

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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\_\_\_\_\_  
APPROVED BY

\_\_\_\_\_  
DATE

## - Elevations Only

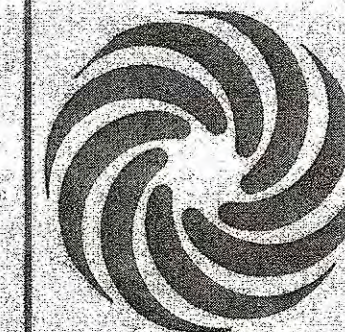


- 14) 6" STEEL BOLLARD WITH CUSTOM CAP  
RE: THE SPORTS AUTHORITY DRAWINGS FOR DETAIL 1/12
- 15) OWNER INSTALLED RAISED PLANTER BOX  
TYPICAL PLANTING BOX GRAPHIC SYMBOL: 
- 16) HANDICAP RAMP RE: 15/1/11
- 17) HANDICAP RAMP RE: 16/1/11
- 18) HANDICAP RAMP RE: 17/1/11
- 19) HANDICAP RAMP RE: 17/1/11
- 20) INDICATES "OPEN SPACE" LANDSCAPE AREAS  
GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL  
LOCATION RE: LANDSCAPE PLAN FOR INFO
- 21) INDICATES "DEVELOPED" OPEN SPACE AREA  
LOCATION RE: LANDSCAPE PLAN FOR INFO
- 22) INDICATES 1' CURBS CUT TO ALLOW FOR PASSIVE WATER SHEET  
FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO  
PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/11 FOR KNOTCH DETAIL
- 23) NOT A PART-FUTURE REDEVELOPMENT PHASE
- 24) 6" HIGH CONC. ISLAND RE: DET 4/1/11  
RE: SITE GRADING PLAN FOR INFO
- 25) SERVICE YARD/NEW RECEIVING AREA STRUCTURE
- 26) EXISTING PADMOUNT TRANSFORMER LOCATION
- 27) PROPOSED PADMOUNT TRANSFORMER LOCATION
- 28) N1 GAS METER BANK LOCATION-BLDG SECTION-4
- 29) PROPOSED FIRE HYDRANT LOCATION
- 30) PROPOSED LANDSCAPE IRRIGATION METER LOCATION
- 31) PROPOSED EN11 VAULT LOCATION
- 32) DUAL CONFIGURATION HC PARKING STALL RE: DET 5/1/12
- 33) WHEELSTOP RE: DET 5/1/12
- 34) INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
NOTE: EACH ONSITE STALL MEASURES 3' X 8' IN SIZE  
RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/1/12  
FOR "MOTOR CYCLE PARKING" SIGN DETAIL
- 35) EXTERIOR DECORATIVE CONCRETE ENTRY AREA  
MAIN BUILDING ENTRY PATHWAY
- 36) INDICATES PROPOSED OUTDOOR DEVELOPED PLAZA AREA ON THE NORTHWEST  
CORNER OF THE FUTURE PAD BLDG AREA. AREA SHALL CONTAIN  
LANDSCAPE PLANTING BEDS ADJACENT TO CONCRETE WALKWAYS. THE CENTER  
PORTION OF THE PLAZA AREA SHALL CONTAIN RAISED CONCRETE PLANTERS.
- 37) PLAZA SIDEWALK EDGE DETAIL RE: DETAIL 2/1/12
- 38) INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE  
PAINT-CURE RED IN COLOR
- 39) EXISTING ASPHALT DRIVE
- 40) PROPOSED ASPHALT DRIVE
- 41) PROPOSED TEMPORARY LOADING AREA  
6" CONCRETE SLAB W/ 1/4 EA. WAY AT 12" OC
- 42) NEW ROLL-OVER CURB AT EDGE OF TEMP. TRUCK  
LOADING AREA
- 43) TIE EXISTING SIDEWALK INTO FACE OF NEW  
6" CONC. LOADING AREA SLAB
- 44) NEW END ISLAND STRIPPING
- 45) EXISTING PYLON SIGN TO REMAIN
- 46) PROPOSED PYLON SIGN LOCATION UNDER SEPERATE APPROVAL  
(RE: 15.AA-10018 FOR APPROVED FREESTANDING SIGNAGE)  
NOTE: PROVIDE 2 1-1/2" CONDUITS  
FROM SIGN LOCATION/TERMINATE AT  
FUTURE BLDG-SECTION-4 ELECTRICAL ROOM LOCATION  
ON INTERIOR FACE OF BUILDING (609).
- 47) INDICATES NEW 6" REINFORCED CONCRETE SLAB  
W/ 1/4 EA WAY AT 12" OC  
WITHIN NEW SERVICE YARD.
- 48) NEW 8" PLT FACED 6" CMU BLOCK RETAINING WALL.  
NOTE: WALL HEIGHT SHALL NOT EXCEED 3' IN HEIGHT FROM  
ADJACENT FINISHED GRADE LEVEL ELEVATION
- 49) INDICATES CONTRACTOR-1 SCOPE OF WORK AREA
- 50) INDICATES CONTRACTOR-2 SCOPE OF WORK AREA
- 51) INDICATES MOTORCYCLE PARKING LOCATION (4' X 8' PER STALL)  
RE: DETAIL 1/1/12 FOR SIGNAGE REQUIREMENTS

|                                                   |                                                                                                                                         |
|---------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|
| <b>SITE DATA TABLE</b>                            | <b>PROJECT AREA PHASE LIMITS (LOT A-N-N-M)</b>                                                                                          |
| <b>LEGAL DESCRIPTION</b>                          | <b>PROJECT A-M-THORNTON CENTER, ADDITION</b>                                                                                            |
| <b>TOTAL ACRES</b>                                | <b>AS A SITE PLAN FOR BUILDING PERMIT</b>                                                                                               |
| <b>EXISTING ZONING</b>                            | <b>SR1 (HIST)</b>                                                                                                                       |
| <b>PROPOSED USE</b>                               | <b>GENERAL RETAILING</b>                                                                                                                |
| <b>EXISTING BUILDING SIZE</b>                     | <b>EXISTING BUILDING AREA-25,000 SQ BLDGS. AREA</b>                                                                                     |
| <b>BUILDING ADDITION AREA</b>                     | <b>PLANNED PHASE ADDITION AREA-6,000 SQ BLDGS. AREA</b>                                                                                 |
| <b>TOTAL</b>                                      | <b>TOTAL AREA-31,000 SQ. FT. TOTAL</b>                                                                                                  |
| <b>TOTAL PARKING PROVIDED WITHIN PROJECT AREA</b> | <b>TOTAL AS PROJECT AREA PHASES-G4A PARKS</b>                                                                                           |
| <b>TOTAL PARKING REQ.</b>                         | <b>17 PER 1,000 SQ. FT. REQUIRED SPACES</b>                                                                                             |
|                                                   | <b>NO. SPACES OF REQ. PARKING ARE PROVIDED AT EXISTING PARKING FIELD EAST OF THE SITE AS A AREA SURROUNDING HAS 875 EXISTING SPACES</b> |
| <b>NO PROVIDED:</b>                               | <b>10 SPACES (MORE: ALL SPACES WERE ACCESSIBLE)</b>                                                                                     |
| <b>NO REQUIRED:</b>                               | <b>0 SPACES</b>                                                                                                                         |
| <b>BIKE SPACES PROVIDED:</b>                      | <b>0 SPACES</b>                                                                                                                         |
| <b>BIKE SPACES REQUIRED:</b>                      | <b>0 SPACES</b>                                                                                                                         |
| <b>SCENARIOS OF SPACES PROVIDED:</b>              | <b>0 SPACES</b>                                                                                                                         |
| <b>SCENARIOS OF SPACES REQUIRED:</b>              | <b>0 SPACES</b>                                                                                                                         |
| <b>NOT REQUIRED TO BE PROVIDED</b>                | <b>NOT REQUIRED TO BE PROVIDED</b>                                                                                                      |

ADMINISTRATIVE AMENDMENT  
FILE # ~~10000~~ PROJECT # ~~1003202~~  
REVISED BLDG ELEVATIONS,  
ADDITIONAL INFRASTRUCTURE SUCH AS WALKWAYS ETC.  
UPDATING SDP + PARKING LOT REDESIGN  
1/4 9-30-10  
RECEIVED APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

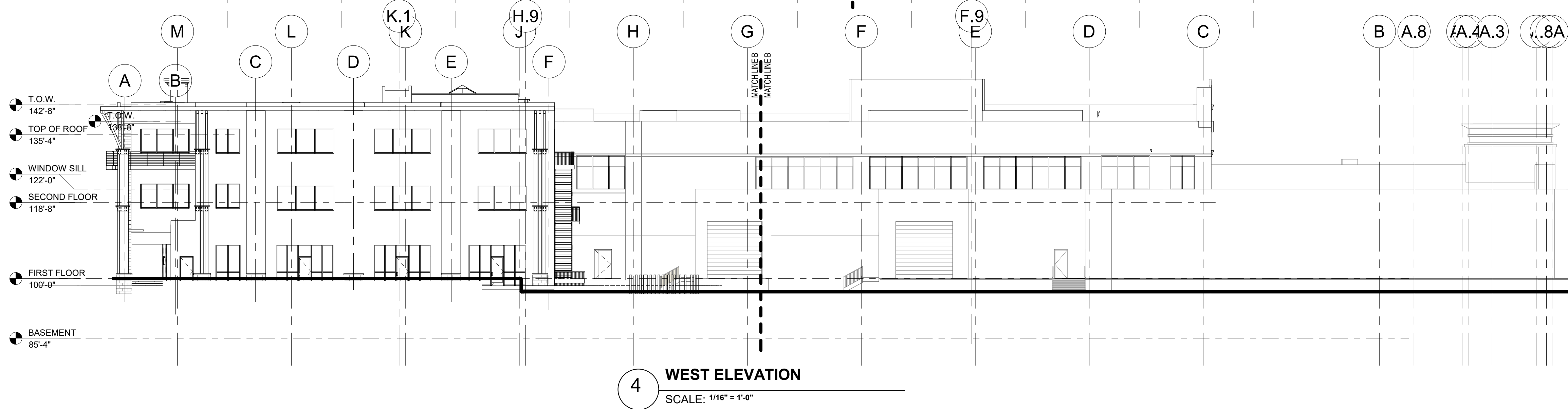
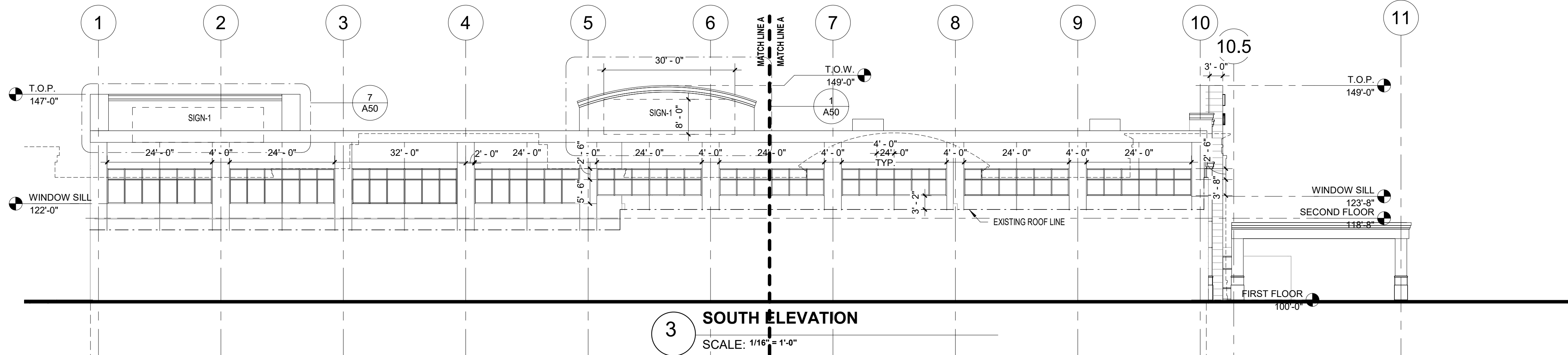
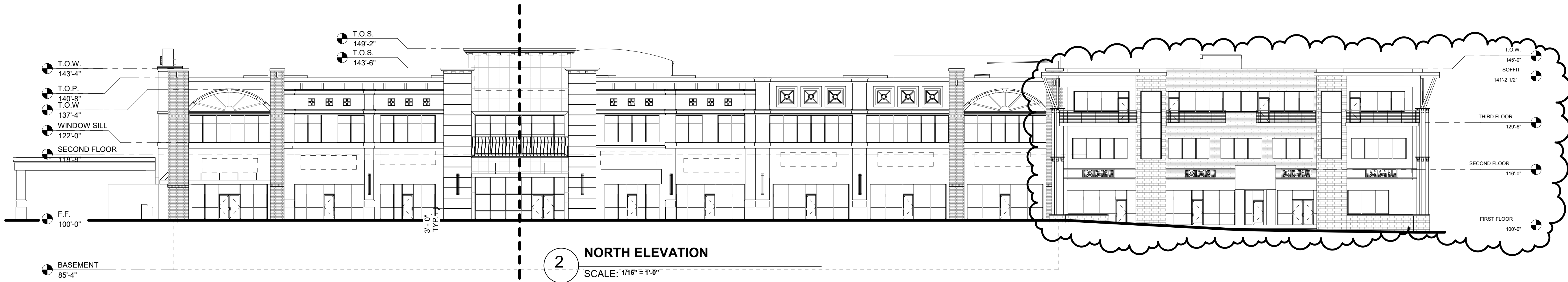
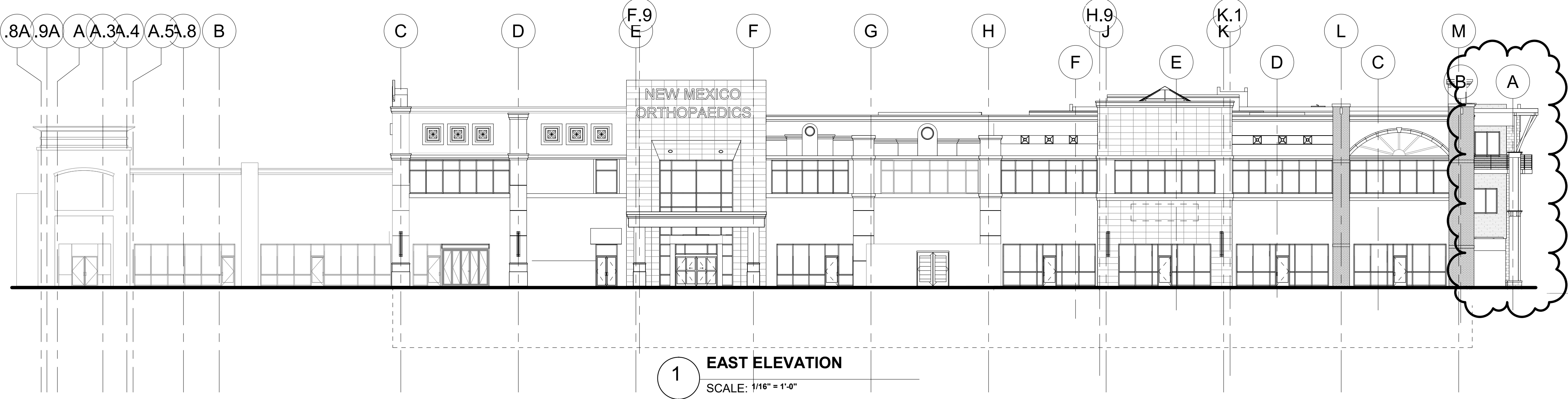
**MODULUS ARCHITECTS**  
2220 COPPER AVE., N.W., SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



|                |                                                                             |                                          |           |   |
|----------------|-----------------------------------------------------------------------------|------------------------------------------|-----------|---|
| PROJECT TITLE  | P-4 EXTERIOR IMPROVEMENTS<br>UNIONCO TOWN CENTER<br>ALBUQUERQUE, NEW MEXICO |                                          | DRAWN BY: | 3 |
| PROJECT NUMBER | STEVEN DUNBAR / AIA                                                         | JOB NO.                                  | P-4       |   |
| DATE: 7/20/84  |                                                                             | SHEET TITLE: SITE PLAN FOR PAVING PERMIT |           |   |
| SCALE:         | AS NOTED                                                                    |                                          |           |   |

ADMINISTRATIVE AMENDMENT  
3/27/88  
FILE #000718 PROJECT #00354  
New south & east facades  
for the former Montgomery  
Ward's building.  
R. J. [Signature]  
DATE 3/27/88

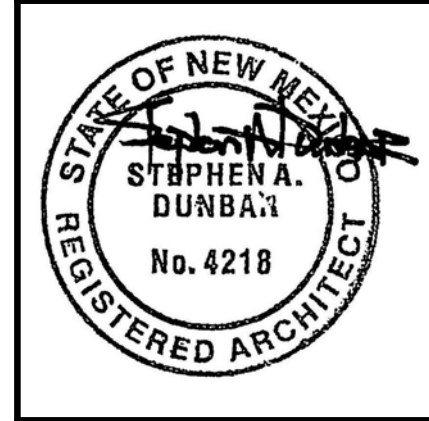
**ADMINISTRATIVE AMENDMENT SUBMITTAL FOR EAST/NORTH REVISED BUILDING ELEVATIONS  
ONLY FOR THE EXISTING MONTGOMERY WARDS BUILDING  
SUBMITTED 7/17/2018**



| REV | DATE   | BY | REVISION |
|-----|--------|----|----------|
| 10  | 9-8-22 | AA |          |

**MODULUS ARCHITECTS**

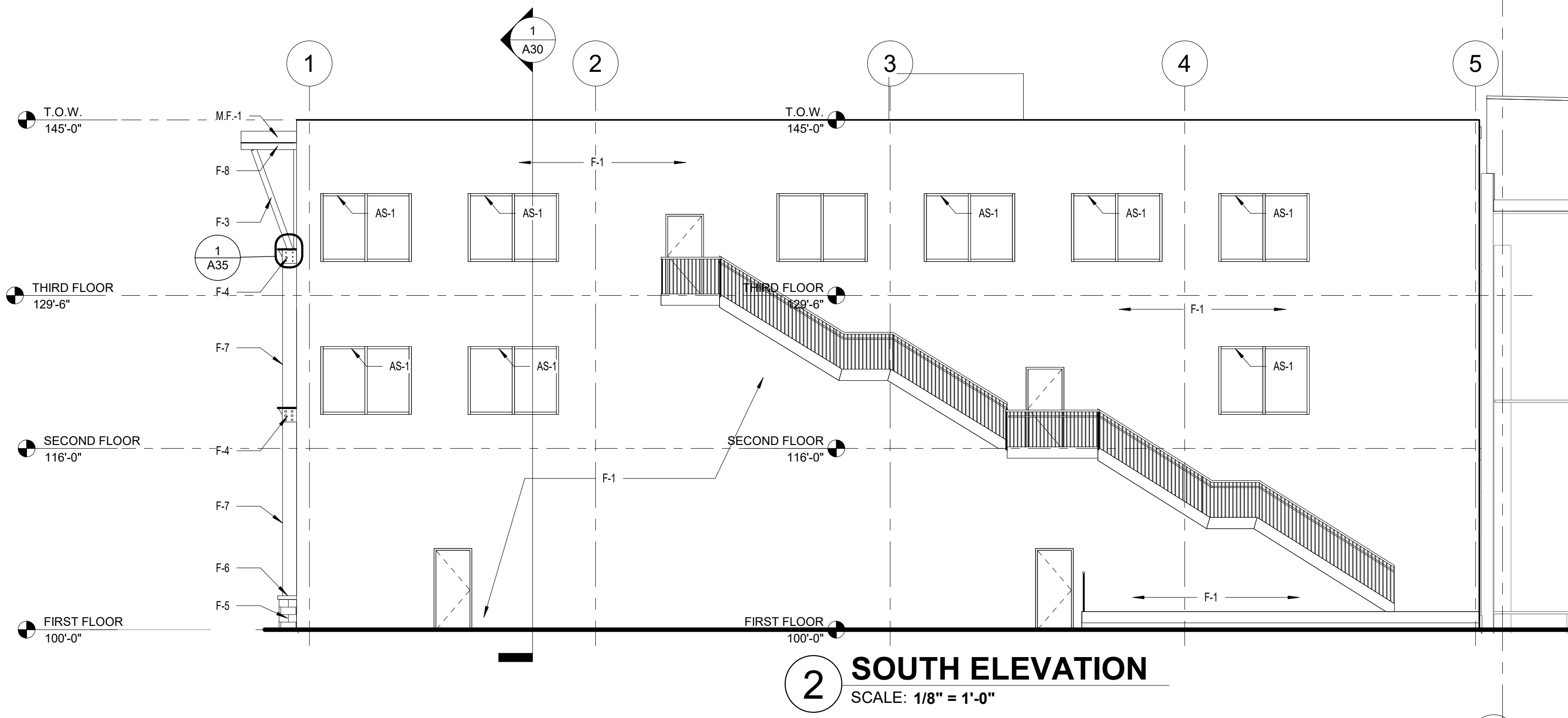
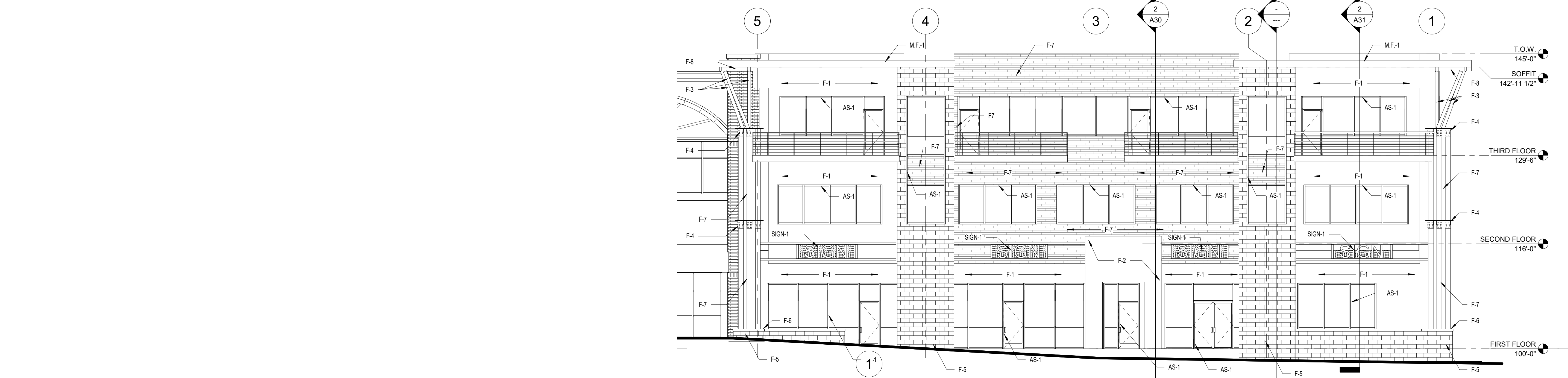
100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161



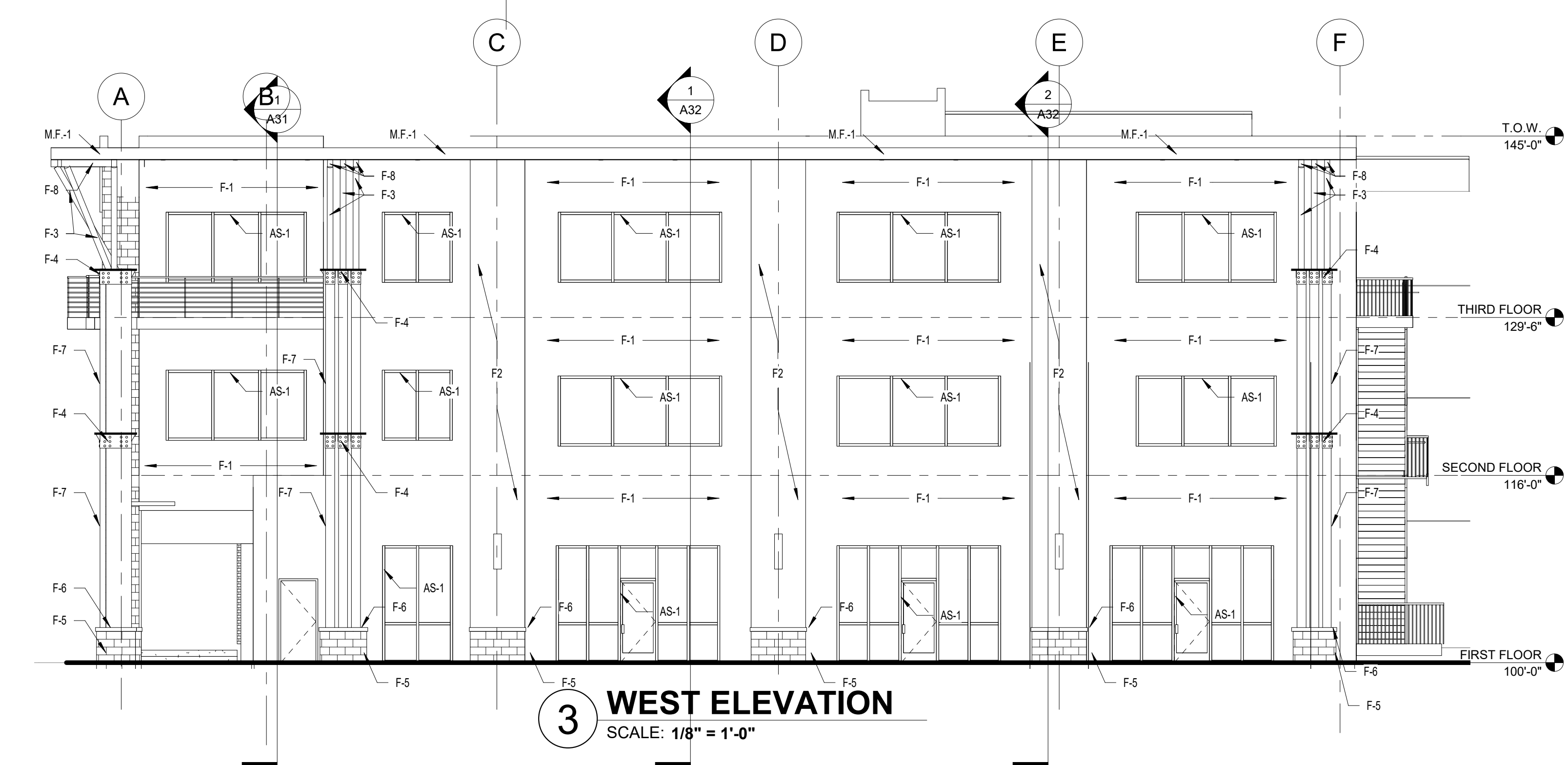
ADMINISTRATIVE AMENDMENT

|                                                   |                    |           |
|---------------------------------------------------|--------------------|-----------|
| PROJECT TITLE<br><b>WARDS RENOVATION</b>          | JOB NO.<br>MED SPA | DRAWN BY: |
| 2100 LOUISIANA BLVD. NE.                          |                    |           |
| PROJECT MANAGER                                   |                    |           |
| SHEET TITLE<br><b>OVERALL BUILDING ELEVATIONS</b> |                    |           |

|                 |                     |
|-----------------|---------------------|
| DATE<br>2/25/19 | SHEET<br><b>A20</b> |
| SCALE:          |                     |



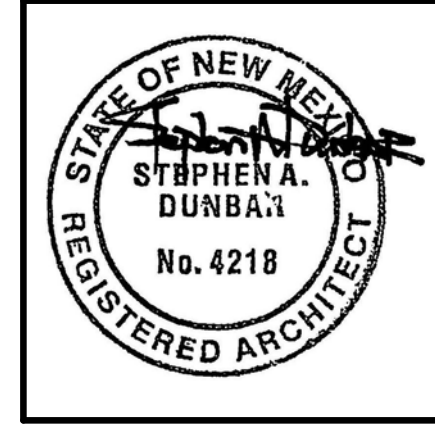
| EXTERIOR MATERIALS |                                                         |
|--------------------|---------------------------------------------------------|
| F-1                | EXTERIOR STUCCO SYSTEM (3 COAT STO OR EQUAL; WHITE)     |
| F-2                | EIFS SYSTEM (GRAY)                                      |
| F-3                | DECORATIVE STL PIPE: COLOR KYNAR 500 MATTE BLACK        |
| F-4                | DECORATIVE MTL CUSTOM BAND: COLOR KYNAR 500 MATTE BLACK |
| F-5                | SPLITFACE CMU: COLOR GRAY                               |
| F-6                | CAST STONE CAP: COLOR GRAY                              |
| F-7                | T&G HARD WOOD VENEER - BROWN                            |
| F-8                | WOOD BEAM COLOR BROWN                                   |
| AS-1               | DARK BRONZE ALUM. STOREFRONT                            |
| M.F.-1             | METAL FACIA COLOR MATTE BLACK                           |
| SIGN-1             | SIGNAGE BY TENANT                                       |



| REV | DATE | BY | REVISION |
|-----|------|----|----------|
|     |      |    |          |
|     |      |    |          |
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|     |      |    |          |

MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161



CONSTRUCTION DOCUMENTS

PROJECT TITLE  
**PORTLAND OFFICE BLDG.**  
2100 LOUISIANA BLVD. NE ALBUQUERQUE, NM.

PROJECT MANAGER  
JOB NO.  
DRAWN BY:

SHEET TITLE  
**BUILDING ELEVATIONS**

DATE  
9/06/2022  
SCALE:

SHEET  
**A20**



