FIELD IS WHITE, SIGN LETTERING AND BORDERS ARE BLACK, TO REMAIN. (SIGN FACES SOUTHEAST).
10400.20	ADA ACCESSIBLE PARKING SIGN, TO REMAIN.
10400.21	MOTORCYCLE PARKING SIGN, TO REMAIN.
22100.02	EXISTING GAS METER, TO REMAIN.
22100.04	EXISTING 6" GATE VALVE IN BOX, TO REMAIN.
22100.05	EXISTING BACKFLOW PREVENTER IN HOT BOX, TO REMAIN.
22100.06	EXISTING WATER METER, TO REMAIN.
22500.24	EXISTING FIRE HYDRANT.
31200.01	EXISTING RETENTION POND TO REMAIN.
32100.01	EXISTING ASPHALT PAVING, 10' WIDE BIKE TRAIL TO REMAIN.
32100.02	INSTALL 3" ASPHALT PAVING PER GEOTECHNICAL REPORT. ENSURE PROPER GRADING/ COMPACTION WITHIN AREAS OF NEW WORK PRIOR TO INSTALLATION. SEE CIVIL SHEETS C-150, C-151, AND C-350. THIS AREA MAY BE USED AS PART OF THE CONTRACTOR'S STAGING AREA DURING CONSTRUCTION PRIOR TO THE INSTALLATION OF THE NEW ASPHALT.
32100.24	EXISTING DETECTABLE WARNING STRIP, TO REMAIN.
32100.25	NEW DETECTABLE WARNING STRIP.
32300.01	EXISTING STEEL PIPE SWING GATE, SIMILAR TO CITY OF ALBUQUERQUE STANDARD DETAIL DWG. 2251, TO REMAIN.
32800.03	EXISTING IRRIGATION CONTROLS, TO REMAIN.

EXECUTIVE SUMMARY

- THIS PROJECT IS LOCATED AT THE EXISTING WESTGATE COMMUNITY CENTER SITE ON THE NORTH SIDE OF DE VARGAS RD SW, JUST WEST OF 98TH STREET / SNOW VISTA BLVD.
- THE DEVELOPMENT ON THE SITE INCLUDES AN EXISTING COMMUNITY CENTER (15,750 GSF); THE NEXT BUILDING PHASE OF BUILDINGS AND SITE IMPROVEMENTS INCLUDE: 10,775 GSF FOR BUILDING ADDITION) SUPPORT BUILDING 938 GSF, A BUS STOP LOCATED ON THE SOUTH SIDE OF THE NEW AREA, ADDITIONAL PARKING SPACES; AND THE FUTURE PHASE(S) INCLUDES A GYMNASIUM (9,800 GSF), PARK W/ MULT-PURPOSE PLAY FIELDS, AND ADDITIONAL PARKING (58 SPACES).
- ALL NEW DEVELOPMENT OCCURS WITHIN THE PROJECT SITE. THIS PROJECT WILL HAVE MINIMAL IMPACT ON ADJACENT PROPERTIES.
- THE PROJECT RECEIVED PREVIOUS APPROVALS FOR A CONDITIONAL USE AND APPROVAL AT DRB. NO VARIANCES ARE BEING REQUESTED.

GENERAL NOTES

- THIS PROJECT HAS A PREVIOUSLY APPROVED CONDITIONAL USE APPLICATION AND DRB APPLICATION.
- THE TOTAL BUILDING AREA FOR THE EXISTING BUILDING AREA, THE CURRENT PROJECT AND FUTURE ADDITION EQUALS 37,263 GSF WHICH IS GREATER THAN THE TOTAL BUILDING AREA LISTED IN THE APPROVED DRB PLAN (35,400 GSF). THE DIFFERENCE IS 1,863 GSF WHICH IS 5% OF THE APPROVED DRB PLAN TOTAL BUILDING AREA.
- ALL LANDSCAPING, SIGNAGE, ETC. DOES NOT AND WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS.
- THE SITE GENERALLY SLOPES DOWN FROM THE NORTH TO THE SOUTH.
- THIS PROJECT DOES NOT REQUIRE MAJOR PUBLIC INFRASTRUCTURE OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) TO COMPLY WITH IDO OR DPM STANDARDS. THERE ARE NO SENSITIVE AREAS ON THE SITE OR NEARBY.

PARKING REQUIREMENTS (PER IDO TABLE 5-5-1)

- FOR A COMMUNITY CENTER: 2 SPACES PER 1,000 GSF OF FLOOR AREA.
- FOR DAY CARE CENTER: 1 SPACE PER 400 GSF
- FOR OUTDOOR RECREATION/ OTHER OUTDOOR ENTERTAINMENT (SPRAY PAD) REFERENCING TABLE 5-5-2, FOR A SWIMMING POOL: 1 SPACE PER 3 DESIGN CAPACITY.

AREAS • COMMUNITY CENTER : TOTAL BUILDING AREA-ALL AREAS 37,263 GSF

PHASE 1	15,750 GSF
BUILDING ADDITION	7,900 GSF
SUPPORT BUILDING	938 GSF
FUTURE GYMNASIUM	9,800 GSF
SUBTOTAL	34,388 GSF

REQUIRED NO. PARKING SPACES : $\frac{34,388}{400} = 85.97 \approx 86$ SPACES

CHILD DEVELOPMENT CLASSROOMS	2,875 GSF
REQUIRED NO. PARKING SPACES : $\frac{2,875}{400} = 7.19 \approx 8$ SPACES	

SPRAY PAD : 33.8 OCCUPANTS	
REQUIRED NO. PARKING SPACES : $\frac{33.8}{3} = 11.27 \approx 12$ SPACES	

TOTAL NUMBER OF REQUIRED PARKING SPACES = 87.3 = 88 SPACES

PARKING PROVIDED

REGULAR SIZE PARKING SPACES	103
ACCESSIBLE PARKING SPACES (EXISTING)	9
MOTORCYCLE (EXISTING)	3

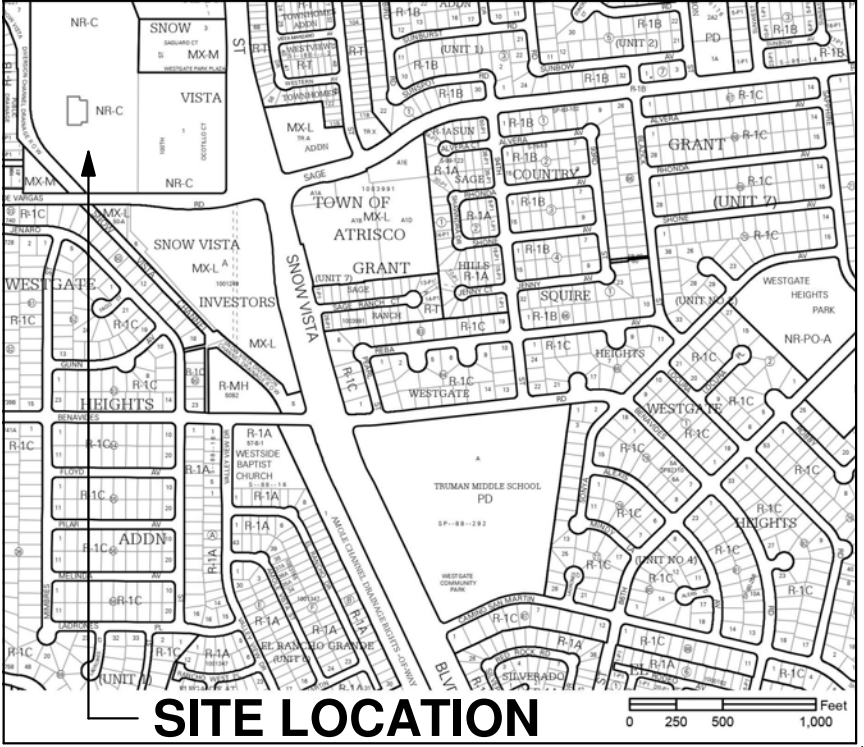
TOTAL PARKING PROVIDED 115 SPACES

115 IS GREATER THAN 88, THEREFORE OK.

NOTE: THE FUTURE PARK DEVELOPMENT (MULTI-PURPOSE FIELDS) DOES NOT REQUIRE PARKING. HOWEVER, 58 ADDITIONAL PARKING SPACES WILL BE PROVIDED AT THE TIME OF PARK DEVELOPMENT. THOSE SPACES ARE OVER AND ABOVE 115 SPACES PROVIDED FOR THE BUILDING PROJECT.

BICYCLE SPACES REQUIRED = 8	
BICYCLE SPACES PROVIDED (EXISTING)	10 SPACES.

NOTE: NO PARKING REDUCTIONS ARE INDICATED SINCE THE TOTAL PROVIDED PARKING SPACES EXCEEDS THE REQUIRED.



SITE LOCATION

ZONE LOCATION MAP M-09-Z

ADDRESS: 10001 De Vargas Road SW Albuquerque, NM 87121

LEGAL DESCRIPTION: TR OF LAND WITHIN NW/4 NW/4 EXC A S'VLY POR SEC 33 T10N22E (AKA PARCEL 1 SURVEY OF TOWN OF ATRISCO GRANT) CONT 12.8369 AC ML 100905502447920905 12.84 ACRES 559.310 SF)

UPC: NR-C
SITE AREA: COMMUNITY CENTER AND EARLY CHILDHOOD DEVELOPMENT / DAY CARE

CONDITIONAL USE: A CONDITIONAL USE APPLICATION FOR A COMMUNITY CENTER AND PARK AND RIDE IN THE NR-C ZONE WAS APPROVED BY THE ZONING HEARING EXAMINER. HEARING DATE: 9.18.18. SPECIAL EXCEPTION NO.: VA-2018-0054
PROJECT NO.: 2018-001373

DRB APPLICATION: DRB APPLICATION WAS APPROVED 12.27.18
DRB APPLICATION NO.: SI-2018-00233

OPEN SPACE AREA: INCLUDES THE EXISTING OPEN SPACE/ LANDSCAPE AREA AND THE FUTURE PARK AREA WITHIN THE 12.84 ACRE PARCEL:

LOT AREA: 12.84 X 43,560 = 559,310 SF

BUILDING AREA @ TOTAL BUILDOUT, ALL PHASES: 37,263 SF

OPEN SPACE/ LANDSCAPE AREA : 106,826 SF
(PHASE I AND BUILDING ADDITION/ SITE IMPROVEMENT PHASE)

OPEN SPACE/ LANDSCAPE AREA : 163,683 SF
(AT FUTURE PARK AREA WITHIN THE 12.84 ACRE PARCEL)

TOTAL OPEN SPACE/ LANDSCAPE AREA : 270,509 SF
(WITHIN THE 12.84 ACRE PARCEL)

ADDITIONAL LANDSCAPE COMPUTATIONS:

THE PHASE I AND BUILDING ADDITIONS/ SITE IMPROVEMENTS THAT ARE PART OF OF THE 12.84 ACRE SITE, THAT AREA EQUALS 299,693 SF

THE TOTAL BUILDING AREA/ TOTAL BUILD OUT FOR ALL PHASES : 37,263 SF.
THE NET AREA = 262,430 SF

THE REQUIRED LANDSCAPE AREA (15% X NET) 39,365 SF

THE PROVIDED LANDSCAPE AREA AS PART OF PHASE I AND THE BUILDING ADDITIONS/ SITE IMPROVEMENTS = 106,826 SF

THEREFORE THE PROVIDED LANDSCAPE AREA IS OK.
FOR PHASE I AND THE BUILDING ADDITIONS/ SITE IMPROVEMENTS.

IN CALCULATING THE OPEN SPACE/ LANDSCAPE AREA INCLUDING THE FUTURE PARK AREA WITHIN THE 12.84 ACRE PARCEL THE FOLLOWING IS PROVIDED:

LOT AREA :	559,310 SF
TOTAL BUILDING AREA :	37,263 SF
NET AREA :	522,047 SF

REQUIRED LANDSCAPE AREA (15% OF NET) = 78,307 SF

PROVIDED OPEN SPACE/ LANDSCAPE AREA : 106,826 SF
PHASE I AND BUILDING ADDITIONS/ SITE IMPROVEMENTS 106,826 SF
FUTURE PARK 163,683 SF
TOTAL PROVIDED OPEN SPACE/ LANDSCAPE AREA 270,509 SF
THEREFORE, PROVIDED OPEN SPACE/ LANDSCAPE AREA IS OK.

PAVEMENT AREA IS : 35,362 SF

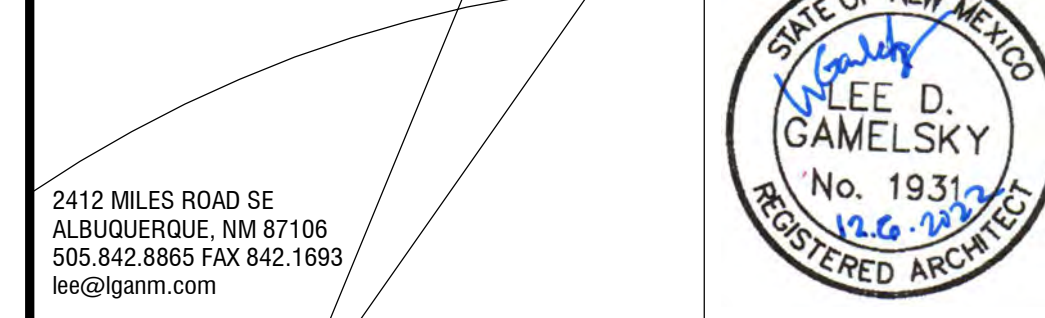
INDEX TO DRAWINGS

AA-AS-101	OVERALL SITE PLAN
AA-L-102	LANDSCAPE PLAN
AA-A-201	EXTERIOR ELEVATIONS

PREVIOUSLY APPROVED DRB DRAWINGS
AS-100 SITE PLAN
L-100 LANDSCAPE PLAN
C-100 OVERALL GRADING AND DRAINAGE PLAN
A-200 EXTERIOR BUILDING ELEVATIONS

NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMESKY ARCHITECTS P.C.



WESTGATE COMMUNITY CENTER • BUILDING ADDITION AND SITE IMPROVEMENTS

PROJECT ARCHITECT: LEE GAMESKY, AIA LGA Project #: 16-01-AB02
Date: 12.06.2022

SITE PLAN ADMINISTRATIVE • OVERALL SITE PLAN

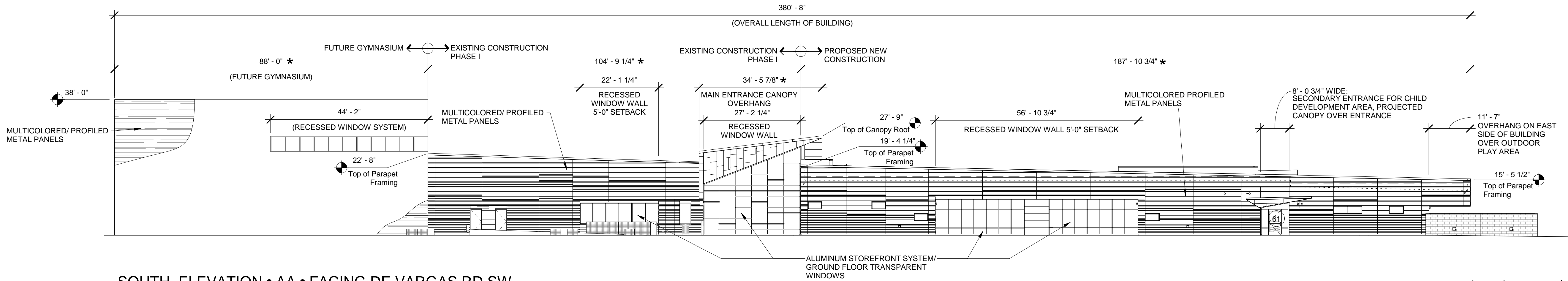
By: _____	Sheet: _____	Of: _____
File: _____	AA-AS-101	

A1 SITE PLAN ADMINISTRATIVE • OVERALL SITE PLAN

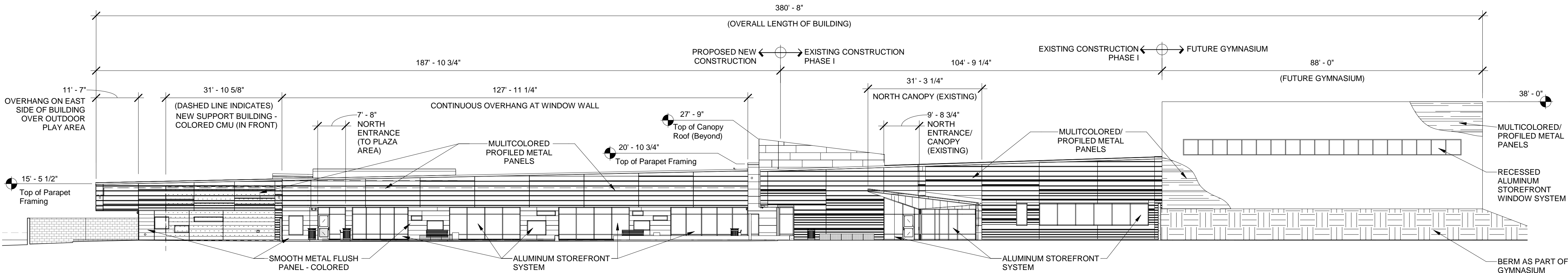
1" = 50'-0"

0' 40' 80' 160'

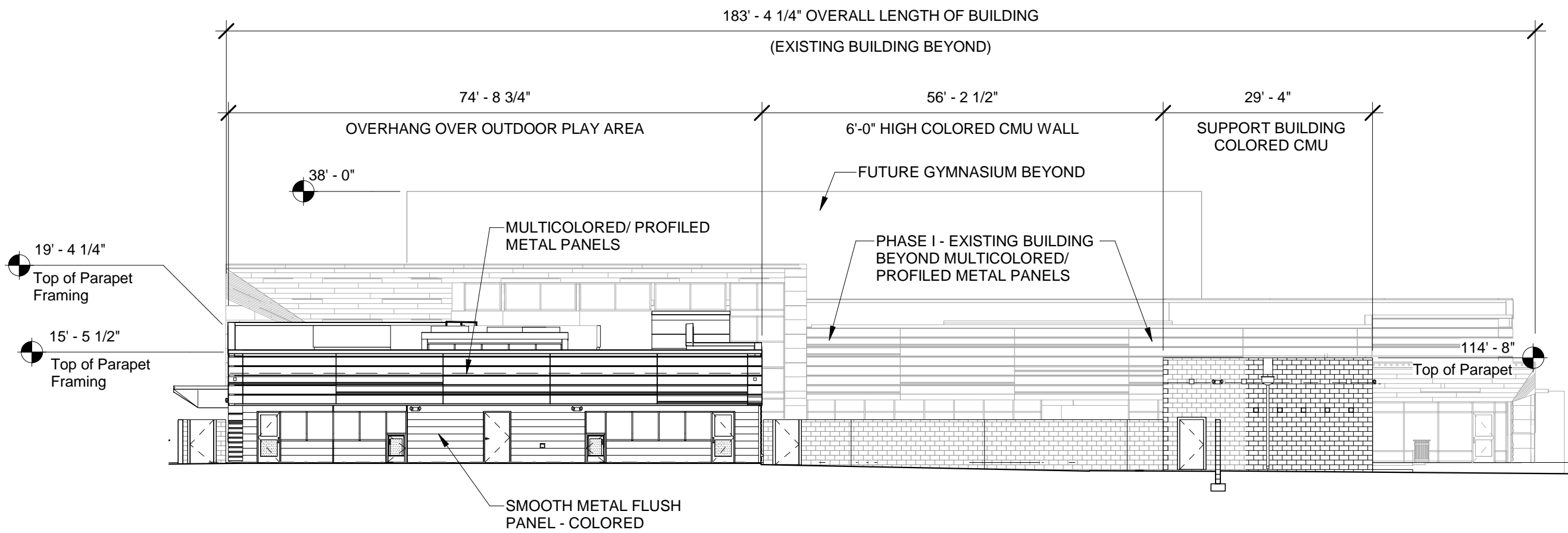
★ INDICATES EACH SECTION OF THE ELEVATION THAT HAS A CHANGE OF WALL PLANE PROJECTION/ RECESS GREATER THAN 1'-0", ALONG WITH PROJECTIONS.



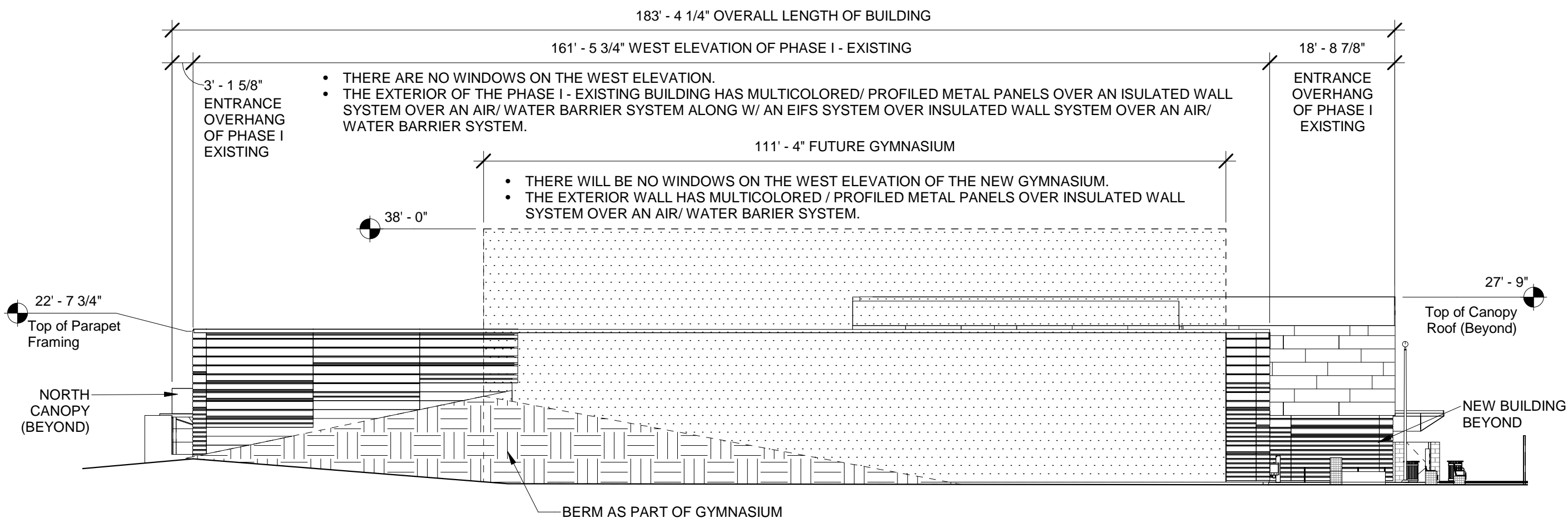
SOUTH ELEVATION • AA • FACING DE VARGAS RD SW



NORTH ELEVATION • AA



EAST ELEVATION • AA



WEST ELEVATION • PHASE 1 AND FUTURE GYMNASIUM • AA

NO.	DATE	REVISIONS	CHECKED BY:

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@lganm.com



WESTGATE COMMUNITY CENTER • BUILDING ADDITION AND
SITE IMPROVEMENTS

PROJECT ARCHITECT: LEE GAMELSKY, AIA
LGA Project #: 16-01-ABQ2
Date: 12.06.2022

SITE PLAN • ADMINISTRATIVE
EXTERIOR ELEVATIONS

By:	Sheet:	Of:
File:	AA-A-201	

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. ***The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved



Achieved in Part



Evaluated Only



2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved



Achieved in Part



Evaluated Only



3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved



Achieved in Part



Evaluated Only



4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved ☒ Achieved in Part ☐ Evaluated Only ☐

5. Design should allow for natural ventilation as much as possible.

Achieved ☐ Achieved in Part ☒ Evaluated Only ☐

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved ☒ Achieved in Part ☐ Evaluated Only ☐

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved ☐ Achieved in Part ☒ Evaluated Only ☐

8. North facing windows are encouraged as they require little to no shading.

Achieved ☒ Achieved in Part ☐ Evaluated Only ☐

9. Any west facing building entries and windows should mitigate solar effects.

Achieved ☒ Achieved in Part ☐ Evaluated Only ☐

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved ☒ Achieved in Part ☐ Evaluated Only ☐

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved ☒ Achieved in Part ☐ Evaluated Only ☐

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved ☐ Achieved in Part ☒ Evaluated Only ☐

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved ☒ Achieved in Part ☐ Evaluated Only ☐

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved ☐ Achieved in Part ☐ Evaluated Only ☒

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved

☐

Achieved in Part

☒

Evaluated Only

☐

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved

☐

Achieved in Part

☐

Evaluated Only

☐

N.A.

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved

☐

Achieved in Part

☒

Evaluated Only

☐

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved

☐

Achieved in Part

☒

Evaluated Only

☐

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project Westgate CC Phase 2 and Application No. _____.

W. Gandy
Signature of Project Architect/License No.

1931

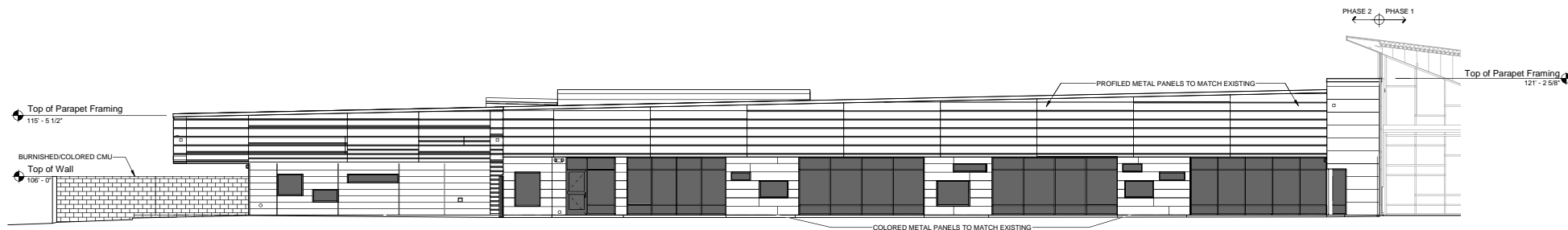
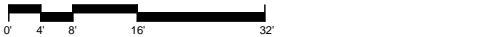
Chris Green
Signature of Project Landscape Architect/License No.

LA234

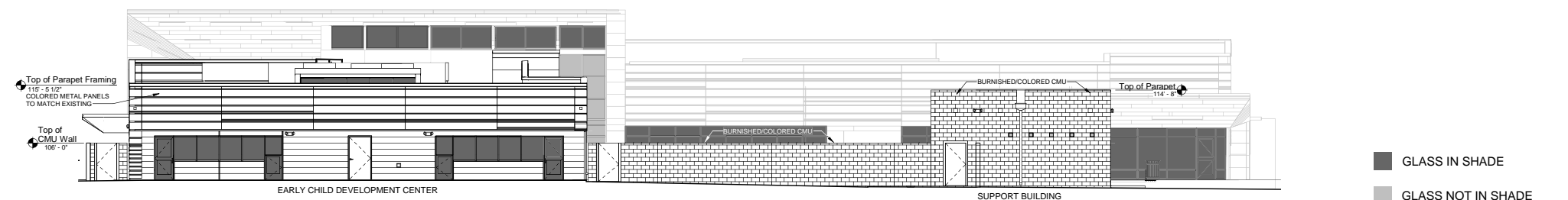
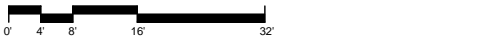
SUN AND SHADE ANALYSIS: MAY 21ST, 9:00AM



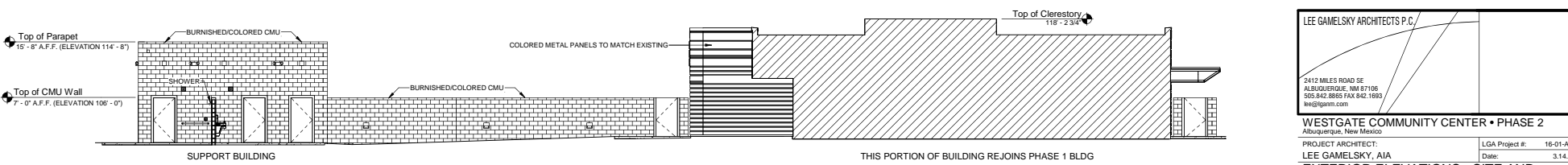
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



GLASS IN SHADE
GLASS NOT IN SHADE

LEE GAMESKY ARCHITECTS P.C.
2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 542.1693
lee@gamm.com

WESTGATE COMMUNITY CENTER • PHASE 2
Albuquerque, New Mexico

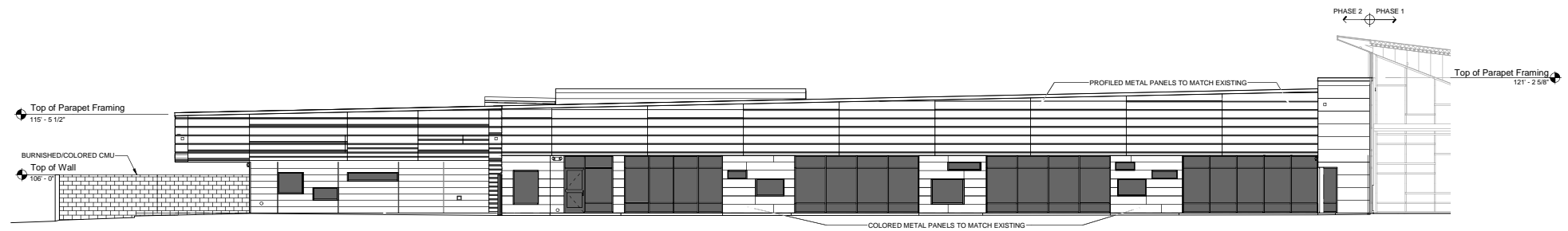
PROJECT ARCHITECT: LEE GAMESKY, AIA
LGA Project #: 16-01-ABQ2
Date: 3.14.2022

EXTERIOR ELEVATIONS - SITE AND BUILDING DESIGN CONSIDERATION

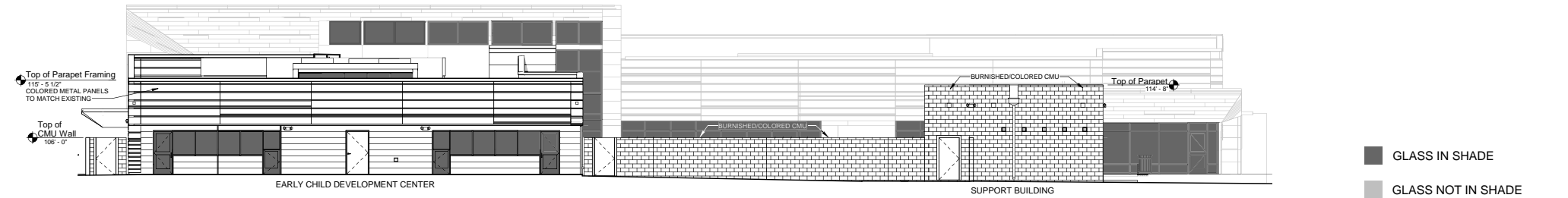
SUN AND SHADE ANALYSIS: MAY 21ST, 12:00PM



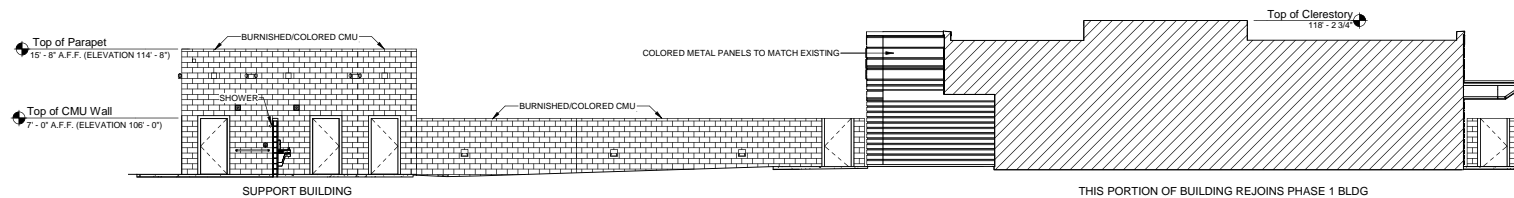
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



GLASS IN SHADE

GLASS NOT IN SHADE

LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 542.1693
lee@gamm.com

WESTGATE COMMUNITY CENTER • PHASE 2

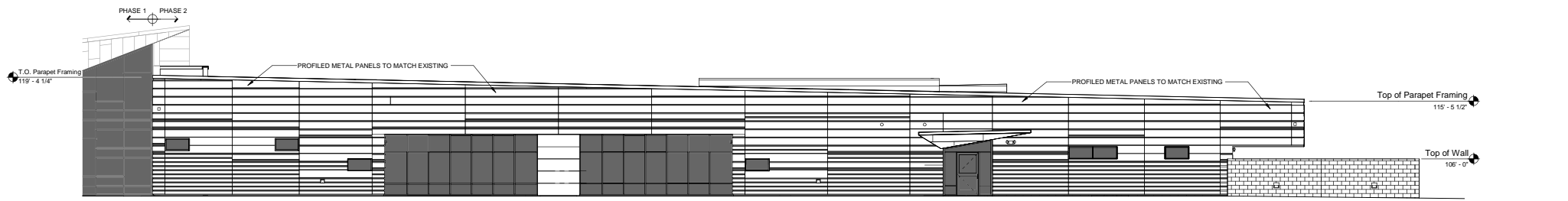
PROJECT ARCHITECT: LEE GAMESKY, AIA

LGA Project #: 16-01-ABQ2

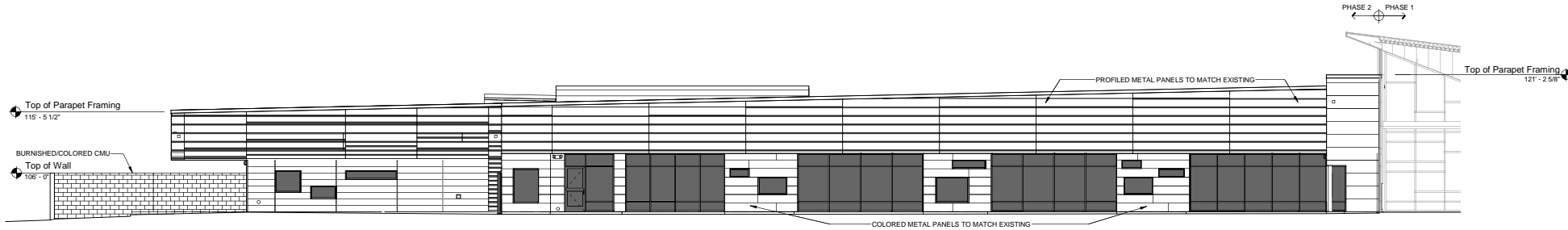
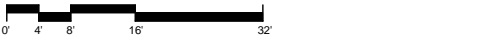
Date: 3.14.2022

EXTERIOR ELEVATIONS - SITE AND BUILDING DESIGN CONSIDERATION

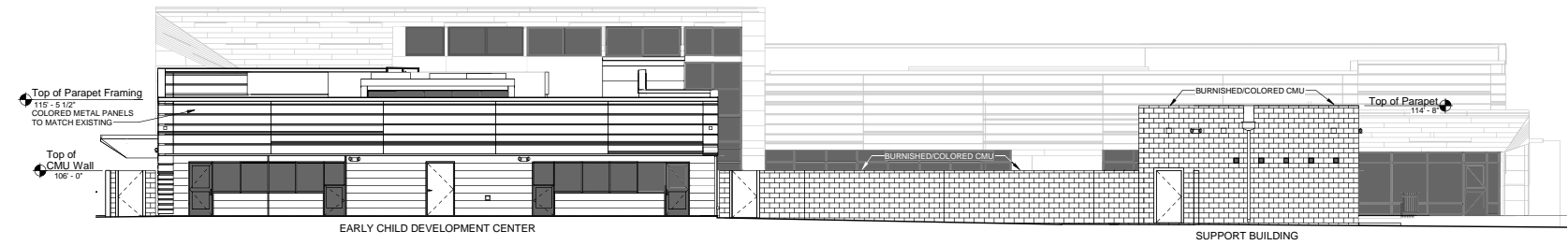
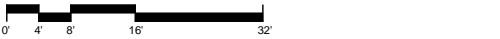
SUN AND SHADE ANALYSIS: MAY 21ST, 4:00PM



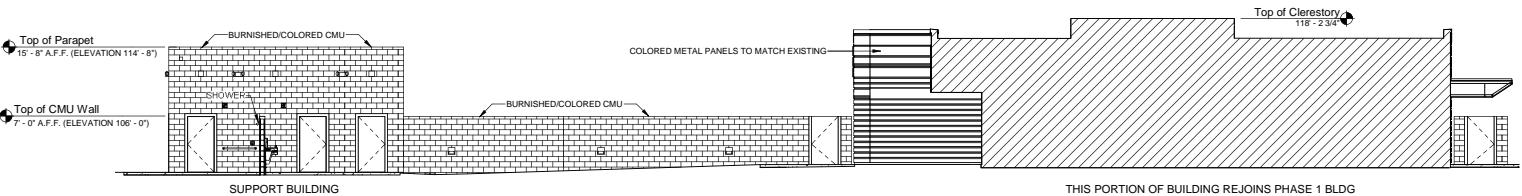
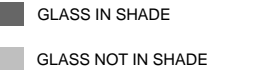
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 542.1693
lee@gamm.com

WESTGATE COMMUNITY CENTER • PHASE 2

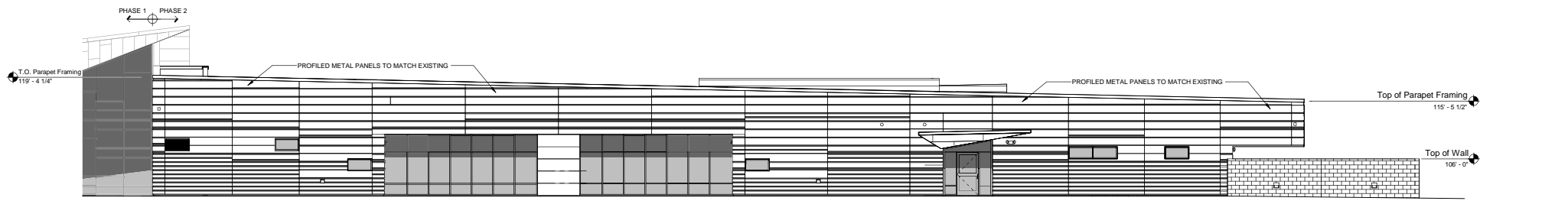
PROJECT ARCHITECT:
LEE GAMESKY, AIA

LGA Project #:
16-01-ABQ2

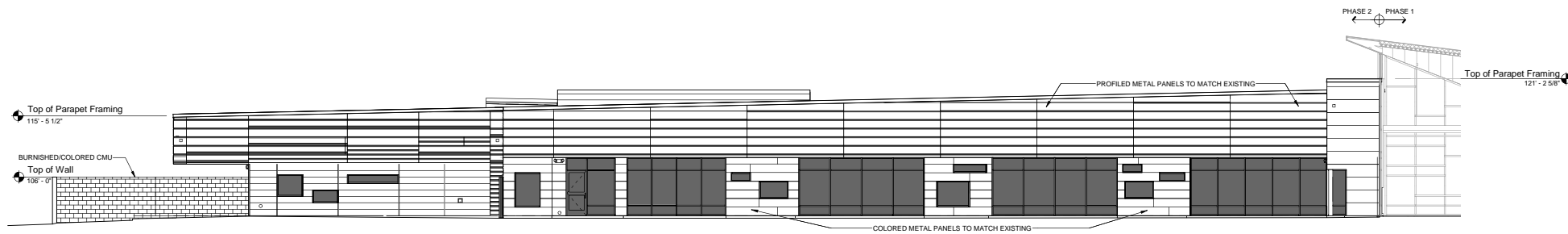
Date:
3.14.2022

EXTERIOR ELEVATIONS - SITE AND
BUILDING DESIGN CONSIDERATION

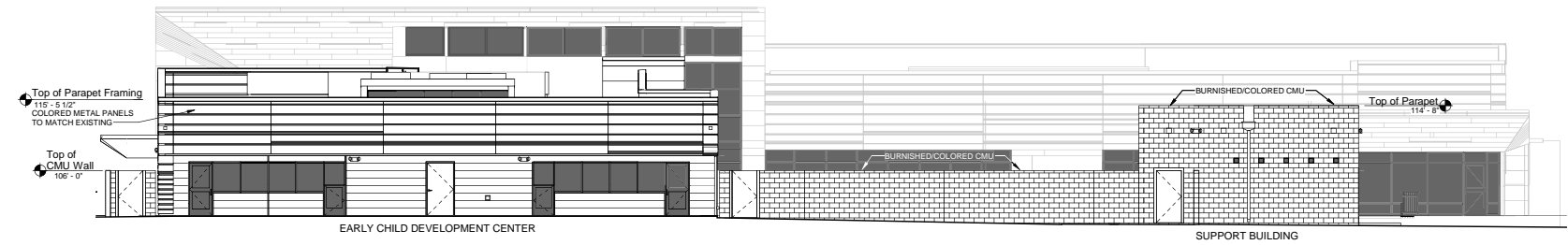
SUN AND SHADE ANALYSIS: NOVEMBER 21ST, 12:00PM



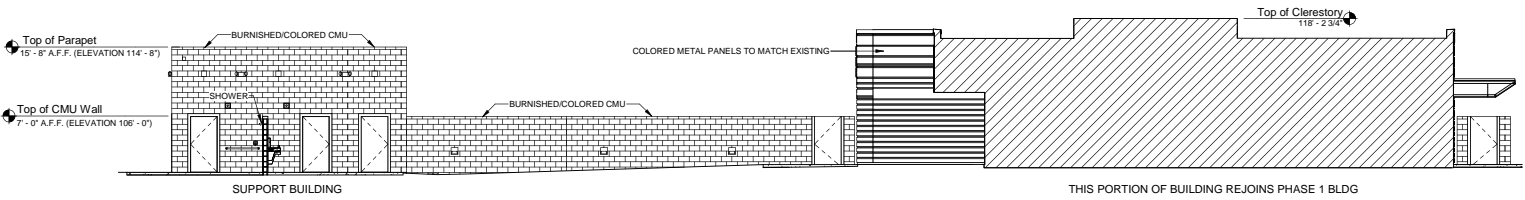
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



- GLASS IN SHADE
- GLASS NOT IN SHADE

LEE GAMESKY ARCHITECTS P.C.
2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 542.1693
lee@gamm.com

WESTGATE COMMUNITY CENTER • PHASE 2

PROJECT ARCHITECT: LEE GAMESKY, AIA
LGA Project #: 16-01-ABQ2
Date: 3.14.2022



For more current information and more details visit: <http://www.cabq.gov/gis>



LETTER OF AUTHORIZATION

26 June 2018

TO: City of Albuquerque
Zoning Hearing Examiner
Development Review Board Members

RE: Proposed Westgate Community Center
DeVargas Road SW (west of 98th Street, north side of DeVargas Road SW)
- Zone Maps L-09 / M-09
- Zoning: NRC

As indicated below, the City of Albuquerque/Department of Family and Community Services (FCS) authorizes Lee Gamelsky AIA/Lee Gamelsky Architects PC to represent FCS in all matters relating to the Applications for Conditional Use, and to the Development Review Board for the above referenced project and property.

Sincerely,


Lee Gamelsky AIA, LEED AP BD+C, Principal

Signed in concurrence with the above Letter of Authorization



Jess Martinez, Division Manager, FCS

06/27/2018

Date