



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Acoma Business Enterprises		Phone: (505) 338-1499
Address: PO BOX 310		Email: rokoye@modulusarchitects.com
City: PUEBLO OF ACOMA	State: NM	Zip: 87341
Professional/Agent (if any): Modulus Architects, Inc.		Phone: (505) 338-1499
Address: 100 Sun Ave. NE Suite 600		Email: rokoye@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87019
Proprietary Interest in Site: Agent	List all owners:	Acoma Business Enterprises

BRIEF DESCRIPTION OF REQUEST

Amend approved Site Plan to add in additional covering and screening to the existing patio for Tamashi restaurant.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 15A	Block:	Unit:
Subdivision/Addition: LADERA BUSINESS PARK UNIT 1	MRGCD Map No.:	UPC Code: 100905946222441501
Zone Atlas Page(s): H-09-Z	Existing Zoning: NR-C	Proposed Zoning: NR-C
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 2.6

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2101 VISTA OESTE ST NW Between: Unser and: La Morada Pl NW

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1001523, 18-DRB-70050

Signature: Regina Okoye	Date: 4/20/2022
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Regina Okoye

Date: 4/20/2022

Printed Name: Regina Okoye

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

-

-

-

Staff Signature:

Date:



City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102

**RE: AGENT AUTHORIZATION NOTICE – 2101 VISTA OESTE ST NW ALBUQUERQUE NM 87120 –
ADMINISTRATIVE AMENDMENT TO DRB 18-DRB-70050**

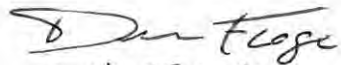
To Whom It May Concern,

Acoma Business Enterprises hereby authorizes Modulus Architects and Land Use Planning Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at: **2101 VISTA OESTE ST NW ALBUQUERQUE NM 87120 - Building 2** and legally described as:

TR 15-A PLAT OF TRACT 15-A LADERA BUSINESS PARK, UNIT 1CONT 2.6372 AC.

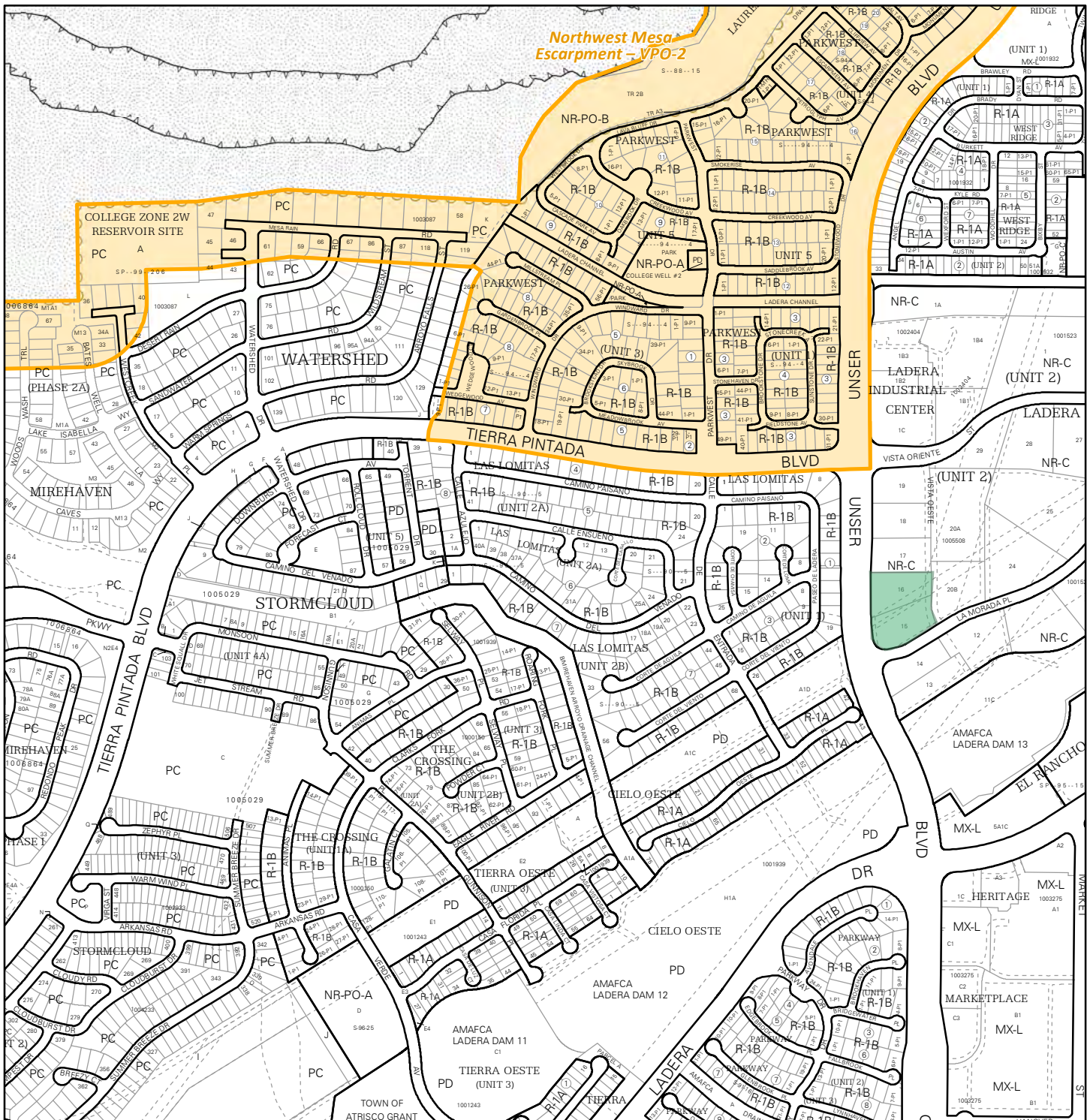
Further defined in DRB Project Number: 1001523. This authorization is valid until further written notice from Acoma Business Enterprises or Modulus Architects and Land Use Planning Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this Administrative Amendment request.

Sincerely,



Denis Fløge/CEO
ACOMA BUSINESS ENTERPRISES

PO BOX 310 PUEBLO OF ACOMA NM 87341-0310

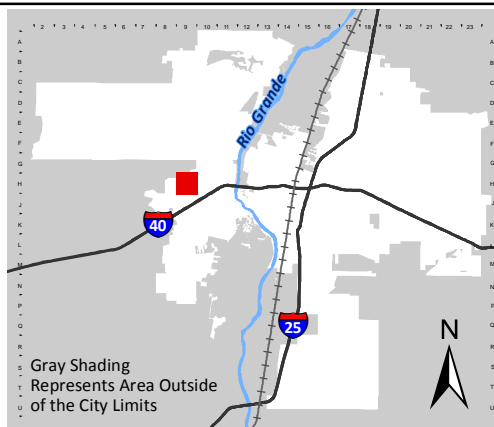


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

April 20, 2022

James Aranda
Current Planning Department Director
City of Albuquerque Planning Department
600 2nd Street NW,
Albuquerque, NM 87102

RE: PROJECT ADDRESS – 2101 VISTA OESTE STALBUQUERQUE, NEW MEXICO 87120

PROJECT NUMBER: 1001523 APPLICATION NUMBER: 18-DRB-70050

ADMINISTRATIVE AMENDMENT TO THE CONTROLLING SITE PLAN

Dear Mr. Aranda,

Modulus Architects & Land Use Planning, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Acoma Business Enterprises., hereafter referred to as “Applicant/Property Owner.” We, “Agent” are requesting approval for this submittal to amend the approved Site Plan to add in covering to the exiting patio. The site is located 2101 Vista Oeste St, Albuquerque NM 87120. The parcel (the “subject site”) is approximately 2.6 acres in size, zoned NR-C and is located on the northeast corner of Unser & La Morada Pl NW.

The subject site is currently a vacant tenant space intended for a restaurant. We are proposing to renovate the space into a Tamashi’s restaurant. The overall Site Plan for this property was approved by the DRB (**1001523, 18-DRB-70050**) in 2018. At this time, we are requesting an Administrative Amendment to the approved Site Plan to amend the approved restaurant patio for tract 15-A. This amendment is only for the 2,680sf restaurant identified on the Site Plan. The proposed changes to the plans have been outlined below. All changes meet the IDO and the DPM standards. This minor amendment request falls within the thresholds established in IDO Table 6-4-5.

This improvement will help with developing this vacant commercial site and bring more choice restaurant options to the community.

Our submittal includes the original approved DRB plans and the amended Elevation Plan. The minor changes are listed below. Changes to the overall Site Plan package are identified in the AA drawings via bubbled areas.

Site Plan:

1. No changes are being proposed to the overall Site Plan.

Elevations:

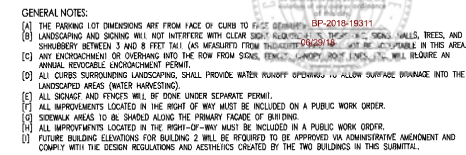
1. There is an existing patio and the applicant proposes to add screening and covering to the patio area.
2. The proposed signage will change to generic signage and will be permitted separately.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: rokoye@modulusarchitects.com

Best Regards,

**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER
MODULUS ARCHITECTS & LAND USE PLANNING, INC.**

100 Sun Avenue NE, Suite 600
Albuquerque, NM 87109
Office 505.338.1499 (Ext. 1003)
Mobile + Text 505.267.7686



[1] PROPOSED REFUSE ENCLOSURE, 1/A001.
[2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
[3] PROPOSED HANDICAP PAVEMENT SIGN.
[4] PROPOSED STRIPED HANDICAP AISLE WITH 12" HIGH PAVERS ALTERNATING THE DURING L.B.F. OF 2' & 1' A.D. HALL.

SITE LIGHTING NOTES:
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.

[6]	PROPOSED SITE LIGHTING. SEE GENERAL NOTES.	[C]	LIGHTING TO BE G120 WATT BRONZE LUMEN SHEDDING TYPE LEXINGTON BRONZE POLE.
[7]	PROPOSED BIKE RACK FOR 3 SPACES. SEE B/A003.	[D]	LIGHTING SHALL BE CONSISTENT WITH THE PROVISIONS OF THE STATE OF NEW MEXICO'S NIGHT SKY ORDINANCE.
	PROPOSED CONCRETE SIDEWALK WITH CONTROL JOINTS EVERY 5'-0" AND EXPANSION JOINTS EVERY 20'-0". SEE 13/A003.		

[11] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.

[12] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 86-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".

BUILDING AREAS:
OVERALL BUILDING AREAS 16,015 SF.

[14] PROPOSED COMPACT 9'-0" X 15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION AT LANDSCAPE ISLAND.

[16]	PROPOSED ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL.	PARKING CALCULATIONS.	
[17]	PROPOSED DRIVEWAY. SEE ENLARGED PLAN 1/A002.	BUILDING 1 - 9,135 SF	46 SPACES
[18]	THE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN. REFER TO DETAIL 2426 FOR CITY STANDARD DRIVE ENTRY DETAILS.	BUILDING 2 - 2,680 SF 80 SEATS/4"=	20 SPACES
[19]	EXISTING ASPHALT ROAD TO REMAIN.	BUILDING 3 - 4,200 SF 150 SEATS/4"=	38 SPACES

[22] EXISTING CONCRETE CURB TO REMAIN.

(25) NOT USED. 104 x 10% = 24 TOTAL SPACES REQUIRED

(26) FUTURE TRASH COMPACTOR. TOTAL PARKING SPACES REQUIRED: = 94 SPACES

(27) PROPOSED PAVEMENT STRIPING.

(a) PROPOSED LOT DIMENSIONS

[30]	PROPOSED DRIVEWAY AND PARKING ARE VESTIBULES	23 COMPACT SPACES
[31]	EXISTING FIRE HYDRANT TO REMAIN.	4 HANDICAP SPACES
[32]	PROPOSED DRIVE THRU LANE.	

(36) EXISTING 10' PUBLIC UTILITY EASEMENT.

(40) EXISTING OVERHEAD POWER LINES. MOTORCYCLE REQUIREMENTS:

44] PROPOSED SCORED CONCRETE PEDESTRIAN PATHWAY.

(47) PROPOSED STANDARD SIGNAGE TO READ "DO NOT ENTER".

SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE

[50] EXISTING PUBLIC ASPHALT TRAIL.
[51] EXISTING MEDIAN.
[52] PROPOSED CURB OPENING SEE GRADING AND DRAINAGE

[54] PROPOSED BUILDING OVERHANGS/CANOPIES WILL BE PROVIDED TO SHADE PRIMARY FACADE.

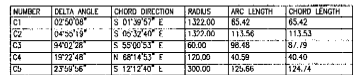
[50] EXISTING LOT LINE TO BE ELIMINATED BY PLAT.



THE FIRST PHASE OF THE PROJECT WILL BE THE CONSTRUCTION OF THE BUILDING 3 AND THE PARKING LOT. PHASE 2 WILL BE THE CONSTRUCTION OF BUILDING 1 AND 2 AND RELATED DRIVE AISLES AROUND THOSE BUILDINGS.

$\textcircled{1} = 14^{\circ}-6^{\circ}$ $\textcircled{5} = 21^{\circ}-0^{\circ}$
 $\textcircled{2} = 30^{\circ}-0^{\circ}$ $\textcircled{6} = 5^{\circ}-0^{\circ}$
 $\textcircled{3} = 15^{\circ}-0^{\circ}$ $\textcircled{7} = 10^{\circ}-0^{\circ}$
 $\textcircled{4} = 3^{\circ}-0^{\circ}$

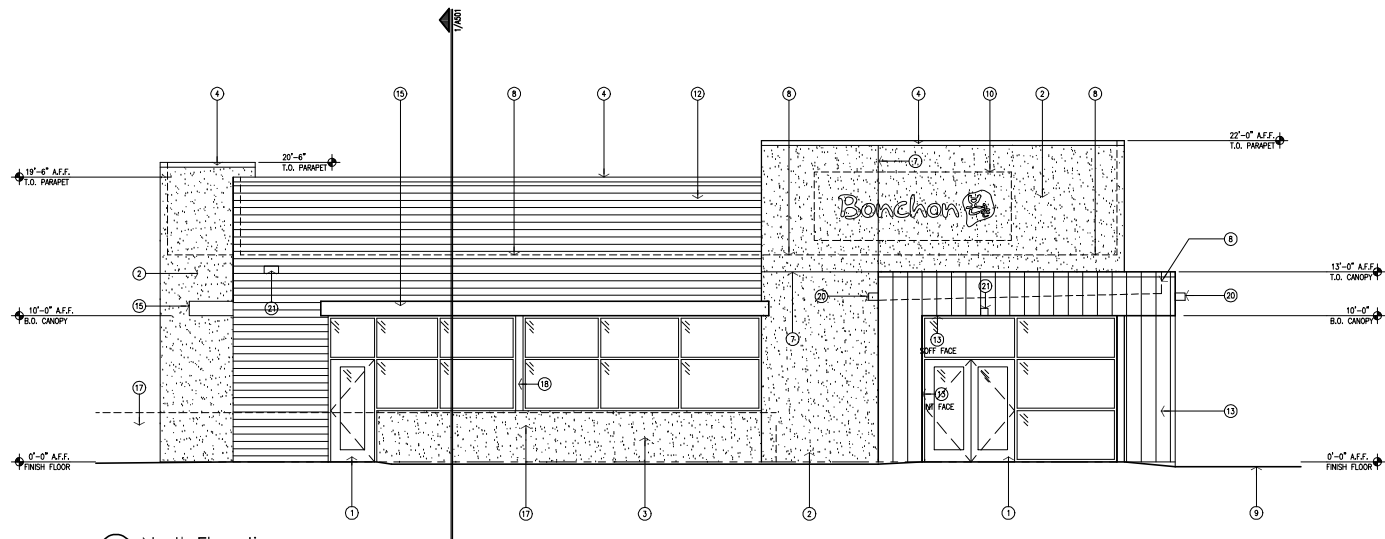
PROJECT NUMBER: 1001523	APPLICATION NUMBER: 8-FPE-1060
<p>IS AN INFRASTRUCTURE LIST REQUIRED? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO IF YES, THESE WERE APPROVED DUE PLANS WITH A WORK ORDER BEING REQUIRED FOR ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.</p>	
<p>DRP SITE DEVELOPMENT PLAN APPROVAL:</p>	
<p><i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION <i>[Signature]</i> ABOVE</p>	<p>3/21/18 Date 01-26-19</p>
<p><i>[Signature]</i> PLANS AND RECORDS ENGINEER <i>[Signature]</i> OF ENGINEER, HATCH</p>	<p>3/21/18 Date 3/21/18 Date 3/21/18 Date</p>
<p><i>[Signature]</i> CODE ENFORCEMENT</p>	<p>3/21/18 Date</p>
<p>ENVIRONMENTAL HEALTH INSPECTION (CONTINUAL)</p>	<p>Date</p>
<p><i>[Signature]</i> WELD WASTE MANAGEMENT <i>[Signature]</i></p>	<p>4/19/18 Date 1/26/18 Date</p>
<p>DRP DEVELOPMENT, PLANNING DEPARTMENT</p>	<p>Date</p>
<p>TRANSPORTATION HEALTH IS NECESSARY</p>	



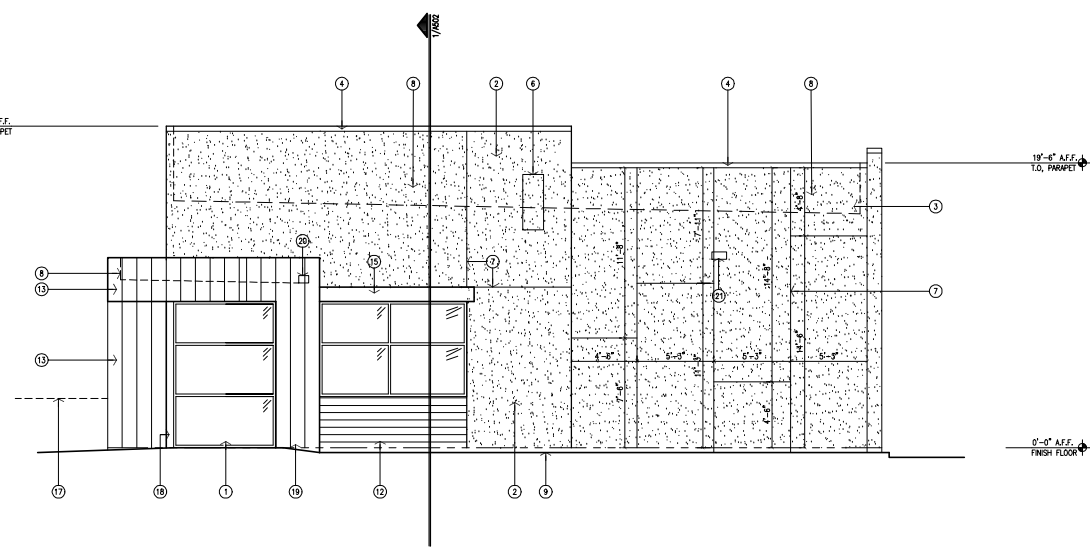


GENERAL NOTES:
[A] ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT ORDINANCES AND THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT ORDINANCES.
[B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE DRAWINGS. IF ANY DISCREPANCIES, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
[C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
[D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.
[E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOF TOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
 - [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 1 LIGHT TAN.
 - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 2 MEDIUM BEIGE.
 - [4] PRE-FINISHED SHEET METAL PARAPET CAP.
 - [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
 - [6] 12" HIGH ADDRESS CHANNEL LETTERS.
 - [7] STUCCO CONTROL JOINT.
 - [8] LINE OF ROOF LEVEL BEYOND.
 - [9] LINE OF EXTERIOR FINISH GRADE.
 - [10] OWNER PROVIDED SIGNAGE, PROVIDE POWER.
 - [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
 - [12] DRY CLOTTED MASONRY VENEER, CREATIVE MINES-CRAFT BOARD FORM, BARNWOOD.
 - [13] FIRESTONE URM-CLAD UC-500 CHARCOAL GRAY.
 - [14] PARAPET BEYOND.
 - [15] STEEL FRAMED OPEN AIR CANOPY, PAINTED.
 - [16] NOT USED.
 - [17] PHOTO MOUNTING, SEE SITE DETAILS.
 - [18] SHEET METAL TO MATCH SF.
 - [19] NOT USED.
 - [20] PREFINISHED SHEET METAL OVERFLOW SCUPPER.
 - [21] LIGHT FIXTURE, SEE ELECTRICAL.
 - [22] ELECTRICAL EQUIPMENT, SEE ELECTRICAL.



1 North Elevation
SCALE: 1/4"=1'-0"



2 West Elevation
SCALE: 1/4"=1'-0"

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

mullen heller architecture

JOHN DOUGLAS
PROFESSIONAL ENGINEER
NO. 2827
STATE OF NEW MEXICO

PROJECT: Bonchon Restaurant at Los Lomitas Plaza
201 Vista Oeste Building 2
Albuquerque, NM 87120

JOB NUMBER: 18-07
DRAWN BY: AV
PROJECT MGR: JDH
DATE: 06-06-2018
PHASE: CD

TITLE: Exterior Elevations

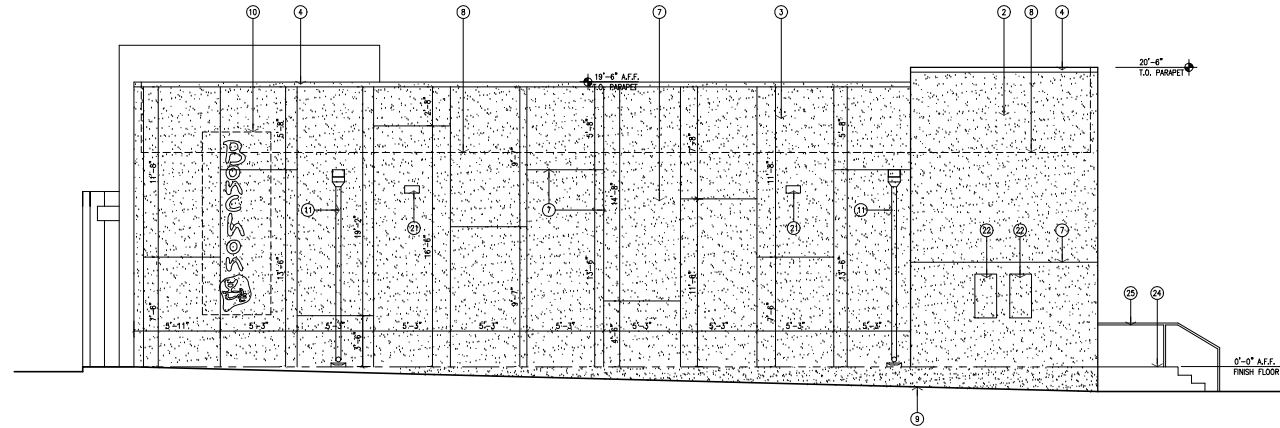
SHEET: A401



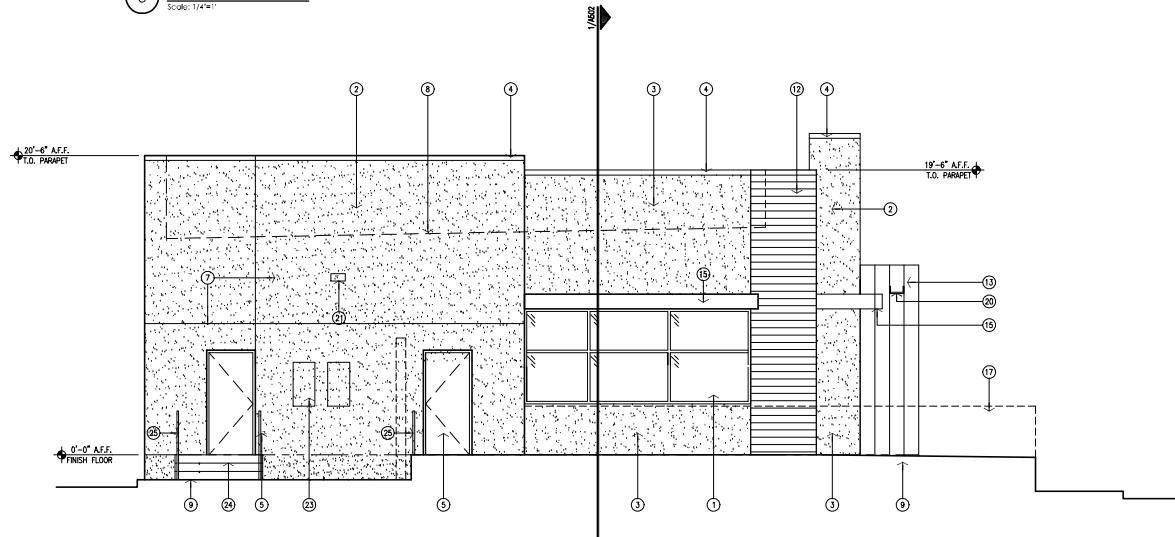
DATE: 06/23/2018 BY: FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 [A] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD & DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
 [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
 [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.
 [E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOFTOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

KEYED NOTES:

- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
- [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 1 LIGHT TAN.
- [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 2 MEDIUM BEIGE.
- [4] PRE-FINISHED SHEET METAL PARAPET CAP.
- [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
- [6] 12" HIGH ADDRESS CHANNEL LETTERS.
- [7] STUCCO CONTROL JOINT.
- [8] LINE OF ROOF LEVEL BEYOND.
- [9] LINE OF EXTERIOR FINISH GRADE.
- [10] OWNER PROVIDED SEWAGE PROVIDE POWER.
- [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
- [12] DRY STACKED MASONRY VENEER, CREATIVE MINES-CRAFT BOARD FORM: BARNWOOD.
- [13] FIRESTONE URM-CLAD UC-500 CHARCOAL GRAY.
- [14] PARAPET BEYOND.
- [15] STEEL FRAMED OPEN AIR CANOPY, PAINTED.
- [16] NOT USED.
- [17] RAIN PILING, SEE SITE DETAILS.
- [18] SHEET METAL TO MATCH SF.
- [19] ROOF DRAIN NOZZLE.
- [20] PREFINISHED SHEET METAL SCUPPER.
- [21] LIGHT FIXTURE, SEE ELECTRICAL.
- [22] ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- [23] GAS METERS, SEE PLUMBING.
- [24] CONCRETE STAIRS.
- [25] STEEL HANDRAILS.



3 South Elevation
 Scale: 1/4"=1'



4 East Elevation
 Scale: 1/4"=1'

REV	DATE	BY	DESCRIPTION
1	06-06-2018	AV	
2	06-06-2018	JDH	
3	06-06-2018	CD	

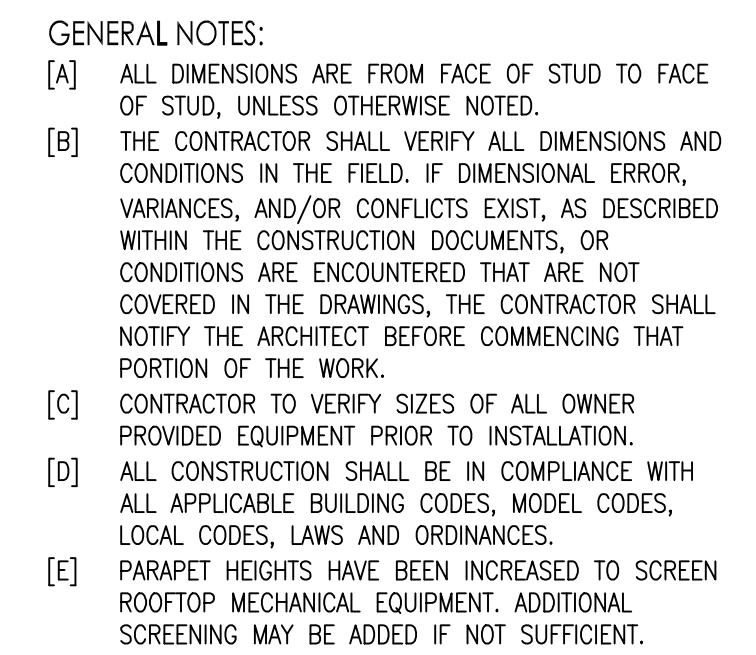


MULLEN HELLER ARCHITECTURE
 1125 CIBOLA AVE. SUITE 200
 ALBUQUERQUE, NM 87104
 P: 505.266.4144
 F: 505.266.4544
 www.mullenheller.com

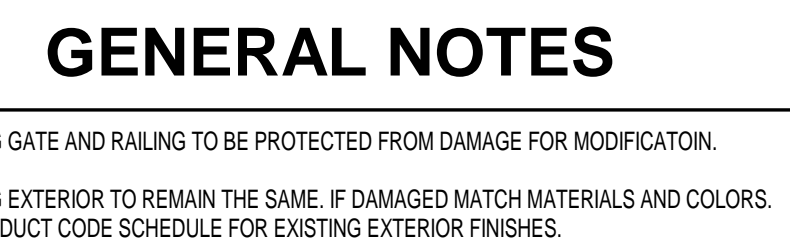
JOB NUMBER 18-07
 DRAWN BY AV
 PROJECT MGR JDH
 DATE 06-06-2018
 PHASE CD

PROJECT
 Bonchon Restaurant at Los Lomitas Plaza
 2101 Vista Oeste Building 2
 Albuquerque, NM 87120
 TITLE
 Exterior Elevations

SHEET
 A402

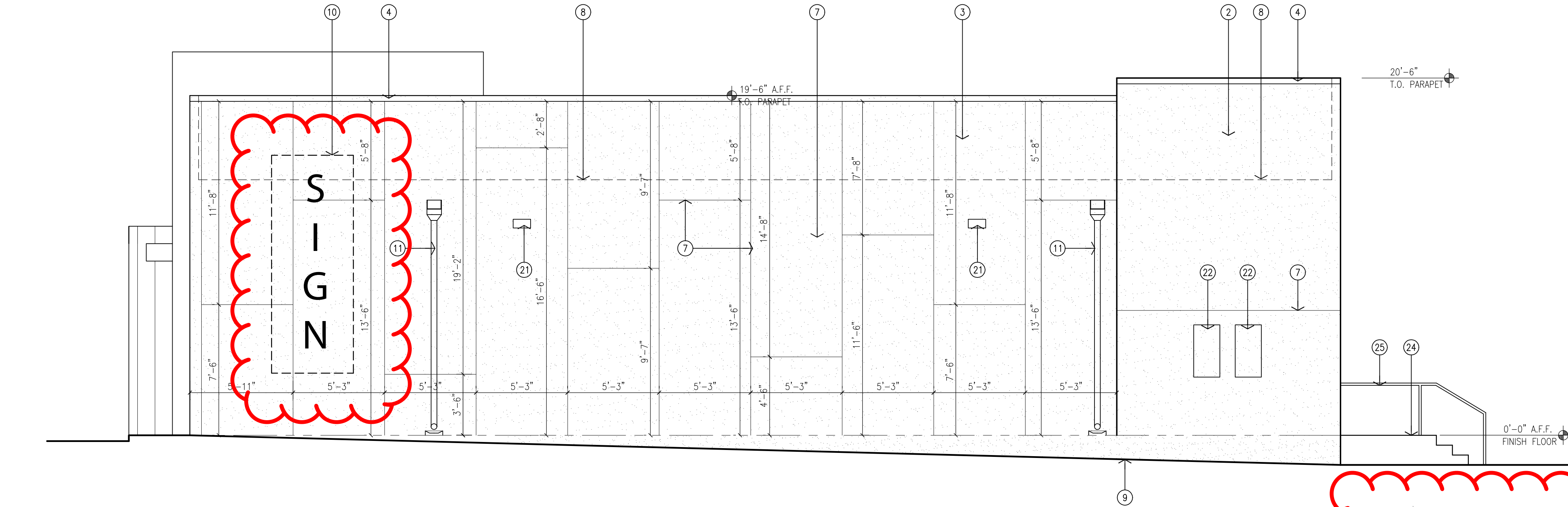


- KEYED NOTES:
- [1] ALUMINUM STREPTFORM SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
 - [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 1 LIGHT TAN.
 - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 2 MEDIUM BEIGE.
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 - [6] 12" HALL ADDRESS CHANNEL LETTERS.
 - [7] STUCCO CONTROL JOINT.
 - [8] LINE OF ROOF LEVEL BEYOND.
 - [9] LINE OF EXTERIOR FINISH GRADE.
 - [10] OWNER PROVIDED SIGNAGE. PROVIDE POWER.
 - [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
 - [12] DRY STACKED MASONRY VENEER. CREATIVE MINES-CRAFT BOARD FORM: BARNWOOD.
 - [13] FIRESTONE: UNA-CLAD UC-500 CHARCOAL GRAY.
 - [14] PARAPET BEYOND.
 - [15] STEEL FRAMED OPEN AIR CANOPY, PAINTED.
 - [16] NOT USED.
 - [17] PATIO RAILING. SEE SITE DETAILS.
 - [18] SHEET METAL TO MATCH SF.
 - [19] NOT USED.
 - [20] PREFINISHED SHEET METAL OVERFLOW SCUPPER.
 - [21] LIGHT FIXTURE. SEE ELECTRICAL.
 - [22] ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

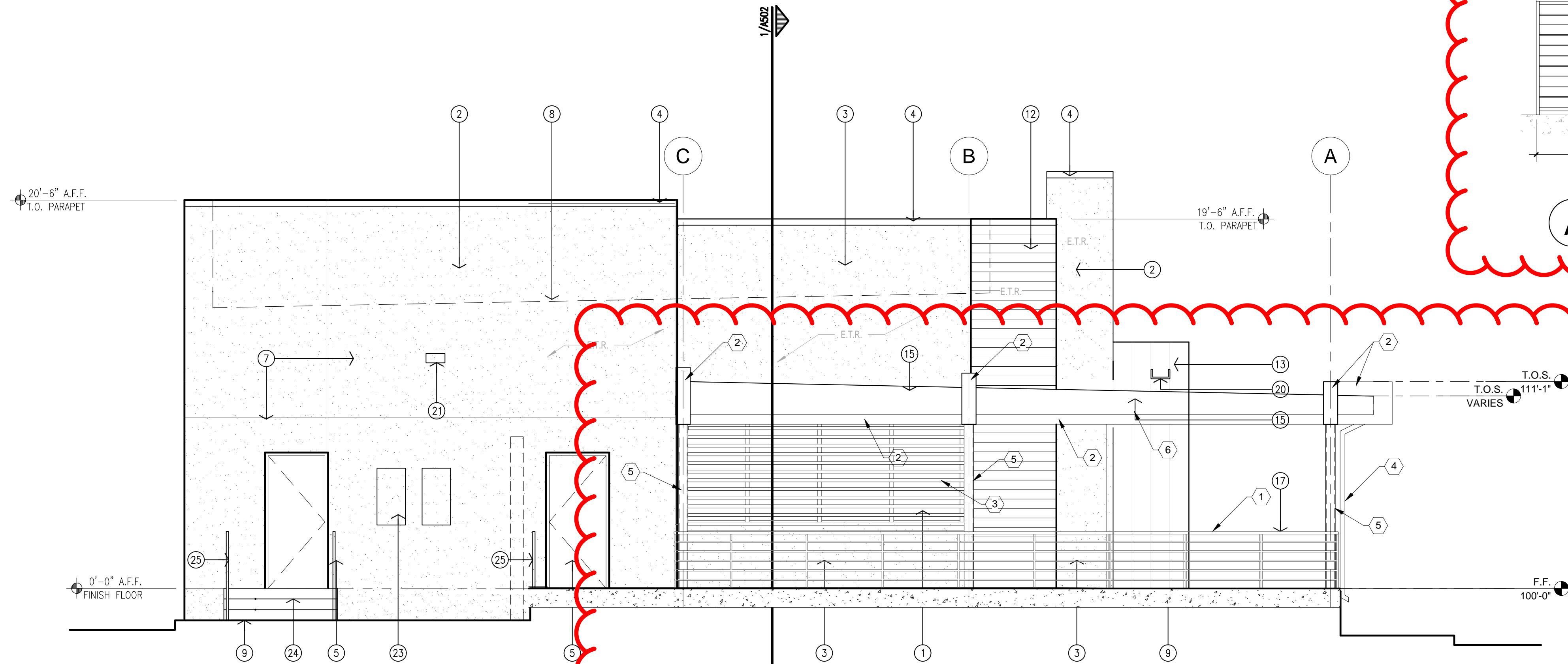


- ## KEYED NOTES
- EXISTING RAILING. MODIFY TO ACCOMMODATE NEW COLUMNS.
 - FAUX BEAM WRAP IN FIRESTONE. UNA-CLAD UC-500 CHARCOAL GRAY.
 - 2X2 PREMIUM STANDARD AND BETTER DOUGLAS FUR LUMBER. STAIN TO MATCH COLOR OF SOFT WOOD.
 - SQUARE DOWNSPOUT. MINIMAL CURVES FOR A SMOOTH FINISH. PAINT TO MATCH UNA-CAD UC-500 CHARCOAL GRAY.
 - PAINT COLUMNS TO MATCH UNA-CLAD UC-500 CHARCOAL GRAY.
 - FIRESTONE. UNA-CLAD UC-500 CHARCOAL GRAY. FASCIA.
 - 4X5 BOX GUTTER. PAINT BLACK.

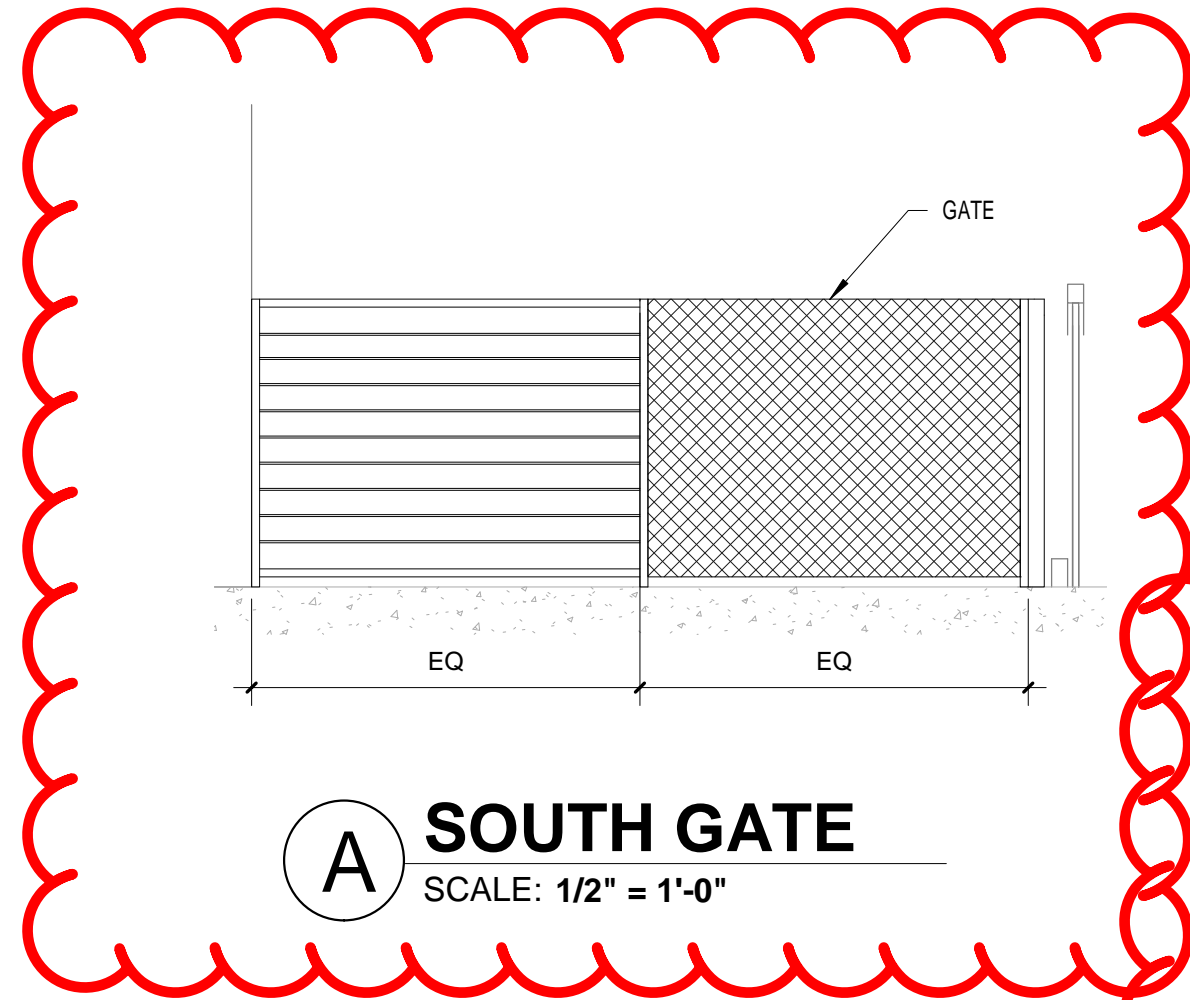




3 South Elevation
Scale: 1/4"=1'



4 East Elevation
Scale: 1/4"=1'



A SOUTH GATE
SCALE: 1/2" = 1'-0"

- GENERAL NOTES:
- [A] ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 - [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
 - [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
 - [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.
 - [E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOFTOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
 - [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 1 LIGHT TAN.
 - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 2 MEDIUM BEIGE.
 - [4] PRE-FINISHED SHEET METAL PARAPET CAP.
 - [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
 - [6] 12" HIGH ADDRESS CHANNEL LETTERS.
 - [7] STUCCO CONTROL JOINT.
 - [8] LINE OF ROOF LEVEL BEYOND.
 - [9] LINE OF EXTERIOR FINISH GRADE.
 - [10] OWNER PROVIDED SIGNAGE. PROVIDE POWER.
 - [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
 - [12] DRY STACKED MASONRY VENEER. CREATIVE MINES-CRAFT BOARD FORM: BARNWOOD.
 - [13] FIRESTONE: UNA-CLAD UC-500 CHARCOAL GRAY.
 - [14] PARAPET BEYOND.
 - [15] STEEL FRAMED OPEN AIR CANOPY, PAINTED.
 - [16] NOT USED.
 - [17] PATIO RAILING. SEE SITE DETAILS.
 - [18] SHEET METAL TO MATCH SF.
 - [19] ROOF DRAIN NOZZLE.
 - [20] PREFINISHED SHEET METAL SCUPPER.
 - [21] LIGHT FIXTURE. SEE ELECTRICAL.
 - [22] ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
 - [23] GAS METERS. SEE PLUMBING.
 - [24] CONCRETE STAIRS.
 - [25] STEEL HANDRAILS.

GENERAL NOTES

- EXISTING GATE AND RAILING TO BE PROTECTED FROM DAMAGE FOR MODIFICATION.
- EXISTING EXTERIOR TO REMAIN THE SAME. IF DAMAGED MATCH MATERIALS AND COLORS. SEE PRODUCT CODE SCHEDULE FOR EXISTING EXTERIOR FINISHES.

KEYED NOTES

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- PAINT COLUMNS TO MATCH UNA-CLAD UC-500 CHARCOAL GRAY.
- FIRESTONE: UNA-CLAD UC-500 CHARCOAL GRAY. FASCIA.
- 4X5 BOX GUTTER. PAINT BLACK.

CONSTRUCTION DOCUMENTS

PROJECT TITLE
TAMASHI

2101 VISTA OESTE NW

PROJECT MANAGER

DRAWN BY:

JOB NO.

Project

Number

SHEET TITLE

ELEVATIONS

DATE
3/28/2022

SCALE:

SHEET

A20



MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION