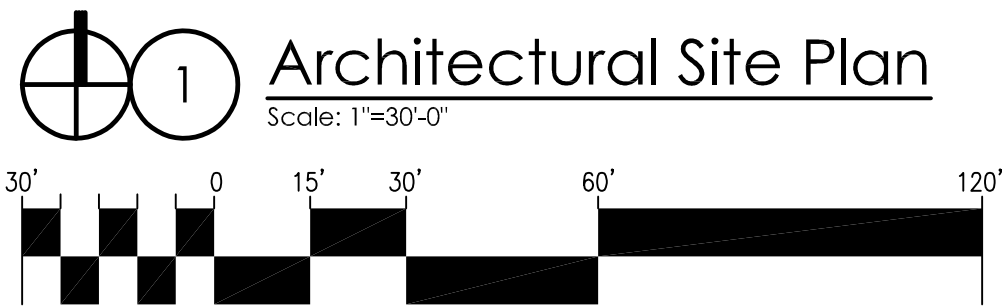
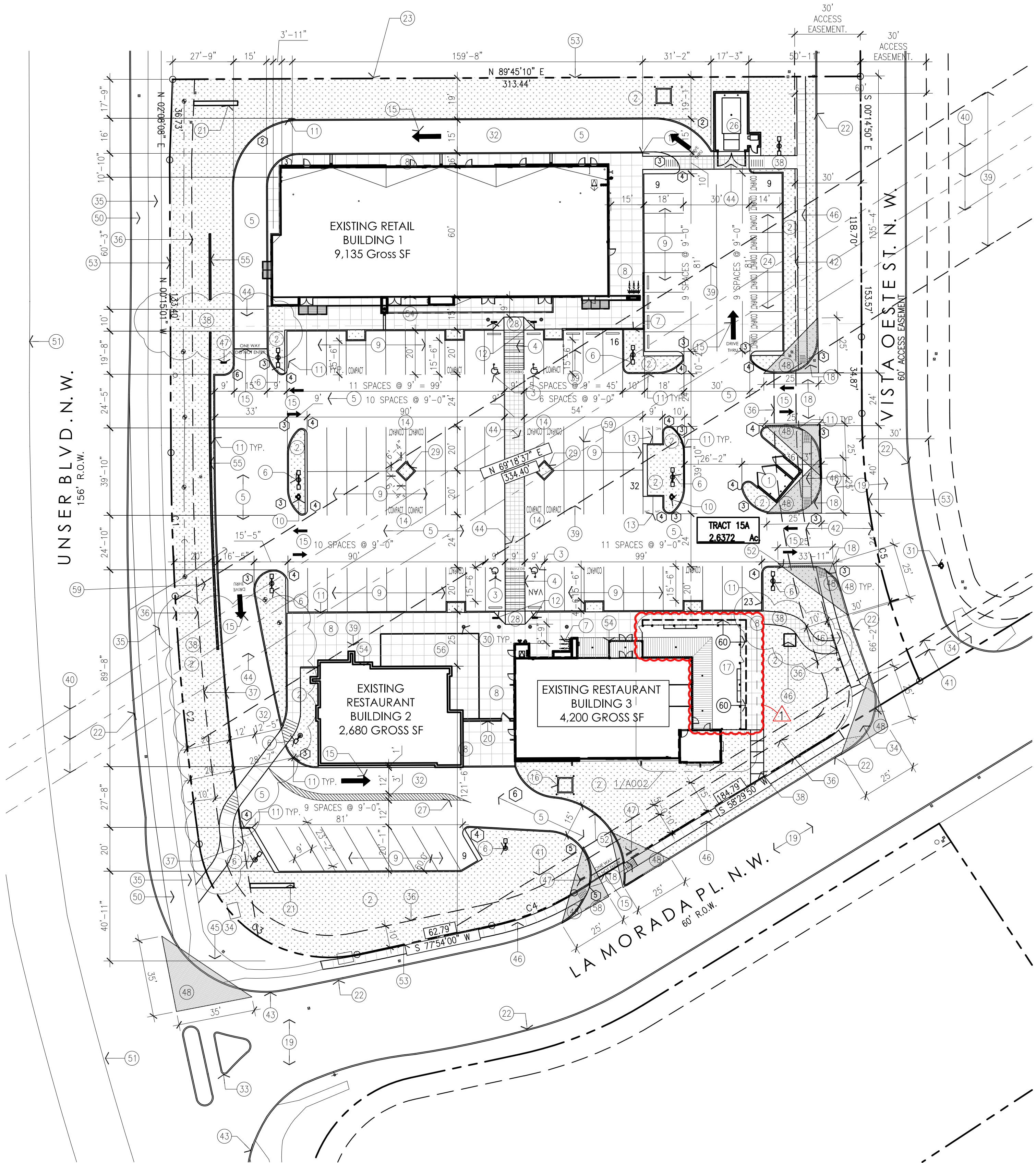


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	02°50'08"	S 01°39'57" E	1322.00	65.42	65.42
C2	04°55'19"	S 05°32'40" E	1322.00	113.56	113.53
C3	94°02'28"	S 55°00'53" E	60.00	98.48	87.79
C4	19°22'48"	N 68°14'53" E	120.00	40.59	40.40
C5	23°59'56"	S 12°12'40" E	300.00	125.66	124.74



VICINITY MAP: ZONE ATLAS PAGE H-09-Z

RADIUS INFORMATION:

- 1

2

3

4
- 5

6

7
- 14'-6"

30'-0"

15'-0"

3'-0"
- 21'-0"

5'-0"

10'-0"

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
- [H] ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
- [I] FUTURE BUILDING ELEVATIONS FOR BUILDING 2 WILL BE REQUIRED TO BE APPROVED VIA ADMINISTRATIVE AMENDMENT AND COMPLY WITH THE DESIGN REGULATIONS AND AESTHETICS CREATED BY THE TWO BUILDINGS IN THIS SUBMITTAL.

KEYED NOTES:

- [1] PROPOSED REFUSE ENCLOSURE. 1/A001.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STRIPED HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [5] PROPOSED ASPHALT PAVING.
- [6] PROPOSED SITE LIGHTING. SEE GENERAL NOTES.
- [7] PROPOSED BIKE RACK WITH 3 SPACES. SEE 8/A003.
- [8] PROPOSED CONCRETE SIDEWALK WITH CONTROL JOINTS EVERY 5'-0" AND EXPANSION JOINTS EVERY 20'-0". SEE 13/A003.
- [9] PROPOSED PAINTED PARKING STRIPING.
- [10] PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN. 12/A003 & 3/A003.
- [11] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.
- [12] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [13] PROPOSED 4'-6" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE. SEE 11/A003 FOR SIGNAGE. PROVIDE PAVEMENT MARKING AT END OF EACH SPACE.
- [14] PROPOSED COMPACT 9'-0" X 15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION AT LANDSCAPE ISLAND.
- [15] PROPOSED PAINTED DIRECTIONAL ARROW/ SIGNAGE ON PAVEMENT.
- [16] PROPOSED ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL.
- [17] PROPOSED PATIO. SEE ENLARGED PLAN 1/A002.
- [18] TIE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN. REFER TO DETAIL 2426 FOR CITY STANDARD DRIVE ENTRY DETAILS.
- [19] EXISTING ASPHALT ROAD TO REMAIN.
- [20] PROPOSED 6'-0" TALL PATIO FENCE. 6/A002.
- [21] PROPOSED 32 SF MONUMENT SIGN, MAX 4' TALL. SEE 7/A002.
- [22] EXISTING CONCRETE CURB TO REMAIN.
- [23] NOT USED.
- [24] FUTURE COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION.
- [25] NOT USED.
- [26] FUTURE TRASH COMPACTOR.
- [27] PROPOSED PAVEMENT STRIPING.
- [28] PROPOSED HC RAMP.
- [29] PROPOSED LANDSCAPE ISLAND.
- [30] PROPOSED BOLLARD LIGHT FIXTURE. SEE ELECTRICAL.
- [31] EXISTING FIRE HYDRANT TO REMAIN.
- [32] PROPOSED DRIVE THRU LANE.
- [33] EXISTING TRAFFIC MEDIAN TO REMAIN.
- [34] EXISTING CITY STANDARD HC RAMP.
- [35] EXISTING CITY STANDARD SIDEWALK.
- [36] EXISTING 10' PUBLIC UTILITY EASEMENT.
- [37] EXISTING 20' PUBLIC WATERLINE EASEMENT.
- [38] PROPOSED 6' SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
- [39] EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE EASEMENT FOR OVERHEAD POWER LINES.
- [40] EXISTING OVERHEAD POWER LINES.
- [41] EXISTING PNM EASEMENT.
- [42] EXISTING 30' ACCESS EASEMENT.
- [43] EXISTING CURB CUT TO REMAIN.
- [44] PROPOSED SCORED CONCRETE PEDESTRIAN PATHWAY.
- [45] EXISTING ADA PUBLIC RAMP. INSTALL TRUNCATED DOMES TO MEET CITY STANDARDS.
- [46] PROPOSED 4' WIDE CONCRETE SIDEWALK. REFER TO CITY STANDARD SIDEWALK DETAIL 2430.
- [47] PROPOSED STANDARD SIGNAGE TO READ "DO NOT ENTER".
- [48] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [49] NOT USED.
- [50] EXISTING PUBLIC ASPHALT TRAIL.
- [51] EXISTING MEDIAN.
- [52] PROPOSED CURB OPENING. SEE GRADING AND DRAINAGE PLANS.
- [53] EXISTING PROPERTY LINE.
- [54] PROPOSED BUILDING OVERHANGS/CANOPIES WILL BE PROVIDED TO SHADE PRIMARY FACADE.
- [55] PROPOSED 3' HIGH CMU SCREEN WALL.
- [56] FUTURE PATIO.
- [57] PROPOSED BACKFLOW PREVENTER.
- [58] PROPOSED RIGHT-TURN ONLY PAVEMENT MARKING.
- [59] EXISTING LOT LINE TO BE ELIMINATED BY PLAT.
- [60] NEW CANOPY OVER EXISTING OUTDOOR PATIO.

SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE GE100 WATT BRONZE LUMEN SHOEDOX TYPE LEXINGTON BRONZE POLE.
- [D] LIGHTING SHALL BE CONSISTENT WITH THE PROVISIONS OF THE STATE OF NEW MEXICO'S NIGHT SKY ORDINANCE.

BUILDING AREAS:

OVERALL BUILDING AREAS 16,015 SF.
BUILDING 1- 9,135 SF
BUILDING 2- 2,680 SF
BUILDING 3- 4,200 SF

TOTAL LOT AREA (LOTS 15 AND 16) = 2.63 ACRES
2.63 ACRES = 114,562 SF
F.A.R. ALLOWED = (.35 OR) 40,097 SF
F.A.R. PROPOSED = 16,015 SF

PARKING CALCULATIONS:

BUILDING 1- 9,135 SF
9,135/200 = 46 SPACES
BUILDING 2- 2,680 SF
80 SEATS/4" = 20 SPACES
BUILDING 3- 4,200 SF
150 SEATS/4" = 38 SPACES

TOTAL REQUIRED SPACES 104 SPACES
1 RESTAURANT WITHOUT A FULL LIQUOR LICENSE
2 INTERIOR OCCUPANT LOAD. DOES NOT INCLUDE PATIO SEATING

TRANSIT REDUCTIONS:
104 SPACES REQ'D x 10% REDUCTION =
(PROXIMITY TO BUS ROUTE 94)
104 x 10% = 94 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: = 94 SPACES

TOTAL PARKING SPACES PROVIDED: = 98 SPACES

71 REGULAR SPACES
23 COMPACT SPACES
4 HANDICAP SPACES

COMPACT PARKING CALCULATION:

94 REQ'D SPACES x 33% = 31 SPACES ALLOWED
TOTAL COMPACT SPACES = 17 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED = 4 SPACES
TOTAL DISABLED SPACES PROVIDED = 4 SPACES

MOTORCYCLE REQUIREMENTS:

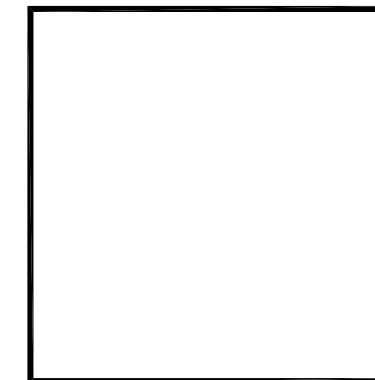
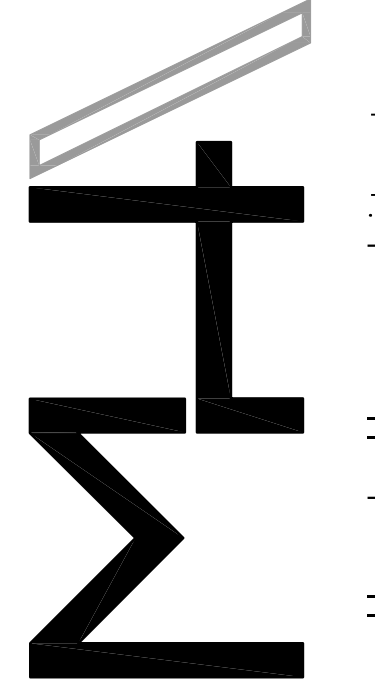
TOTAL MOTORCYCLE SPACES REQUIRED = 3 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED = 4 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =
94 PARKING SPACES/20 = 5 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 5 SPACES
TOTAL BICYCLE SPACES PROVIDED: = 6 SPACES

REV	DATE	BY	DESCRIPTION
1	10/14/2022	AG	ADMINISTRATIVE AMENDMENT



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVENUE SW | STE D
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JOB NUMBER 16-53

DRAWN BY AV

PROJECT MGR JDH

DATE 01-17-2018

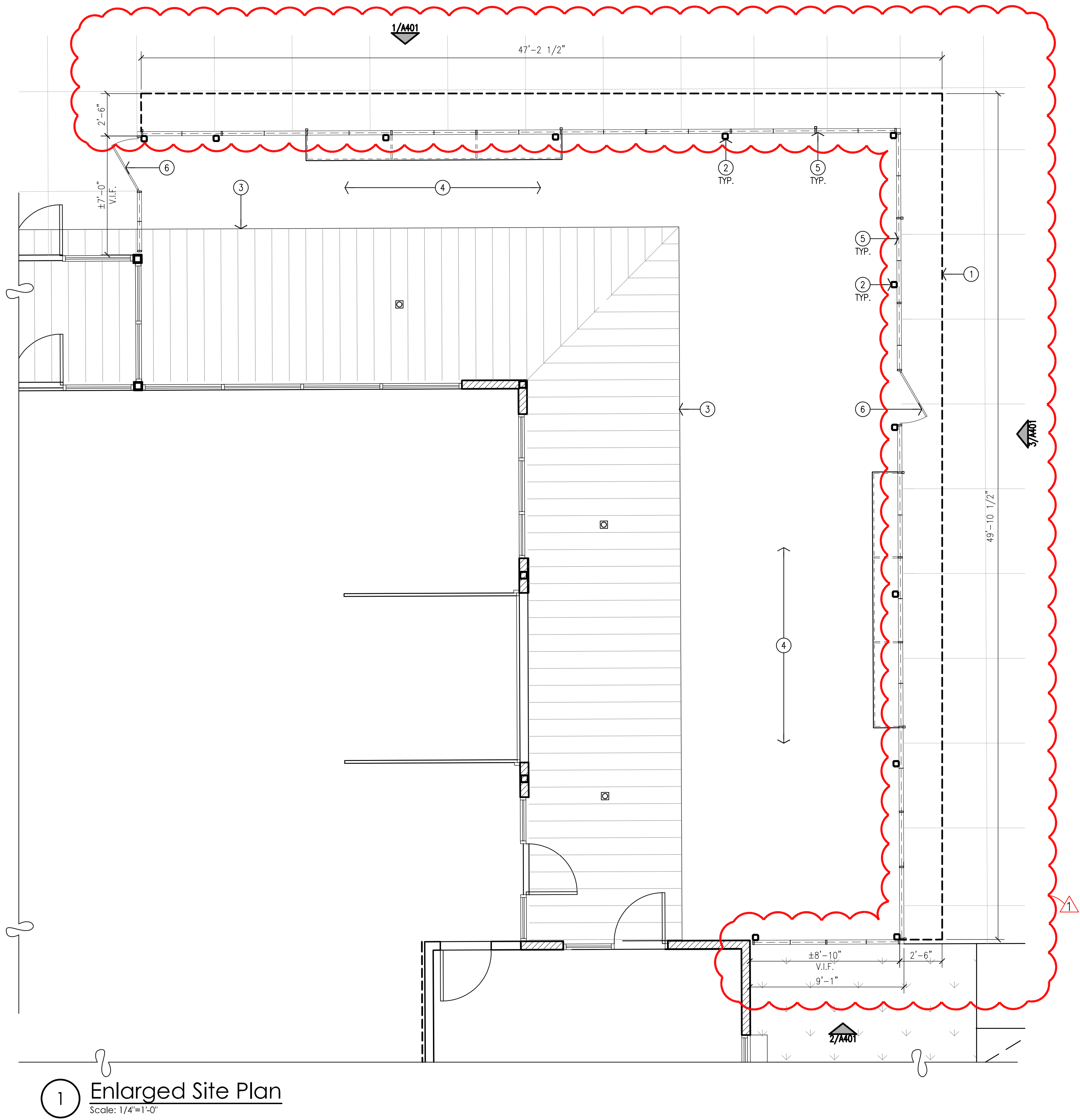
PHASE CD

PROJECT
Las Lomas Plaza-Administrative Amendment
2101 Vista Oeste
Albuquerque, NM 87120

TITLE
Architectural Site Plan

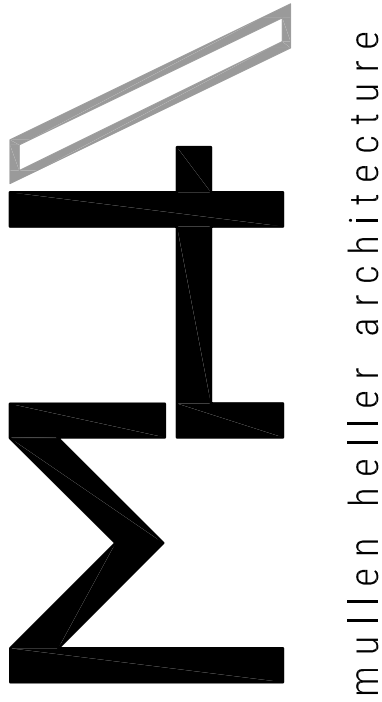
SHEET

A001



- KEYED NOTES:
- [1] NEW METAL CANOPY OVER EXISTING OUTDOOR PATIO
COLOR: DARK GRAY TO MATCH EXISTING.
 - [2] NEW STEEL COLUMNS. REFER TO STRUCTURE.
 - [3] LINE OF EXISTING CANOPY ABOVE.
 - [4] EXISTING CONCRETE PATIO.
 - [5] EXISTING TUBE STEEL RAILING.
 - [6] EXISTING PATIO EXIT GATE.

REV	DATE	BY	DESCRIPTION
1	10/14/2022	AG	ADMINISTRATIVE AMENDMENT

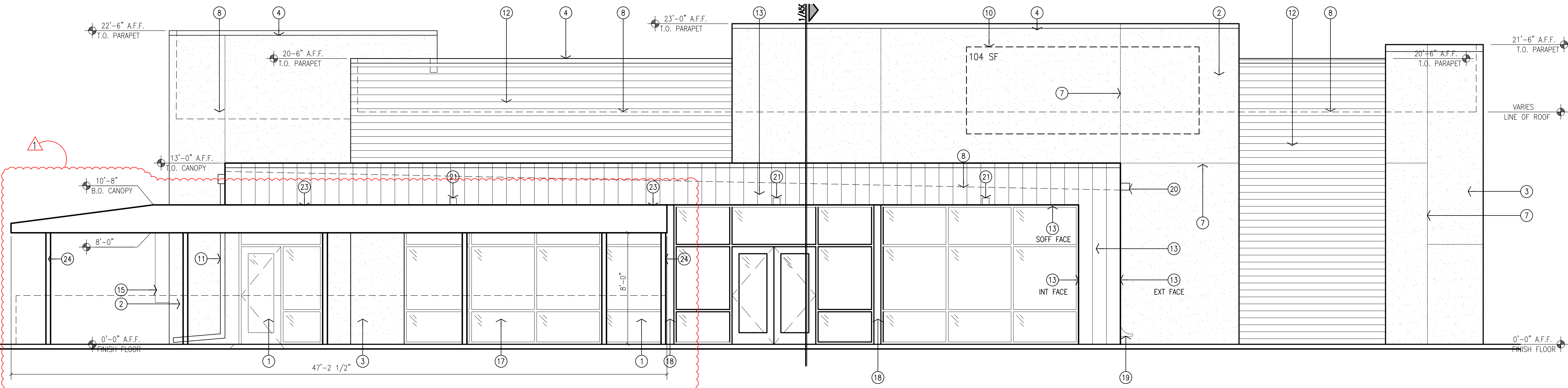


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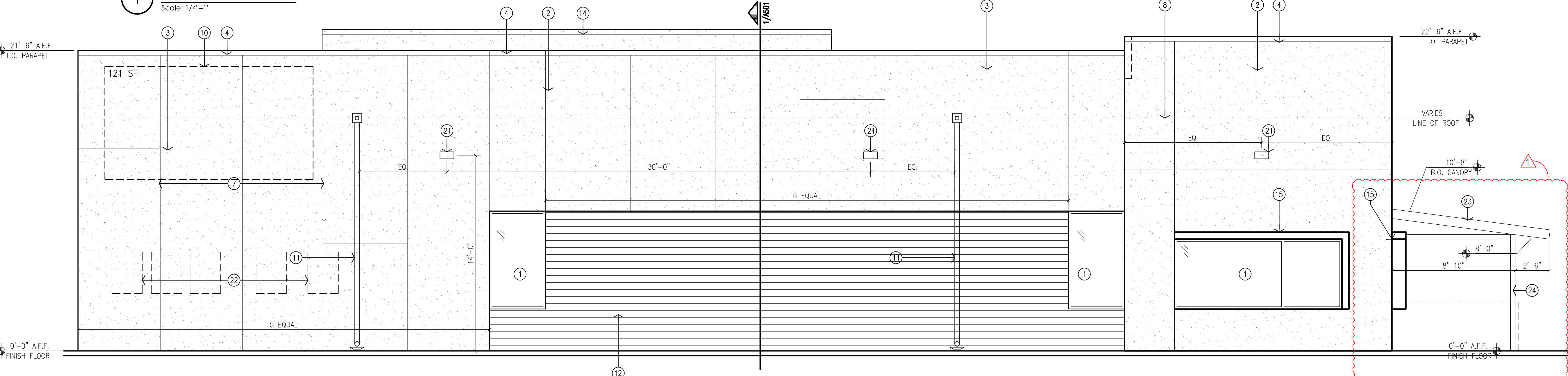
JOB NUMBER	16-53
DRAWN BY	AV
PROJECT MGR	JDH
DATE	01-17-2018
PHASE	CD

PROJECT	Las Lomitas Plaza-Administrative Amendment
SHEET	2101 Vista Oeste Albuquerque, NM 87120
TITLE	Architectural Site Plan

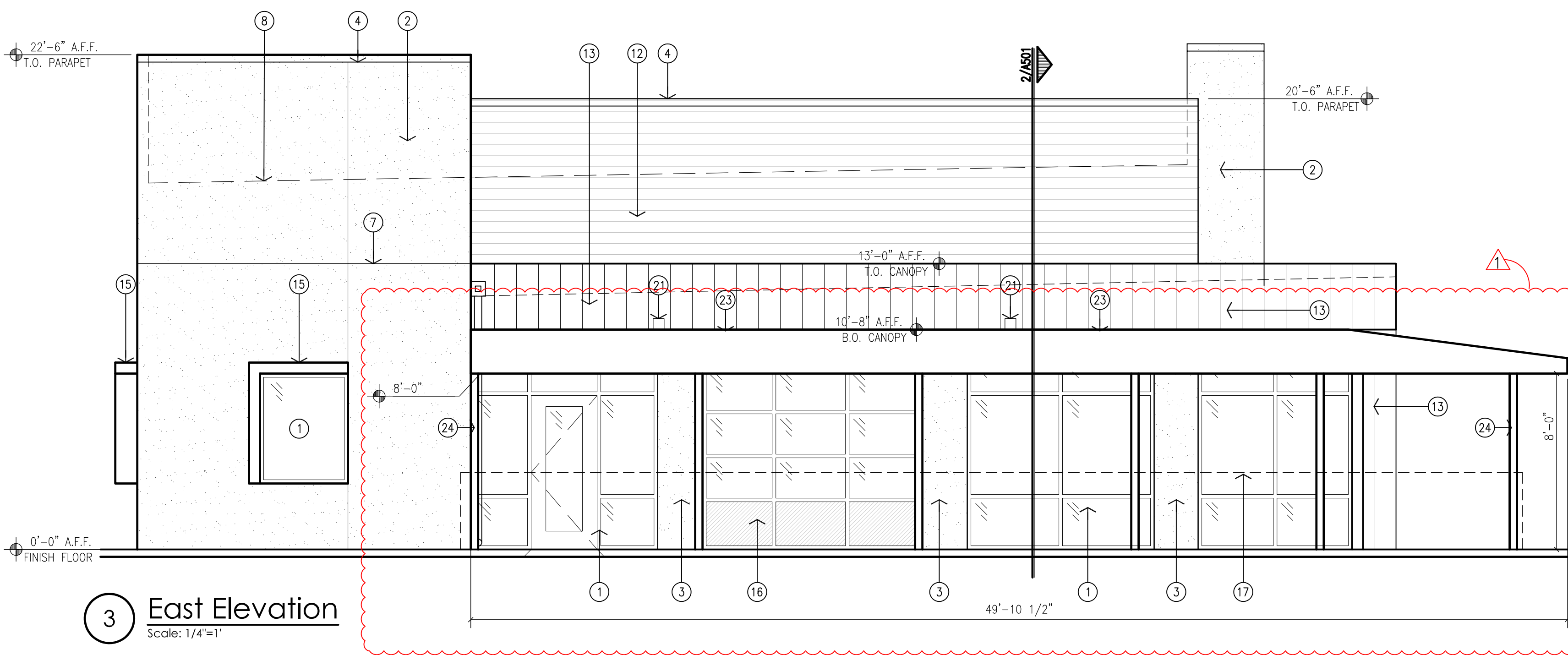
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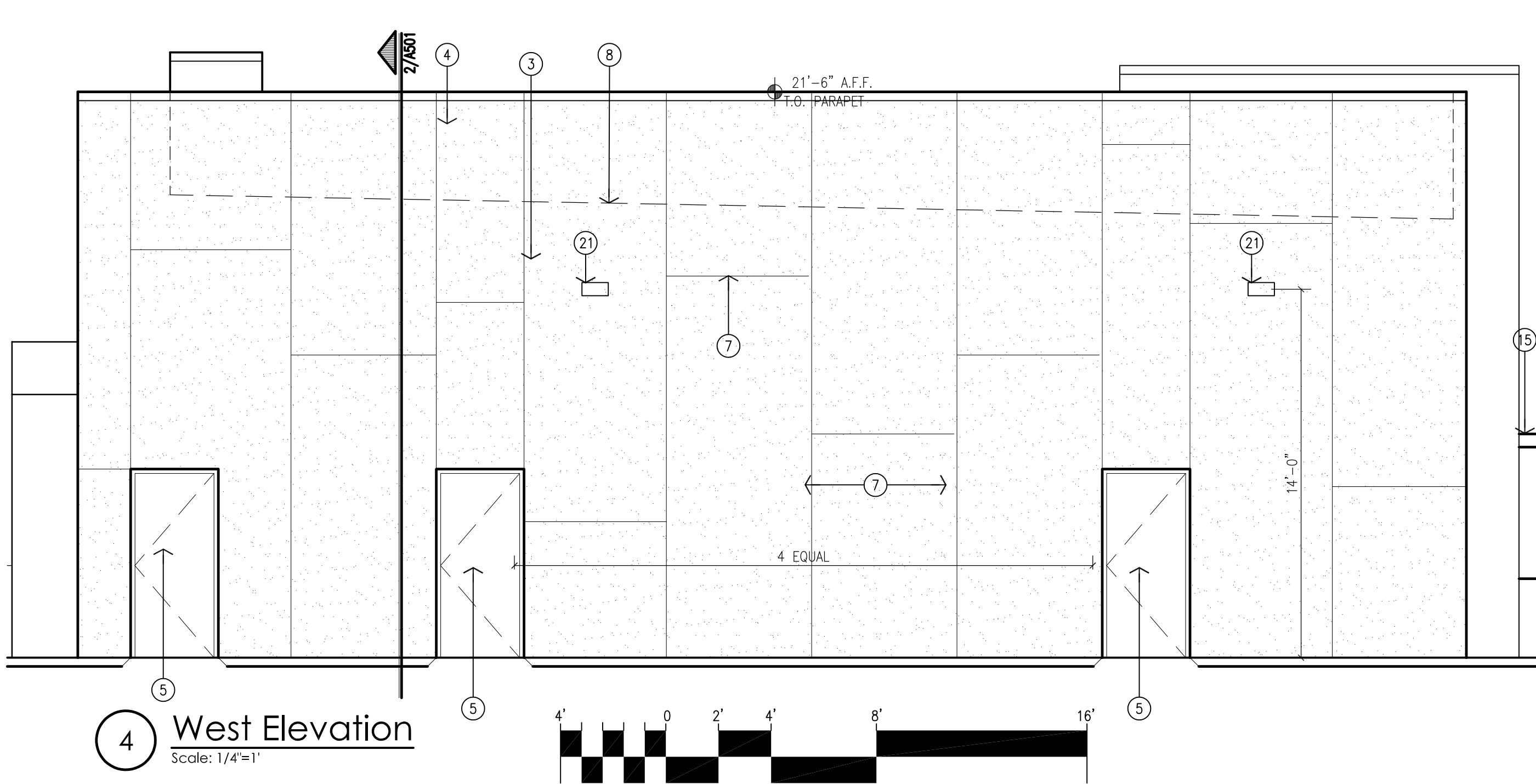
1 North Elevation
Scale: 1/4"=1'



2 South Elevation
Scale: 1/4"=1'



3 East Elevation
Scale: 1/4"=1'



4 West Elevation
Scale: 1/4"=1'



- GENERAL NOTES:
- [A] ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 - [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
 - [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
 - [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.
 - [E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOFTOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
 - [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 1 LIGHT TAN.
 - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 2 MEDIUM BEIGE.
 - [4] PRE-FINISHED SHEET METAL PARAPET CAP TO MATCH STUCCO FINISH COLOR.
 - [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
 - [6] 12" HIGH ADDRESS CHANNEL LETTERS.
 - [7] STUCCO CONTROL JOINT.
 - [8] LINE OF ROOF LEVEL BEYOND.
 - [9] OWNER PROVIDED SIGNAGE. PROVIDE POWER.
 - [10] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
 - [11] PREFINISHED FIBER CEMENT WALL PANELS OVER A RAINSCREEN SYSTEM. NICHHA: VINTAGE WOOD - CEDAR, AWP 3030 HORIZONTAL INSTALLATION (OR EQUAL).
 - [12] PREFINISHED METAL PANEL SYSTEM WITH CONCEALED FASTENERS OVER A RAINSCREEN SYSTEM. CENTRIA: IW-10A VERTICAL INSTALLATION, RICH BLACK 9916.
 - [13] PARAPET BEYOND.
 - [14] STUCCO WINDOW TRIM.
 - [15] OVERHEAD GARAGE DOOR.
 - [16] PATIO RAILING. SEE SITE DETAILS.
 - [17] SHEET METAL TO MATCH SF.
 - [18] ROOF DRAIN NOZZLE.
 - [19] PREFINISHED SHEET METAL OVERFLOW SCUPPER.
 - [20] LIGHT FIXTURE. SEE ELECTRICAL.
 - [21] ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
 - [22] NEW METAL CANOPY OVER EXISTING OUTDOOR PATIO. COLOR: DARK GRAY TO MATCH EXISTING.
 - [23] NEW STEEL COLUMNS. REFER TO STRUCTURE.
 - [24] NEW STEEL COLUMNS. REFER TO STRUCTURE.

SIGNAGE CALCULATIONS:

BUILDING MOUNTED:

NORTH ELEVATION- 1,745 SF X 6%
104 SF ALLOWED
104 SF ILLUMINATED PROVIDED

SOUTH ELEVATION- 2,024 SF X 6%
121 SF ALLOWED
121 SF ILLUMINATED PROVIDED

NOTE: ONLY 1 BUILDING MOUNTED SIGN IS PERMITTED PER FACADE PER BUSINESS.