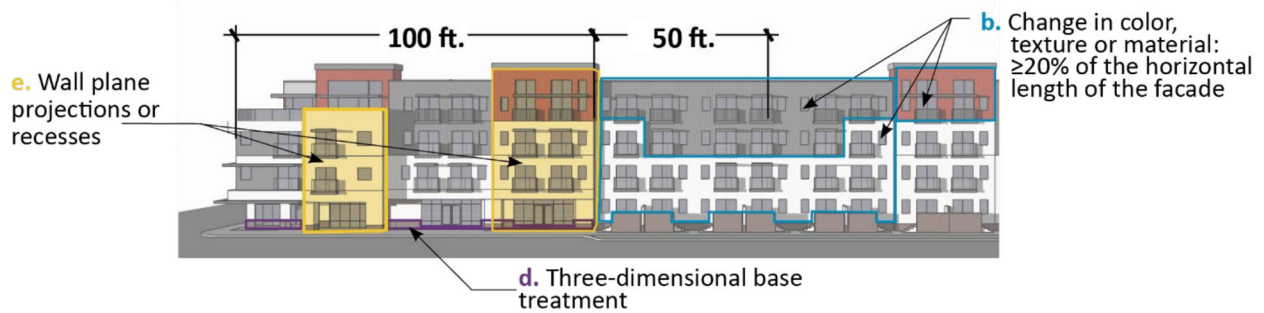


# "Exhibit A"

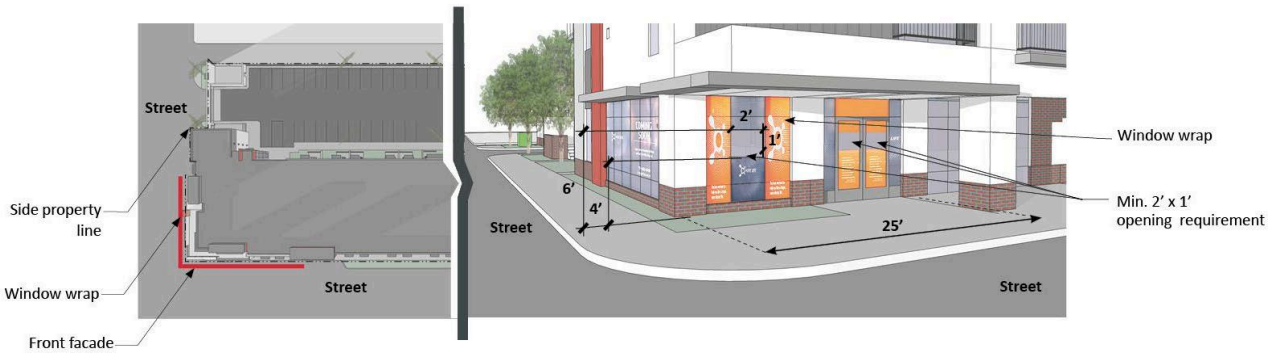


- a. Wall plane projections or recesses of at least 1 foot in depth at least every 100 feet of façade length and extending for at least 25 percent of the length of the façade.
  - b. A change in color, texture, or material at least every 50 feet of façade length and extending at least 20 percent of the length of the façade.
  - c. An offset, reveal, pilaster, or projecting element no less than 2 feet in width, projecting from the façade by at least 6 inches, and repeating at minimum intervals of 30 feet of façade length.
  - d. Three-dimensional cornice or base treatments.
  - e. A projecting gable, hip feature, or change in parapet height at least every 100 feet of façade length.
  - f. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program.
4. All accessory buildings visible from a public street shall be similar in color, material, distinctive rooflines, finishing details, and accent features to the primary building.

## 5-11(E)(2)(b) Urban Centers, Activity Centers, and Main Street and Premium Transit Areas

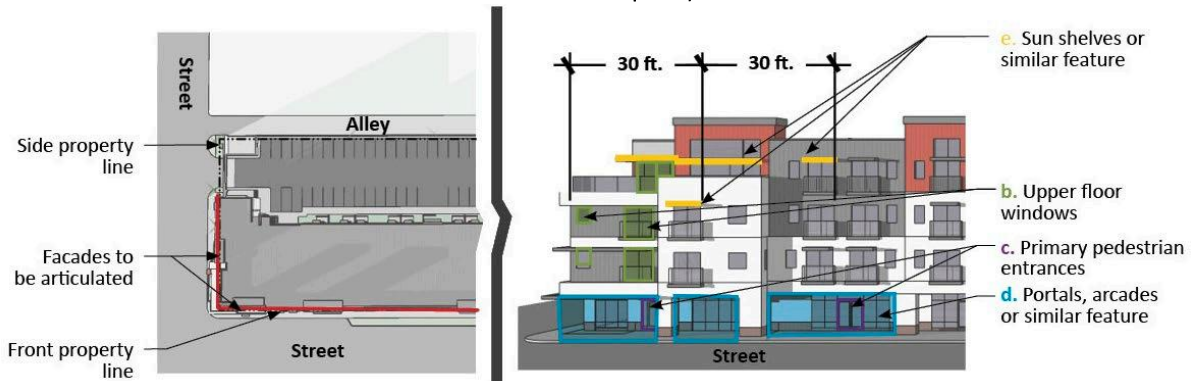
1. In new residential and mixed-use development, windows on the upper floors shall be recessed not less than 2 inches.
2. Each ground floor of a street-facing façade shall contain a minimum of 30 percent of its surfaces in transparent windows and/or doors.
  - a. No minimum window sill height is required.
  - b. For commercial or office uses, interior space must be visible to a depth of 6 feet from the façade.
  - c. For buildings in which over 50 percent of the gross floor area of the ground floor is vacant, a Permit – Temporary Window Wrap may be granted pursuant to Subsection 14-16-6-5(E) to temporarily obscure transparent windows and/or doors with opaque window wrap. (See figure below.)

**Standard being met. 85% of the street facing facade contains transparent windows and doors.**



- i. Any window wrap shall be limited to the portion of the building with a vacant tenant space.
- ii. Any window wrap shall provide at least 1 opening that is 2-feet wide and 1-foot tall between 4 feet and 6 feet above ground for every 20 feet of façade length, or as acceptable to the City Fire Marshal and the Albuquerque Police Department for security and surveillance into the building.
- iii. Potential negative impacts of the temporary window wrap on surrounding properties, as determined by the ZEO, shall be mitigated to the maximum extent practicable.
- iv. Any portion of the window wrap that meets the definition of a sign in this IDO shall meet the requirements of Section 14-16-5-12 (Signs) and requires a Permit – Sign pursuant to Subsection 14-16-6-5(C).

3. Each street-facing façade shall incorporate at least 3 of the following features along at least 30 percent of the length of the façade. The features listed below shall be distributed along the façade so that at least 1 of the of the incorporated features occurs every 30 feet of façade length. (See figure below for examples.)



**Standard being met. 85% of the street facing facade contains transparent windows and doors. All window sills are at the floor.**

- a. Transparent windows and/or doors that constitute a minimum of 50 percent of 1 ground floor street-facing façade, with the lower edge of window sills no higher than 30 inches above the finished floor.
- b. Windows on upper floors.
- c. Primary pedestrian entrances.
- d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
- e. Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.
- f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.

4. Each street-facing façade longer than 50 feet shall incorporate at least 2 of the following additional features:

**Wall Plan recesses are 3'-2" and 1' for 25% of the length of the facade.**

- a. Wall plane projections or recesses of at least 1 foot in depth, occurring at least every 50 feet of façade length and extending for at least 25 percent of the length of the façade.

**A change in texture occurs at least 20% the length of the facade - wood (4'-10") to stucco (19'-8") to CMU (8'-8") to stucco, CMU to stucco to wood.**

- b. A change in texture or material occurring every 25 feet of façade length and extending for at least 20 percent of the length of the façade.

**Offset, projecting elements and pilaster (varies). Projecting elements are 16' in length occur 8'-8"; offset 19' length at corners and pilasters on west are 4'-8" in width @ 19'-4"; pilaster on north 4'-4" & 8'-8" in width 20'**

- c. An offset, reveal, pilaster, or projecting element, no less than 2 feet in width, projecting at least 6 inches from the façade and repeating at minimum intervals of 25 feet of façade length.

- d. Three-dimensional cornice or base features that are different in material from the primary façade and project at least 3 inches from the façade. A base feature shall be no shorter than 18 inches, and a cornice feature shall be no shorter than 12 inches.
  - e. A projecting gable, hip feature, or change in parapet height for every 50 feet of façade length.
  - f. Art, such as murals or sculpture, that is privately owned or coordinated through the City Public Arts Program.
5. All accessory buildings visible from a public street shall be similar in color, material, distinctive rooflines, finishing details, and accent features to the primary building.

### 5-11(E)(3) Outdoor Seating and Gathering Areas

#### 5-11(E)(3)(a) General

- 1. For primary buildings containing a use from the Transportation subcategory of Commercial Uses or from the