



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input checked="" type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: <u>Michelle DeBleyker</u>		Phone: <u>432-530-7978</u>
Address: <u>901 PENNSYLVANIA ST. NE</u>		Email: <u>MMN.Keshoung.org</u>
City: <u>Alb. NM</u>	State: <u>NM</u>	Zip: <u>87111</u>
Professional/Agent (if any): <u>BCL Enterprises Inc.</u>		Phone: <u>505-269-7979</u>
Address: <u>2701 Puff Ct.</u>		Email: <u>BCL1985@AOL.COM</u>
City: <u>Rio Rancho</u>	State: <u>NM</u>	Zip: <u>87124</u>
Proprietary Interest in Site:		List all owners:

**BRIEF DESCRIPTION OF REQUEST** Install a single post shade  
See PLANS ATTACHED

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No: <u>A-2</u>	Block: <u>0060</u>	Unit:
Subdivision/Addition: <u>UNSER CROSSING</u>	MRGCD Map No.:	UPC Code: <u>10100570852253122</u>
Zone Atlas Page(s): <u>K-10</u>	Existing Zoning: <u>SE MXM</u>	Proposed Zoning:
# of Existing Lots: <u>1</u>	# of Proposed Lots:	Total Area of Site (acres): <u>13.1</u>

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: <u>201 UNSER</u>	Between:	and:
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <u>[Signature]</u>	Date: <u>4-27-22</u>
Printed Name: <u>Glenn Benedetto</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:			Date:		
			Project #		

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

### ☐ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

### ☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)



### MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ The approved Site Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ ACCELERATED EXPIRATION SITE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

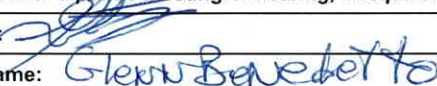
### ☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

### ☐ ALTERNATIVE LANDSCAPE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 

Date: 4-27-22

Printed Name: Glenn Buebelto

☐ Applicant of ☒ Agent

#### FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

-

-

-

Staff Signature:

Date:





May 17, 2022

City of Albuquerque  
Planning Department  
Plaza del Sol Building  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Subject: Nuevo Atrisco - 201 Unser Blvd. NW, Albuquerque, NM

To Whom it May Concern:

Please be advised that Nuevo Atrisco Apartments Limited Partnership, LLLP is the ownership entity of the property located at 201 Unser Blvd. NW, Albuquerque, NM and hereby authorizes BCL Enterprises to act as our agent for all matters relating to applying for and processing of the development plan/plat before the City of Albuquerque. I am available at the below contact information should you have any questions or requests.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Michelle Den Bleyker', with a stylized flourish at the end.

Michelle Den Bleyker  
Senior Vice President of Development  
(432) 530-7978  
[mdenbleyker@yeshousing.org](mailto:mdenbleyker@yeshousing.org)



April 21, 2022

City of Albuquerque Planning Department

RE: Letter of Justification

To whom it may concern,

This is an official request that Yes Housing and Nuevo Atrisco would like to install an outdoor shade structure in its dog park adjacent to its multifamily apartment complex located at 201 Unser Blvd NW, Albuquerque, NM 87121. This shade structure will allow for a comfortable place for apartment residents to monitor their pets in the dog park.

Per Table 6-4(Z)(1)(a) of the IDO pertaining to Allowable Minor Amendments; these planned additions do not increase the gross floor space, are not higher than the surrounding buildings, and do not make use of a fence. There is an existing fence around the dog park that will not be amended to install the shade structure. Therefore, these shade structures are to be considered a minor amendment. Furthermore, the location chosen for the shade structure does not require changes to access or circulation of patterns on the site. This project will not require major public infrastructure. Please contact Yes Housing the email below or Hannah Feil Greenhood with Dekker Parish Sabatini at 505.761.9700 if there are any additional questions or concerns.

Thank you for your assistance in this matter,

**Michelle DenBleyker**

Senior Vice President, Real Estate Development

**YES Housing, Inc.**

901 Pennsylvania St. NE

Albuquerque, NM 87110

(432) 530-7978

(505) 923-9607

901 Pennsylvania St NE, Albuquerque NM 87111

[www.Yeshousing.org](http://www.Yeshousing.org)

DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

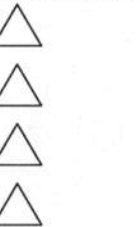
ENGINEER

PROJECT

NUEVO ATRISCO

7909 CENTRAL AVE. NW  
ALBUQUERQUE, NM 87121

REVISIONS



DRAWN BY

REVIEWED BY

DATE 08-29-2018

PROJECT NO. 18-0087

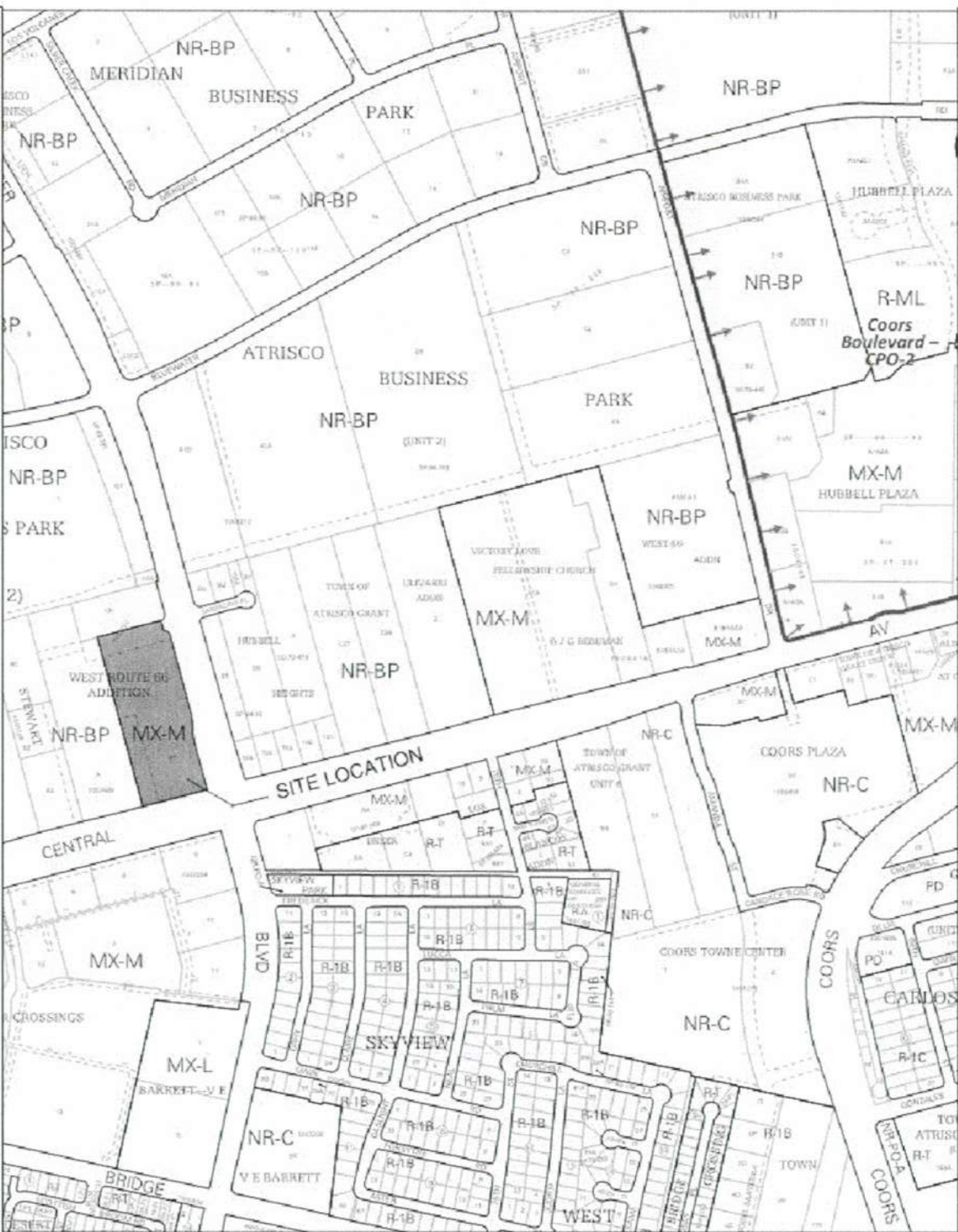
DRAWING NAME

SITE PLAN

SHEET NO.

SDP1-1

OF



### VICINITY MAP

PROJECT NO. PR-2018-001405

APPLICATION NO. SI-2018-00092

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED  
DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY  
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR  
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

### DRB SITE DEVELOPMENT PLAN APPROVAL:

*Raghu M. Murali* 8/29/18  
TRAFFIC ENGINEERING, DATE:  
TRANSPORTATION DIVISION

*Christy Carle* 8/29/18  
ABCWUA DATE:  
PARKS & RECREATION DEPARTMENT

*D. Sanborn* 8/29/18  
DATE:  
CITY ENGINEER/HYDROLOGY

*Renée Bruneau* 8/29/18  
DATE:  
CITY ENGINEER/HYDROLOGY

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:

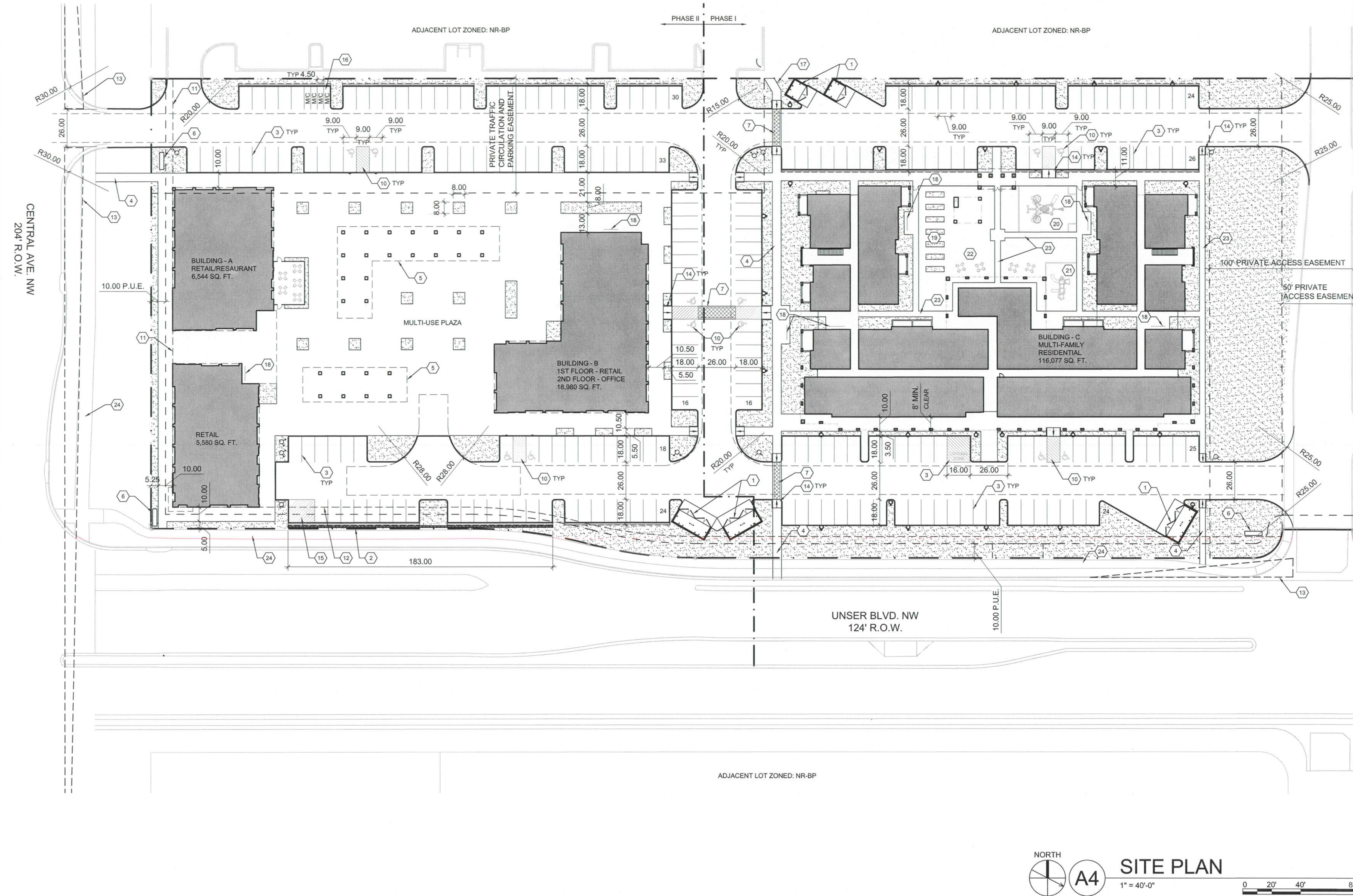
*[Signature]* 08-31-18  
DATE:  
SOLID WASTE MANAGEMENT

*[Signature]* 8-29-18  
DATE:  
DRB CHAIRPERSON, PLANNING DEPT.

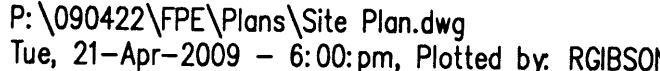
*[Signature]* 8/29/18  
DATE:  
CODE ENFORCEMENT

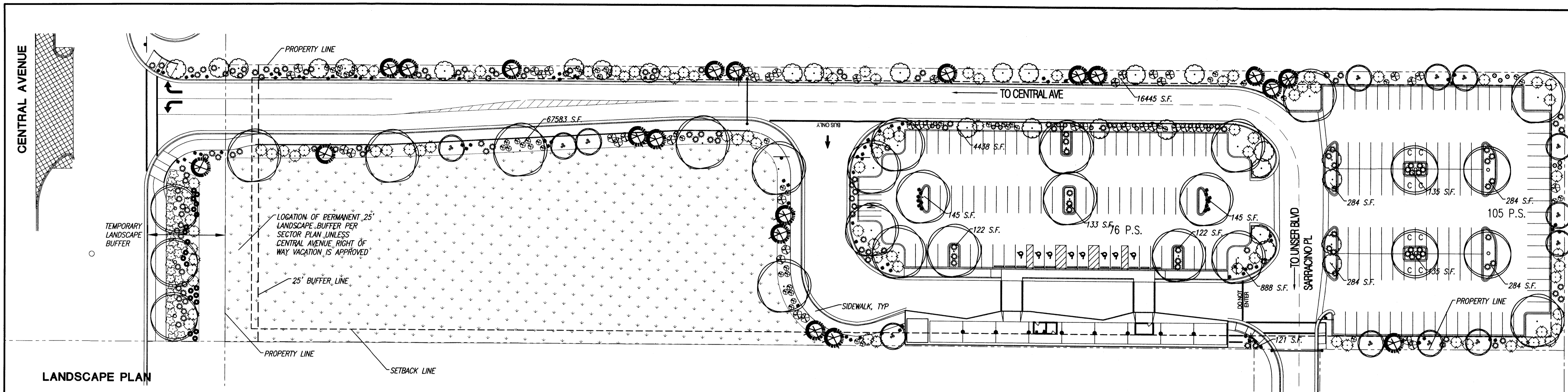
### LEGEND

- LANDSCAPE AREA
- 2' WIDE GRAVEL STRIP
- FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED
- PROPERTY LINE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- MAX BUILDING SET BACK LINE
- EASEMENT LINE
- SCORED CONCRETE CROSSWALK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- SITE LIGHTING POLE AND LUMINAIRE. SEE SITE ELECTRICAL

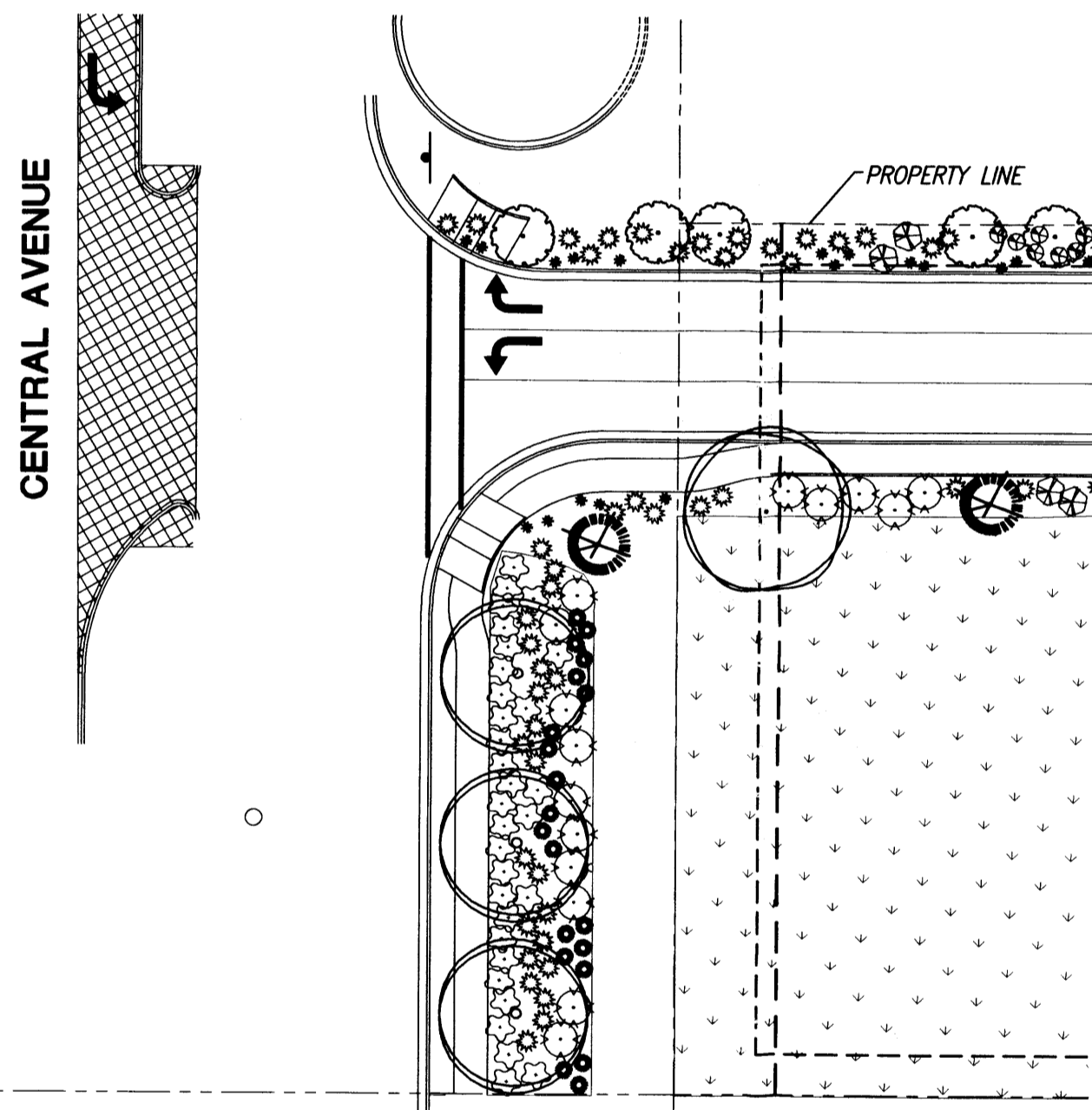


GENERAL SHEET NOTES		SHEET KEYED NOTES		PROJECT DATA		LEGEND	
<p>A. SOLID WASTE COLLECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.</p> <p>B. THE SITE SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE (IFC) 2009.</p> <p>C. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX.</p> <p>D. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.</p> <p>E. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.</p> <p>F. THE SITE SHALL MEET ALL DEAD END REQUIREMENTS AS PER IFC OR PROVIDE EMERGENCY TURN-AROUND PER IFC.</p> <p>G. ALL BUILDING AND FREESTANDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING.</p> <p>H. AVAILABILITY STATEMENT #180406 WAS ISSUED ONLY FOR TRACT A WHICH CONSISTS OF A MULTI-UNIT APARTMENT COMPLEX FOR YES HOUSING. AN AVAILABILITY STATEMENT IS REQUIRED PRIOR TO THE DEVELOPMENT OF TRACT B.</p>		<p>1. DOUBLE REFUSE ENCLOSURE FOR SOLID WASTE AND RECYCLE CONTAINERS</p> <p>2. 3' TALL MASONRY WALL, 2-COAT STUCCO EACH SIDE, COLOR TO MATCH BUILDING</p> <p>3. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE</p> <p>4. 6' WIDE CONCRETE SIDEWALK</p> <p>5. CANOPY OVERHEAD</p> <p>6. MONUMENT SIGN PROVIDED FOR ENTIRE DEVELOPMENT INCLUDING ALL FUTURE PHASES</p> <p>7. SCORED CONCRETE CROSSWALK</p> <p>8. FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL</p> <p>9. NEW F.D.C. SEE CIVIL</p> <p>10. ADA PARKING</p> <p>11. 15' MAX FRONT SETBACK</p> <p>12. 15' MAX CORNER SIDE SETBACK</p> <p>13. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE</p> <p>14. ACCESSIBLE RAMP</p> <p>15. STRIPED TO INDICATE NO PARKING, TURNAROUND AREA. COLOR: WHITE</p> <p>16. MOTORCYCLE PARKING</p> <p>17. 6' WIDE CONCRETE SIDEWALK TO PROVIDE CONNECTION TO ADJACENT TRANSIT STATION</p> <p>18. BIKE RACK. SEE A4/SDP1-2</p> <p>19. COMMUNITY GARDEN</p> <p>20. AGE 2-5 RECREATIONAL/PLAY AREA</p> <p>21. AGE 5-12 RECREATIONAL/PLAY AREA</p> <p>22. AGE 12+ RECREATIONAL/PLAY AREA</p> <p>23. 4' WIDE CONCRETE SIDEWALK</p> <p>24. EXISTING CONCRETE SIDEWALK</p>		<p><b>ZONING:</b> (MX-M) MIXED USE - MODERATE INTENSITY ZONE DISTRICT</p> <p><b>LEGAL DESCRIPTION:</b> Tract B1, West Route 66 Addition II, as the same is shown and designated on the plat entitled "WEST ROUTE 66 ADDITION II, BEING A REPLAT OF TRACT B OF WEST ROUTE 66 ADDITION AS RECORDED ON AUGUST 12, 2013 IN BOOK 2013C, PAGE 91 AND LOT 1 OF UNM HOSPITALS CLINIC AS RECORDED ON JANUARY 22, 2009 IN BOOK 2009C, PAGE 18, SITUATE WITHIN PROJECTED SECTION 22, T.10N., R.2E., N.M.P.M., TOWN OF ATRISCO LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATE OF SURVEY: SEPTEMBER 2016", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 9, 2016, in Plat Book 2016C, Page 151.</p> <p><b>SITE AREA:</b> 6.22 ACRES (270,943 SF)</p> <p><b>USABLE OPEN SPACE:</b> (TABLE 5-1-2) 1BR: 200 SQ. FT./UNIT = 29 X 200 = 5,800 SQ. FT. 2BR: 250 SQ. FT./UNIT = 42 X 250 = 10,500 SQ. FT. 3BR: 300 SQ. FT./UNIT = 17 X 300 = 5,100 SQ. FT. TOTAL = 21,400 SQ. FT. UC-MS-PT: 50% REDUCTION = 10,700 SQ. FT. REQUIRED</p> <p><b>BUILDING HEIGHT:</b> (TABLE 5-1-2: MIXED-USE ZONE DISTRICT DIMENSIONAL STANDARDS) UC-MS-PT, 65FT MAXIMUM HEIGHT PLUS 12' WORKFORCE HOUSING BONUS = 77FT MAXIMUM HEIGHT</p>		<p><b>PARKING CALCULATION:</b> (TABLE 5-5-1)</p> <p>DWELLING UNITS 80 UNITS X 1 SPACE/UNIT = 80 SPACES 8 LIVE/WORK UNITS X 1 SPACE/UNIT = 8 SPACES</p> <p>RESIDENTIAL SPACES REQUIRED RESIDENTIAL SPACES PROVIDED (INCLUDES 4 ACCESSIBLE SPACES) = 88 SPACES = 97 SPACES</p> <p>RETAIL AT 2.5/1000 = 17,723/1,000x2.5 = 45 SPACES RESTAURANT AT 5/1000 = 3,893/1,000x5 = 20 SPACES OFFICE AT 2.5/1000 = 9,491/1,000x5 = 48 SPACES NONRESIDENTIAL SPACES REQUIRED (INCLUDES 6 ACCESSIBLE SPACES) = 113 SPACES TOTAL PARKING PROVIDED (INCLUDES 10 ACCESSIBLE SPACES) = 234 SPACES</p> <p><b>BICYCLE PARKING:</b> (TABLE 5-5-5) RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES = 9 BICYCLE SPACES REQUIRED BICYCLE SPACES PROVIDED = 45 NON RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES = 12 BICYCLE SPACES REQUIRED BICYCLE SPACES PROVIDED = 15</p>	





LANDSCAPE PLAN



STREET TREE PLAN

PLANT LEGEND

BOTANICAL	COMMON	SIZE	QTY	MATURE HEIGHT X SPREAD
Fraxinus velutina	ARIZONA ASH	2 1/2" cal.	21	45' X 45'
Fraxinus oxycarpa 'Raywood'	RAYWOOD ASH	2" cal.	7	35' X 35'
Quercus alba 'Crimschmidt'	CRIMSON SPIRE OAK	2" cal.	29	45' X 15'
Chilopsis linearis 'Art's Seedless'	DESERT WILLOW	8' - 10' Ht.	13	25' X 25'
Juniperus monosperma	ONE-SEED JUNIPER (FEMALE ONLY)	6'-8' Ht. B&B	19	15' X 15'
Juniperus virginiana 'Skyrocket'	SKYROCKET JUNIPER (FEMALE ONLY)	6'-8' Ht. B&B	4	20' X 3'
Artemisia tridentata	BIG SAGE		77	4' x 4'
Rhus trilobata	THREE-LEAF SUMAC	5 gal.	46	6' x 6'
Fallugia paradoxa	APACHE PLUME	5 gal.	X	4' x 4'
Rhus trilobata 'Autumn Amber'	CREEPING THREE LEAF SUMAC	3 gal.	X	1.5' x 6-8'
Artemisia filifolia	SAND SAGE	5 gal.	55	4' x 4'
Nolina texana	BEARGRASS	3 gal.	137	3' x 4'
Baileya multiradiata	DESERT MARIGOLD	1 gal.	95	1' x 2'

SEEDING MIX

Species Name	Quantity	Units/Notes
Baileya multiradiata	1.0	1.0
Callispermum gracile	0.5	0.5
Quercus alba	1.0	1.0
Quercus agrifolia	1.0	1.0

LANDSCAPING NOTES

ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF SANTA FE BROWN (OR EQUAL) CRUSHER FINES.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE CITY OF ALBUQUERQUE. LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES, SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM.

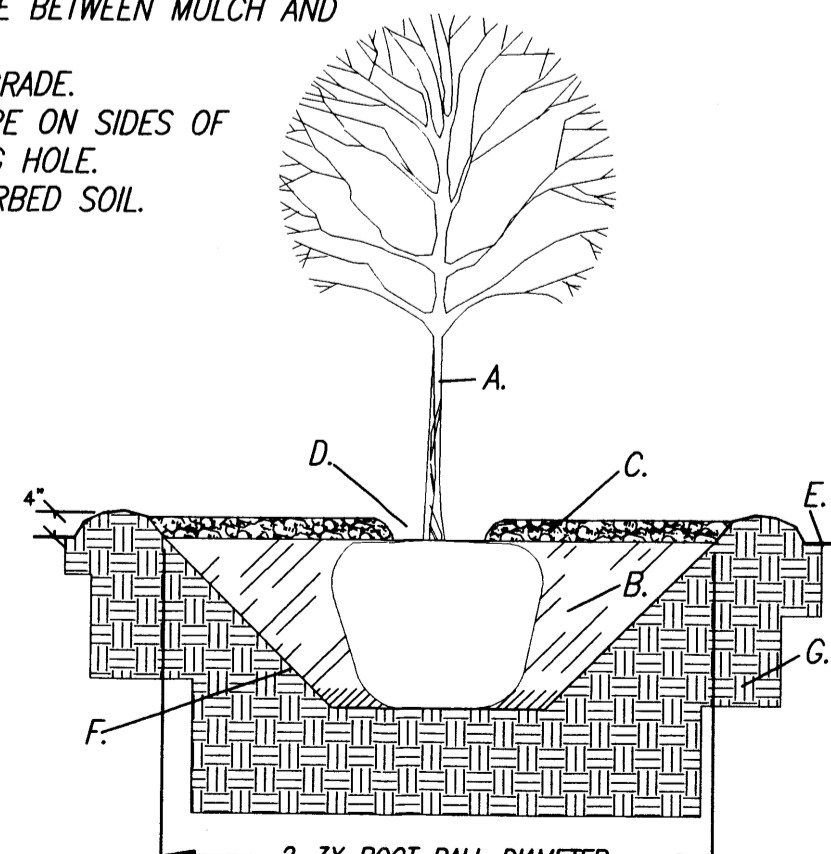
ALL LANDSCAPING IS INTENDED AS GENERAL LANDSCAPING, NO LANDSCAPE FOR SCREENING OR BUFFERING IS PROPOSED. ALL LANDSCAPE PLANTS SHALL BE NEW.

AREA CALCULATIONS

TOTAL SITE =	163,900 S.F.
LANDSCAPE AREA REQUIRED =	24,585 S.F.
LANDSCAPE AREA REQUIRED AS PERCENT OF NET LOT AREA =	15%
LANDSCAPE AREA PROVIDED =	31,256 S.F.
LANDSCAPE AREA PROVIDED AS PERCENT OF NET LOT AREA =	19%

CONSTRUCTION NOTES:

- A. TREE.
- B. BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- C. 3" DEPTH OF MULCH.
- D. 4" SPACE BETWEEN MULCH AND TREE.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



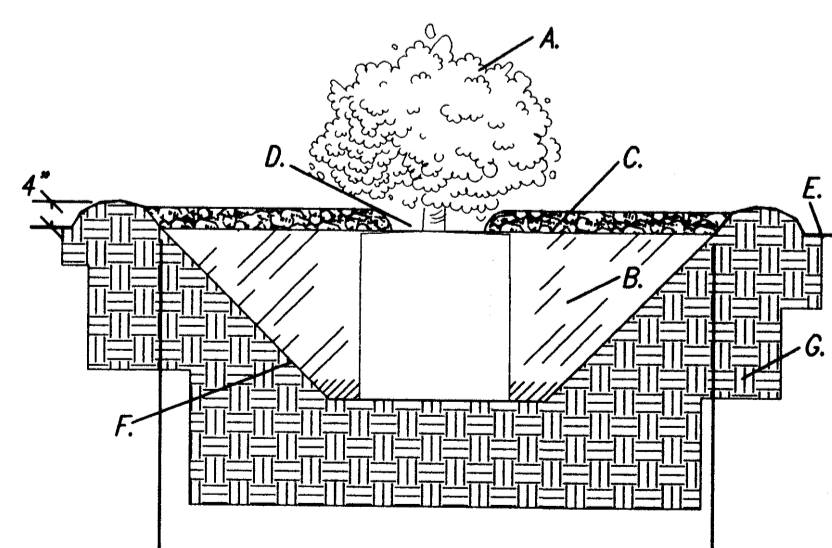
A TREE PLANTING

GENERAL NOTES:

1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
4. PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM TOP HALF OF ROOTBALL AND FROM PLANTING HOLE.
5. AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

CONSTRUCTION NOTES:

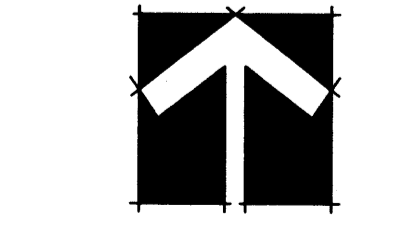
- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- C. 3" DEPTH OF MULCH.
- D. 4" SPACE BETWEEN MULCH AND SHRUB.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



B SHRUB PLANTING

GENERAL NOTES:

1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
3. REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
4. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
5. AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES.
6. DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
7. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.



SCALE = 1" = 40'

REVISIONS

DATE	X	COMMENT
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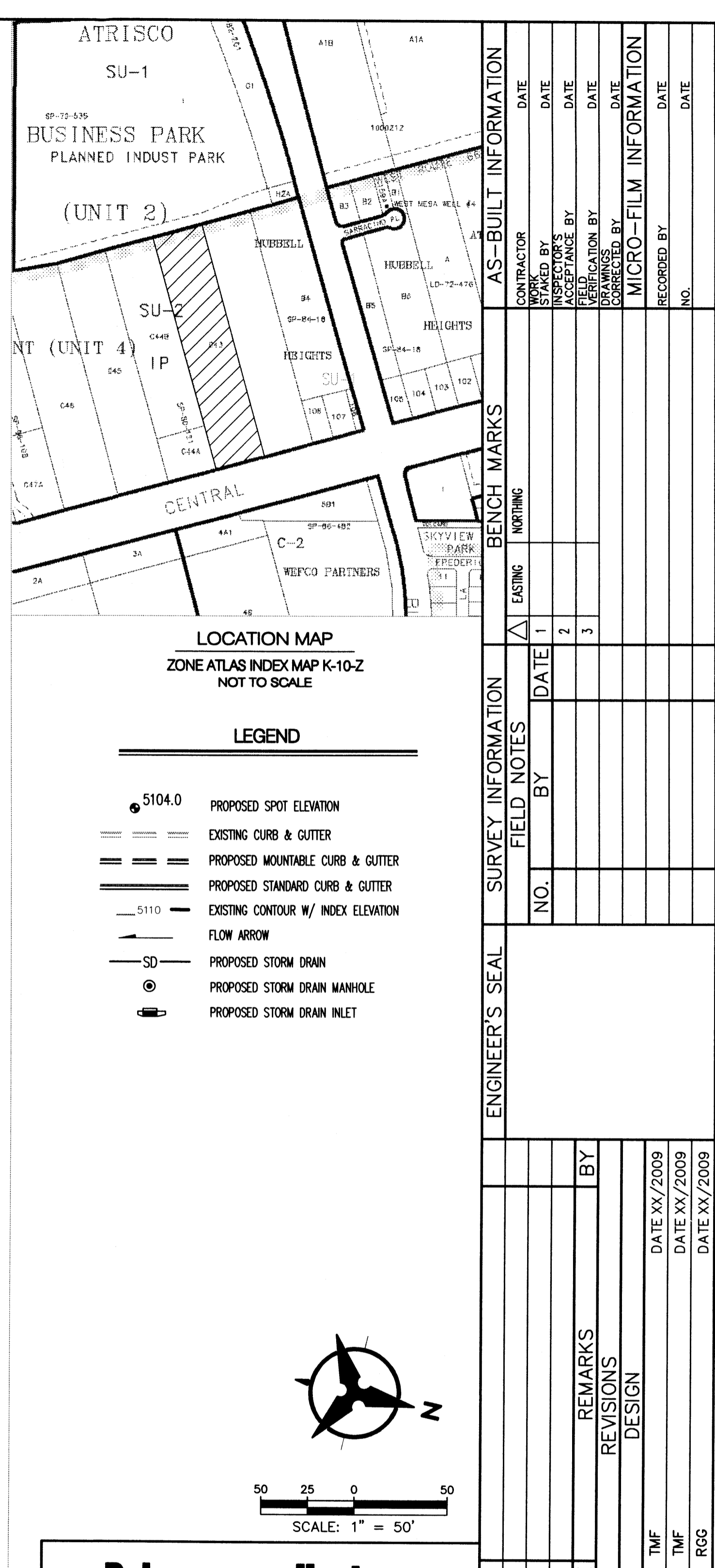
DRAWN BY:	LB
REVIEWED BY:	PA
SCALE:	1:40
DATE:	Jun 02, 2009
PROJECT NO.:	09063

SOUTHWEST MESA PARK & RIDE

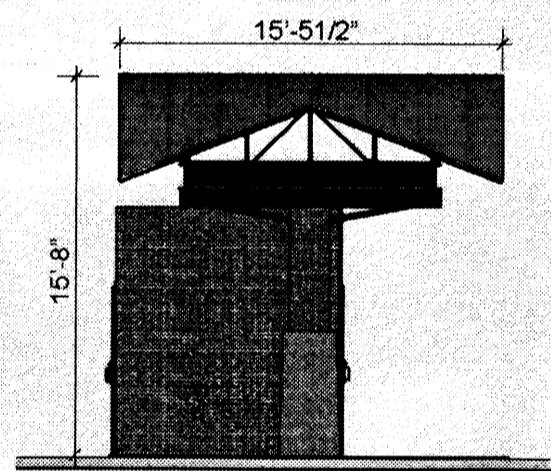
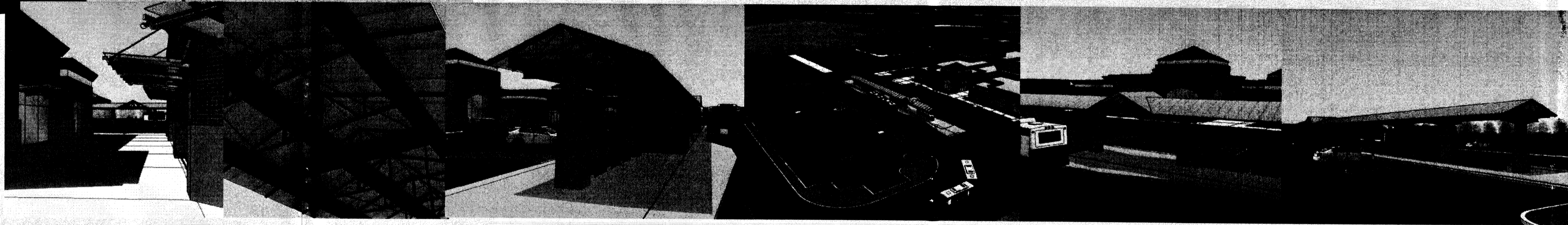
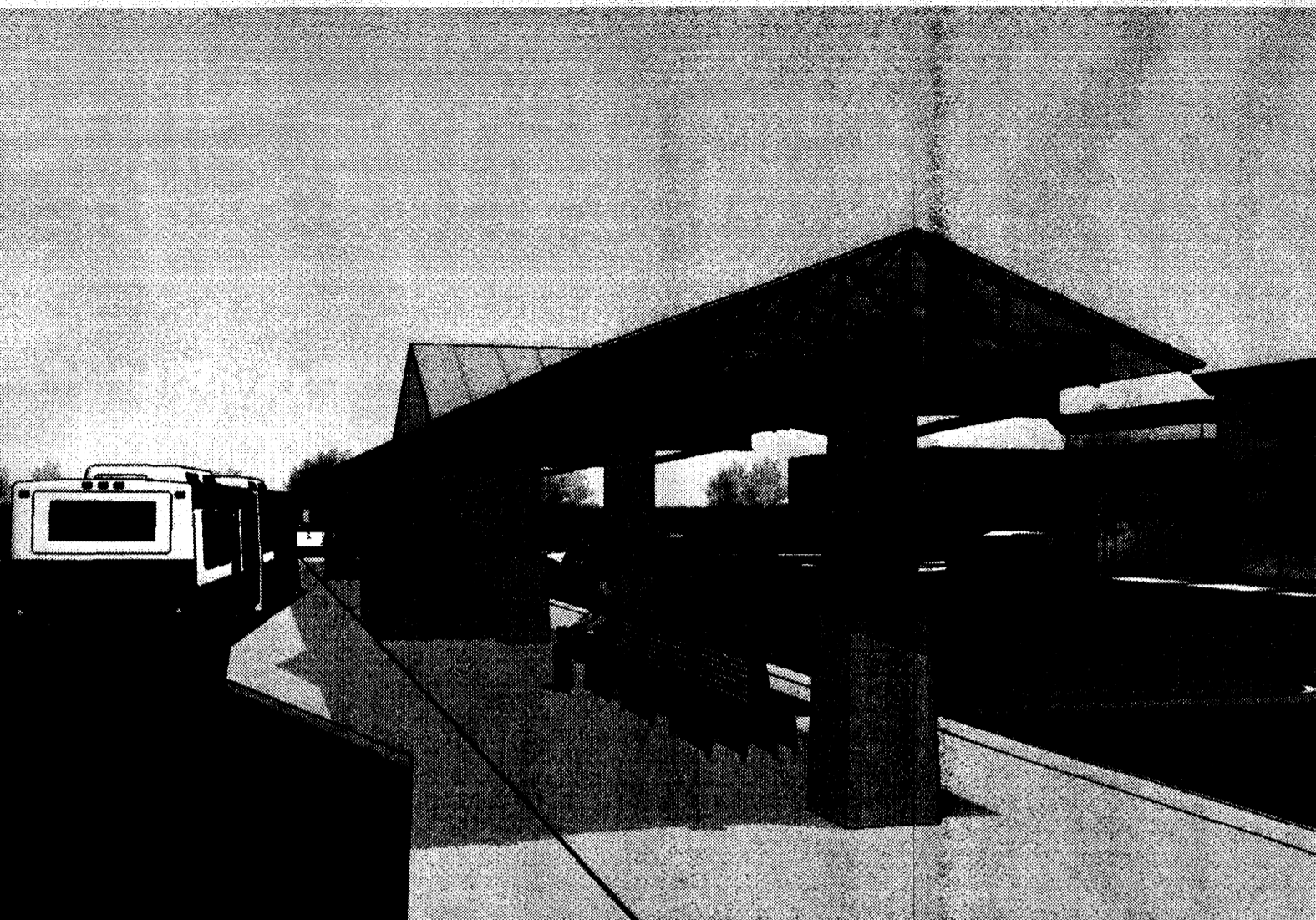


DRAWING	SHEET
L1	2 OF 5

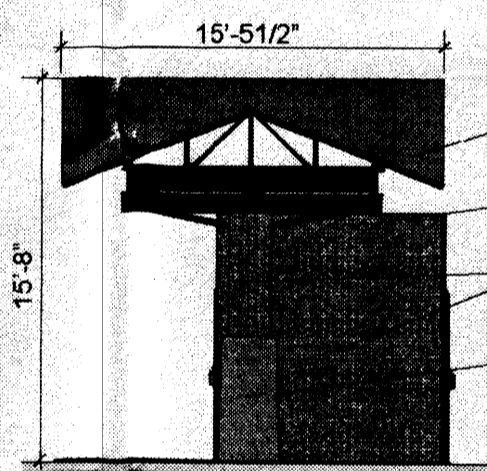
CALL BEFORE YOU DIG  
FOR UTILITY LOCATES  
1-800-321-ALERT



P: \090422\FPE\DRB Submittal\Drainage Management Plan.dwg  
Tue, 2-Jun-2009 - 10:48:am, Plotted by: TFREEL

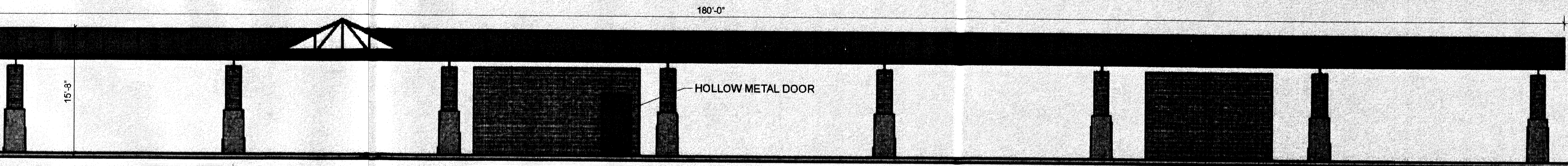


SOUTH ELEVATION  
1"=1/8"

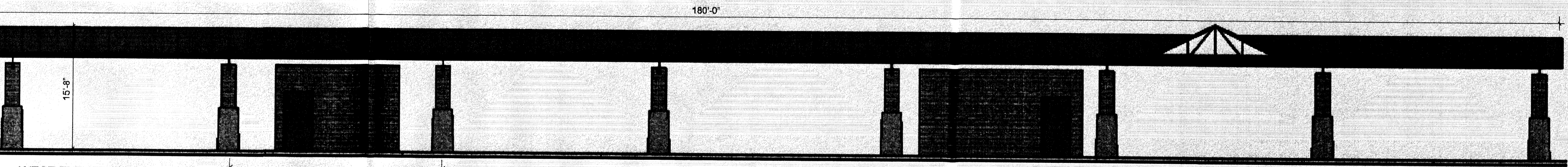


NORTH ELEVATION  
1"=1/8"

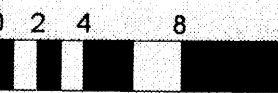
- STANDING SEAM METAL ROOF
- RED GALVANIZED STEEL STRUCTURE
- BRICK VENEER
- GREY CONCRETE BASE



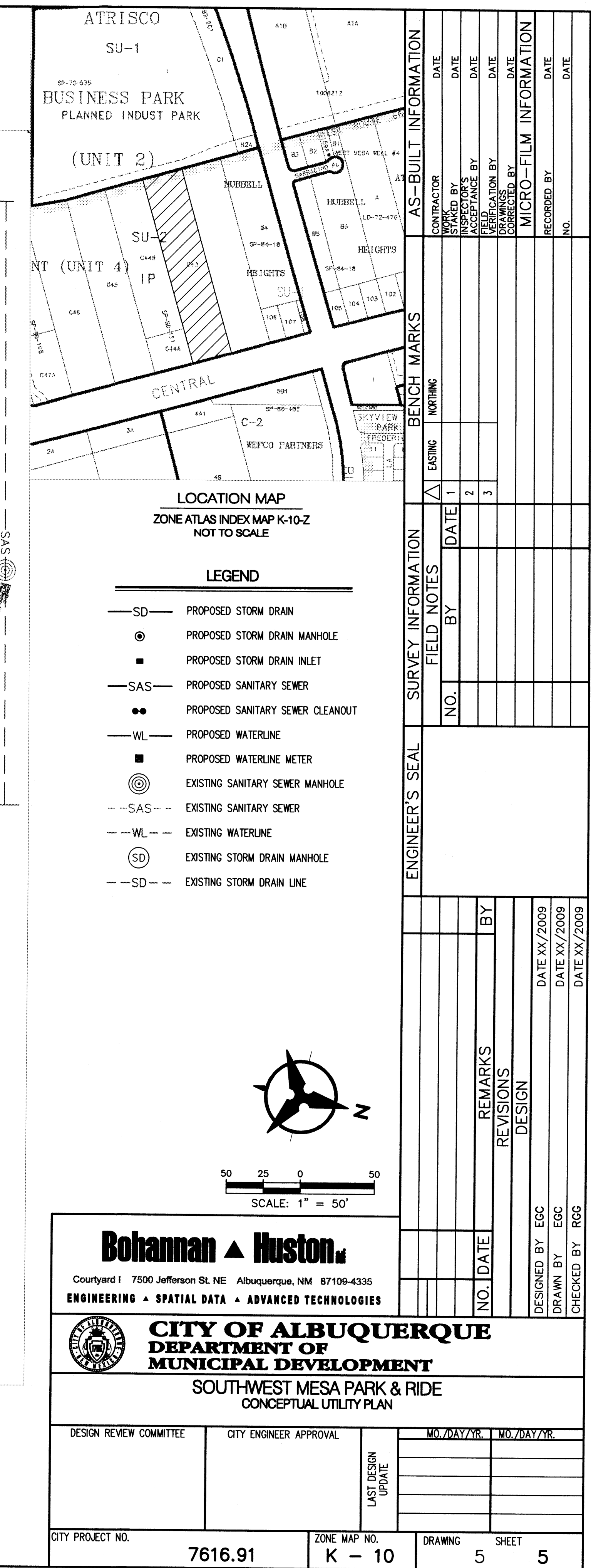
EAST ELEVATION  
1"=1/8"



WEST ELEVATION  
1"=1/8"



<b>Bohannon &amp; Huston</b> Court yard   7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES		<b>CITY OF ALBUQUERQUE</b> DEPARTMENT OF MUNICIPAL DEVELOPMENT SOUTH-WEST MESA PARK & RIDE BUS SHELTER ELEVATIONS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.   MO./DAY/YR.
CITY PROJECT NO.	7616.91	ZONE MAP NO.	K - 10
		SHEET	4 OF 5



# REINFORCED CONCRETE NOTES

1. CONCRETE WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE (ACI 301) AND BUILDING CODE (ACI 318). CONCRETE SPECIFICATIONS SHALL BE AS FOLLOWS:

\* 28 DAY STRENGTH (2500 PSI)

\* SLUMP 3-5

\* PORTLAND CEMENT SHALL CONFORM TO C-150

\* AGGREGATE SHALL CONFORM TO ASTM C-33

2. ALL REINFORCEMENT STEEL SHALL CONFORM TO ASTM A-615 (GRADE 60) AND SHALL BE DETAIL-FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST ACSI SPECIFICATION FOR STRUCTURAL CONCRETE (ACI 301), ACI DETAILING MANUAL AND CRSI MANUAL OF STANDARD PRACTICE.

3. ALL ANCHOR BOLTS SET IN NEW CONCRETE (WHEN APPLICABLE) SHALL COMPLY WITH ASTM F-1554 (GRADE 55 (GALVANIZED)).

4. ALL NON-SHRINK GROUT SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 5000 PSI AND SHALL COMPLY THE REQUIREMENTS OF ASTM C-1099, ASTM C-1099, ASTM C-1090, ASTM C-1107, WHEN APPLICABLE.

5. SOIL PARAMETERS FOR FOOTING ANALYSIS: TABLE 1006.2, CLASS B - 15000 PSI

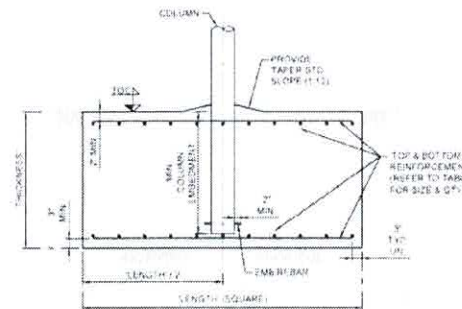
6. FOR SPREAD FOOTING: 120% OF COLUMN OR ANCHOR BOLTS MUST BE SET AT LEAST 12" FROM THE EDGE OF SPREAD FOOTING EDGE.

7. FOR DRILLED PIER, THE EDGE OF COLUMN MUST BE SET AT LEAST 34" FROM REBAR WITHIN DRILLED PIER.

8. SPREAD FOOTING ALLOWED TO BE ROTATED AS REQUIRED.

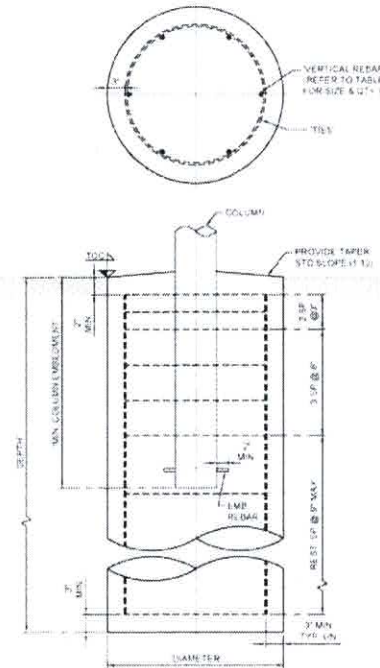
LENGTH	THICKNESS	TOP AND BOTTOM REINFORCEMENT						MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS & SURFACE)
(FT)	(FT)	QT	SIZE	SPACING (IN)				(IN)	(IN)
4.00	1.00	8	#5	16	16	16	16	30	30

DIAMETER (FT)	DEPTH (FT)	VERTICAL REBAR (QT)	SIZE (IN)	GTY	D'LOOP (FT)	DIAZ	MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS & SURFACE)
2.50	9.00	2	#8	14	2.00	#4	30	30



**SPREAD FOOTING TYPE**

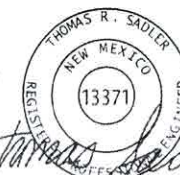
EMBEDDED  
SCHEMATIC VIEW ONLY  
REFER TO TABLE FOR VARIABLE DIMENSIONS & QTY



**DRILLED PIER FOOTING TYPE**

EMBEDDED  
SCHEMATIC VIEW ONLY  
REFER TO TABLE FOR VARIABLE DIMENSIONS & QTY

Digitally signed by Thomas R. Sadler, PE  
'Date: 2022.02.11 11:21:56 -06'00



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CORPORATE HEADQUARTERS  
2560 ESTEROS BLVD., SUITE 100  
DENVER, CO 80202  
800-444-5005

## CERTIFICATIONS:

IAS CERTIFICATION NO. PA-428  
CLARK COUNTY MANUFACTURER  
CERTIFICATION NUMBER (NEVADA)  
355

## CUSTOMER:

Navajo Amisco Apartments

## PROJECT NAME:

Navajo Amisco Apartments

## LOCATION:

Albuquerque, NM

## PROJECT NUMBER:

88888

## STRUCTURE TYPE:

Single Post Pyramid 1103

## SIZE:

20' 0" x 20' 0" x 9' 0"

## SCALE AS NOTED

## DRAWING SIZE:

B

## REV

DATE

DESCRIPTION

RELEASE FOR CONSTRUCTION

REV

NC

DATE

DESCRIPTION

RELEASE FOR CONSTRUCTION

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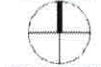
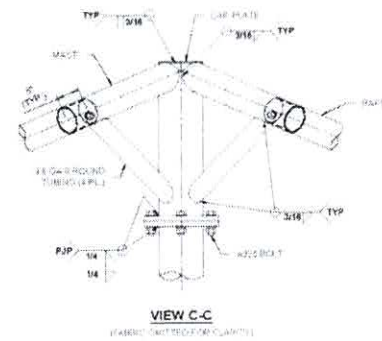
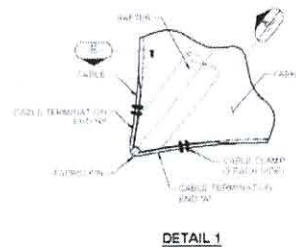
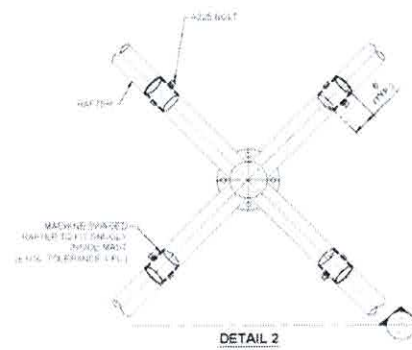
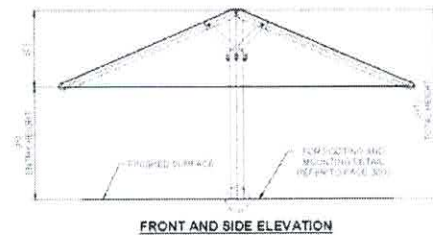
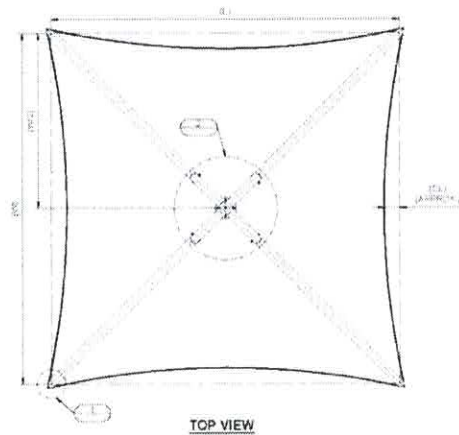
TABLE OF DIMENSIONS

W	L	H	C	HT	CL	COL	RL	CHT
20' 0"	20' 0"	9' 0"	4' 5"	13' 5"	1' 3"	11' 10"	12' 6"	10' 10"

TABLE OF DIMENSIONS KEY

W	WIDTH
L	LENGTH
H	ENTRY HEIGHT
C	SHADE HEIGHT
HT	TOTAL HEIGHT
CL	FABRIC CATENARY LENGTH
COL	COLUMN LENGTH
RL	RAFTER LENGTH
CHT	COLUMN HEIGHT

PLAN NORTH

FOR TRUE NORTH  
SEE CUSTOMER'S  
SITE PLAN

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**CORPORATE HEADQUARTERS**  
2540 EESTERS BLVD., SUITE 100  
DFW AIRPORT, TX 75261  
950-764-5005

**CERTIFICATIONS:**

IAS CERTIFICATION No. IA-428  
CLARK COUNTY MANUFACTURER  
CERTIFICATION NUMBER (REVAL):  
359

**CUSTOMER:**

Thomas Adams Apartments

**PROJECT NAME**

Thomas Adams Apartments

**LOCATION:**

Alexander Park

**PROJECT NUMBER:**

80868

**STRUCTURE TYPE**

Single Post Pyramid 1103

**SIZE**

20' 0" x 20' 0" x 9' 0"

**SCALE: AS NOTED****DRAWING SIZE****B****REV**

NO

**DESCRIPTION**

RELEASE FOR CONSTRUCTION

**DATE**

MP

**DWG**

MP

**CHK**

MP

**ENG**

MP

**DATE**

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Digitally signed by  
Thomas R. Sadler, PE  
Date: 2022.02.11  
'11:21:45 -06'00



Eng. By	MP
Design By	MP
Approved By	MP
<b>DRAWING DESCRIPTION</b>	
ELEVATIONS AND DETAILS	
OWG:	
PAGE:	2000
REV:	NC

## GENERAL NOTES

### DESIGN LOADS

BUILDING CODE	INTERNATIONAL BUILDING CODE 2015
LIVE LOADS	5 PSF
SNOW LOAD	5 PSF
WIND LOADS	115 MPH and 180 MPH as in Fabric CP 1-Sec. Gust, RISK CATEGORY II & EXPOSURE C

\* 115 MPH ACCORDING TO THE ULTIMATE WIND SPEED MAPS OF ASCE 7-10 IS EQUIVALENT TO THE NOMINAL WIND SPEED OF 95 MPH ACCORDING ASCE 7-05 AND IBC 2015 EQ. 16-2.

### STRUCTURAL STEEL

- ALL STRUCTURAL SHAPES SHALL BE COLD FORMED HSS ASTM A500 GRADE C UNLESS OTHERWISE NOTED. TYPICAL MECHANICAL PROPERTIES FOR HSS PRODUCTS:  
SQUARE AND RECTANGULAR 50,000 PSI YIELD / 62,000 PSI TENSILE  
ROUND PIPE 48,000 PSI YIELD / 62,000 PSI TENSILE
- ALL GALVANIZED STEEL TUBE PRODUCTS ARE MANUFACTURED PER ASTM A500. TYPICAL MECHANICAL PROPERTIES ACHIEVED FOR GALVANIZED TUBE PRODUCTS:  
ROUND TUBE 45,000 PSI YIELD / 48,000 PSI TENSILE
- ALL PLATES SHALL COMPLY WITH ASTM A572 GRADE 50.
- ALL STEEL TUBING SHALL BE TRIPLE COATED FOR RUST PROTECTION USING THE INLINE ELECTROPLATING COAT PROCESS. TUBING SHALL BE INTERNALLY COATED WITH ZINC AND ORGANIC COATINGS TO PREVENT CORROSION AS MANUFACTURED BY ALLIED TUBE & CONDUIT.
- STRUCTURAL STEEL SHALL BE DETAIL, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS.
- ALL SHOP WELDS SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN WELDING SOCIETY (AWS) D1.1 SPECIFICATIONS. ALL WELDS SHALL BE CONTINUOUS WHERE LENGTH IS NOT GIVEN, UNLESS OTHERWISE SHOWN OR NOTED ON DRAWINGS. ALL WELDS SHALL DEVELOP THE FULL STRENGTH OF THE WEAKER MEMBER. ALL WELDS SHALL BE MADE USING E70XX GAS WIRE.
- SHOP CONNECTIONS SHALL BE WELDED UNLESS NOTED OTHERWISE. FIELD CONNECTIONS SHALL BE AS INDICATED ON THE DRAWINGS (IF REQUIRED). ALL FILLET WELDS SHALL BE A MINIMUM OF 3/16" UNLESS OTHERWISE NOTED. FIELD WELDS SHALL NOT BE ALLOWED.
- ALL HIGH STRENGTH BOLTS SHALL COMPLY WITH ASTM F-1135 GRADE A325 (GALVANIZED). ALL NUTS SHALL COMPLY WITH ASTM A563D8 AND WASHERS SHALL COMPLY WITH ASTM F436.
- ALL HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION.
- ALL STAINLESS STEEL BOLTS / STUDS SHALL COMPLY WITH ASTM F-593; ALLOY GROUP 1 OR 2. ALL NUTS SHALL COMPLY WITH ASTM F-594 ALLOY GROUP 1 OR 2.
- ALL STRUCTURAL STEEL SHALL BE POWDER COATED WITH ONE SHOP COAT (2.5 MILS MIN.) OF ZINC-RICH PRIMER, UNDERCOAT, AND FINISH COAT, OR EQUIVALENT PAINT SYSTEM. THIS COAT IS A WEATHER RESISTANT POWDER COATING BASED ON POLYESTER TGIC (MANUFACTURED BY SHERWIN WILLIAMS, ASKO NOBEL, PPG OR TIGER DRYLAC). TO ACHIEVE OPTIMUM ADHESION, IT IS RECOMMENDED THAT THE PROPER TREATMENT AND DRYING TAKE PLACE BEFORE COATING. POLYESTER POWDER (TGIC) SPECIFICATIONS SHALL BE AS FOLLOWS:  
• PENCIL HARDNESS (ASTM D-1182)  
• HUMIDITY (ASTM D-2247)  
• SOLVENT RESISTANCE (PDI METHOD) - 50 DRI. RUBS SL, SOFTNESS.

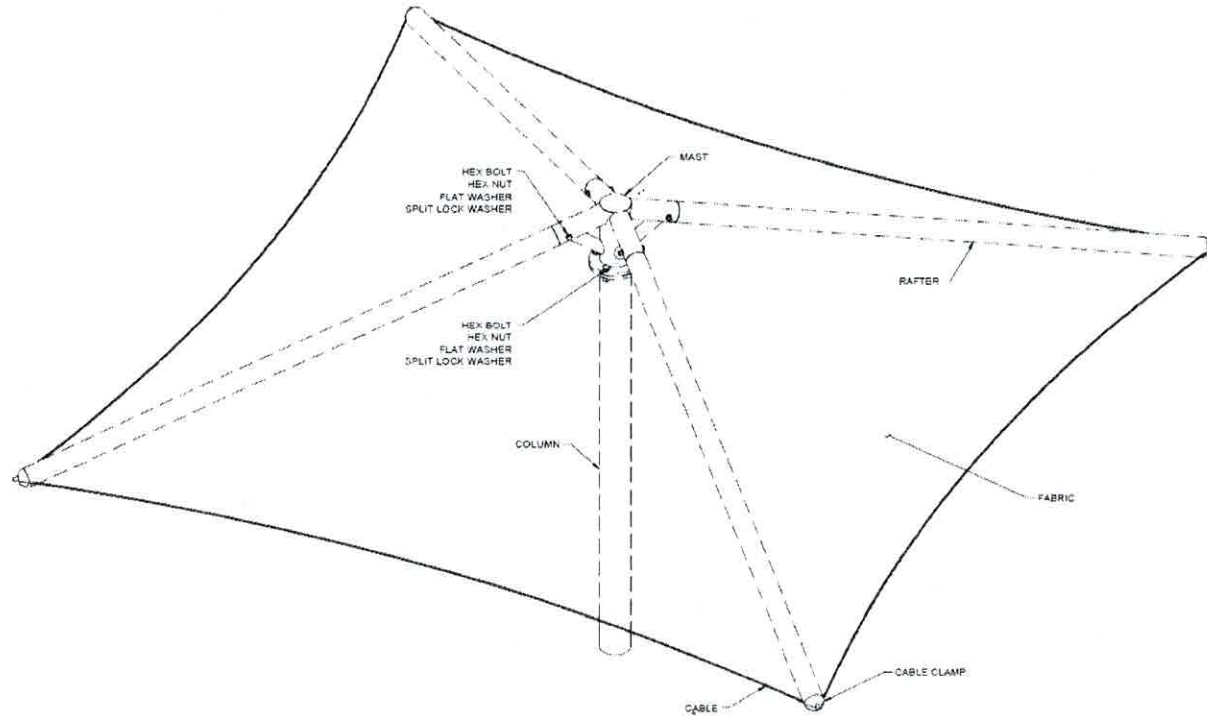
### FABRIC SPECIFICATION

- FABRIC SHALL BE A HIGH DENSITY POLYETHYLENE WITH ULTRA VIOLET ADDITIVES, WITH MONOFILAMENT AND TAPE CONSTRUCTION GIVING A STABLE MATERIAL AND RACHET KNITTED TO ENSURE MATERIAL WILL NOT UNRAVEL IF CUT.
- |                  | SOLID COLORS                           | STRIPES/COLORS                         |
|------------------|--|--|
| TENSILE STRENGTH | WARP 220,462.2 LB<br>WEFT 462,970.7 LB | WARP 182,983.6 LB<br>WEFT 431,241.3 LB |
| BURST STRENGTH   | 37,705.6 PSIA                          | 33,066.6 PSIA                          |
| FADING           | MINIMUM FADING AFTER 5 YEARS           |  |

- LIFE EXPECTANCY: A MINIMUM OF 8 YEARS CONTINUOUS EXPOSURE TO THE SUN.
- FIRE TEST (ON FABRIC): NFPA 701 TEST 2 AND ASTM E 84
- THREAD (TEFLON) USED MEET THE FOLLOWING SPECIFICATIONS: HIGH STRENGTH, LOW SHRINKAGE, WIDE TEMPERATURE RANGE, FLEX, ABRASION RESISTANT AND UV RADIATION IMMUNITY. LOCKSTITCH - 1299 DENIER, CHAINSTITCH THREAD - 2400 DENIER.

### AIRCRAFT CABLE

- WIRE ROPE CABLE SHALL BE 7 X 19 STRAND CORE GALVANIZED WIRE ROPE WITH A BREAKING STRENGTH VALUE OF 74,100 LBS (1/2" DIAMETER).
- CABLES SHALL BE FED THROUGH THE FABRIC SLEEVES AROUND THE PERIMETER OF THE CANOPY AND TENSIONED UNTIL THE FABRIC PANELS (DESIGNED PURPOSEFULLY UNDERSTITCH) REACH A TAUNT APPEARANCE. ANY LONG TERM CABLE SAG SHALL BE MINIMIZED DURING THE MAINTENANCE RETIGHTENING VISITS AS REQUIRED.



### ISOMETRIC VIEW

### LIST OF MATERIALS

ITEM	QTY	DESCRIPTION	UNIT PRICE \$
MAST	1	MAST 2" DIA. 10' LONG	100.00
BOLT	4	BOLT 1/2" DIA. 6" LONG	10.00
HEX NUT	4	NUT 1/2" DIA. 6" LONG	10.00
SPLIT LOCK WASHER	4	WASHER 1/2" DIA. 6" LONG	10.00
FLAT WASHER	4	WASHER 1/2" DIA. 6" LONG	10.00
BOLT	4	BOLT 1/2" DIA. 6" LONG	10.00
HEX NUT	4	NUT 1/2" DIA. 6" LONG	10.00
SPLIT LOCK WASHER	4	WASHER 1/2" DIA. 6" LONG	10.00
RAFTER	4	RAFTER 2" DIA. 10' LONG	100.00
CABLE CLAMP	4	CABLE CLAMP 1/2" DIA. 6" LONG	10.00
LOCK WIRE	1	LOCK WIRE 1/2" DIA. 6" LONG	10.00
FABRIC	1	FABRIC 110' X 110' X 1/2" THICK	1000.00
CABLE	1	CABLE 1/2" DIA. 6" LONG	10.00
RAFTER	4	RAFTER 2" DIA. 10' LONG	100.00

- FABRIC TOP NEEDS TO BE REMOVED IF SNOW EXCEEDING 5 PSF IS ANTICIPATED.
- FABRIC TOP NEEDS TO BE REMOVED IF WINDS EXCEEDING 115 MPH ARE ANTICIPATED. SEE NOTES FOR DESIGN LOADS.

### NOTICE

### CODE ANALYSIS

BUILDING	OCCUPANCY	CONSTRUCTION TYPE	AREA (SQFT)	OCCUPANT LOAD
SHADE STRUCTURE 20' 0" x 20' 0"	U	U-B	400	NA

Digitally signed by  
Thomas R. Sadler, PE  
Date: 2022.02.11  
'11:21:35 -06'00



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**CORPORATE HEADQUARTERS**  
2580 ESTERLINE BLVD. SUITE 100  
DALLAS, TEXAS 75241  
(800) 954-5065

**CERTIFICATIONS**  
IAS CERTIFICATION No. FA-424  
CLARK COUNTY MANUFACTURER CERTIFICATION NUMBER (NEVADA): 355

**CUSTOMER:**  
Nueva America Apartments  
**PROJECT NAME:**  
Nueva America Apartments  
**LOCATION:**  
Albuquerque, NM  
**PROJECT NUMBER:**  
80868

**STRUCTURE TYPE**  
Single Post Pyramid 1103

**SIZE:**  
20' 0" x 20' 0" x 10' 0"

**SCALE:** AS NOTED

**DRAWING SIZE:**

**B**

REV	DESCRIPTION	DATE	BY	CHK	APP
1	RELEASE FOR CONSTRUCTION				

Eng. By: MBP  
Design By: MBP  
Approved By: MBP

**DRAWING DESCRIPTION**

NOTES / LOM

**DRAWING**  
PAGE

1000

**REV**

**NC**

## PROJECT DATA

**ZONING:** (MX-M) MIXED USE - MODERATE INTENSITY ZONE DISTRICT  
(UC-MS-PT) PREMIUM TRANSIT AREA

## LEGAL DESCRIPTION:

TRACT A, NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II AS RECORDED IN OCTOBER 2018) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 22 TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, PREVIOUSLY TRACT B1, WEST ROUTE 66 ADDITION II, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "WEST ROUTE 66 ADDITION II, BEING A REPLAT OF TRACT B OF WEST ROUTE 66 ADDITION AS RECORDED ON AUGUST 12, 2013 IN BOOK 2013C, PAGE 91 AND LOT 1 OF UNH HOSPITALS CLINIC AS RECORDED ON JANUARY 22, 2009 IN BOOK 2009C, PAGE 18, SITUATE WITHIN PROJECTED SECTION 22, T.10N., R.2E., N.M.P.M., TOWN OF ATRISCO LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATE OF SURVEY: SEPTEMBER 2016, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 9, 2016, IN PLAT BOOK 2016C, PAGE 151.

**SITE AREA:** 3.0858 ACRES (134,460 SF)

## USABLE OPEN SPACE: (TABLE 5-1-2)

1BR: 201 SQ. FT./UNIT = 27 X 200 = 5,400 SQ. FT.  
2BR: 250 SQ. FT./UNIT = 42 X 250 = 10,500 SQ. FT.  
3BR: 300 SQ. FT./UNIT = 17 X 300 = 5,100 SQ. FT.  
TOTAL = 21,000 SQ. FT.  
UC-MS-PT: 50% REDUCTION = 10,500 SQ. FT. REQUIRED

COURTYARD OPENSOURCE = 12,670 SQ. FT. PROVIDED  
ROOFTOP PATIO OPENSOURCE = 1,957 SQ. FT. PROVIDED  
TOTAL = 14,627 SQ. FT. PROVIDED

## BUILDING HEIGHT: (TABLE 5-1-2: MIXED-USE ZONE DISTRICT DIMENSIONAL STANDARDS)

UC-MS-PT, 65' MAXIMUM HEIGHT  
PLUS 12' WORKFORCE HOUSING BONUS = 77' MAXIMUM HEIGHT

## PARKING CALCULATION: (TABLE 5-5-1)

DWELLING UNITS, MULTI-FAMILY UC-MS-PT: 1 SPACE / DU  
80 UNITS X 1 SPACE/UNIT = 80 SPACES  
6 LIVE/WORK UNITS X 1 SPACE/UNIT = 6 SPACES

RESIDENTIAL SPACES REQUIRED = 86 SPACES  
RESIDENTIAL SPACES PROVIDED = 98 SPACES  
(INCLUDES 4 ACCESSIBLE SPACES PER 5-(C)(7)(A))

## BICYCLE PARKING

IDO REQUIREMENTS (TABLE 5-5-5):

RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES (86) = 9 BICYCLE SPACES REQUIRED

MFA 2018: PARKING FOR BICYCLES SHALL BE PROVIDED AT A RATIO OF .5 BICYCLE PARKING SPACE PER UNIT = 43 SPACES REQUIRED

LEED: LONG-TERM BICYCLE STORAGE CAPACITY REQUIRED = 56 SPACES COVERED AND 5 SHORT TERM COVERED SPACES

PROVIDED BICYCLE SPACES = 90 (80 ARE LOCATED IN AN INDOOR BICYCLE STORAGE ROOM, AND 10 ARE LOCATED OUTDOORS)

## DEMOLITION NOTES

- EXISTING PAVEMENT, ASPHALT CURB, AND LIGHT POLES WITHIN THIS PROJECT WORK AREA TO BE DEMOLISHED.
- CONTRACTOR SHALL OBTAIN AN UNDERSTANDING OF EXISTING CONDITIONS BOTH ON SITE AND ADJACENT TO THE SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS, VEHICLES, AND ALL EXISTING IMPROVEMENTS TO REMAIN.
- DEMOLITION ITEMS MUST BE FIELD VERIFIED WITH OWNER.
- CONTRACTOR TO VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ASSOCIATED EQUIPMENT BEFORE EXCAVATION.
- UTILITIES SCHEDULED FOR DEMOLITION SHALL BE CAPPED OFF AS CLOSE TO THE SOURCE AS POSSIBLE AND COMPLETELY REMOVED. UTILITY DEMOLITION IS TO BE COMPLETE INSIDE THE LIMITS OF WORK AND INCLUDES, BUT IS NOT LIMITED TO: CONDUIT, PIPE, WIRES, ANCHORS AND TIES.
- DEMOLITION MATERIALS ARE TO BE REMOVED TO A LEGAL WASTE FACILITY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING REFUSE CONTAINERS TO HANDLE DEBRIS TO BE REMOVED, AS WELL AS PROVIDING FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF DEBRIS.
- EXISTING UTILITY STUBS THAT REMAIN SHALL BE DOCUMENTED ON SURVEYED AS-BUILT DRAWINGS THAT SHALL BE TURNED OVER TO THE OWNER AT CONTRACT CLOSE OUT.

## GENERAL SHEET NOTES

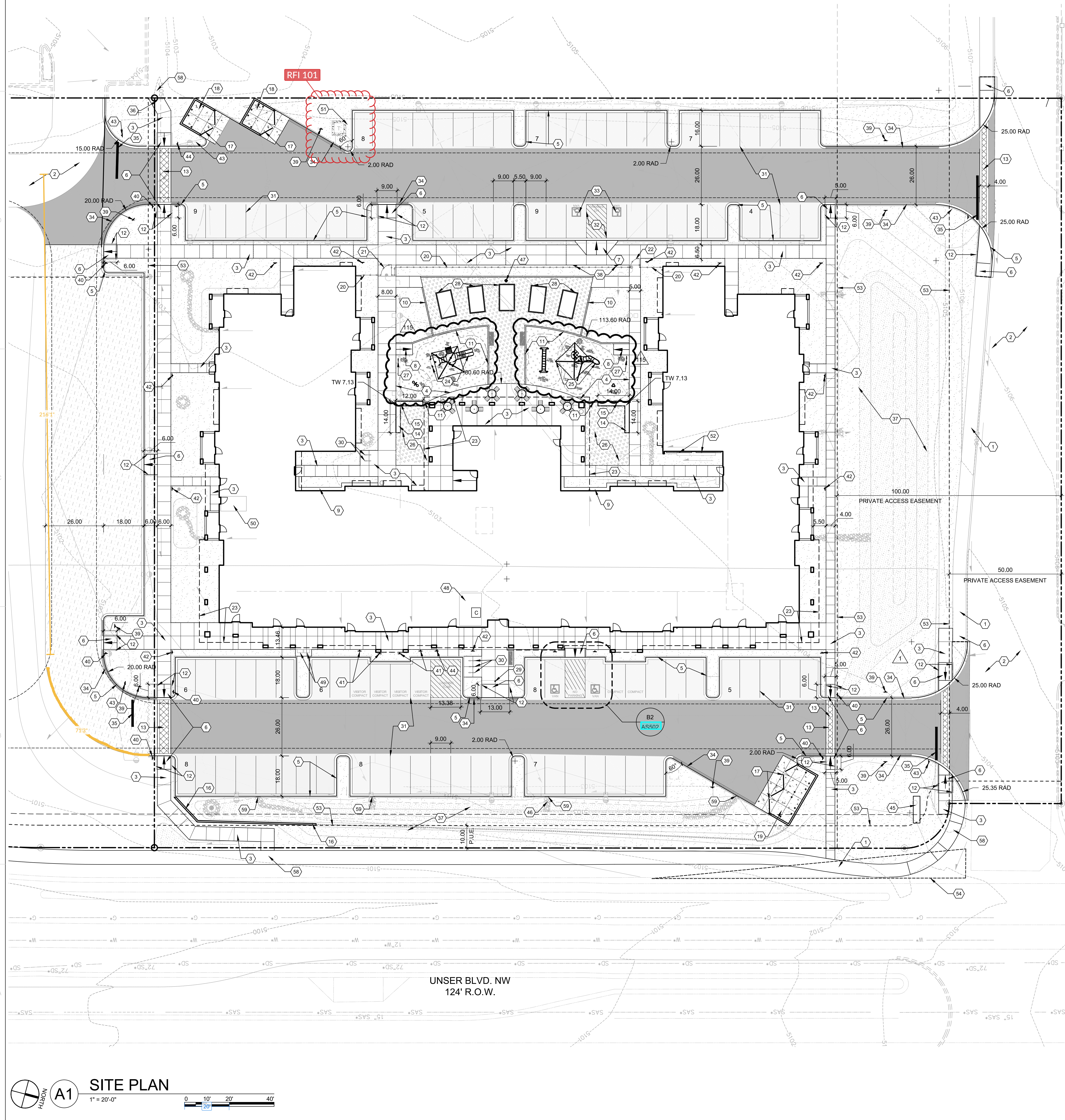
- SOLID WASTE COLLECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- THE SITE SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE (IFC) 2009.
- THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX.
- THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.
- ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- THE SITE SHALL MEET ALL DEAD END REQUIREMENTS AS PER IFC OR PROVIDE EMERGENCY TURN-AROUND PER IFC.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- SEE CIVIL SITE GRADING PLAN FOR INFORMATION ON DRAINAGE CURB CUTS AND DETENTION AREAS.
- THE GRADES INDICATED ON THE PLANS ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR SETTING SUBGRADES TO ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO PLAYGROUND EQUIPMENT AND FOOTINGS, AND PLAYGROUND PROTECTIVE SURFACING.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, ADA STANDARDS & GUIDELINES.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- PARKING SPACES AT 9'-0" X 18'-0" UNLESS NOTED OTHERWISE.
- PROVIDE DEMOLITION JOINTS ALONG BUILDING FACE WITH POURABLE SEALANT, TYP. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- BUILDING AND FREESTANDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING.
- THIS PROJECT HAS BEEN DESIGNED TO COMPLY WITH SELECT LEED FOR HOMES V4 CREDITS. CONTRACTOR SHALL HOLD THESE REQUIREMENTS PARAMOUNT WHEN CONSIDERING FIELD CHANGES AND/OR SUBSTITUTION REQUESTS.

## SHEET KEYED NOTES

- | CODE | DESCRIPTION   |
|------|---|
| 1    | EXISTING CONCRETE WALK TO REMAIN  |
| 2    | EXISTING ASPHALT TO REMAIN  |
| 3    | CONCRETE SIDEWALK, SEE A1/AS501   |
| 4    | TURNDOWN SIDEWALK AT PLAY AREA, SEE B3/AS501  |
| 5    | CONCRETE CURB AND GUTTER, SEE A3/AS501  |
| 6    | CONCRETE CURB RAMP TYPE A, SEE B5/AS501   |
| 7    | CONCRETE CURB RAMP TYPE B, SEE B6/AS501   |
| 8    | CONCRETE RAMP AT PLAY AREA, SEE B2/AS501  |
| 9    | CONCRETE BUILDING APRON, SEE A5/AS501   |
| 10   | CONCRETE MOVICURB, SEE B4/AS501   |
| 11   | DEEP CONCRETE MOVICURB AT PLAY AREA, SEE B1/AS501   |
| 12   | CONCRETE HEADS CURB, SEE D4/AS501   |
| 13   | CONCRETE CROSOWALK, SEE D6/AS501  |
| 14   | CONCRETE SEATWALL, SEE C3 & C4/AS501  |
| 15   | CONCRETE SEATWALL, SEE C2 & C4/AS501  |
| 16   | CONCRETE RETAINING WALL, SEE E3/AS501   |
| 17   | REFUSE ENCLOSURE GATE, SEE D2 & D3/AS502  |
| 18   | SINGLE REFUSE AND RECYCLING ENCLOSURE PER MFA REQ., SEE D2/AS502  |
| 19   | DOUBLE REFUSE AND RECYCLING ENCLOSURE PER MFA REQ., SEE D3/AS502  |
| 20   | 6" TALL ORNAMENTAL WIRE FENCE, SEE C5/AS501   |
| 21   | 6" TALL ORNAMENTAL WIRE GATE A, SEE C6/AS501  |
| 22   | 6" TALL ORNAMENTAL WIRE GATE B, SEE D6/AS501  |
| 23   | OVERHEAD BUILDING CANOPY, SEE ARCHITECTURAL   |
| 24   | AGE 2-5 RECREATIONAL PLAY AREA, SEE SPECIFICATIONS  |
| 25   | AGE 6-12 RECREATIONAL PLAY AREA, SEE SPECIFICATIONS   |
| 26   | AGE 12+ GATHERING AREA  |
| 27   | AGE APPROPRIATE PLAY AREA RULES SIGN  |
| 28   | RAISED GARDEN PLANTER, SEE E2 & E3/AS502  |
| 29   | PIPE BOLLARD, SEE A1/AS502 AND SPECIFICATIONS   |
| 30   | BICYCLE RACK, SEE A3/AS502  |
| 31   | PARKING LOT STRIPING, SEE B2/AS502  |
| 32   | ACCESSIBLE PARKING STRIPING, SEE B2/AS502   |
| 33   | ACCESSIBLE PAVEMENT MARKING, SEE B1/AS502   |
| 34   | FIRELANE STRIPING, SEE C2/AS502   |
| 35   | STOP LINE PAVEMENT STRIPING   |
| 36   | MAINTAIN EXISTING ACCESS FROM ADJACENT PROPERTY   |
| 37   | STORMWATER DETENTION AREA, SEE CIVIL  |
| 38   | ACCESSIBLE VAN PARKING SIGN, SEE C1/AS502   |
| 39   | FIRELANE SIGN, SEE C2/AS502   |
| 40   | PEDESTRIAN CROSSING SIGN, SEE C1/AS502  |
| 41   | VISITOR PARKING ONLY SIGN, SEE C1/AS502   |
| 42   | NO SMOKING SIGN, SEE C1/AS502   |
| 43   | STOP SIGN, SEE C1/AS502   |
| 44   | LOADING ZONE, NO PARKING SIGN, SEE C1/AS502   |
| 45   | MONUMENT SIGN BY OTHERS, SEE E4/AS502 FOR FOUNDATION. MONUMENT SIGN PROVIDED FOR ENTIRE DEVELOPMENT INCLUDING ALL FUTURE PHASES   |
| 46   | IRRIGATION P.O.C. WITH 1 1/2" STUB-OUT AND SUBMETER, SEE CIVIL AND IRRIGATION SPECS   |
| 47   | FROST FREE HOSE BIB, SEE CIVIL AND MECHANICAL   |
| 48   | RESIDENTIAL MAIL BOX LOCATION, SEE ARCH   |
| 49   | LIVE/WORK MAILBOX LOCATION, OWNER PROVIDED  |
| 50   | FIRE RISER ROOM AND BACKFLOW PREVENTER LOCATION, SEE CIVIL AND MECHANICAL   |
| 51   | ELECTRICAL EQUIPMENT, SEE ELECTRICAL  |
| 52   | ELECTRICAL METER BANKS, SEE ELECTRICAL  |
| 53   | EASEMENT LINE   |
| 54   | LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE |
| 55   | EXPANSION JOINT, TYP. SEE A6/AS501  |
| 56   | CONTROL JOINT, TYP. SEE A6/AS501  |
| 57   | CURB OPENING, SEE C6/AS501  |
| 58   | COORDINATE SIDEWALK CONNECTION WITH OFF-SITE WORK BY OTHERS   |
| 59   | CURB CUT, SEE CIVIL   |

## LEGEND

- |  |
|--|
| LANDSCAPE AREA, SEE LANDSCAPE                          |
| STABILIZED CRUSHER FINES, SEE A5/AS501                 |
| ENGINEERED WOOD PLAY SURFACING, SEE SPECIFICATIONS     |
| REINFORCED CONCRETE, SEE A2/AS501                      |
| HEAVY DUTY ASPHALT, SEE D1/AS501                       |
| LIGHT DUTY ASPHALT, SEE D2/AS501                       |
| BASE COURSE PAVING, SEE D3/AS501                       |
| FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED        |
| PROPERTY LINE  |
| FIRE HYDRANT, SEE UTILITY                              |
| FIRE DEPARTMENT CONNECTION (F.D.C.), SEE UTILITY       |
| MAX BUILDING SET BACK LINE                             |
| SITE LIGHTING, SEE SITE ELECTRICAL                     |
| ANOVA AIRI BISTRO TABLE WITH SEATS, SEE SPECIFICATIONS |
| ANOVA AIRI LEAF TRASH RECEPTACLE, SEE SPECIFICATIONS   |
| ANOVA AIRI LEAF 6" CONTOUR BENCH, SEE SPECIFICATIONS   |
| IRRIGATION CONTROLLER INSIDE ELECTRICAL ROOM           |



**ZONING:** (MX-M) MIXED USE - MODERATE INTENSITY ZONE DISTRICT  
(UC-MS-PT) PREMIUM TRANSIT AREA

**ZONING:** (MX-M) MIXED USE - MODERATE INTENSITY ZONE DISTRICT  
(UC-MS-PT) PREMIUM TRANSIT AREA

### LEGAL DESCRIPTION

TRACT A, NUEVO ATRISCO (BEING A REPLAT OF TRACT B), WEST ROUTE 66 ADDITION II AS RECORDED IN OCTOBER 2018) SITUATE WITHIN THE TOWN OF ATRISCO GRANT AS PROJECTED SECTION 22 TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING TRACT B, WEST ROUTE 66 ADDITION II, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "WEST ROUTE 66 ADDITION II, BEING A REPLAT OF TRACT B OF WEST ROUTE 66 ADDITION AS RECORDED ON AUGUST 22, 2013 IN BOOK 3033, PAGE 91 OF THE PUBLIC RECORDS OF BERNALILLO COUNTY, NEW MEXICO, DATED 08/22/2013, 2009, PAGE 18, SITUATE WITHIN PROJECTED SECTION 22, T.10N., R.2E., N.M.P.M., TOWN OF ATRISCO LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO DATE OF SURVEY, SEPTEMBER 2016", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 5, 2016 PLAT BOOK 2083, PAGE 151.

**SITE AREA:** 3.0858 ACRES (134,460 SF)

**USABLE OPEN SPACE:** (TABLE 5-1-2)

<b>USABLE OPEN SPACE: (TABLE 5-1-2)</b>	
1BR: 200 SQ. FT./UNIT = 27 X 200	= 5,400 SQ. FT.
2BR: 250 SQ. FT./UNIT = 42 X 250	= 10,500 SQ. FT.
3BR: 300 SQ. FT./UNIT = 17 X 300	= 5,100 SQ. FT.
TOTAL	= 21,000 SQ. FT.
UC-MS-PT: 50% REDUCTION	= 10,500 SQ. FT. REQUIRED
<hr/>	
COURTYARD OPENSOURCE	= 12,670 SQ. FT. PROVIDED
ROOFTOP PATIO OPENSOURCE	= 1,957 SQ. FT. PROVIDED
TOTAL	= 14,627 SQ. FT. PROVIDED

**BUILDING HEIGHT:** (TABLE 5-1-2: MIXED-USE ZONE DISTRICT DIMENSIONAL STANDARDS)  
UC-MS-PT, 65FT MAXIMUM HEIGHT  
PLUS 12' WORKFORCE HOUSING BONUS = 77FT MAXIMUM HEIGHT

**PARKING CALCULATION:** (TABLE 5-5-1)

Dwelling Units, Multi-Family UC-MS-PT: 1 Space / DU

80 UNITS x 1 SPACE/UNIT

RESIDENTIAL SPACES REQUIRED

RESIDENTIAL SPACES PROVIDED

### BICYCLE PARKING

### BICYCLE PARKING

SPACES REQUIRED

ME 2019: PARKING FOR BICYCLES SHALL BE PROVIDED AT A F

MFA 2018: PARKING FOR BICYCLES SHALL BE PROVIDED AT A RATIO OF ONE SPACE PER UNIT. 10 SPACES REQUIRED.

PARKING SPACE PER UNIT = 43 SPACES REQUIRED

## 5 SHORT TERM COVERED SPACES

ROOM, AND IS ARE LOCATED OUTDOORS,

A. EXISTING PAVEMENT, ASPHALT CURB, AND LIGHT POLES WITHIN THIS PROJECT WORK AREA TO BE DEMOLISHED.

B. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING UNDERSTANDING OF EXISTING CONDITIONS BOTH ON SITE AND ADJACENT TO THE SITE.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO CONTROL PEDESTRIANS, VEHICLES, AND ALL EXISTING IMPROVEMENTS TO REMAIN.

D. DEMOLITION ITEMS MUST BE FIELD VERIFIED WITH OWNER.

E. CONTRACTOR TO BE RESPONSIBLE FOR REMOVING EXISTING IMPROVEMENTS AND ASSOCIATED EQUIPMENT BEFORE EXCAVATION.

F. UTILITIES SCHEDULED FOR DEMOLITION SHALL BE IDENTIFIED AS CLOSE TO EXISTING AS POSSIBLE FOR PROTECTION. CONTRACTOR MUST VERIFY UTILITY DEMOLITION IS TO BE COMPLETE INSIDE THE LIMITS OF WORK AND INCLUDES, BUT IS NOT LIMITED TO, CONDUIT, PIPE, WIRES, ANCHORS, AND TIES.

G. CONTRACTOR MAY BE REQUIRED TO OBTAIN A LICENSE TO A LEGAL WASTE FACILITY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING REUSE FEES CONTAINERS TO BE RETURNED TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF DEBRIS.

H. EXISTING UTILITY STUBS THAT REMAIN SHALL BE DOCUMENTED ON SURVEYED AND PLANNING DRAWINGS THAT SHALL BE TURNED OVER TO THE OWNER AT CONTRACT CLOSE OUT.

A. EXISTING PAVEMENT, ASPHALT CURB, AND LIGHT POLES WITHIN THIS PROJECT WORK AREA TO BE DEMOLISHED.

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E. CONTRACTOR TO BE RESPONSIBLE FOR REMOVING EXISTING UTILITIES AND ASSOCIATED EQUIPMENT BEFORE EXCAVATION.

F. UTILITIES SCHEDULED FOR DEMOLITION SHALL BE IDENTIFIED AS CLOSE TO EXISTING AS POSSIBLE FOR PROTECTION. CONTRACTOR MUST VERIFY UTILITY DEMOLITION IS TO BE COMPLETE INSIDE THE LIMITS OF WORK AND INCLUDES, BUT IS NOT LIMITED TO, CONDUIT, PIPE, WIRES, ANCHORS, AND TIES.

G. CONTRACTOR MAY BE REQUIRED TO OBTAIN A PERMIT TO A LEGAL WASTE FACILITY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING REFUSE CONTAINERS TO BE FILLED WITH DEBRIS TO BE REMOVED AS PROVIDED FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF DEBRIS.

H. EXISTING UTILITY STUBS THAT REMAIN SHALL BE DOCUMENTED ON SURVEYED AND PLANNING DRAWINGS THAT SHALL BE TURNED OVER TO THE OWNER AT CONTRACT CLOSE OUT.

- A. SOLID WASTE COLLECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE IS SOLID WASTE DEPARTMENT.
- B. THE SITE SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE (IFC) 2009.
- C. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX.
- D. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A CONNECTION TO THE WATER MAIN.
- E. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- F. THE SITE SHALL MEET ALL DEAD END REQUIREMENTS AS PER IFC OR PROVIDE EMERGENCY TURN-AROUND PER IFC.
- G. THE SITE SHALL BE ADJACENT TO ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- H. CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- I. CONTRACTOR AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- J. ALL SITE PLANT DIMENSIONS ARE IN DECIMAL UNITS.
- K. SEE CIVIL SITE GRADING PLAN FOR INFORMATION ON DRAINAGE CURB CUTS AND DETENTION AREAS.
- L. THE GRADES INDICATED ON THE PLANS ARE FINISHED GRADES UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR SETTING SUBGRADES TO ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO LANDSCAPE EQUIPMENT AND FOOTINGS, AND TO PROVIDE PROTECTION TO EXISTING UTILITIES.
- M. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- N. CURB AND RAMP WITH LOCAL, FEDERAL, ADA STANDARDS & GUIDELINES.
- O. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- P. LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8 OUTDOOR LIGHTING.
- Q. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
- R. PARKING SPACES AT 9'-0" X 18'-0" UNLESS NOTED OTHERWISE.
- S. PROVIDE EXPANSION JOINT ALONG BUILDING FACE WITH POURABLE SEALANT, TYP. 1.
- T. SIDEWALK JOINTS SHALL FOLLOW PATTERN OF ADJACENT SIDEWALK.
- U. SIDEWALK CONSTRUCTION SHALL BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING.
- V. THIS PROJECT HAS BEEN DESIGNED TO COMPLY WITH SELECT LEED FOR HOMES V4.0. THE DESIGNER DOES NOT GUARANTEE THAT THE PROJECT WILL MEET ALL LEED OR CONSIDERING FIELD CHANGES AND/OR SUBSTITUTION REQUIRES.

CODE	DESCRIPTION
1	EXISTING CONCRETE WALK TO REMAIN
2	EXISTING ASPHALT TO REMAIN
3	CONCRETE SIDEWALK, SEE B1/A5/AS01
4	TURNDOWN SIDEWALK AT PLAY AREA, SEE B3/AS501
5	CONCRETE CURB AND GUTTER, SEE A3/AS4501
6	CONCRETE CURB RAMP TYPE A, SEE B6/AS4501
7	CONCRETE CURB RAMP TYPE B, SEE B6/AS4501
8	CONCRETE RAMP AT PLAY AREA, SEE B2/AS501
9	CONCRETE BUILDINGS APRON, SEE A5/AS4501
10	CONCRETE MONUMENT CURB, SEE B1/AS501
11	DEEP CONCRETE MONUMENT CURB AT PLAY AREA, SEE B1/AS501
12	CONCRETE HEADER CURB, SEE D4/AS501
13	CONCRETE CROSSWALK, SEE D5/AS501
14	CONCRETE SEATWALL, SEE C3 & C4/AS501
15	CONCRETE SEATWALL, SEE C2 & C4/AS501
16	CONCRETE RETAINING WALL, SEE E3/AS501
17	REFUSE ENCLOSURE GATE, SEE D2 & D3/AS502
18	SINGLE REFUSE AND RECYCLING ENCLOSURE PER MFA REQ., SEE D2/AS502
19	DOUBLE REFUSE AND RECYCLING ENCLOSURE PER MFA REQ., SEE D3/AS502
20	6" TALL ORNAMENTAL WIRE FENCE, SEE C5/AS501
21	6" TALL ORNAMENTAL WIRE GATE, SEE C6/AS501
22	6" TALL ORNAMENTAL WIRE GATE B, SEE D4/AS501
23	OVERHEAD BUILDING CANOPY, SEE ARCHITECTURAL
24	AGE 2-4 RECREATIONAL PLAY AREA, SEE SPECIFICATIONS
25	AGE 5-12 RECREATIONAL PLAY AREA, SEE SPECIFICATIONS
26	AGE 12+ GATHERING AREA
27	AGE APPROPRIATE PLAY AREA RULES SIGN
28	RAISED GARDEN PLANTER, SEE E2 & E3/AS502
29	PICY BOLLARD, SEE A1/AS502 AND SPECIFICATIONS
30	BIKE RACK, SEE A3/AS502
31	PARKING LOT STRIPING, SEE B2/AS502
32	ACCESSIBLE PARKING STRIPING, SEE B2/AS502
33	ACCESSIBLE PAVEMENT MARKING, SEE B1/AS502
34	FIRELANE STRIPING, SEE C2/AS502
35	STOP LINE PAVEMENT STRIPING
36	MAINLAND EXISTING ACCESS FROM ADJACENT PROPERTY
37	STORMWATER DETENTION AREA, SEE CIVIL
38	ACCESSIBLE VAN PARKING SIGN, SEE C1/AS502
39	FIRELANE SIGN, SEE C1/AS502
40	PEDESTRIAN CROSSING SIGN, SEE C1/AS502
41	VIPE PARKING ONLY SIGN, SEE C1/AS502
42	NO SMOKING SIGN, SEE C1/AS502
43	STOP SIGN, SEE C1/AS502
44	LOADING ZONE, NO PARKING SIGN, SEE C1/AS502
45	MONUMENT SIGN BY OTHERS, SEE E4/AS502 FOR FOUNDATION. MONUMENT SIGN PROVIDED FOR ENTIRE DEVELOPMENT INCLUDING ALL FUTUR PHASES
46	IRRIGATION P.O.C. WITH 1 1/2" STUB-OUT AND SUBMETER, SEE CIVIL AND IRRIGATION SPECS
47	FROST FREE ZONE BIB, SEE CIVIL AND MECHANICAL
48	RESIDENTIAL MAILBOX LOCATION, SEE ARCH
49	LIVEWORK MAILBOX LOCATION, OWNER PROVIDED
50	FIRE RISER ROOM AND BACKFLOW PREVENTER LOCATION, SEE CIVIL AND MECHANICAL
51	ELECTRICAL EQUIPMENT, SEE ELECTRICAL
52	ELECTRICAL, METER BANKS, SEE ELECTRICAL
53	EASEMENT LINE
54	LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLANT) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
55	EXPANSION JOINT, TYP, SEE A6/AS501
56	CONTROL JOINT, TYP, SEE A6/AS501
57	CURB OPENING, SEE C6/AS501
58	COORDINATE SIDEWALK CONNECTION WITH OFF-SITE WORK BY OTHERS
59	CURB CUT, SEE CIVIL

LANDSCAPE AREA, SEE LANDSCAPE

STABILIZED CRUSHER **FINES**, SEE A5/A5**\$501**

ENGINEERED WOOD PLAY SURFACING, SEE SPECIFICATIONS

REINFORCED CONCRETE, SEE A2/A5**\$501**

HEAVY DUTY ASPHALT, SEE D1/A5**\$501**

LIGHT DUTY ASPHALT, SEE D2/A5**\$501**

BASE COURSE PAVING, SEE D3/A5**\$501**

----- FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED

----- PROPERTY LINE

----- FIRE HYDRANT, SEE UTILITY

----- FIRE DEPARTMENT CONNECTION (F.D.C.), SEE UTILITY

----- MAX BUILDING SET BACK LINE

----- SITE LIGHTING, SEE SITE ELECTRICAL

----- ANOVA AIRI BISTRO TABLE WITH SEATS, SEE SPECIFICATIONS

----- ANOVA AIRI LEAF TRASH RECEPTACLE, SEE SPECIFICATIONS

----- ANOVA AIRI LEAF 6' CONTOUR BENCH, SEE SPECIFICATIONS

----- IRRIGATION CONTROLLER INSIDE ELECTRICAL ROOM

**C**

