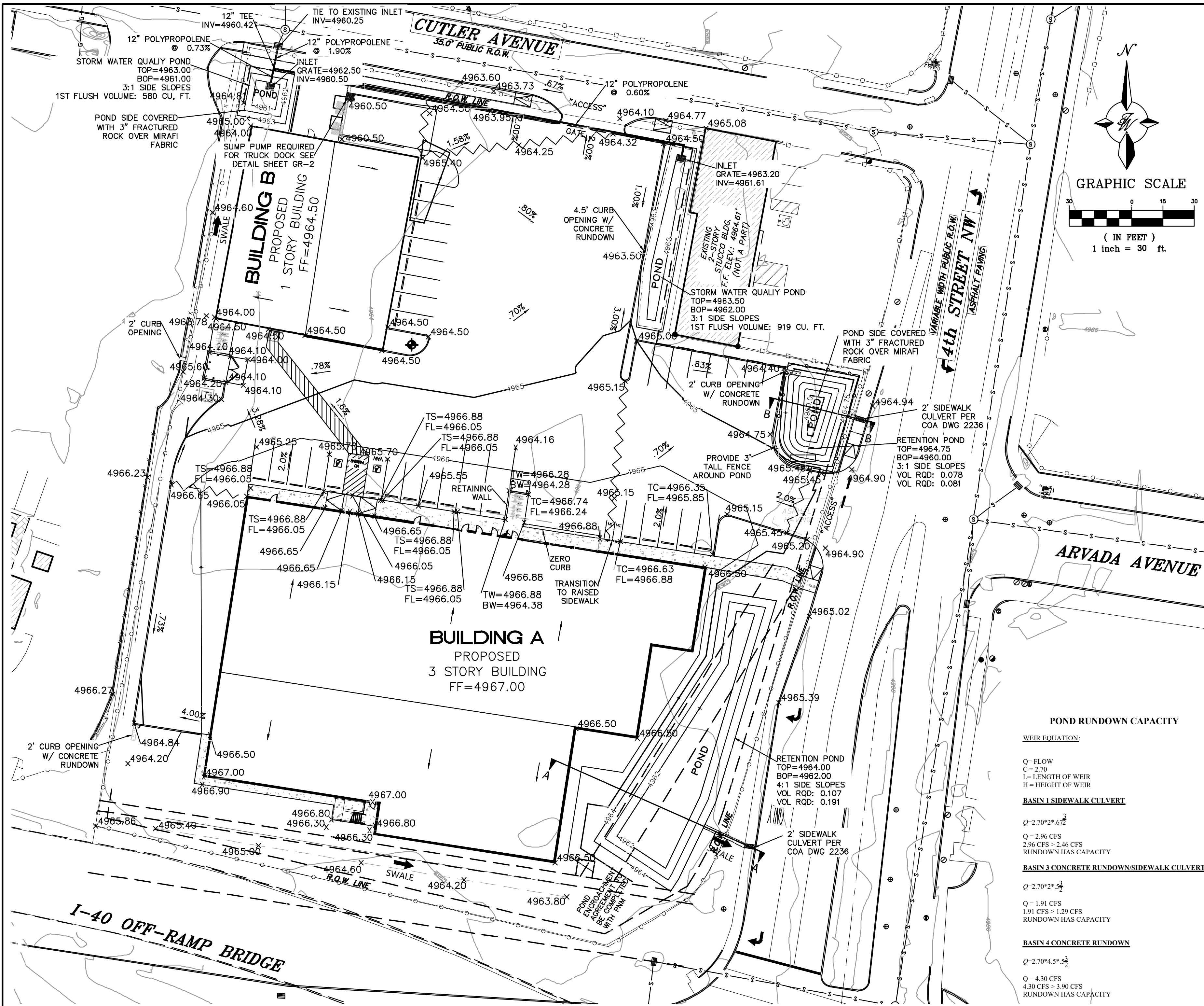


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION (FLOWLINE)
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- PHASE LINE

EXISTING DRAINAGE CONDITION

THE SITE IS AN EXISTING UNDEVELOPED 2.5 ACRE LOT. THE SITE DRAINS FROM SOUTH TO NORTH AND THE SURFACE RUNOFF IS DISCHARGED INTO CUTLER AVE. WHERE IT IS CAPTURED BY AN EXISTING DROP INLET NEAR THE NORTHWEST CORNER OF THE SITE. THERE IS NO OFFSITE RUNOFF THAT ENTERS THE SITE. THE SITE MAY HAVE BEEN USED AS A GRAVEL PARKING LOT IN THE PAST. AS SUCH THE EXISTING LAND TREATMENT WAS CONSIDERED COMPACT GRAVEL WITH TREATMENT "C" GENERATING A RUNOFF OF 7.93 CFS. A PORTION OF THE SITE IS LOCATED IN SHADED ZONE X WITH THE REST IN ZONE X.

PROPOSED DRAINAGE CONDITION

THE SITE WAS DIVIDED UP INTO SEVEN BASINS AS SHOWN ON THE BASIN MAP ON THIS SHEET. BASIN ONE CONSISTS OF THE BACK HALF OF THE LARGE BUILDING AND THE REAR LANDSCAPED AREA. THIS BASIN WILL DRAIN FROM WEST TO EAST IN A SWALE TO A RETENTION POND LOCATED BETWEEN THE BUILDING AND 4TH STREET. THE POND IS SIZED FOR THE 100YR, 10 DAY STORM AND IS ONLY 2 FEET DEEP. THAT POND WILL BE LOCATED IN AN EXISTING OVERHEAD POWERLINE EASEMENT FOR WHICH AN ENCROACHMENT AGREEMENT WILL BE EXECUTED WITH PNM.

BASIN 2 CONTAINS THE WESTERN PORTION OF THE SITE AND THE BACK HALF OF THE SMALL BUILDING. THE RUNOFF WILL FLOW IN A SWALE BEHIND THE SMALL BUILDING TO A STORM WATER QUALITY POND LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE POND IS SIZED TO HOLD THE FIRST FLUSH VOLUME BEFORE DISCHARGING 1.86 CFS INTO A DROP INLET.

BASIN 3 CONTAINS THE EASTERN PARKING LOT AND A SMALL PORTION OF THE LARGE BUILDING. THE RUNOFF WILL SURFACE FLOW TO A RETENTION POND SIZED FOR THE 100YR, 10 DAY STORM AND IS 4 FEET DEEP. THIS POND WILL BE SURROUNDED BY A FENCE TO KEEP PEDESTRIANS OUT.

BASIN 4 CONTAINS MOST OF THE PARKING LOT AND THE FRONT PORTION OF BOTH BUILDINGS. THE RUNOFF WILL SURFACE FLOW TO A STORM WATER QUALITY POND LOCATED IN THE NORTHEAST CORNER OF THE SITE. THE POND IS SIZED TO HOLD THE FIRST FLUSH VOLUME PRIOR TO DISCHARGING 3.90 CFS INTO A DROP INLET. THE STORM WATER FROM BASINS 2, 3 AND 4 WILL DISCHARGE 5.76 CFS VIA STORM SEWER TO THE EXISTING DROP INLET IN CUTLER AVE.

BASIN 5 CONSISTS OF A LOADING DOCK THAT WILL DRAIN TO A SUMP PUMP. THE SUMP PUMP WILL DISCHARGE THE STORM WATER INTO THE STORM WATER QUALITY POND BEHIND THE LOADING DOCK.

BASINS 6 AND 7 CONSIST OF THE ENTRANCE WATER BLOCKS AND WILL DISCHARGE A TOTAL OF .25 CFS TO CUTLER AVE AND 4TH STREET. THE TOTAL STORM WATER DISCHARGED FROM THE PROPOSED PROJECT IS 7.42 CFS WHICH IS BELOW THE EXISTING DISCHARGE OF 7.93.

POND RUNDOWN CAPACITY

WEIR EQUATION:

Q = FLOW
C = 2.70
L = LENGTH OF WEIR
H = HEIGHT OF WEIR

BASIN 1 SIDEWALK CULVERT

Q = 2.70 * 2 * 6.72
Q = 2.96 CFS
2.96 CFS > 2.46 CFS
RUNDOWN HAS CAPACITY

BASIN 3 CONCRETE RUNDOWN/SIDEWALK CULVERT

Q = 2.70 * 2 * 5.3
Q = 1.91 CFS
1.91 CFS > 1.29 CFS
RUNDOWN HAS CAPACITY

BASIN 4 CONCRETE RUNDOWN

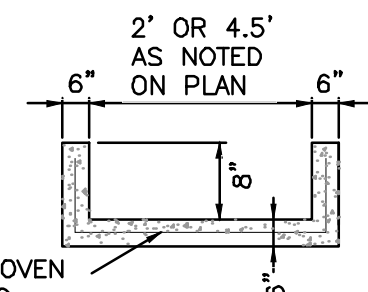
Q = 2.70 * 4 * 5.3
Q = 4.30 CFS
4.30 CFS > 3.90 CFS
RUNDOWN HAS CAPACITY

Pipe Capacity

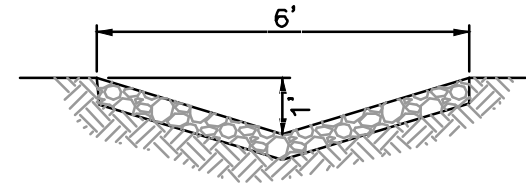
Pipe	D (in)	Slope (%)	Area (ft²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	12	0.6	0.79	0.250	3.27	3.90	4.97
2	10	0.73	0.55	0.208	2.22	1.86	3.41
3	12	1.9	0.79	0.250	5.82	5.76	7.33

Manning's Equation:
 $Q = 1.49 \text{ in}^3 \cdot A \cdot R^{2/3} \cdot S^{1/2}$

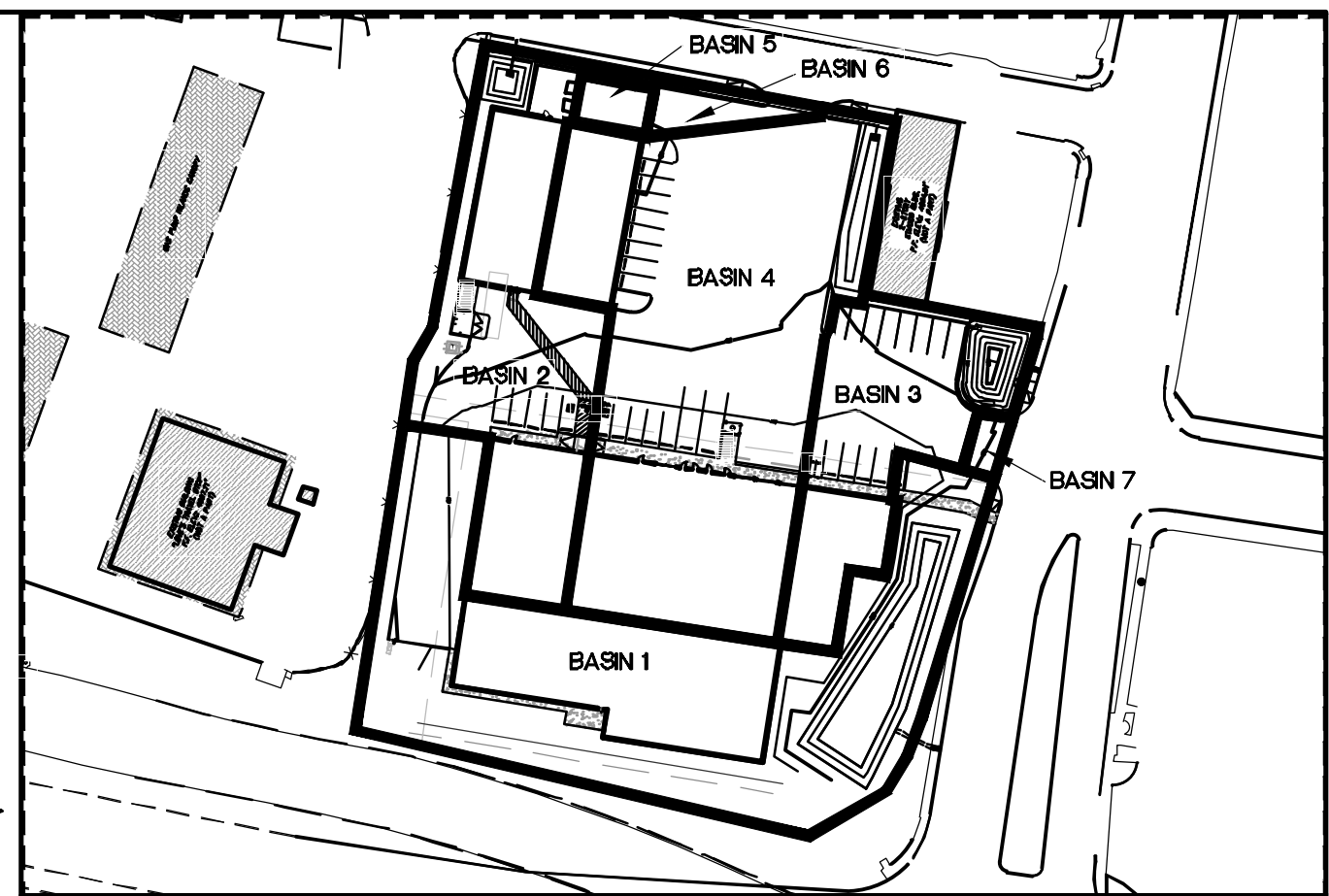
A = Area
R = D/4
S = Slope
n = 0.011



CONCRETE CHANNEL

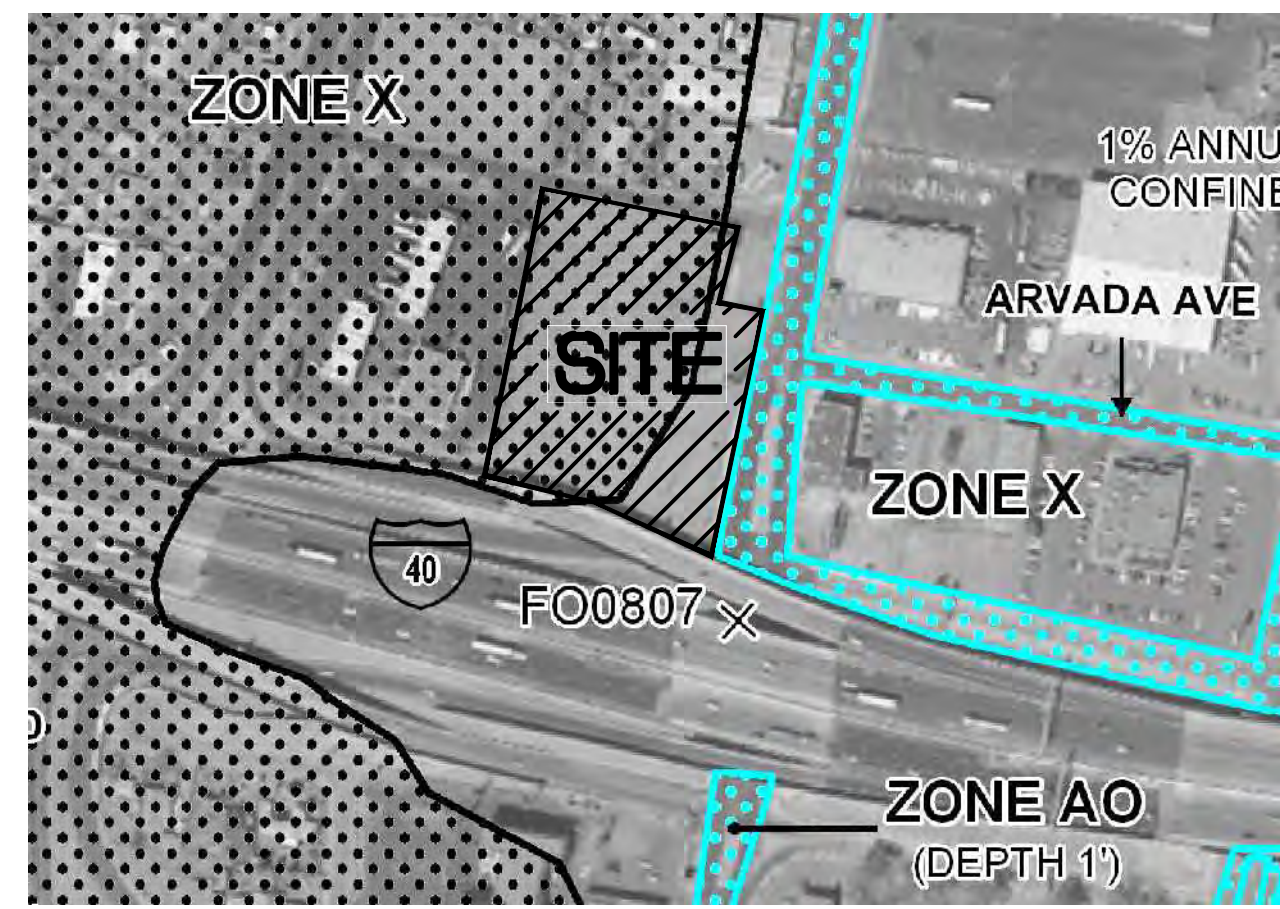


COBBLE SWALE



PROPOSED BASIN MAP

SCALE 1"=100'



FIRM MAP: (EFFECTIVE DATE 9-26-2008)

35001C0332G

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis.
8. Contractor must contact Augie Armijo at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

STORMWATER QUALITY

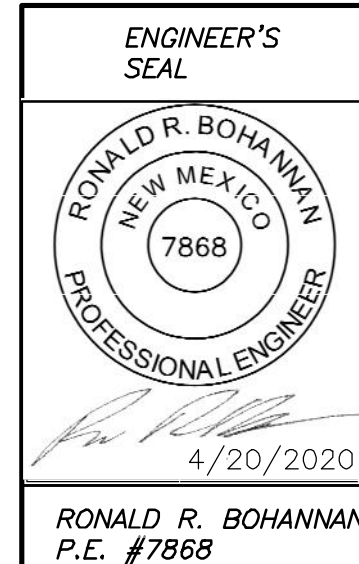
WATER QUALITY MEASURES WILL CONSIST OF RETENTION PONDS SIZED TO RETAIN THE STORMWATER QUALITY VOLUME FROM THE DEVELOPED AREAS. FLOWS WILL BE CONVEYED TO THE PONDS PRIMARILY BY SURFACE DRAINAGE AS WELL AS A PRIVATE STORM DRAIN SYSTEM BETWEEN BUILDINGS "A" AND "B". DRAINAGE VOLUMES IN EXCESS OF THE STORMWATER QUALITY WILL BE DISCHARGED THROUGH A PROPOSED STORM DRAIN SYSTEM AND INTO THE EXISTING PUBLIC STORM DRAIN WITHIN 4TH STREET.

STORMWATER QUALITY CALCULATIONS

BASIN 1: 9847 x .32"/12" = 213 CU.FT.
BASIN 2: 15246 x .32"/12" = 329 CU.FT.
BASIN 3: 10890 x .32"/12" = 237 CU.FT.
BASIN 4: 34848 x .32"/12" = 751 CU.FT.
BASIN 5: 1307 x .32"/12" = 94 CU.FT.
BASIN 6: 1742 x .32"/12" = 38 CU.FT.
BASIN 7: 436 x .32"/12" = 15 CU.FT.
TOTAL STORMWATER QUALITY VOLUME = 1877 CU.FT.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



U-HAUL
4TH AND I-40
GRADING AND DRAINAGE
PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
RMG
DATE
04/20/2020
2019070-GR
SHEET #
C-2
JOB #
2019070

Weighted E Method

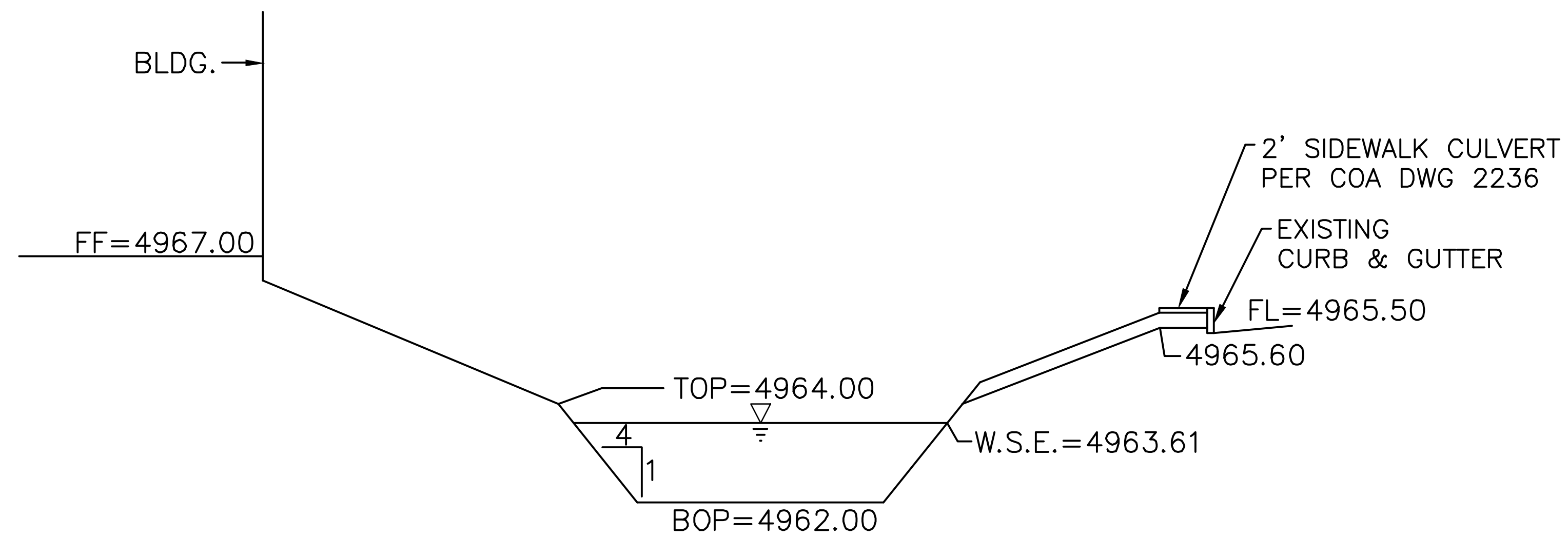
Developed On-Site Basins

Basin	Area		Treatment A	Treatment B	Treatment C	Treatment D	100-Year, 6-Hr			10-Year, 6-Hr			100-Year, 10-Day		
	(sf)	(acres)	%	%	%	%	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs
1	36,471	0.84	0%	73%	0%	27%	1.142	0.080	2.46	0.566	0.040	1.29	1.142	0.107	2.46
2	19,484	0.45	0%	22%	0%	78%	1.825	0.068	1.86	1.107	0.041	1.19	1.825	0.111	1.86
3	13,027	0.30	0%	16%	0%	84%	1.906	0.047	1.29	1.170	0.029	0.83	1.906	0.078	1.29
4	37,672	0.86	0%	8%	0%	92%	2.013	0.145	3.90	1.255	0.090	2.56	2.013	0.243	3.90
5	1,106	0.03	0%	0%	0%	100%	2.120	0.004	0.12	1.340	0.003	0.08	2.120	0.008	0.12
6	1,739	0.04	0%	0%	0%	100%	2.120	0.007	0.19	1.340	0.004	0.13	2.120	0.012	0.19
7	600	0.01	0%	0%	0%	100%	2.120	0.002	0.06	1.340	0.002	0.04	2.120	0.004	0.06

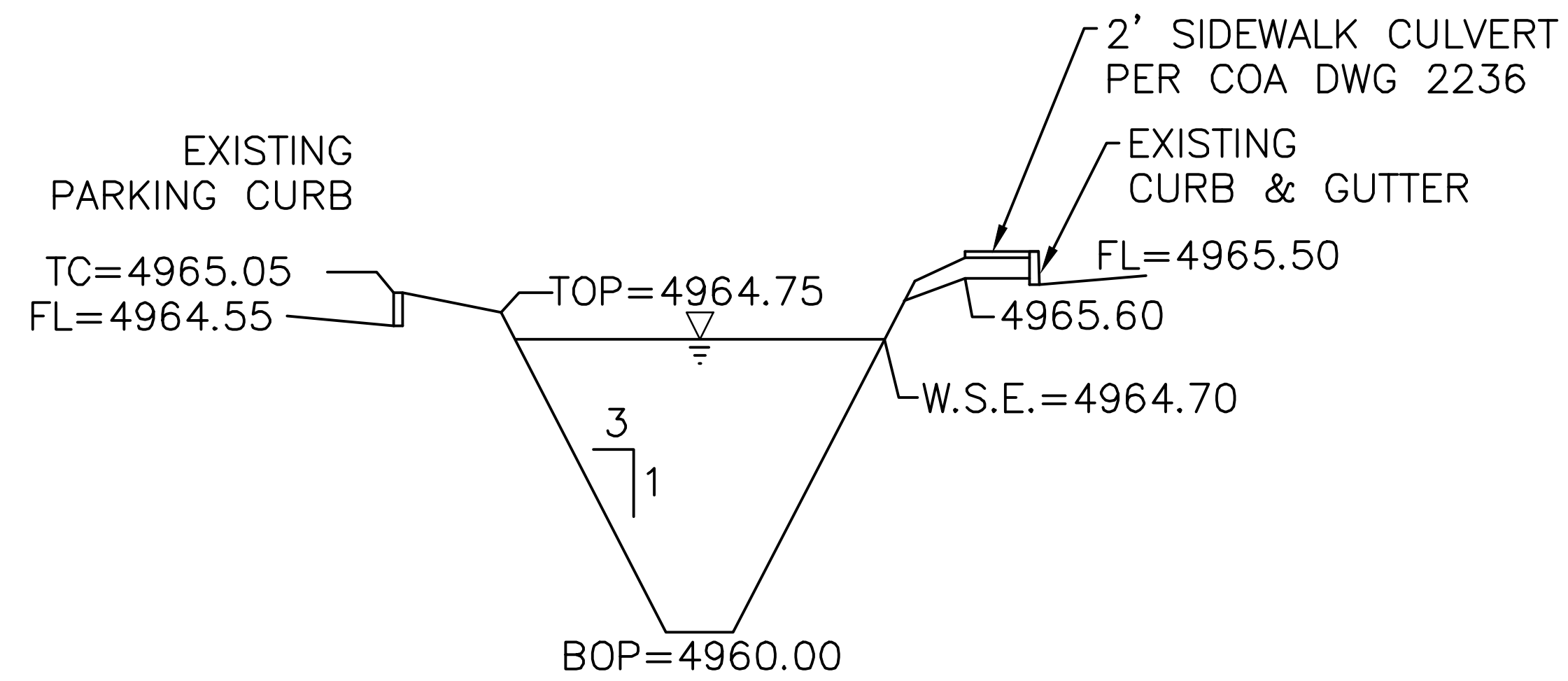
Total Discharge 6.13

Undeveloped On-Site Basins

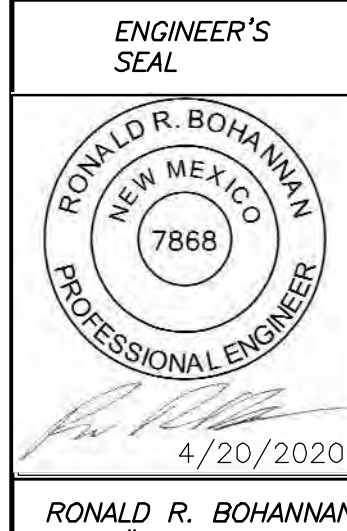
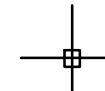
Basin	Area		Treatment A	Treatment B	Treatment C	Treatment D	100-Year, 6-Hr		
	(sf)	(acres)	%	%	%	%	Weighted E	Volume (ac-ft)	Flow cfs
1	110,000	2.53	0%	0%	0%	100%	1.130	0.238	7.93



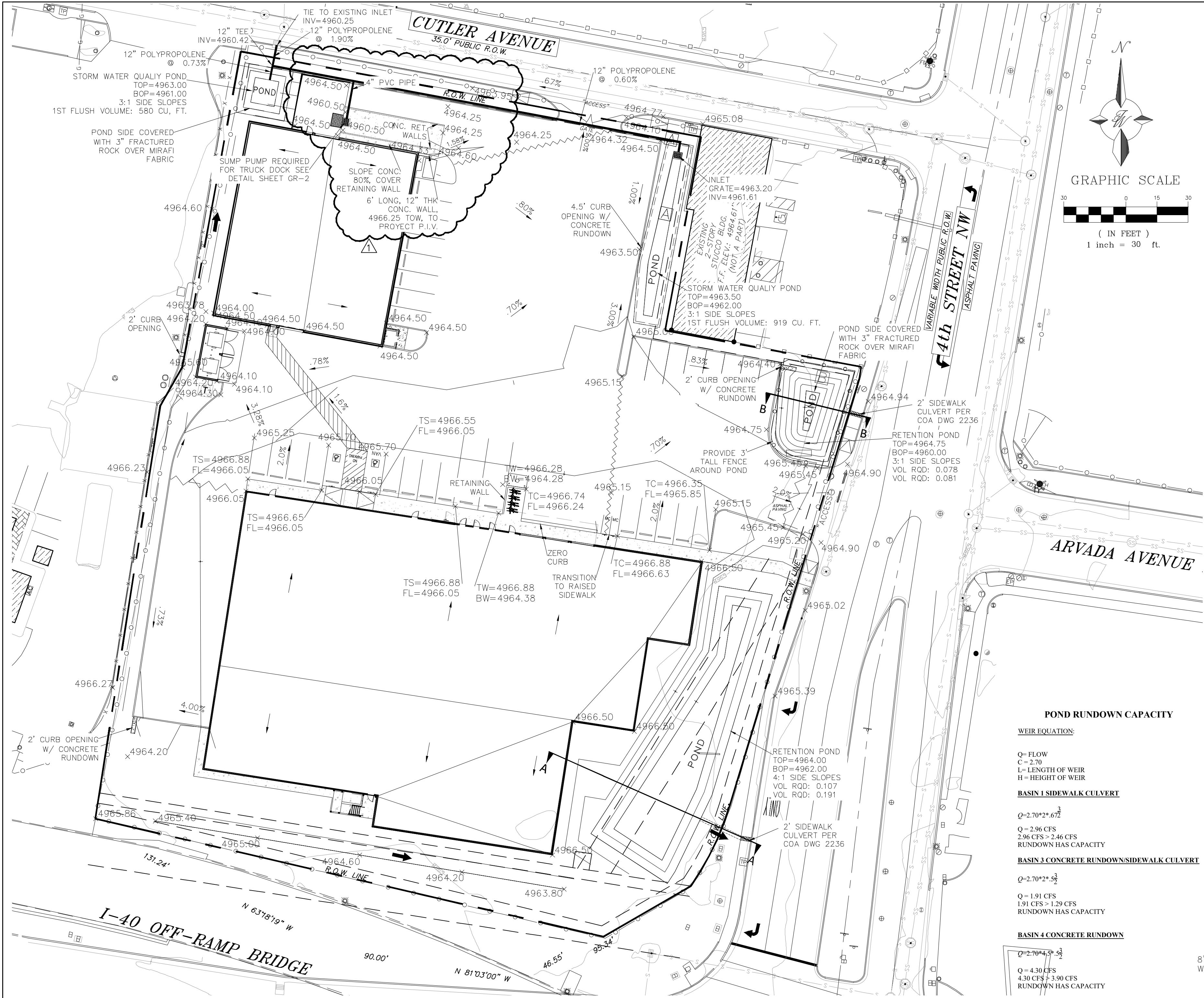
SECTION A-A
NTS



SECTION B-B
NTS

	U-HAUL		DRAWN BY
	4TH AND I-40		RMG
	GRADING AND DRAINAGE		DATE
	PLAN - SECTIONS		04/20/2020
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2019070-GR		SHEET #
	C-4		JOB #
			2019070

Z:\2019\2019070 U-Haul 4th St. & I-40.dwg DRB \2019070-CR.dwg Aug 10, 2022 - 9:06am



LEGEND

CURB & GUTTER

BOUNDARY LINE

EASEMENT

CENTERLINE

RIGHT-OF-WAY

BUILDING

SIDEWALK

CONTOUR MAJOR

CONTOUR MINOR

SPOT ELEVATION (FLOWLINE)

FLOW ARROW

EXISTING CURB & GUTTER

EXISTING BOUNDARY LINE

EXISTING CONTOUR MAJOR

EXISTING CONTOUR MINOR

EXISTING SPOT ELEVATION

5010

5011

x 5048.25

x 5048.25

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- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

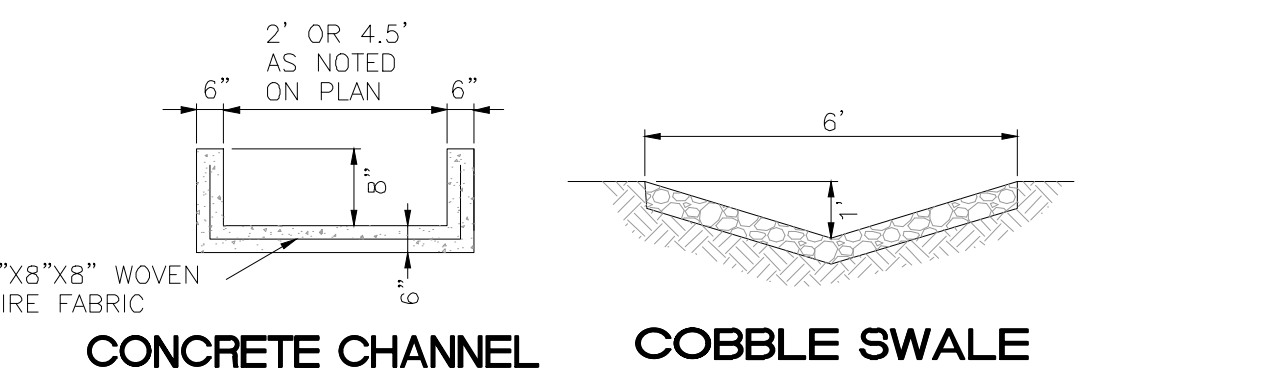
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

8. PRIOR TO WORK WITHIN THE INTERSTATE 40 RIGHT-OF-WAY, A NMDOT PERMIT WILL BE REQUIRED.



Weighted E Method																			
Developed On-Site Basins																			
											100-Year, 6-Hr			10-Year, 6-Hr			100-Year, 10-Day		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs
1	36,471	0.84	0%	0	73%	0.61	0%	0	27%	0.23	1.142	0.080	2.46	0.566	0.040	1.29	1.142	0.107	2.46
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5	1,106	0.03	0%	0	0%	0.00	0%	0	100%	0.03	2.120	0.004	0.12	1.340	0.003	0.08	2.120	0.008	0.12
6	1,739	0.04	0%	0	0%	0.00	0%	0.00	100%	0.04	2.120	0.007	0.19	1.340	0.004	0.13	2.120	0.012	0.19
7	600	0.01	0%	0	0%	0.00	0%	0.00	100%	0.01	2.120	0.002	0.06	1.340	0.002	0.04	2.120	0.004	0.06
Total Discharge													6.13						
Undeveloped On-Site Basins																			
											100-Year, 6-Hr								
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E	Volume (ac-ft)	Flow cfs						
1	110,000	2.53	0%	0	0%	0.00	100%	2.525	0%	0.00	1.130	0.238	7.93						

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Q = 2.70 * 2 * 5.8
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Q = 2.70 * 4 * 5.8
Q = 4.30 CFS
4.30 CFS > 3.90 CFS
RUNDOWN HAS CAPACITY

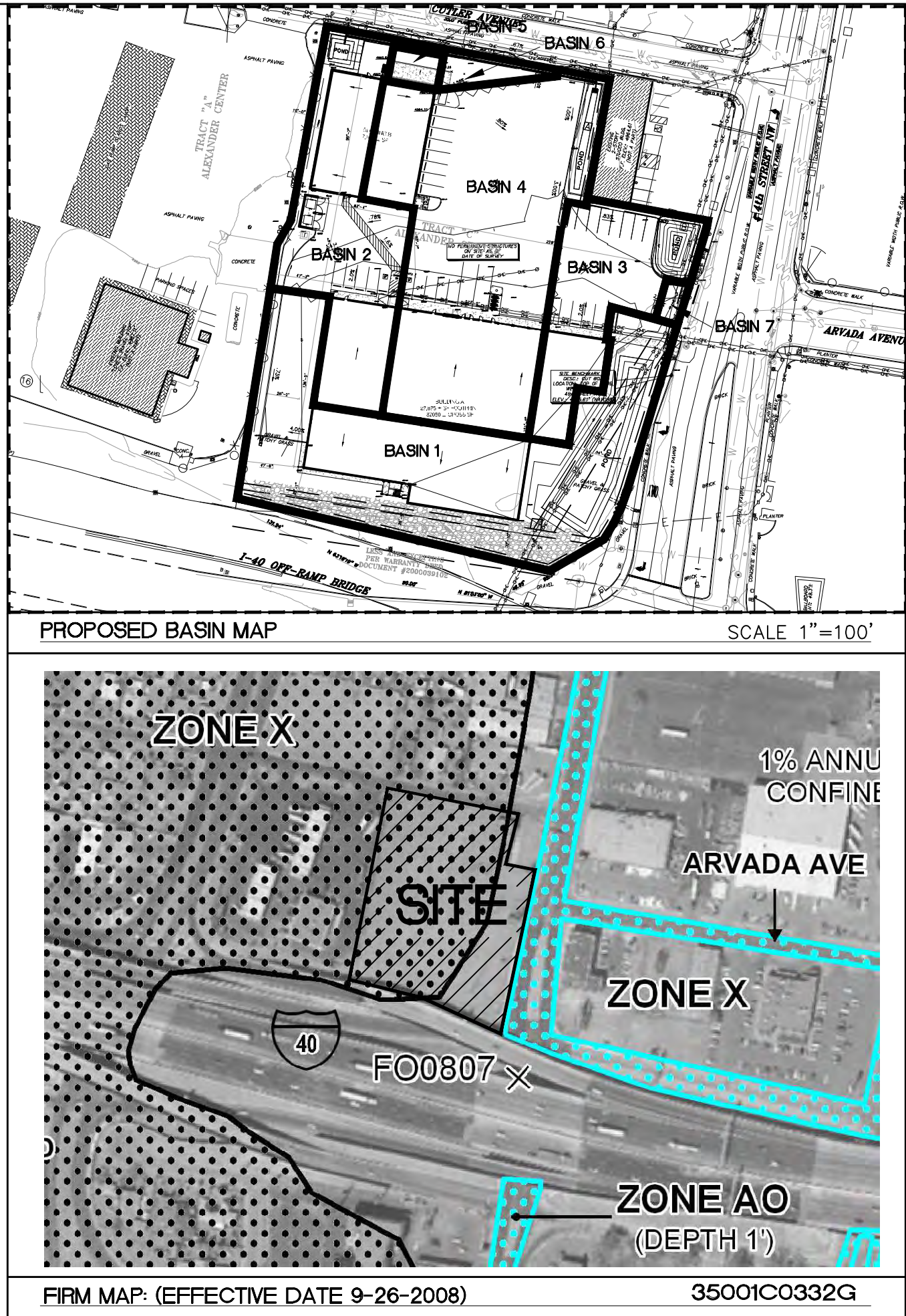
Pipe Capacity							
Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
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Manning's Equation:
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A = Area
R = D/4
S = Slope
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BASIN 1: 9847 x .32"/12" = 213 CU.FT.
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1. An excavation permit will be required before beginning any work within City Right-Of-Way.

2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.

3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [or (505) 260-1990] for the location of existing utilities.

4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.

5. Backfill compaction shall be according to traffic/street use.

6. Maintenance of the facility shall be the responsibility of the owner of the property being served.

7. Work on arterial streets may be required on a 24-hour basis.

8. Contractor must contact Augie Armijo at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

STORMWATER QUALITY
WATER QUALITY MEASURES WILL CONSIST OF RETENTION PONDS SIZED TO RETAIN THE STORMWATER QUALITY VOLUME FROM THE DEVELOPED AREAS. FLOWS WILL BE CONVEYED TO THE PONDS PRIMARILY BY SURFACE DRAINAGE AS WELL AS A PRIVATE STORM DRAIN SYSTEM BETWEEN BUILDINGS "A" AND "B". DRAINAGE VOLUMES IN EXCESS OF THE STORMWATER QUALITY WILL BE DISCHARGED THROUGH A PROPOSED STORM DRAIN SYSTEM AND INTO THE EXISTING PUBLIC STORM DRAIN WITHIN 4TH STREET.

1 08-09-2022 REVISE LOADING DOCK AND FORKLIFT APPROACH RMG

NO. DATE REMARKS BY

REVISIONS

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
8/09/2022
RONALD R. BOHANNAN
P.E. #7868

**U-HAUL
4TH AND I-40
GRADING AND DRAINAGE
PLAN**

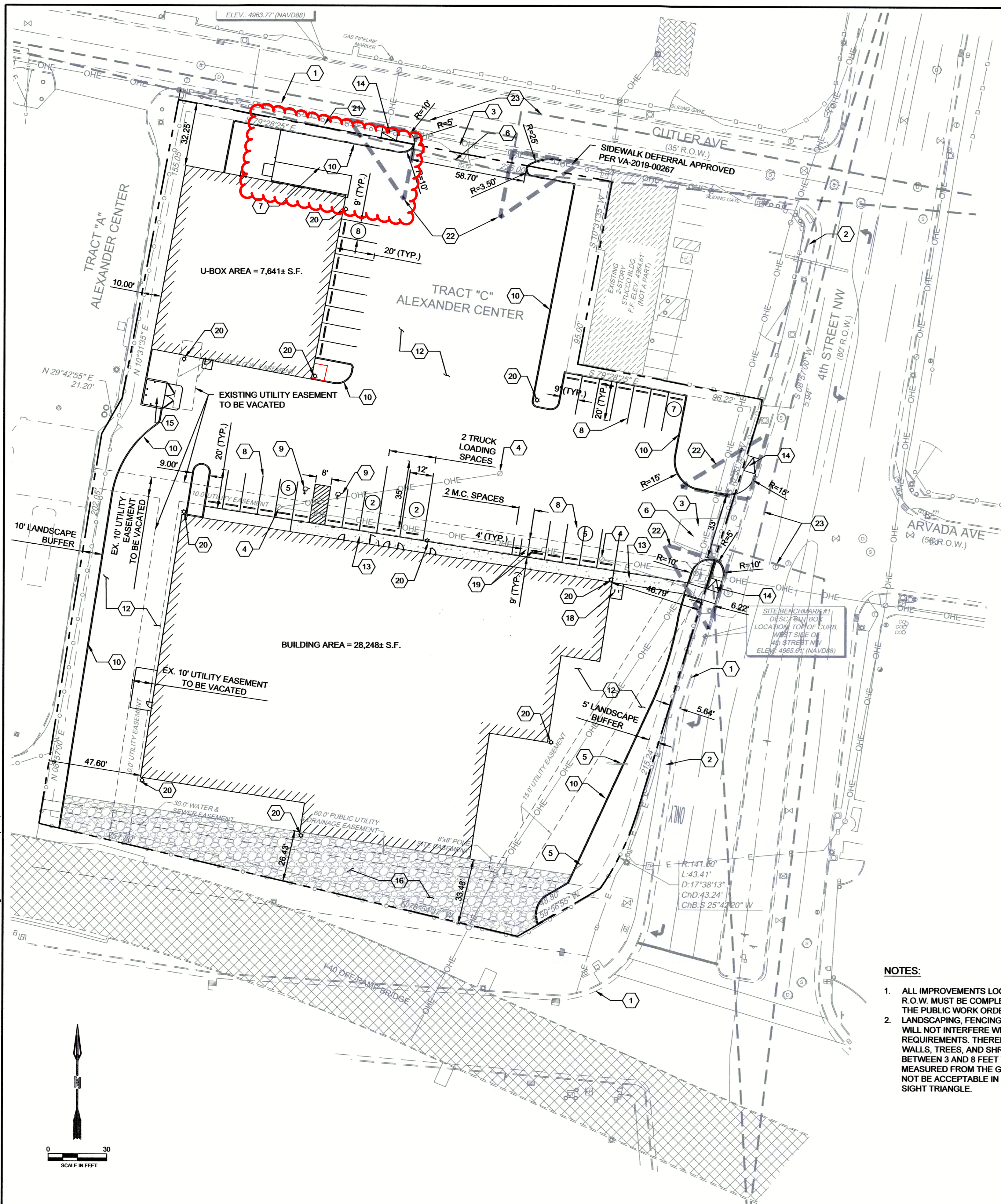
8/09/2022

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
RMG
DATE
08/09/2022
2019070-GR

SHEET #
C-2
JOB #
2019070

NAME: L:\Active Projects\03707 U-Haul 4th St. & L-403. DWG\SHEETS\SITE PLAN.dwg PLOT DATE: Sep 25, 2019 9:08am



NOTES:

- ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE COMPLETED THROUGH THE PUBLIC WORK ORDER PROCESS.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SITE DATA

LEGAL: TRACT C, ALEXANDER CENTER
ADDRESS: 2217 4TH STREET NW

SITE AREA: 2.5278 ACRES (110,111 SF)

ZONING: MX-M FOR MIXED USE-MODERATE

BENCHMARK:
BENCHMARK #1
DESC.: CUT BOX
LOCATION: TOP OF CURB,
WEST SIDE OF
4TH STREET NW
ELEV.: 4965.61' (NAVD88)
BENCHMARK #2
DESC.: CUT BOX
LOCATION: TOP OF CURB,
NORTH SIDE OF
CUTLER AVE. NW
ELEV.: 4963.77' (NAVD88)

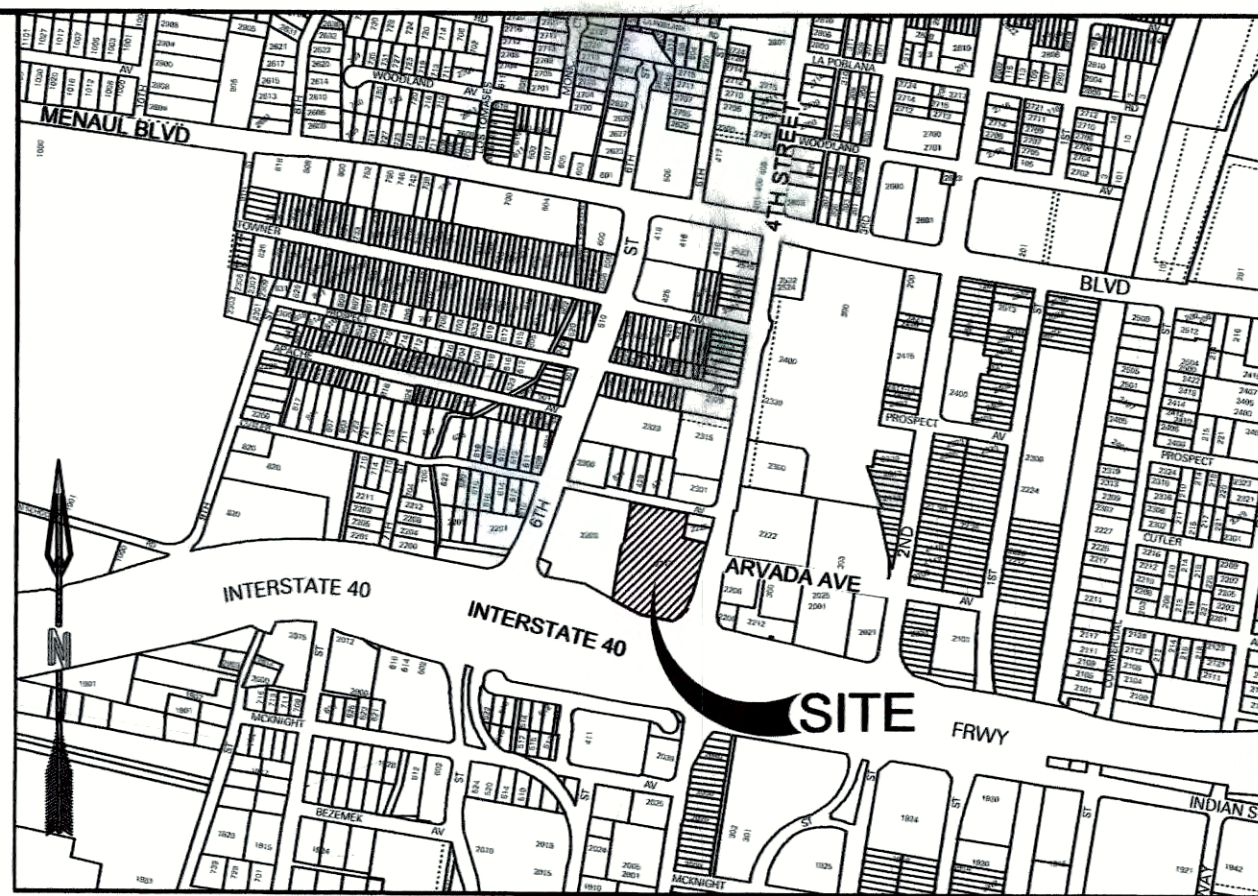
MAPPING: ALTA SURVEY AND CONTROL PROVIDED BY
RED PLAINS SURVEYING COMPANY
FEBRUARY 2019

LEGEND

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
WATER VALVE		
SEWER MANHOLE		
STORM SEWER MANHOLE		
DROP INLET		
WATER METER		
CURB AND GUTTER		
BENCHMARK		
BORE HOLE		
ELECTRICAL PEDISTAL		
ELECTRICAL TRANSFORMER		
GAS VALVE		
GATE		
GUARD POST		
LIGHT POLE		
MONUMENT FOUND		
POWER POLE		
ROAD SIGN		
TELEPHONE MANHOLE		
TELEPHONE PEDISTAL		
UTILITY POLE		
ROAD CENTERLINE		
CHAINLINK FENCE		
OVERHEAD ELECTRIC LINE		
SUBJECT BOUNDARY LINE		
BOUNDARY ADJOINER LINE		
EASMENT LINE		
GRAVEL DRIVEWAY		

KEYED NOTES

I.D.#	DESCRIPTION
1	EXISTING CURB AND GUTTER
2	EXISTING SIDEWALK
3	EXISTING DRIVEWAY TO BE REMOVED
4	EXISTING UTILITY POLE TO BE REMOVED
5	EXISTING SIGN TO BE REMOVED
6	NEW DRIVEWAY PER COA STD. DWG 2425
7	NEW CONCRETE LOADING DOCK
8	NEW PARKING STRIPING
9	NEW HANDICAP PARKING PER DETAIL 10 SHEET C 501
10	NEW CURB AND GUTTER PER DETAIL 1 SHEET C 500
12	NEW ASPHALT PAVEMENT, PER PAVEMENT SECTION 3 SHEET C 500
13	NEW 6' WIDE SIDEWALK PER DETAIL 6 SHEET C 500 W/ 10' WIDTH APPROVED PER VA-2019-00268
14	NEW HANDICAP RAMP PER COA STD DWG 2440
15	NEW REFUSE ENCLOSURE PER DETAIL 14 SHEET C 501
16	NEW GRAVEL DRIVEWAY, PER PAVING SECTION 5 SHEET C 500
18	NEW BIKE RACK PER DETAIL 7 SHEET C 500
19	NEW MOTORCYCLE PARKING SIGN PER DETAIL 8 SHEET C 500
20	NEW LIGHT POLE PER DETAIL 9 SHEET C 500
21	NEW 6' WIDE PER COA STD. DWG. 2430
22	35' CLEAR SIGHT TRIANGLE PER COA SPECIFICATIONS
23	CLEAR SIGHT TRIANGLE PER AASHTO SPECIFICATIONS



PROJECT NUMBER: PR-2018-001670
Application Number: SI-2019-00181

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWJA	09-15-19
Parks and Recreation Department	Date
City Engineer	2-03-20
Solid Waste Management	9/25/19
Code Enforcement	10/7/19
DRB Chairperson, Planning Department	9.25.19
	2-09-20

ZONING INFORMATION

PROJECT NAME: U-HAUL STORAGE OF WESTSIDE
MUNICIPALITY: CITY OF ALBUQUERQUE
PROJECT ADDRESS: 2217 4TH ST. NW ALBUQUERQUE, NM 87102
ACRE / AREA: 2.5 ACRES / 108,900 SF.
ZONE: MX-M - MIXED-USE - MODERATE INTENSITY

ADJACENT ZONING:
N- MX-M - MIXED-USE - MODERATE INTENSITY
E- MX-M - MIXED-USE - MODERATE INTENSITY
S- INTERSTATE 40/ MX-M - MIXED-USE - MODERATE
INTENSITY
W- MX-M - MIXED-USE - MODERATE INTENSITY

USES: SELF STORAGE PERMITTED PER VA-2018-00143, LIGHT VEHICLE RENTAL PERMITTED AND OUTDOOR STORAGE NOT ALLOWED

SETBACKS:
FRONT YARD: 5 FT.
SIDE YARD: 0 FT.
REAR YARD: 15 FT.

HEIGHT LIMIT:
PROPOSED HEIGHT: 45 FT.
35 FT.

MAX BUILDING COVERAGE: N/A

1 SPACE REQUIRED PER 3,000 SQ. FT. FOR THE TOTAL GROSS AREA OF BUILDING

PARKING:	REQUIRED	PROVIDED
	31 SPACES	31 SPACES
	2 HANDICAP	2 HANDICAP

LANDSCAPE	REQUIRED	PROVIDED
	15% NET LOT AREA	15% NET LOT AREA

DESIGNED JL	DRAWN JMT	CHECKED SEG	DATE 9.25.2019
RESPEC			
5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NEW MEXICO 87109 WWW.RESPEC.COM 505.253.9718			
STAMP			
SHELDON E. GREER NEW MEXICO 17154 REGISTERED PROFESSIONAL ENGINEER			
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED			
nm811 Know what's below. Call before you dig.			
PROJECT NAME: UHAUL 4TH ST & I-40			
SHEET TITLE: DRB SITE PLAN			
SUBMITTED FOR: REVIEW			
SHEET NUMBER: C 100			