



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Lloyd & Associates Architects		Phone:
Address: 321 W San Francisco St Suite A		Email: tome@lloyd-architects.com
City: Santa Fe	State: NM	Zip: 87501
Professional/Agent (if any): Tierra West LLC		Phone: (505) 858-3100
Address: 5571 Midway Park Place NE		Email: JNISKI@TIERRAWESTLLC.COM
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List all owners:	

BRIEF DESCRIPTION OF REQUEST

Request for Administrative Amendment Approval

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TR C1 PLAT FOR TRACT C-1 ALEXANDER CENTER (BEING COMPRISED OF TRACT C, ALEXANDER CENTER, LESS A PORTION CONVEYED TONMDOT)	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101405927119932507
Zone Atlas Page(s): H-14-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 2.5286AC

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2217 4th ST NW	Between: 4TH ST NW	and: Cutler Ave NW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2018-001670, ZA-91-178, V-76-90, 2019C133, Z-72-18

Signature:	Date:
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☒ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ The approved Site Plan being amended
- ☒ NA Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Plan, with changes circled and noted
- ☒ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

August 22, 2022

Ms. Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **ADMINISTRATIVE AMENDMENT**
2217 4TH ST NW, ALBUQUERQUE, NM
TR C OF ALEXANDER CENTER (EXCL S'LY PORT OUT TO R/W)
ZONE ATLAS PAGE: H-14-Z

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Lloyd & Associates Architects C/O Tom Cordova pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Daniel Porras
Print Name

Daniel Porras
Signature

Marketing Company President
Title

8/22/22
Date



TIERRA WEST, LLC

September 27, 2022

Mr. James Aranda
City Of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

RE: U-HAUL – 4TH AND I-40
REQUEST FOR ADMINISTRATIVE AMENDMENT
2217 4TH STREET NW ALBUQUERQUE, NM 87107
TR C OF ALEXANDER CENTER (EXCL S'LY PORT OUT TO R/W)
ZONE ATLAS PAGE H-14-Z

Dear Mr. Aranda:

Tierra West, LLC, on behalf of U-Haul, requests approval for an Administrative Amendment to the Site Development Plan for the above referenced project. The project is located at 2217 4th Street NW, Albuquerque, NM 87107. The request is to revise the loading dock area from two docks to one dock as shown on the attached revised Traffic Circulation Layout.

This project construction was delayed due to the COVID Pandemic and during that period market conditions dictated the need for only one loading dock. The asphalt area north of the single dock will be an at grade forklift access to the dock area. Attached is the approved Site Plan for Building Permit Plan that we would like to amend to show the single loading dock.

Per IDO Minor Amendments Section 6-4(Y)(2)(a) the following criteria has been addressed:

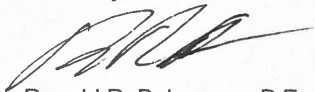
1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.
This project construction was delayed due to the COVID Pandemic and over that time the developer decided only one loading dock was needed at this location. The reduction from 2 to 1 dock is being requested. All other items of the site development plan remain the same.
2. The amendment does not increase or decrease the dimensions of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations of amendments).
This request does not change any of the standards listed in Table 6-4-4.
3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.
This request does not have any impact on the open space provided on the site.
4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.
This request does not reduce any building setback and is not adjacent to any residential use.
5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-US-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.
This is a commercial development with no residential units.
6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.
This request does not affect the building design, only reducing an external loading dock from a dual dock to a single dock.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.
This request does not affect the landscaping or screen approved with the original Site Plan for Building Permit.
8. The amendment does not increase the traffic accessing the subject from local streets and does not increase the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.
This request does not affect the traffic or pedestrian connections.
9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.
This request does not affect any public infrastructure or circulation pattern of the approved Site Plan for Building Permit.
10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.
This request does not affect any specific condition applied to the approved Site Plan for Building Permit.
11. The amendment does not affect a property in an Overlay zone as regulated pursuant to O, in which case amendments may be granted per the original approval process for the Site Plan governing the site.
This property is not located in an Overlay Zone.
12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.
This request does not change the land use.
13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).
This site does not have a nonconformity nor does this request create one.

Should you have any questions or require additional information regarding this matter, please feel free to contact Jon Niski at 505-858-3100.

Sincerely,

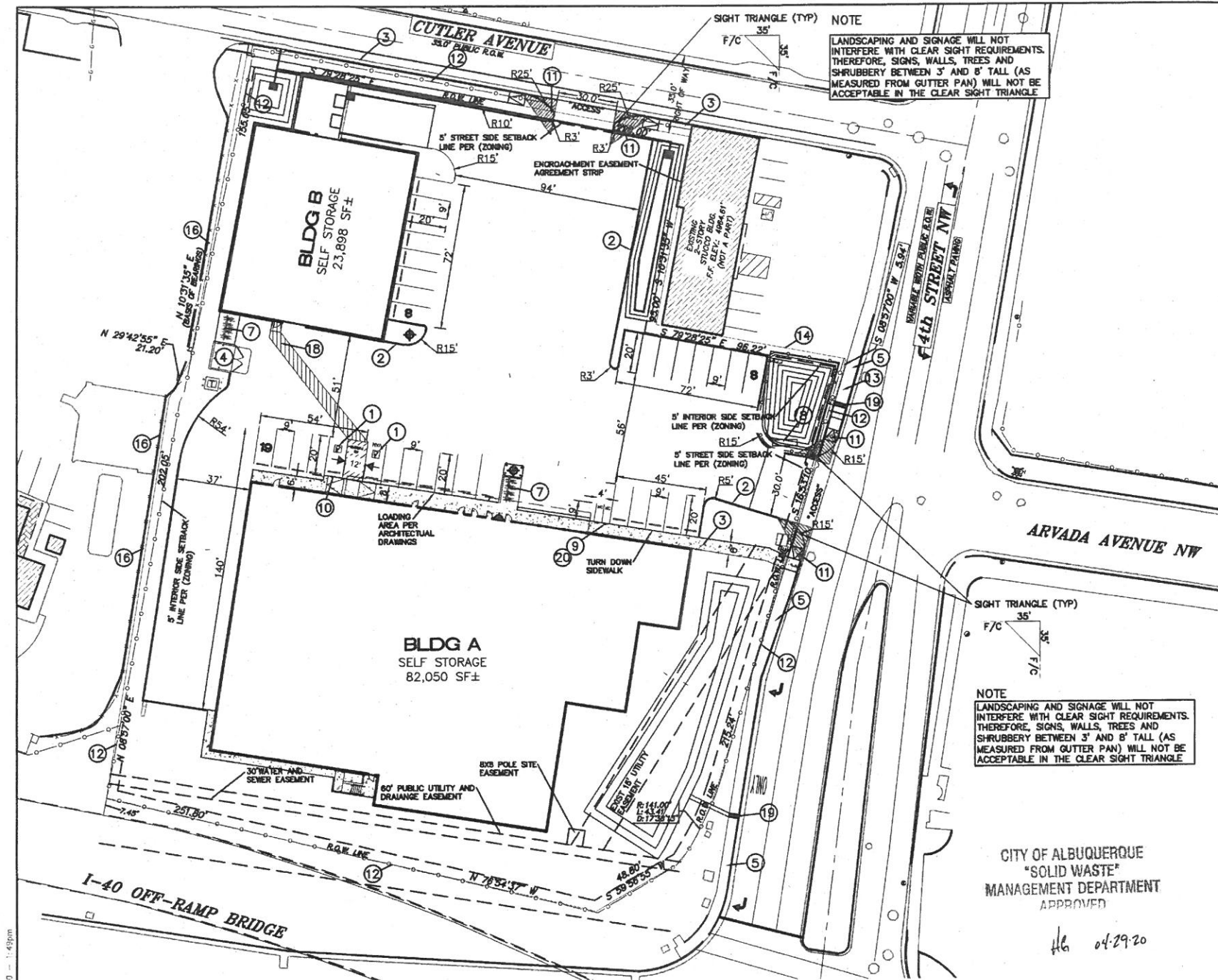


Ronald R. Bohannon, P.E.

Enclosure/s

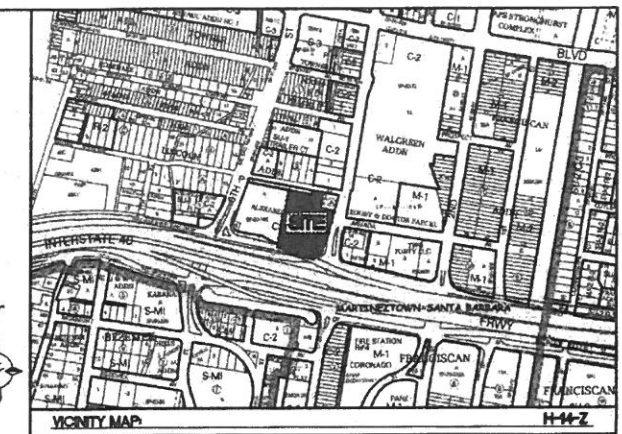
Cc: Tom Cordova
Lloyd & Associates Architects

JN: 2019070
RRB/jn/ye



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK/CONCRETE
 - ASPHALT
 - EXISTING CURB & GUTTER
 - STREET LIGHTS

- KEYED NOTES**
- ACCESSIBLE PARKING: THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED SEE DETAIL SHEET C5
 - NEW CURB AND GUTTER SEE DETAIL SHEET C5
 - NEW 6" CONCRETE SIDEWALK PER COA STD DWG 2430
 - DUMPSTER W/RECYCLE SEE DETAIL SHEET C6
 - EXISTING SIDEWALK, ALL BROCKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER SEE DETAIL SHEET C5 PER C.O.A. DWG. 2415A & B.
 - CURB RETURN HANDICAP RAMP SEE DETAIL SHT C5
 - BICYCLE PARKING SEE DETAIL SHEET C5
 - MONUMENT SIGN
 - MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C5 (TYP ONE FOR EACH SPACE)
 - HANDICAP PARKING SIGN SEE DETAIL SHEET 5 (TYP ONE FOR EACH SPACE)
 - UNIDIRECTION ACCESSIBLE RAMP SEE DETAIL SHEET 5
 - EXISTING CHAINLINK FENCE, TO BE REMOVED AT END OF CONSTRUCTION.
 - CITY OF ALBUQUERQUE BUS STOP
 - EXISTING TUBULAR STEEL FENCE
 - NOT USED
 - NO PARKING SIGN
 - EXISTING ACCESS TO BE REMOVED AND REPLACED WITH STANDARD CURB AND GUTTER PER COA STD DWG 2415A
 - ACCESSIBLE HANDICAP RAMP SEE DETAIL SHEET C5
 - 6" CROSSWALK SEE DETAIL SHEET C6
 - 2' SIDEWALK CULVERT PER COA STD DWG 2236.
 - TRANSITION TO RAISED SIDEWALK



LEGAL DESCRIPTION:
TRACT C OF ALEXANDER CENTER (EXCL S'LY PORT OUT TO R/W)
NOTES:
UPC NO: 101405927019832507

SITE DATA	
PROPOSED USAGE:	AUTOMOBILE & TRUCK RENTAL, EQUIPMENT STORAGE, SELF-STORAGE FACILITIES, WAREHOUSING & STORAGE ESTABLISHMENTS
ZONE: M-MIX	
IDO CLASSIFICATION:	MERCANTILE (GROUP M)
LOT AREA:	108,900 SF (2.50 ACRES)
ADDRESS:	2217 4TH STREET N.W.
BUILDING AREA:	BUILDING "A": 27,875 SF / BUILDING "B": 7,966 SF
PARKING REQUIRED:	35 SPACES (1 SPACE PER 1,000 SF) SELF STORAGE 105,948 SF / 3000 SF = 35 SPACES
PARKING PROVIDED:	35 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	10 SPACES
LANDSCAPE AREA REQUIRED:	10,959 SF
LANDSCAPE AREA PROVIDED:	29,621 SF

ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED

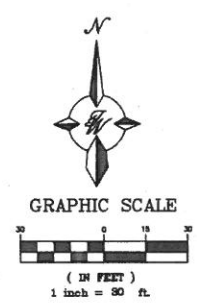
Signed _____ Date **5-4-20**

	U-HAUL 4TH AND I-40	DRAWN BY RMG
	TRAFFIC CIRCULATION LAYOUT	DATE 04/20/2020
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tterrawestllc.com	SHEET # C-1 JOB # 2019070

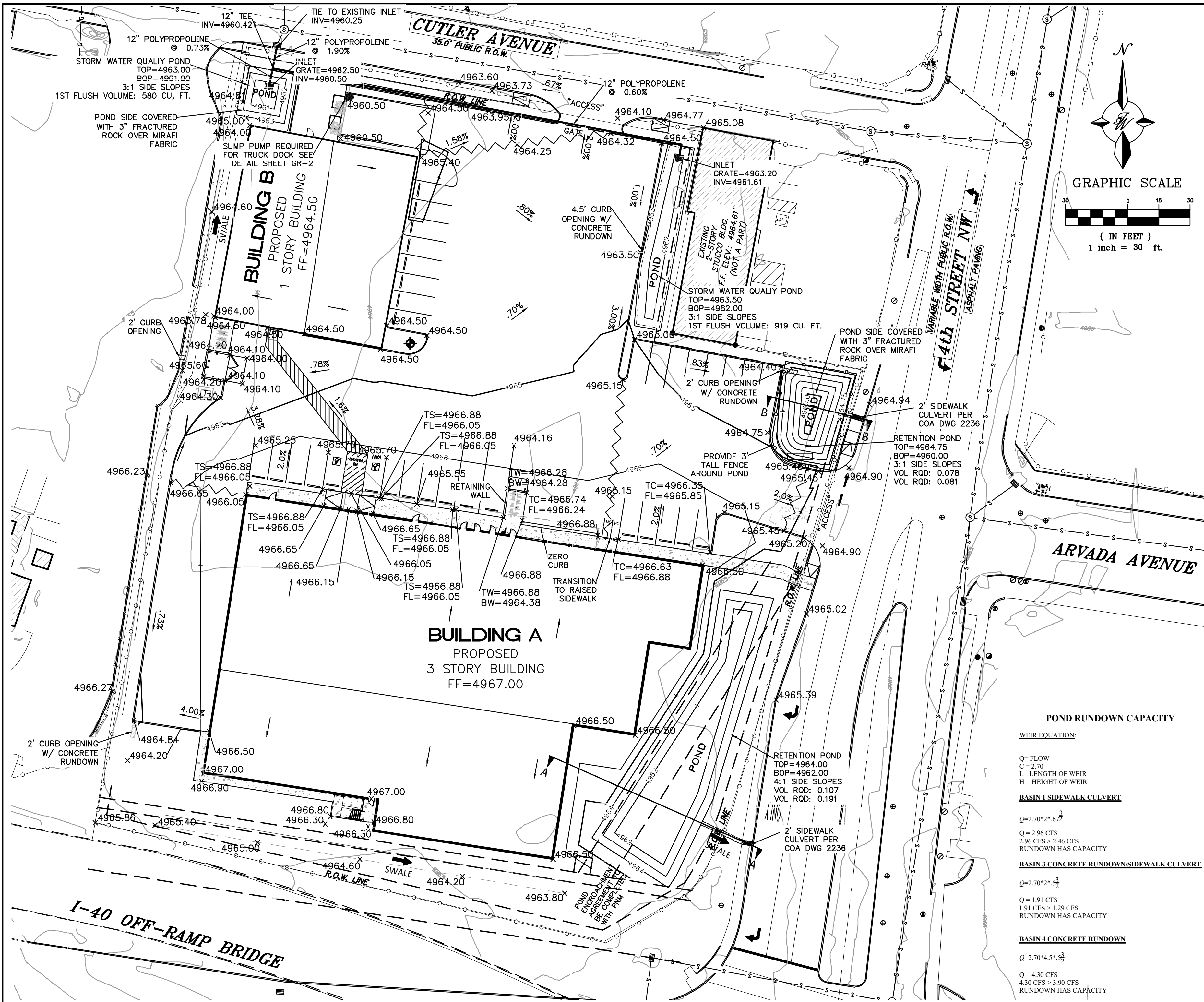
- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 - ALL BROCKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER SEE DETAIL SHEET C5 PER C.O.A. DWG. 2415A & B.

- GENERAL NOTES**
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
 - SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
 - XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
 - ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
 - ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
 - LANDSCAPE PLANTERS ARE TO BE 3'-0" WIDE AND 6'-0" IN LENGTH WITH A HEIGHT BETWEEN 12"-18" ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL. SEE DETAIL SHEET C10 FOR DUMPSTER ENCLOSURE DETAIL. APPLY DRYLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



2:2019/04/20/2020 4th St & I-40/Albuquerque, NM 87109-1490m



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION (FLOWLINE)
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- PHASE LINE

EXISTING DRAINAGE CONDITION

THE SITE IS AN EXISTING UNDEVELOPED 2.5 ACRE LOT. THE SITE DRAINS FROM SOUTH TO NORTH AND THE SURFACE RUNOFF IS DISCHARGED INTO CUTLER AVE. WHERE IT IS CAPTURED BY AN EXISTING DROP INLET NEAR THE NORTHWEST CORNER OF THE SITE. THERE IS NO OFFSITE RUNOFF THAT ENTERS THE SITE. THE SITE MAY HAVE BEEN USED AS A GRAVEL PARKING LOT IN THE PAST. AS SUCH THE EXISTING LAND TREATMENT WAS CONSIDERED COMPACT GRAVEL WITH TREATMENT "C" GENERATING A RUNOFF OF 7.93 CFS. A PORTION OF THE SITE IS LOCATED IN SHADED ZONE X WITH THE REST IN ZONE X.

PROPOSED DRAINAGE CONDITION

THE SITE WAS DIVIDED UP INTO SEVEN BASINS AS SHOWN ON THE BASIN MAP ON THIS SHEET. BASIN ONE CONSISTS OF THE BACK HALF OF THE LARGE BUILDING AND THE REAR LANDSCAPED AREA. THIS BASIN WILL DRAIN FROM WEST TO EAST IN A SWALE TO A RETENTION POND LOCATED BETWEEN THE BUILDING AND 4TH STREET. THE POND IS SIZED FOR THE 100YR, 10 DAY STORM AND IS ONLY 2 FEET DEEP. THAT POND IS LOCATED IN AN EXISTING OVERHEAD POWERLINE EASEMENT FOR WHICH AN ENCROACHMENT AGREEMENT WILL BE EXECUTED WITH PNM.

BASIN 2 CONTAINS THE WESTERN PORTION OF THE SITE AND THE BACK HALF OF THE SMALL BUILDING. THE RUNOFF WILL FLOW IN A SWALE BEHIND THE SMALL BUILDING TO A STORM WATER QUALITY POND LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE POND IS SIZED TO HOLD THE FIRST FLUSH VOLUME BEFORE DISCHARGING 1.86 CFS INTO A DROP INLET.

BASIN 3 CONTAINS THE EASTERN PARKING LOT AND A SMALL PORTION OF THE LARGE BUILDING. THE RUNOFF WILL SURFACE FLOW TO A RETENTION POND SIZED FOR THE 100YR, 10 DAY STORM AND IS 4 FEET DEEP. THIS POND WILL BE SURROUNDED BY A FENCE TO KEEP PEDESTRIANS OUT.

BASIN 4 CONTAINS MOST OF THE PARKING LOT AND THE FRONT PORTION OF BOTH BUILDINGS. THE RUNOFF WILL SURFACE FLOW TO A STORM WATER QUALITY POND LOCATED IN THE NORTHEAST CORNER OF THE SITE. THE POND IS SIZED TO HOLD THE FIRST FLUSH VOLUME PRIOR TO DISCHARGING 3.90 CFS INTO A DROP INLET. THE STORM WATER FROM BASINS 2, 3 AND 4 WILL DISCHARGE 5.76 CFS VIA STORM SEWER TO THE EXISTING DROP INLET IN CUTLER AVE.

BASIN 5 CONSISTS OF A LOADING DOCK THAT WILL DRAIN TO A SUMP PUMP. THE SUMP PUMP WILL DISCHARGE THE STORM WATER INTO THE STORM WATER QUALITY POND BEHIND THE LOADING DOCK.

BASINS 6 AND 7 CONSIST OF THE ENTRANCE WATER BLOCKS AND WILL DISCHARGE A TOTAL OF .25 CFS TO CUTLER AVE AND 4TH STREET. THE TOTAL STORM WATER DISCHARGED FROM THE PROPOSED PROJECT IS 7.42 CFS WHICH IS BELOW THE EXISTING DISCHARGE OF 7.93.

POND RUNDOWN CAPACITY

WEIR EQUATION:

Q= FLOW
C= 2.70
L= LENGTH OF WEIR
H= HEIGHT OF WEIR

BASIN 1 SIDEWALK CULVERT

Q= 2.70*2*6.72
Q= 2.96 CFS
2.96 CFS > 2.46 CFS
RUNDOWN HAS CAPACITY

BASIN 3 CONCRETE RUNDOWN/SIDEWALK CULVERT

Q= 2.70*2*5.32
Q= 1.91 CFS
1.91 CFS > 1.29 CFS
RUNDOWN HAS CAPACITY

BASIN 4 CONCRETE RUNDOWN

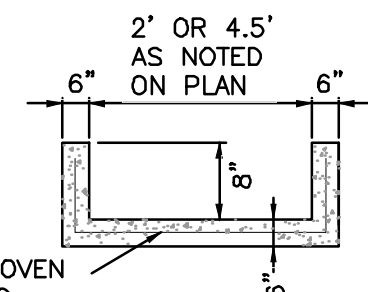
Q= 2.70*4*5.32
Q= 4.30 CFS
4.30 CFS > 3.90 CFS
RUNDOWN HAS CAPACITY

Pipe Capacity

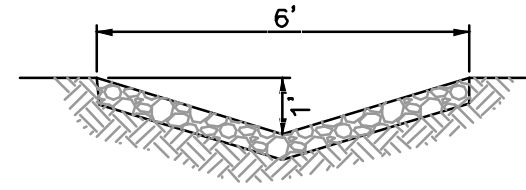
Pipe	D (in)	Slope (%)	Area (ft²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	12	0.6	0.79	0.250	3.27	3.90	4.97
2	10	0.73	0.55	0.208	2.22	1.86	3.41
3	12	1.9	0.79	0.250	5.82	5.76	7.33

Manning's Equation:
 $Q = 1.49 \text{ in}^3 \cdot A \cdot R^{2/3} \cdot S^{1/2}$

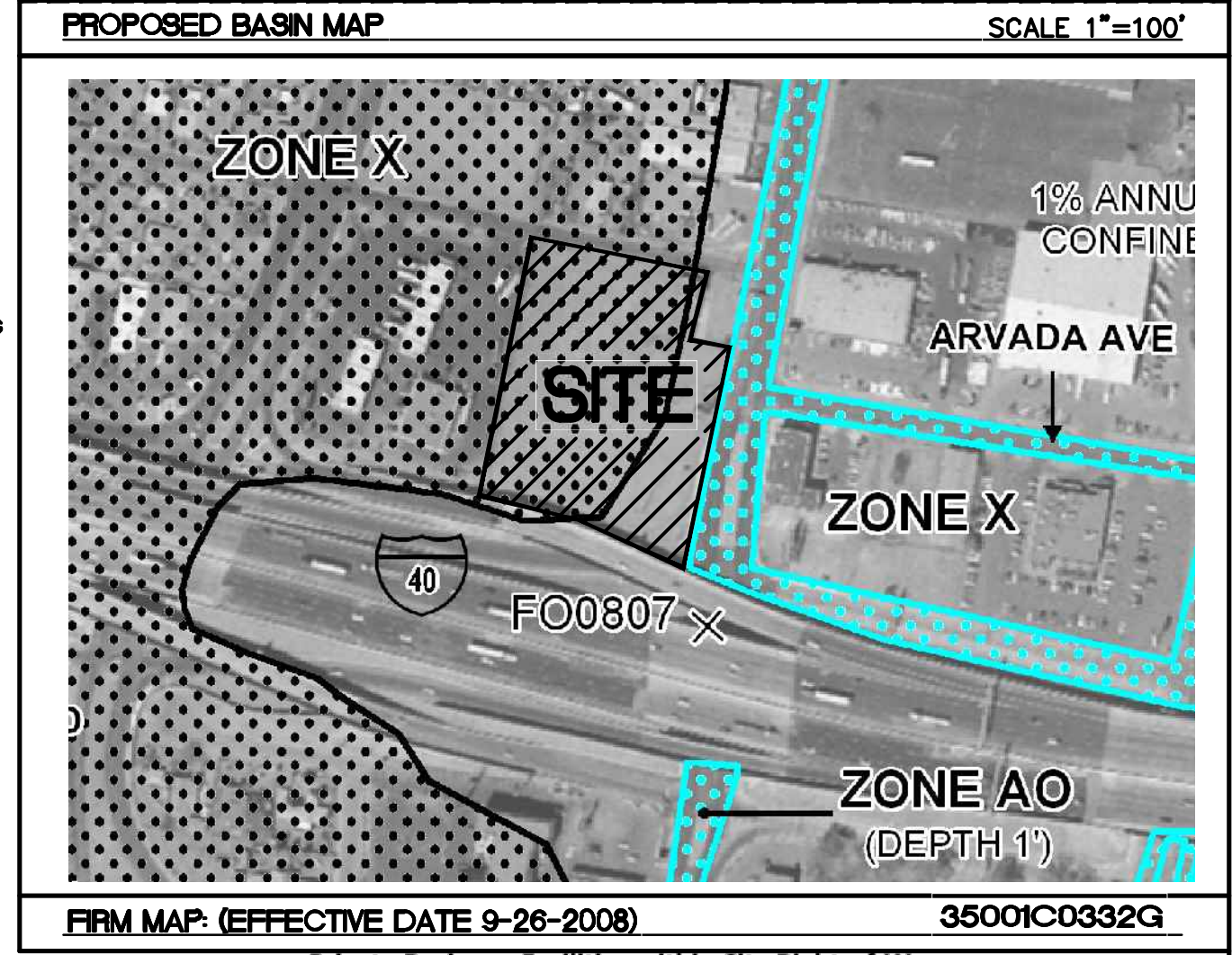
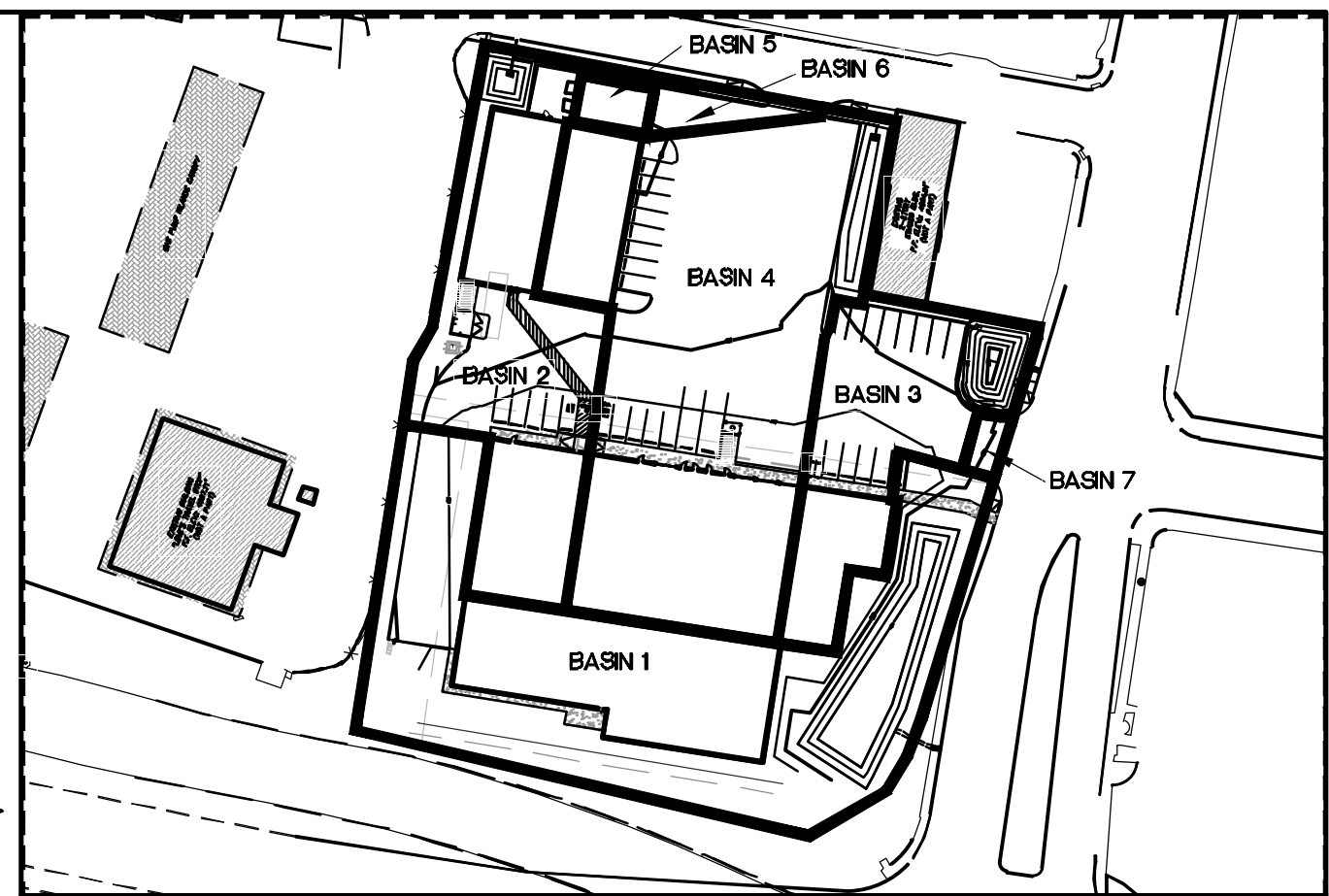
A = Area
R = D/4
S = Slope
n = 0.011



CONCRETE CHANNEL



COBBLE SWALE



Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis.
8. Contractor must contact Augie Armijo at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

STORMWATER QUALITY

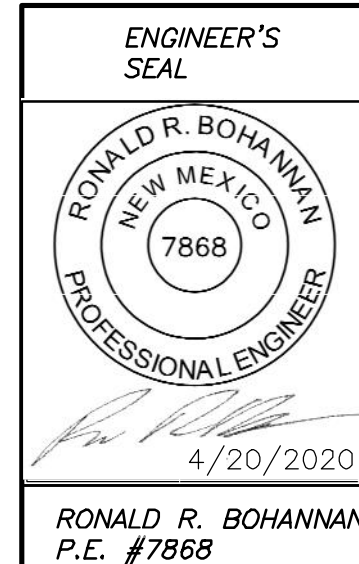
WATER QUALITY MEASURES WILL CONSIST OF RETENTION PONDS SIZED TO RETAIN THE STORMWATER QUALITY VOLUME FROM THE DEVELOPED AREAS. FLOWS WILL BE CONVEYED TO THE PONDS PRIMARILY BY SURFACE DRAINAGE AS WELL AS A PRIVATE STORM DRAIN SYSTEM BETWEEN BUILDINGS "A" AND "B". DRAINAGE VOLUMES IN EXCESS OF THE STORMWATER QUALITY WILL BE DISCHARGED THROUGH A PROPOSED STORM DRAIN SYSTEM AND INTO THE EXISTING PUBLIC STORM DRAIN WITHIN 4TH STREET.

STORMWATER QUALITY CALCULATIONS

BASIN 1: 9847 x .32"/12" = 213 CU.FT.
BASIN 2: 15246 x .32"/12" = 329 CU.FT.
BASIN 3: 10890 x .32"/12" = 237 CU.FT.
BASIN 4: 34848 x .32"/12" = 751 CU.FT.
BASIN 5: 1307 x .32"/12" = 94 CU.FT.
BASIN 6: 1742 x .32"/12" = 38 CU.FT.
BASIN 7: 436 x .32"/12" = 15 CU.FT.
TOTAL STORMWATER QUALITY VOLUME = 1877 CU.FT.

CAUTION:

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U-HAUL
4TH AND I-40
GRADING AND DRAINAGE
PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
RMG
DATE
04/20/2020
2019070-GR
SHEET #
C-2
JOB #
2019070

Weighted E Method

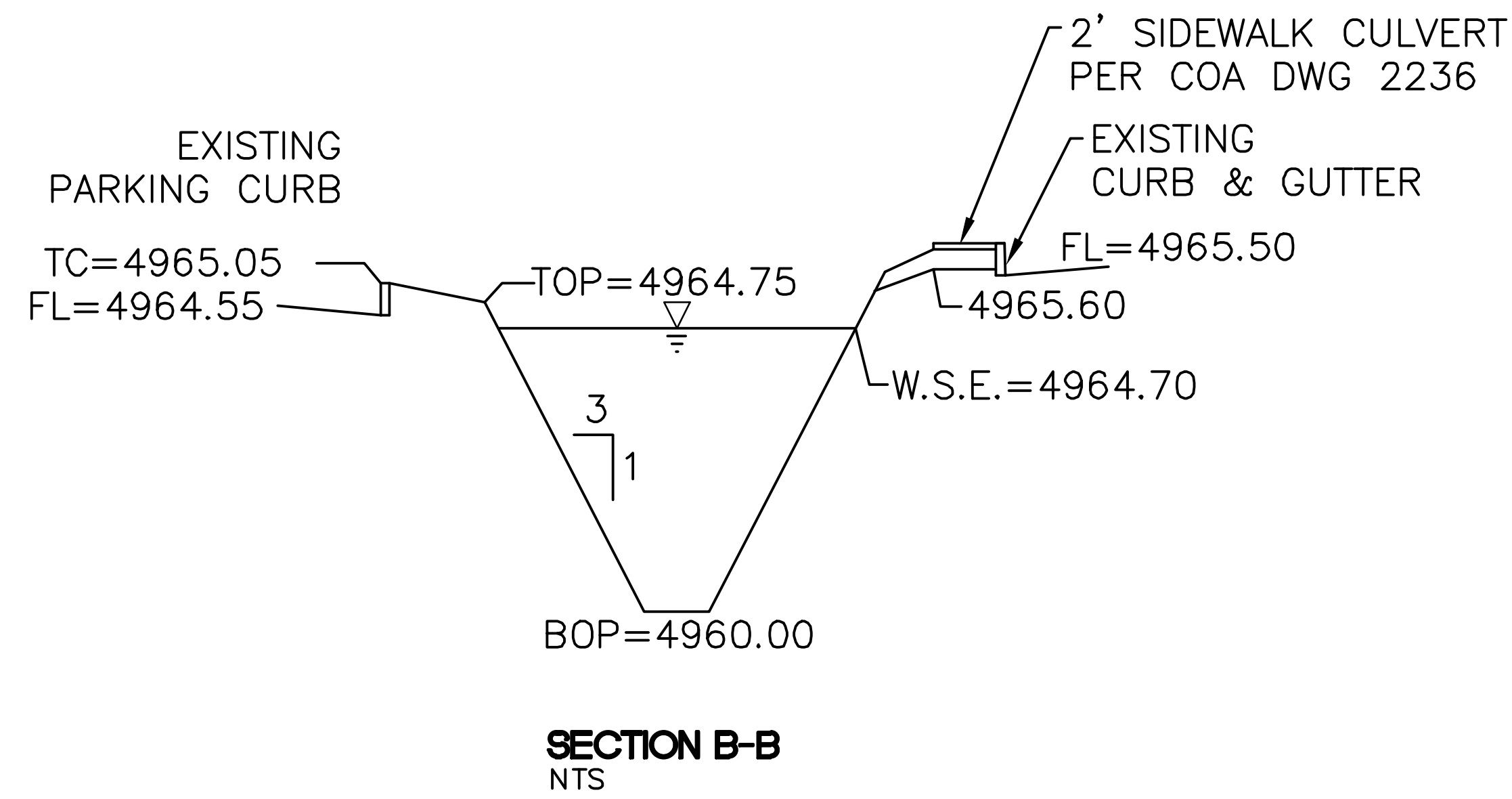
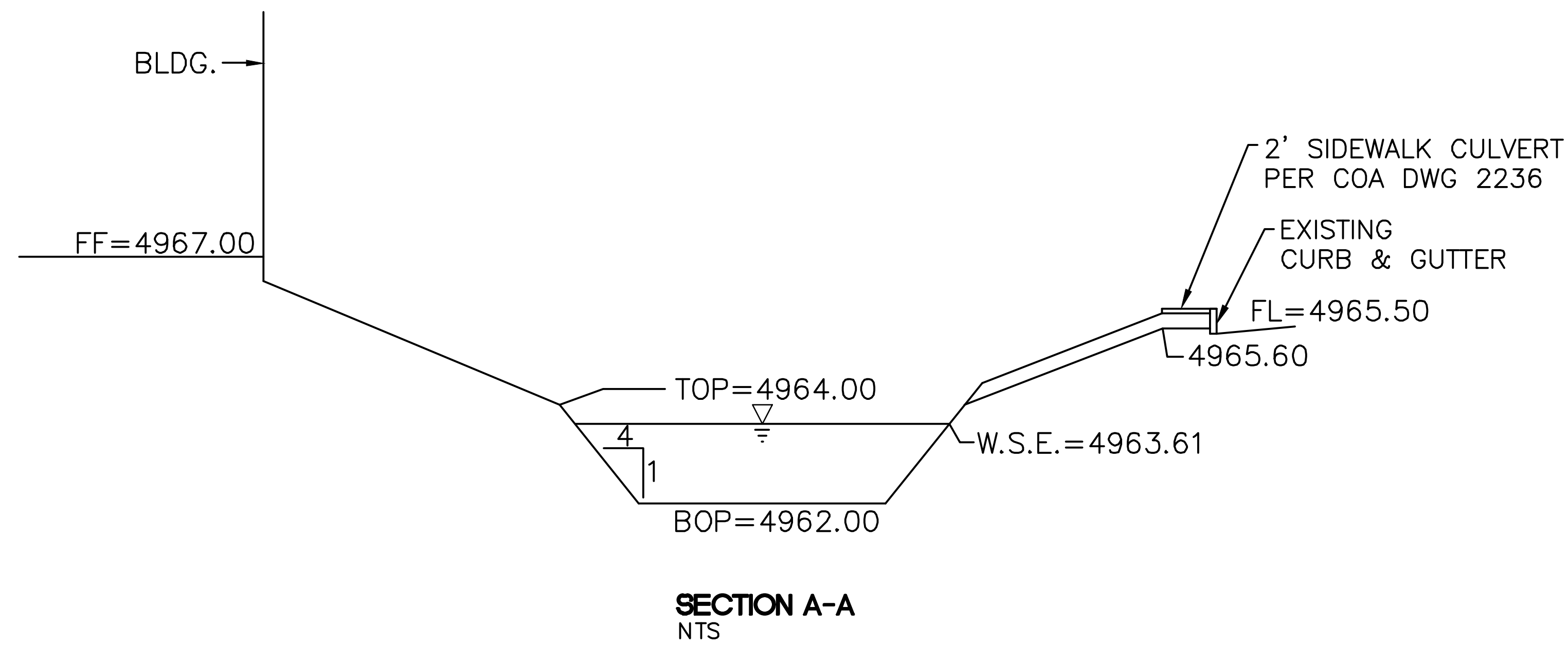
Developed On-Site Basins



Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	100-Year, 6-Hr			10-Year, 6-Hr			100-Year, 10-Day		
							Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs
1	36,471	0.84	0%	73%	0%	27%	1.142	0.080	2.46	0.566	0.040	1.29	1.142	0.107	2.46
2	19,484	0.45	0%	22%	0%	78%	1.825	0.068	1.86	1.107	0.041	1.19	1.825	0.111	1.86
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4	37,672	0.86	0%	8%	0%	92%	2.013	0.145	3.90	1.255	0.090	2.56	2.013	0.243	3.90
5	1,106	0.03	0%	0%	0%	100%	2.120	0.004	0.12	1.340	0.003	0.08	2.120	0.008	0.12
6	1,739	0.04	0%	0%	0%	100%	2.120	0.007	0.19	1.340	0.004	0.13	2.120	0.012	0.19
7	600	0.01	0%	0%	0%	100%	2.120	0.002	0.06	1.340	0.002	0.04	2.120	0.004	0.06

Total Discharge 6.13

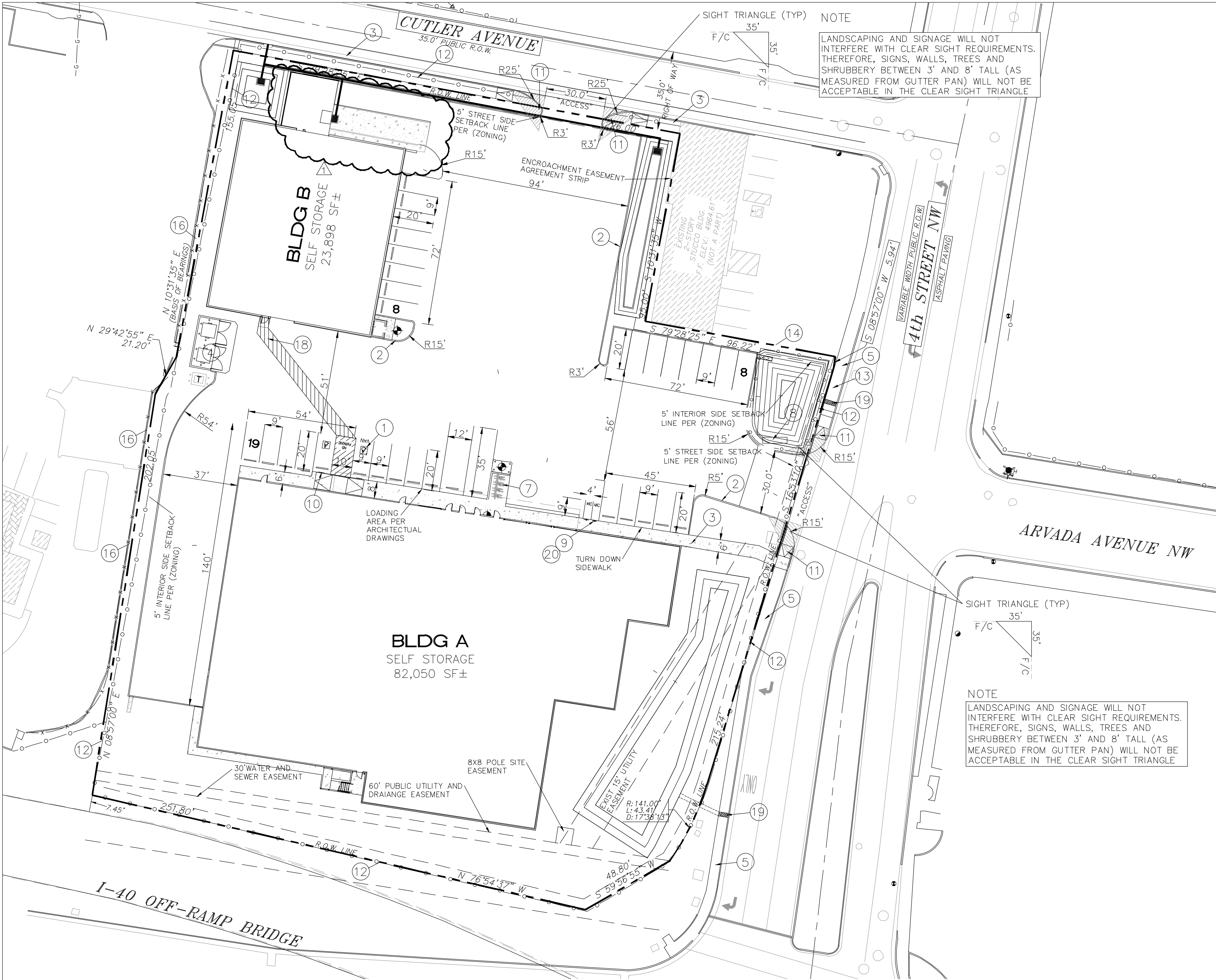
Undeveloped On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	100-Year, 6-Hr		
							Weighted E	Volume (ac-ft)	Flow cfs
1	110,000	2.53	0%	0%	100%	2.525	1.130	0.238	7.93



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	U-HAUL		DRAWN BY RMG
	4TH AND I-40		DATE 04/20/2020
	GRADING AND DRAINAGE PLAN - SECTIONS		2019070-GR
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # C-4 JOB # 2019070

2: /2019/2019070 U-Haul 4th St & I-40\dwg\DRB\2019070-TCL.dwg Aug 10, 2022 -- 9:24am

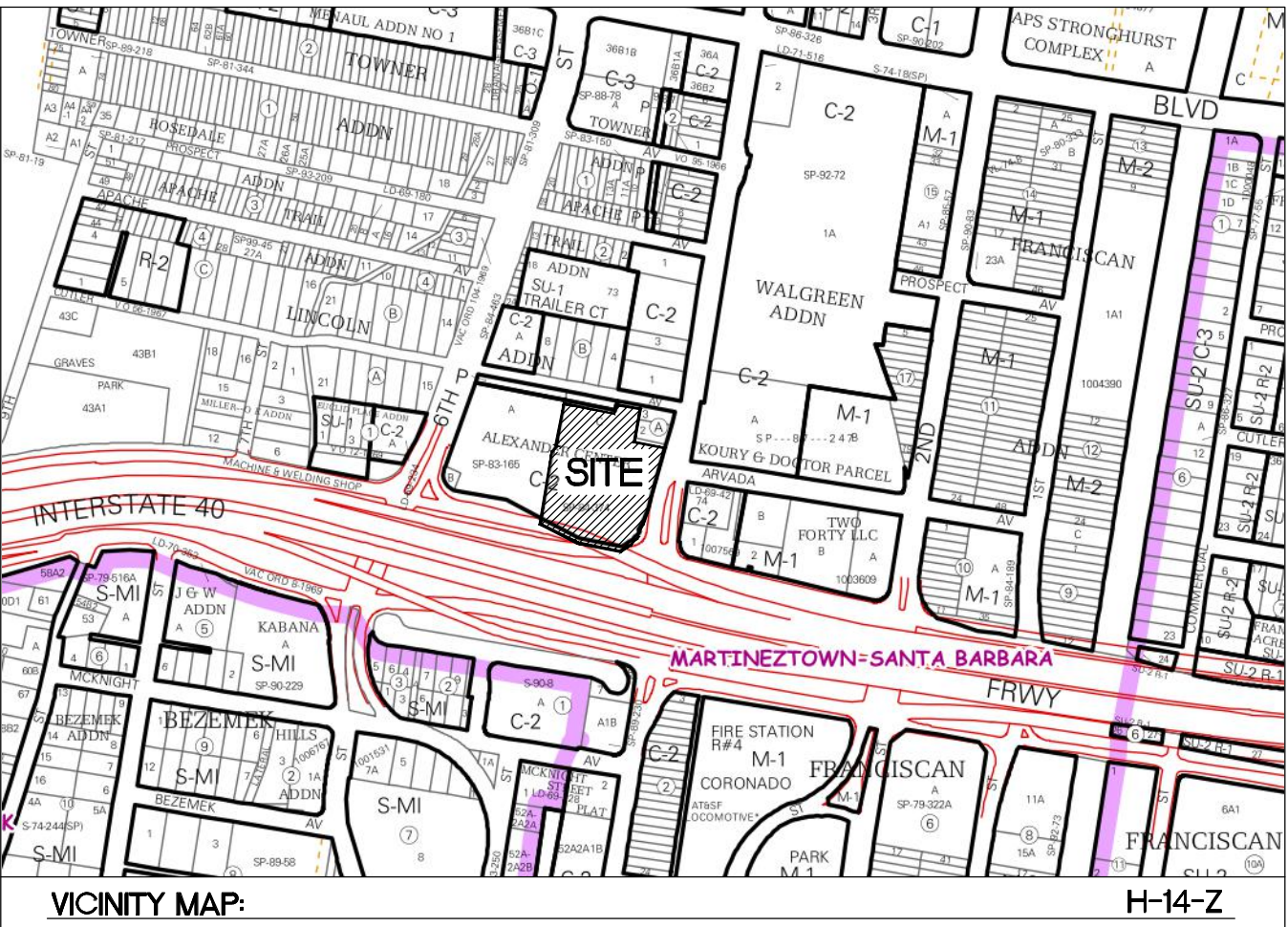


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK/CONCRETE
- ASPHALT
- EXISTING CURB & GUTTER
- STREET LIGHTS

KEYED NOTES

- ACCESSIBLE PARKING: THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED SEE DETAIL SHEET C5
- NEW CURB AND GUTTER SEE DETAIL SHEET C5
- NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- DOUBLE DUMPSTER W/RECYCLE SEE DETAIL SHEET C6
- EXISTING SIDEWALK, ALL BROCKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER SEE DETAIL SHEET C5 PER C.O.A. DWG. 2415A & B.
- CURB RETURN HANDICAP RAMP SEE DETAIL SHT C5
- BICYCLE PARKING SEE DETAIL SHEET C5
- MONUMENT SIGN
- MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C5 (TYP ONE FOR EACH SPACE)
- HANDICAP PARKING SIGN SEE DETAIL SHEET 5 (TYP ONE FOR EACH SPACE)
- UNIDIRECTION ACCESSIBLE RAMP SEE DETAIL SHEET 5
- EXISTING CHAINLINK FENCE, TO BE REMOVED AT END OF CONSTRUCTION.
- CITY OF ALBUQUERQUE BUS STOP
- EXISTING TUBULAR STEEL FENCE
- NOT USED
- NO PARKING SIGN
- EXISTING ACCESS TO BE REMOVED AND REPLACED WITH STANDARD CURB AND GUTTER PER COA STD DWG 2415A
- ACCESSIBLE HANDICAP RAMP SEE DETAIL SHEET C5
- 6' CROSSWALK SEE DETAIL SHEET C6
- 2' SIDEWALK CULVERT PER COA STD DWG 2236.
- TRANSITION TO RAISED SIDEWALK



LEGAL DESCRIPTION:

TRACT C OF ALEXANDER CENTER (EXCL S'LY PORT OUT TO R/W)

NOTES:
UPC NO: 101405927019832507

SITE DATA

PROPOSED USAGE:	AUTOMOBILE & TRUCK RENTAL, EQUIPMENT STORAGE, SELF-STORAGE FACILITIES, WAREHOUSING & STORAGE ESTABLISHMENTS
ZONE: M-MIX	
IDO CLASSIFICATION:	MERCANTILE (GROUP M)
LOT AREA:	108,900 SF (2.50 ACRES)
ADDRESS:	2217 4TH STREET N.W.
BUILDING AREA:	BUILDING "A" : 27,875 SF / BUILDING "B" : 7,966 SF
PARKING REQUIRED:	35 SPACES (1 SPACE PER 1,000 SF) SELF STORAGE 105,948 SF / 3000 SF = 35 SPACES
PARKING PROVIDED:	35 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	10 SPACES
LANDSCAPE AREA REQUIRED:	10,959 SF
LANDSCAPE AREA PROVIDED:	29,621 SF

NOTICE TO CONTRACTORS

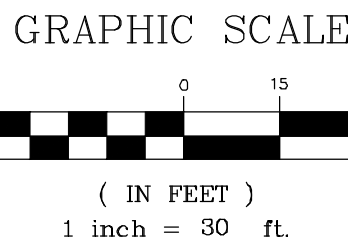
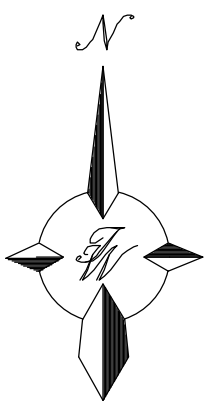
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- ALL BROCKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER SEE DETAIL SHEET C5 PER C.O.A. DWG. 2415A & B.

GENERAL NOTES

- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
- ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
- SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
- XACTAIR STATION ON 30"x36" CONCRETE PAD, EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
- ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
- ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
- LANDSCAPE PLANTERS ARE TO BE 3'-0" WIDE AND 6'-0" IN LENGTH WITH A HEIGHT BETWEEN 12"-18" ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL, SEE DETAIL SHEET C10 FOR DUMPSTER ENCLOSURE DETAIL. APPLY DRYLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.

CAUTION:

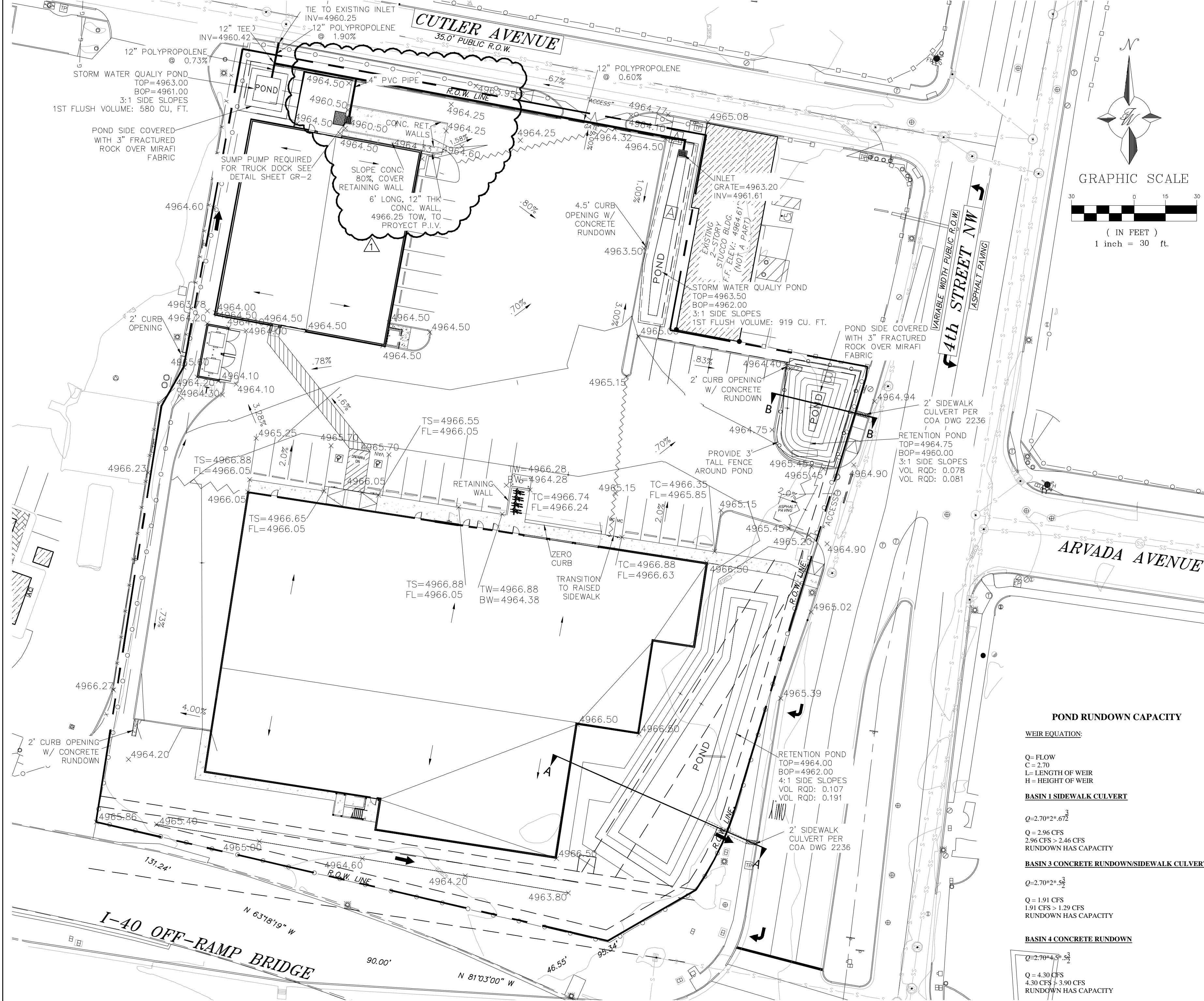
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1	08-09-2022	REVISE LOADING DOCK AND FORKLIFT APPROACH	RMG
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		DRAWN BY	
		RMG	
		DATE	
		2019070-TCL	
		SHEET #	
		C-1	
		JOB #	
		2019070	

U-HAUL
4TH AND I-40
TRAFFIC CIRCULATION
LAYOUT

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrowestllc.com



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION (FLOWLINE)
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION

EXISTING DRAINAGE CONDITION:

THE SITE IS AN EXISTING UNDEVELOPED 2.5 ACRE LOT. THE SITE DRAINS FROM SOUTH TO NORTH AND THE SURFACE RUNOFF IS DISCHARGED INTO CUTLER AVE. WHERE IT IS CAPTURED BY AN EXISTING DROP INLET NEAR THE NORTHWEST CORNER OF THE SITE. THERE IS NO OFFSITE RUNOFF THAT ENTERS THE SITE. THE SITE MAY HAVE BEEN USED AS A GRAVEL PARKING LOT IN THE PAST. AS SUCH THE EXISTING LAND TREATMENT WAS CONSIDERED COMPACT GRAVEL WITH TREATMENT "C" GENERATING A RUNOFF OF 7.93 CFS. A PORTION OF THE SITE IS LOCATED IN SHADED ZONE X WITH THE REST IN ZONE X.

PROPOSED DRAINAGE CONDITION:

THE SITE WAS DIVIDED UP INTO SEVEN BASINS AS SHOWN ON THE BASIN MAP ON THIS SHEET. BASIN ONE CONSISTS OF THE BACK HALF OF THE LARGE BUILDING AND THE REAR LANDSCAPED AREA. THIS BASIN WILL DRAIN FROM WEST TO EAST IN A SWALE TO A RETENTION POND LOCATED BETWEEN THE BUILDING AND 4TH STREET. THE POND IS SIZED FOR THE 100YR, 10 DAY STORM AND IS ONLY 2 FEET DEEP. THAT POND IS LOCATED IN AN EXISTING OVERHEAD POWERLINE EASEMENT FOR WHICH AN ENCROACHMENT AGREEMENT WILL BE EXECUTED WITH PNM.

BASIN 2 CONTAINS THE WESTERN PORTION OF THE SITE AND THE BACK HALF OF THE SMALL BUILDING. THE RUNOFF WILL FLOW IN A SWALE BEHIND THE SMALL BUILDING TO A STORM WATER QUALITY POND LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE POND IS SIZED TO HOLD THE FIRST FLUSH VOLUME BEFORE DISCHARGING 1.86 CFS INTO A DROP INLET.

BASIN 3 CONTAINS THE EASTERN PARKING LOT AND A SMALL PORTION OF THE LARGE BUILDING. THE RUNOFF WILL SURFACE FLOW TO A RETENTION POND SIZED FOR THE 100YR, 10 DAY STORM AND IS 4 FEET DEEP. THIS POND WILL BE SURROUNDED BY A FENCE TO KEEP PEDESTRIANS OUT.

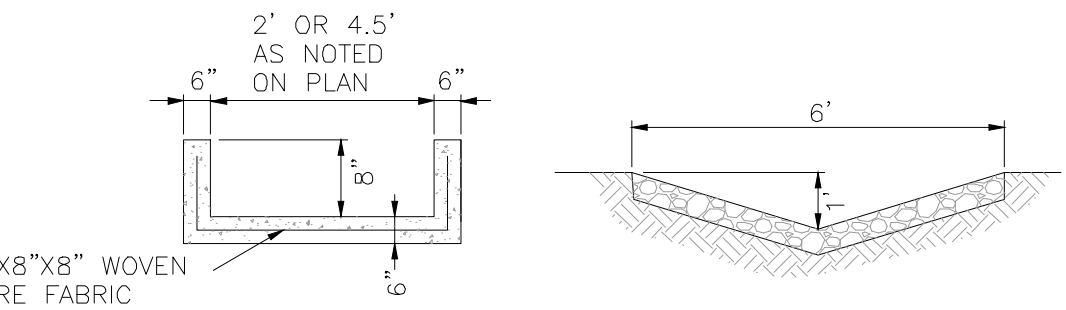
BASIN 4 CONTAINS MOST OF THE PARKING LOT AND THE FRONT PORTION OF BOTH BUILDINGS. THE RUNOFF WILL SURFACE FLOW TO A STORM WATER QUALITY POND LOCATED IN THE NORTHEAST CORNER OF THE SITE. THE POND IS SIZED TO HOLD THE FIRST FLUSH VOLUME PRIOR TO DISCHARGING 3.90 CFS INTO A DROP INLET. THE STORM WATER FROM BASINS 2, 3 AND 4 WILL DISCHARGE 5.76 CFS VIA STORM SEWER TO THE EXISTING DROP INLET IN CUTLER AVE.

BASIN 5 CONSISTS OF A LOADING DOCK THAT WILL DRAIN TO A SUMP PUMP. THE SUMP PUMP WILL DISCHARGE THE STORM WATER INTO THE STORM WATER QUALITY POND BEHIND THE LOADING DOCK.

BASINS 6 AND 7 CONSIST OF THE ENTRANCE WATER BLOCKS AND WILL DISCHARGE A TOTAL OF .25 CFS TO CUTLER AVE AND 4TH STREET. THE TOTAL STORM WATER DISCHARGED FROM THE PROPOSED PROJECT IS 7.42 CFS WHICH IS BELOW THE EXISTING DISCHARGE OF 7.93.

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- PRIOR TO WORK WITHIN THE INTERSTATE 40 RIGHT-OF-WAY, A NMDOT PERMIT WILL BE REQUIRED.



CONCRETE CHANNEL

COBBLE SWALE

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	12	0.6	0.79	0.250	3.27	3.90	4.97
2	10	0.73	0.55	0.208	2.22	1.86	3.41
3	12	1.9	0.79	0.250	5.82	5.76	7.33

Manning's Equation:

$Q = 1.49/m^3 \cdot A \cdot R^{(2/3)} \cdot S^{(1/2)}$

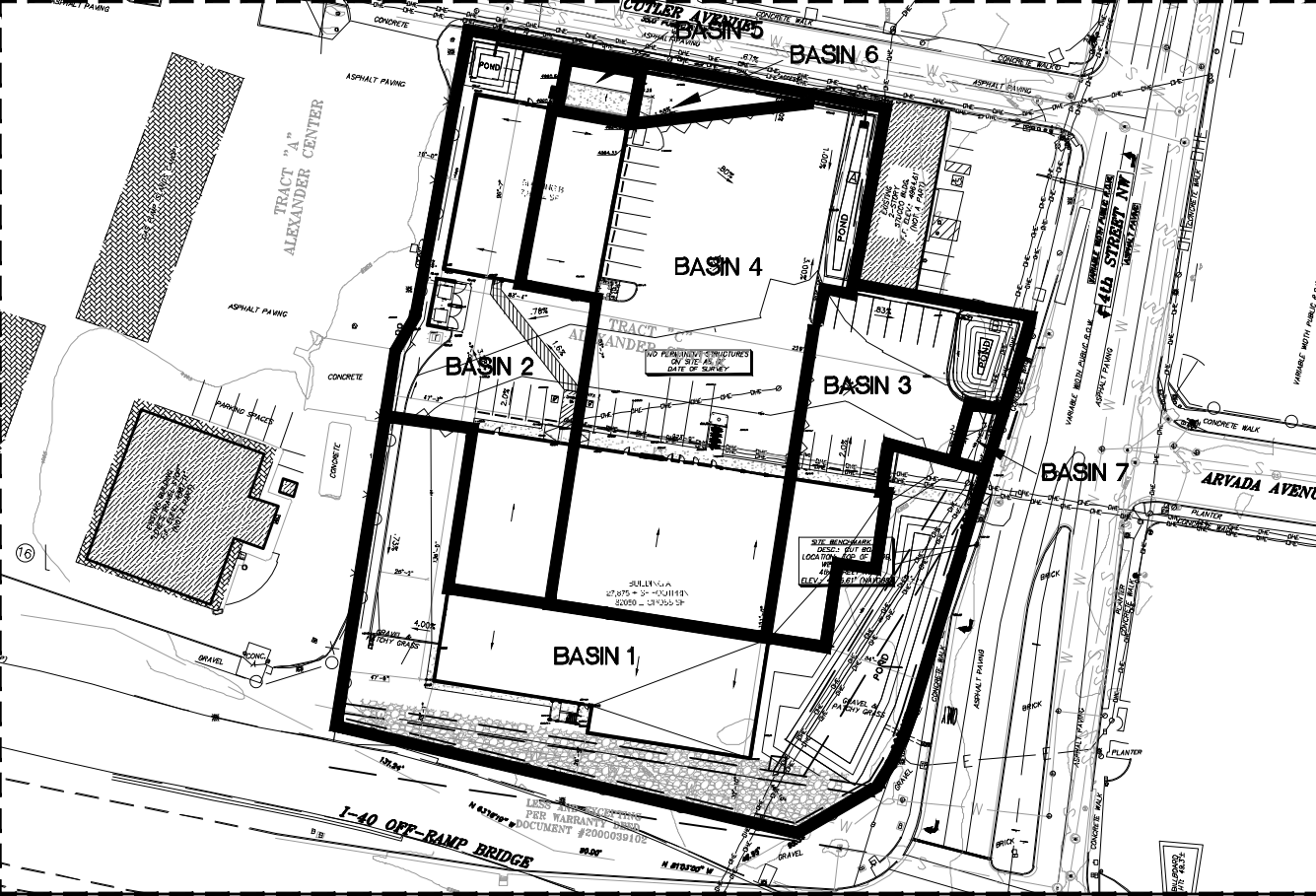
A = Area
R = D/4
S = Slope
n = 0.011

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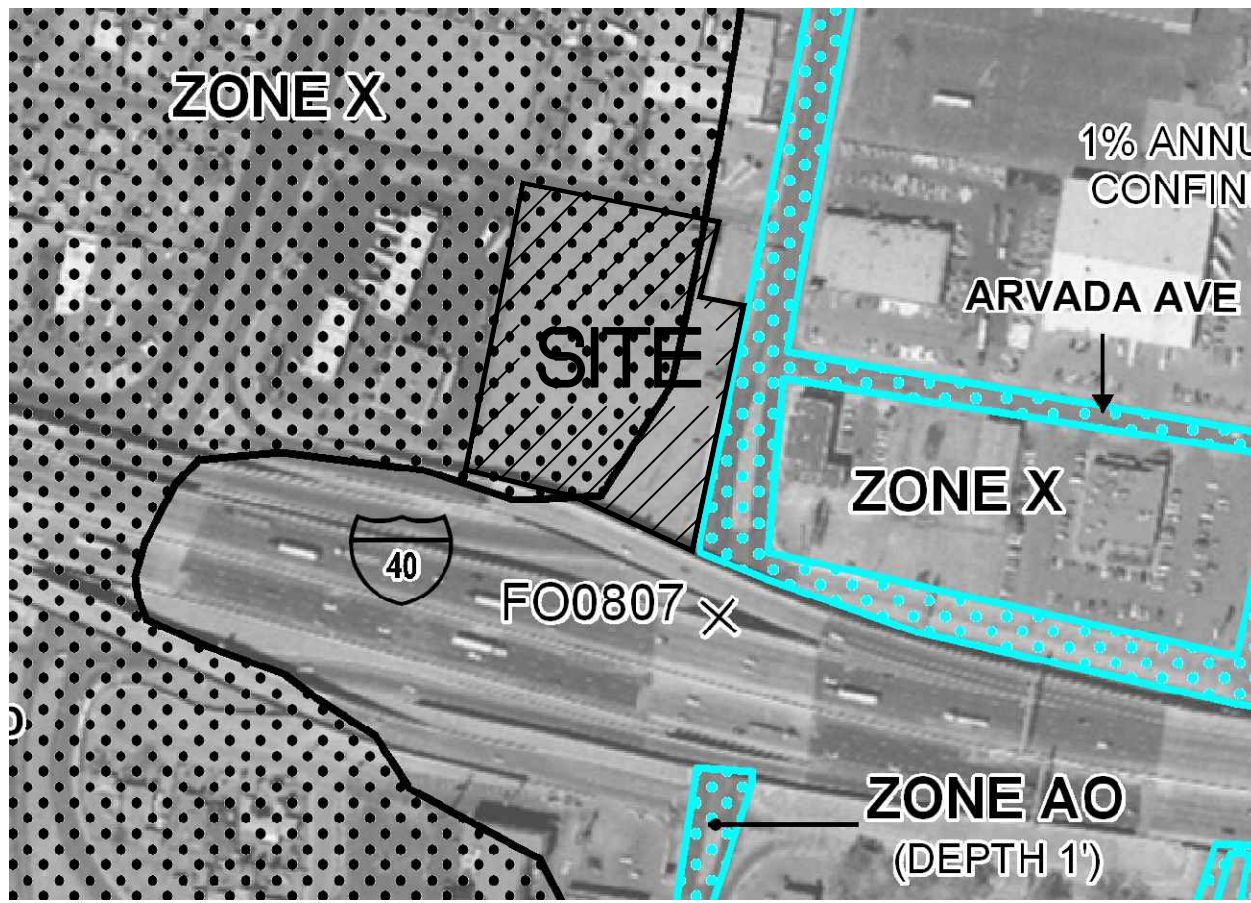
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PROPOSED BASIN MAP

SCALE 1"=100'



FIRM MAP: (EFFECTIVE DATE 9-26-2008)

35001C0332G

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "50-19")

- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
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- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Augie Armijo at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

STORMWATER QUALITY

WATER QUALITY MEASURES WILL CONSIST OF RETENTION PONDS SIZED TO RETAIN THE STORMWATER QUALITY VOLUME FROM THE DEVELOPED AREAS. FLOWS WILL BE CONVEYED TO THE PONDS PRIMARILY BY SURFACE DRAINAGE AS WELL AS A PRIVATE STORM DRAIN SYSTEM BETWEEN BUILDINGS "A" AND "B". DRAINAGE VOLUMES IN EXCESS OF THE STORMWATER QUALITY WILL BE DISCHARGED THROUGH A PROPOSED STORM DRAIN SYSTEM AND INTO THE EXISTING PUBLIC STORM DRAIN WITHIN 4TH STREET.

Weighted E Method

Developed On-Site Basins

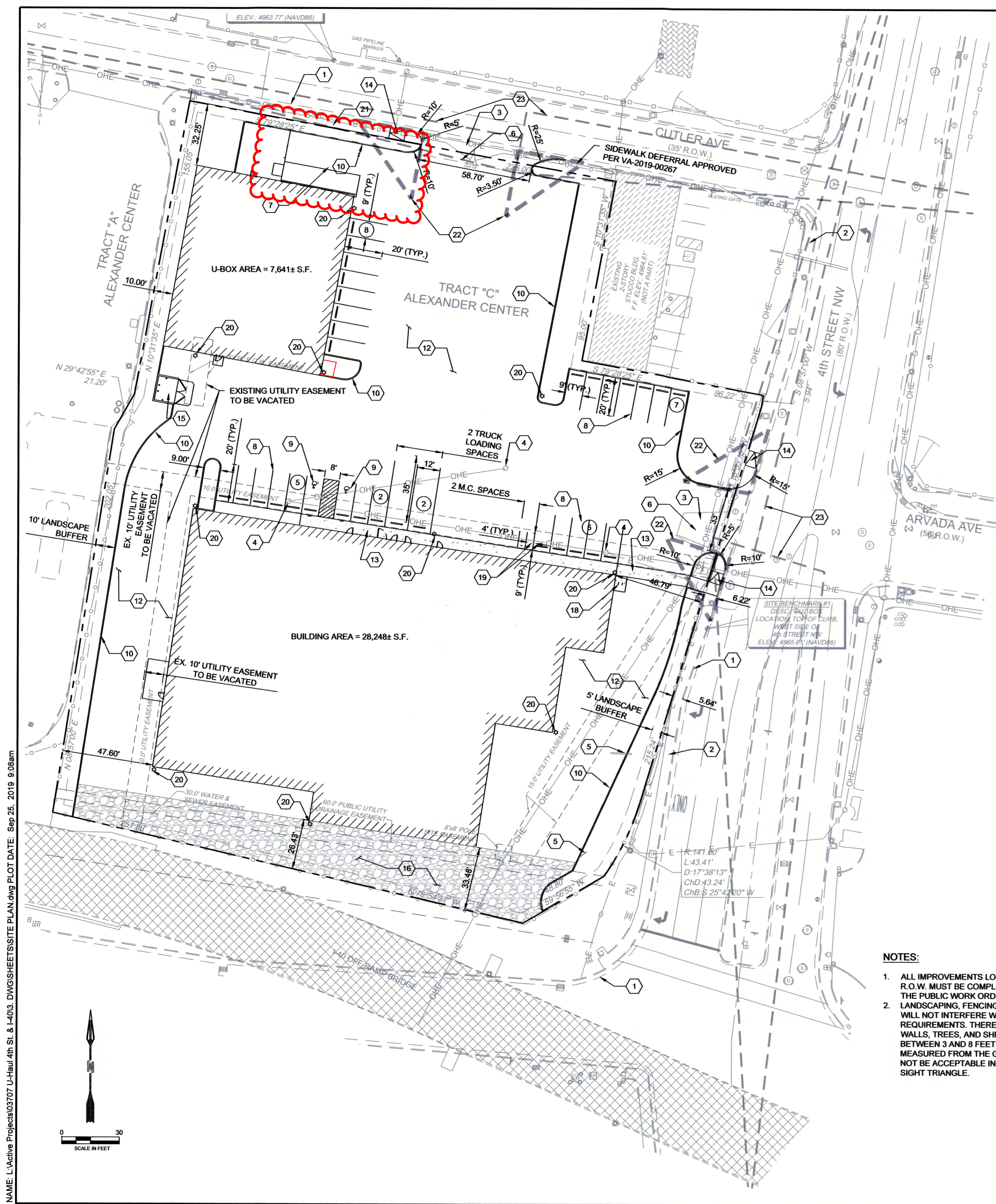
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-Hr			10-Year, 6-Hr			100-Year, 10-Day		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs
1	36,471	0.84	0%	0	73%	0.81	0%	0	27%	0.23	1.142	0.080	2.46	0.566	0.040	1.29	1.142	0.107	2.46
2	19,484	0.45	0%	0	22%	0.10	0%	0	78%	0.35	1.825	0.068	1.86	1.107	0.041	1.19	1.825	0.111	1.86
3	13,027	0.30	0%	0	16%	0.05	0%	0	84%	0.25	1.906	0.047	1.29	1.170	0.029	0.83	1.906	0.078	1.29
4	37,672	0.86	0%	0	8%	0.07	0%	0	92%	0.80	2.013	0.145	3.90	1.255	0.090	2.56	2.013	0.243	3.90
5	1,106	0.03	0%	0	0%	0.00	0%	0	100%	0.03	2.120	0.004	0.12	1.340	0.003	0.08	2.120	0.008	0.12
6	1,739	0.04	0%	0	0%	0.00	0%	0.00	100%	0.04	2.120	0.007	0.19	1.340	0.004	0.13	2.120	0.012	0.19
7	600	0.01	0%	0	0%	0.00	0%	0.00	100%	0.01	2.120	0.002	0.06	1.340	0.002	0.04	2.120	0.004	0.06

Total Discharge 6.13

Undeveloped On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-Hr		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E	Volume (ac-ft)	Flow cfs
1	110,000	2.53	0%	0	0%	0.00	100%	2.525	0%	0.00	1.130	0.238	7.93

NAME: L:\Active Projects\03707 U-Haul 4th St. & L-403. DWG\SHEETS\SITE PLAN.dwg PLOT DATE: Sep 25, 2019 9:08am



- NOTES:**
- ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE COMPLETED THROUGH THE PUBLIC WORK ORDER PROCESS. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SITE DATA

LEGAL: TRACT C, ALEXANDER CENTER
ADDRESS: 2217 4TH STREET NW

SITE AREA: 2.5278 ACRES (110,111 SF)

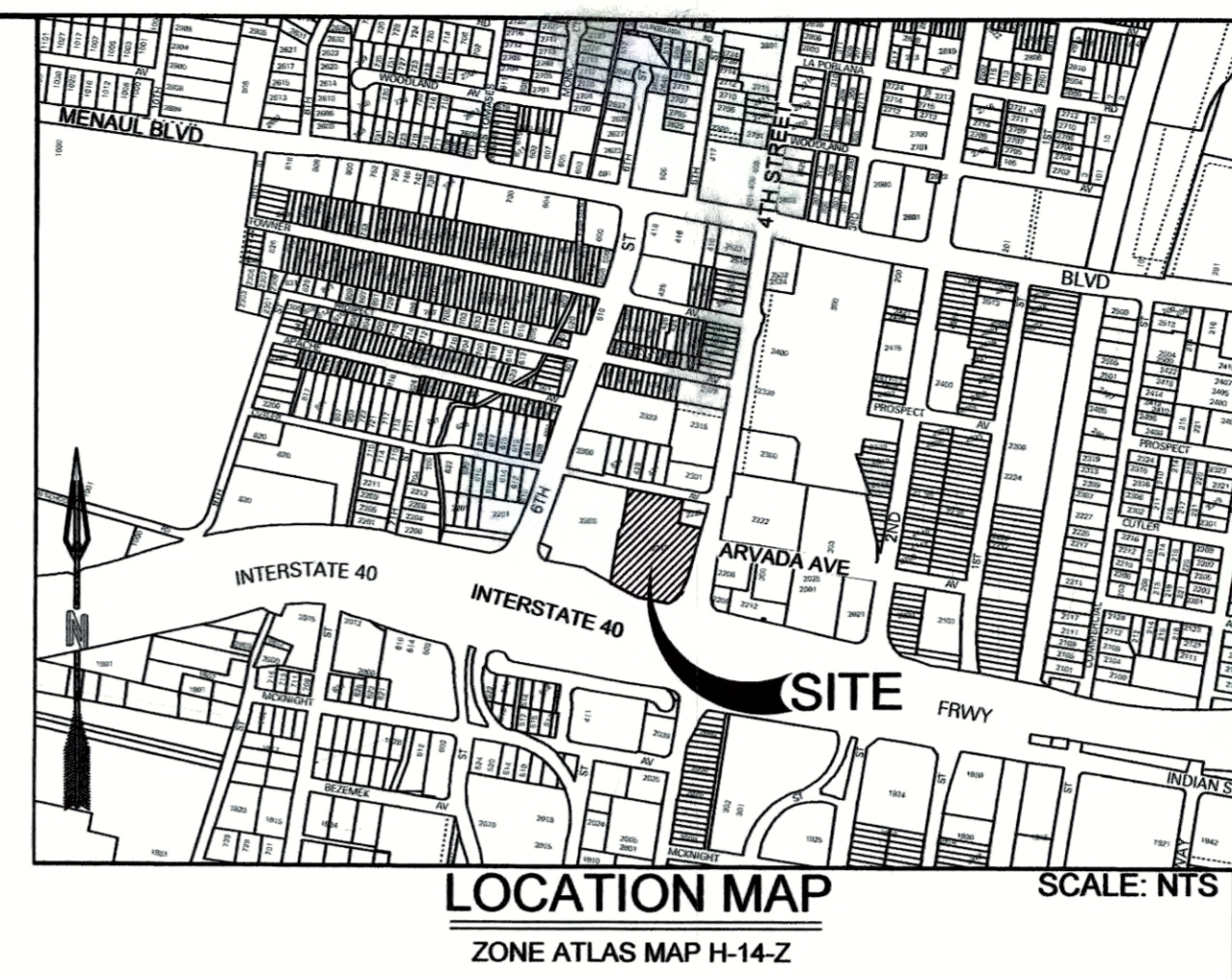
ZONING: MX-M FOR MIXED USE-MODERATE

BENCHMARK:
BENCHMARK #1
DESC.: CUT BOX
LOCATION: TOP OF CURB,
WEST SIDE OF
4TH STREET NW
ELEV.: 4965.61' (NAVD88)
BENCHMARK #2
DESC.: CUT BOX
LOCATION: TOP OF CURB,
NORTH SIDE OF
CUTLER AVE. NW
ELEV.: 4963.77' (NAVD88)

MAPPING: ALTA SURVEY AND CONTROL PROVIDED BY
RED PLAINS SURVEYING COMPANY
FEBRUARY 2019

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
WATER VALVE		
SEWER MANHOLE		
STORM SEWER MANHOLE		
DROP INLET		
WATER METER		
CURB AND GUTTER		
BENCHMARK		
BORE HOLE		
ELECTRICAL PEDISTAL		
ELECTRICAL TRANSFORMER		
GAS VALVE		
GATE		
GUARD POST		
LIGHT POLE		
MONUMENT FOUND		
POWER POLE		
ROAD SIGN		
TELEPHONE MANHOLE		
TELEPHONE PEDISTAL		
UTILITY POLE		
ROAD CENTERLINE		
CHAINLINK FENCE		
OVERHEAD ELECTRIC LINE		
SUBJECT BOUNDARY LINE		
BOUNDARY ADJOINER LINE		
EASMENT LINE		
GRAVEL DRIVEWAY		

ID.#	DESCRIPTION
1	EXISTING CURB AND GUTTER
2	EXISTING SIDEWALK
3	EXISTING DRIVEWAY TO BE REMOVED
4	EXISTING UTILITY POLE TO BE REMOVED
5	EXISTING SIGN TO BE REMOVED
6	NEW DRIVEWAY PER COA STD. DWG 2425
7	NEW CONCRETE LOADING DOCK
8	NEW PARKING STRIPING
9	NEW HANDICAP PARKING PER DETAIL 10 SHEET C 501
10	NEW CURB AND GUTTER PER DETAIL 1 SHEET C 500
12	NEW ASPHALT PAVEMENT, PER PAVEMENT SECTION 3 SHEET C 500
13	NEW 6' WIDE SIDEWALK PER DETAIL 6 SHEET C 500 W/ 10' WIDTH APPROVED PER VA-2019-00268
14	NEW HANDICAP RAMP PER COA STD DWG 2440
15	NEW REFUSE ENCLOSURE PER DETAIL 14 SHEET C 501
16	NEW GRAVEL DRIVEWAY, PER PAVING SECTION 5 SHEET C 500
18	NEW BIKE RACK PER DETAIL 7 SHEET C 500
19	NEW MOTORCYCLE PARKING SIGN PER DETAIL 8 SHEET C 500
20	NEW LIGHT POLE PER DETAIL 9 SHEET C 500
21	NEW 6' WIDE PER COA STD. DWG. 2430
22	35' CLEAR SIGHT TRIANGLE PER COA SPECIFICATIONS
23	CLEAR SIGHT TRIANGLE PER AASHTO SPECIFICATIONS



PROJECT NUMBER: PR-2018-001670
Application Number: SI-2019-00181

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWJA	09-15-19
Parks and Recreation Department	Date
City Engineer	9/25/19
Solid Waste Management	10/7/19
Code Enforcement	9/25/19
DRB Chairperson, Planning Department	2-09-20

ZONING INFORMATION

PROJECT NAME: U-HAUL STORAGE OF WESTSIDE

MUNICIPALITY: CITY OF ALBUQUERQUE

PROJECT ADDRESS: 2217 4TH ST. NW ALBUQUERQUE, NM 87102

ACRE / AREA: 2.5 ACRES / 108,900 SF.

ZONE: MX-M - MIXED-USE - MODERATE INTENSITY

ADJACENT ZONING:
N- MX-M - MIXED-USE - MODERATE INTENSITY
E- MX-M - MIXED-USE - MODERATE INTENSITY
S- INTERSTATE 40/ MX-M - MIXED-USE - MODERATE
INTENSITY
W- MX-M - MIXED-USE - MODERATE INTENSITY

USES: SELF STORAGE PERMITTED PER VA-2018-00143, LIGHT VEHICLE RENTAL PERMITTED AND OUTDOOR STORAGE NOT ALLOWED

SETBACKS:	
FRONT YARD:	5 FT.
SIDE YARD:	0 FT.
REAR YARD:	15 FT.
HEIGHT LIMIT:	45 FT.
PROPOSED HEIGHT:	35 FT.
MAX BUILDING COVERAGE:	N/A
1 SPACE REQUIRED PER 3,000 SQ. FT. FOR THE TOTAL GROSS AREA OF BUILDING	
PARKING:	REQUIRED PROVIDED
31 SPACES	31 SPACES
2 HANDICAP	2 HANDICAP
LANDSCAPE:	REQUIRED PROVIDED
15% NET LOT AREA	15% NET LOT AREA

DESIGNED JL
DRAWN JMT
CHECKED SEG
DATE 9/25/2019

REVISION

PROJECT NUMBER: PR-2018-001670
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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

STAMP
SHELDON E. GREER
NEW MEXICO
17154
REGISTERED PROFESSIONAL ENGINEER

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

nm811
Know what's below.
Call before you dig.

PROJECT NAME: UHAUL 4TH ST & I-40

DRB SITE PLAN

REVIEW

SUBMITTED FOR:

SHEET NUMBER: C 100

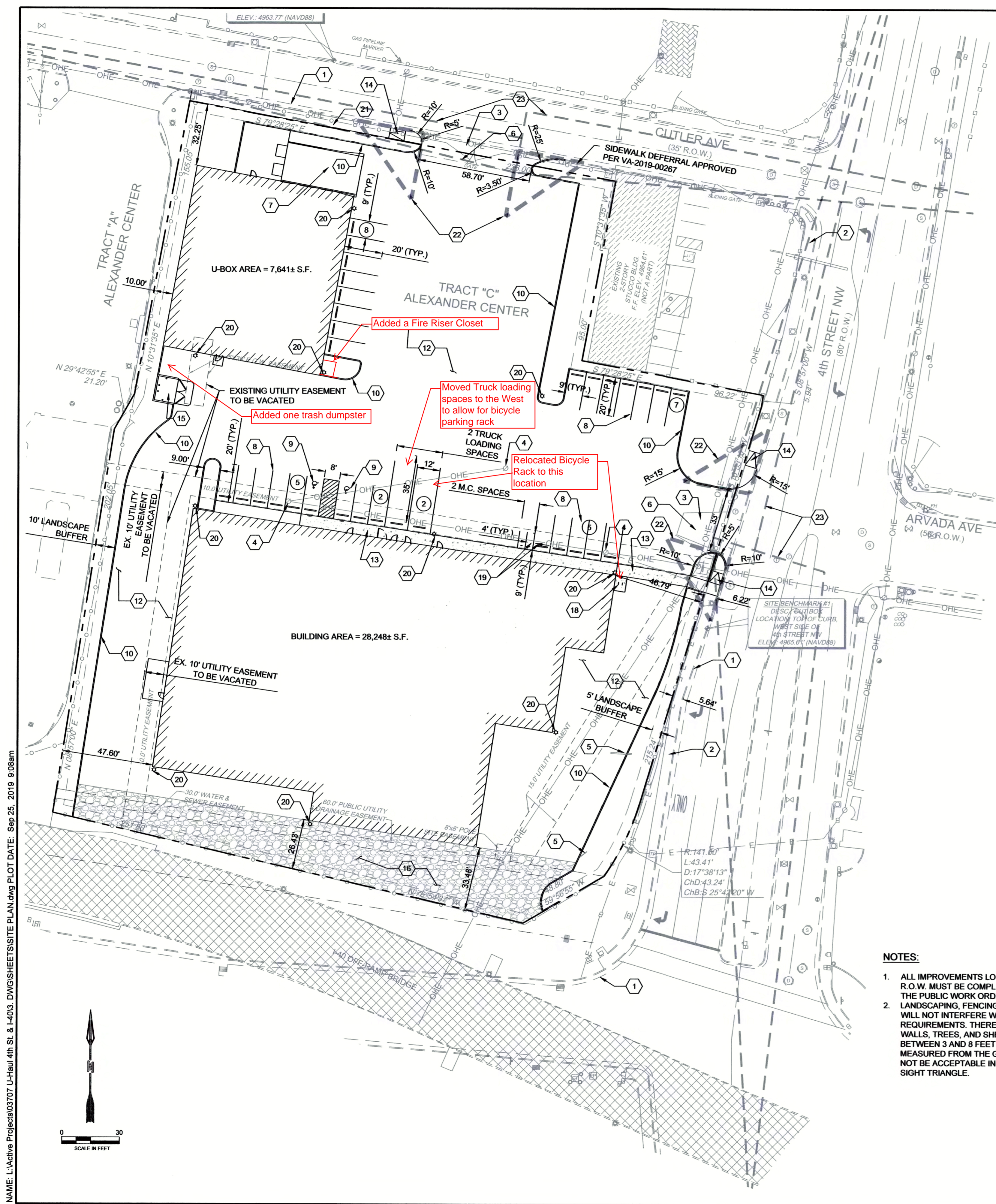
ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

NAME: L:\Active Projects\03707 U-Haul 4th St. & L-403. DWG\SHEETS\SITE PLAN.dwg PLOT DATE: Sep 25, 2019 9:08am



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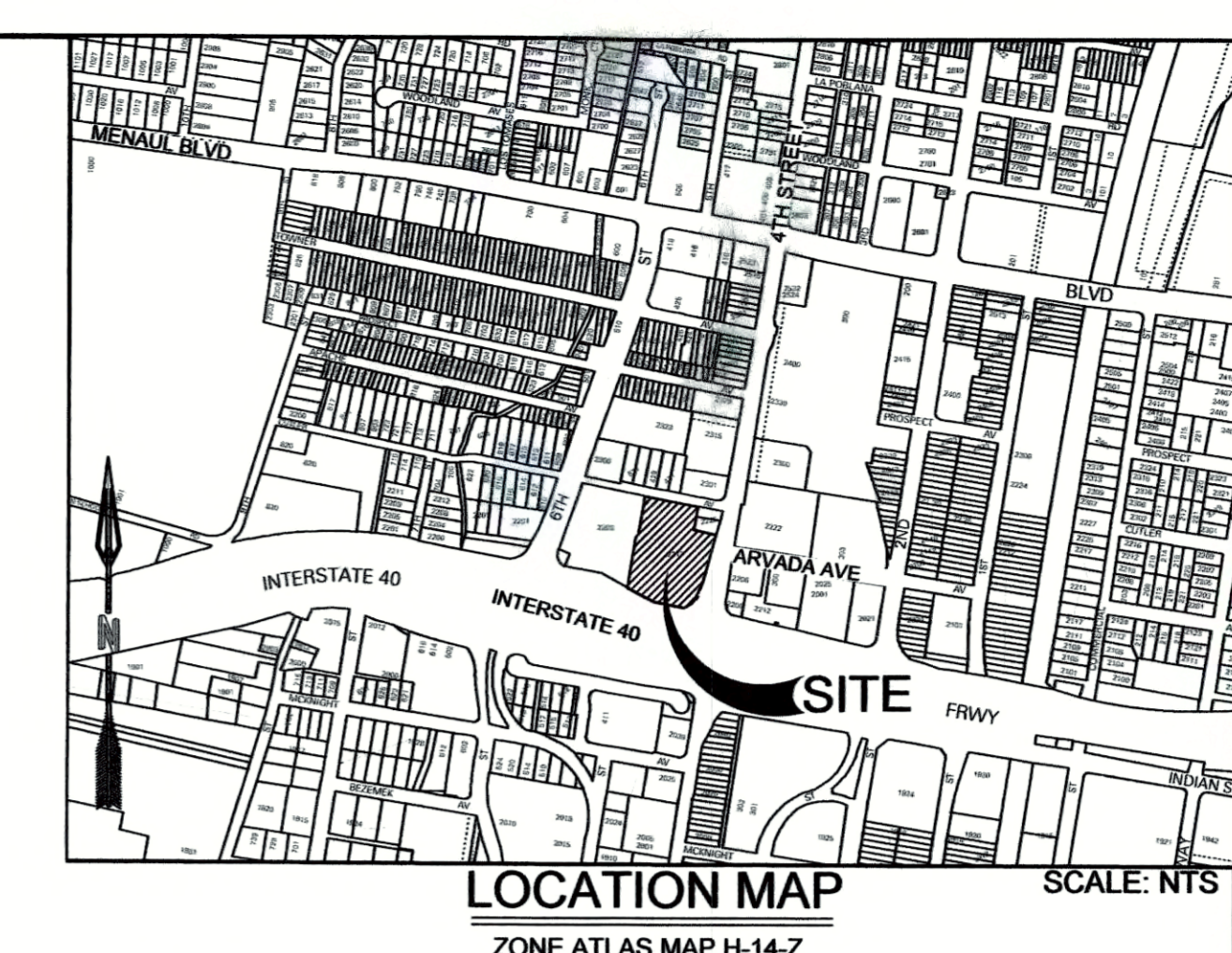
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ABCWUA	09-15-19
Parks and Recreation Department	2-03-20
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SHEET NUMBER:
C 100