



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Sagebrush Community Church		Phone: 505-922-9200
Address: 6440 Coors Blvd NW		Email: bobc@sagebrush.church
City: Albuquerque	State: NM	Zip: 87120
Professional/Agent (if any): Tierra West LLC		Phone: (505) 858-3100
Address: 5571 Midway Park Place NE		Email: VCARRICA@TIERRAWESTLLC.COM
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List <u>all</u> owners: SAGEBRUSH COMMUNITY CHURCH	

BRIEF DESCRIPTION OF REQUEST

MINOR AMENDMENT TO SITE PLAN

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TR 1-A-1-A PLAT TR-1-A-1-A	Block:	Unit: 1
Subdivision/Addition: ALBAN HILLS	MRGCD Map No.:	UPC Code: 101206349805940311
Zone Atlas Page(s): D-12-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 16.2522

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 6440 Coors Blvd NW	Between: COORS BLVD NW	and: LA ORILLA RD NW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1002371

Signature:	Date: 07/06/2022
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☒ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ The approved Site Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Plan, with changes circled and noted
- ☒ *Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted
- ☐ *Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

6/14/2022

Mr. James Aranda
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

RE: **SAGEBRUSH COMMUNITY CHURCH
REQUEST FOR ADMINISTRATIVE AMENDMENT
6440 COORS BLVD NW ALBUQUERQUE NM 87120
TR 1-A-1-A PLAT OF TRACT 1-A-1-A ALBAN HILLS UNIT 1
ZONE ATLAS PAGE D-12-Z**

Dear Mr. Aranda:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Sagebrush Community Church, pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Robert Church

Print Name

Signature
Executive Pastor

Title
6-14-2022

Date



TIERRA WEST, LLC

July 6, 2022

Mr. James Aranda
City Of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

**RE: SAGEBRUSH COMMUNITY CHURCH
REQUEST FOR ADMINISTRATIVE AMENDMENT
6440 COORS BLVD NW ALBUQUERQUE NM 87120
TR 1-A-1-A PLAT OF TRACT 1-A-1-A ALBAN HILLS UNIT 1
ZONE ATLAS PAGE D-12-Z**

Dear Mr. Aranda:

Tierra West, LLC, on behalf of Sagebrush Community Church, requests approval for an Administrative Amendment to the Site Development Plan for the above referenced project. The project is located at 6440 Coors Blvd. NW Albuquerque NM 87120. The request is to add a second storage building on the premises. The proposed 1,600 sf building will be added in the northwest parking field adjacent to the existing 1,600 sf storage unit, which was approved administratively in April of 2019 by an Administrative Amendment (AA). This is a one percent increase to the previous total building area approved with the previous AA. Twelve parking spaces will be lost with the placement of the storage shed. This is a 1-1/2 percent decrease in available parking spaces. The parking spaces remaining still exceeds the minimum parking required as shown on the attached AA Site Plan.

Other than the minor loss of parking stalls, the addition of the second storage building will not adversely affect the existing parking lot, traffic circulation, emergency vehicle access or any of the required landscaping. Drainage patterns in the area will be and given the fact that there will be no increase in impervious surfaces, the addition of the storage building will not affect hydrology. Peak hour trips into and out of the Sage Brush Church facility will not be affected by the addition of the second storage building.

Attached is the previous approved Site Development Plan for Building Permit Administrative Amendment as well as the proposed plan showing the location of the storage shed and the change in parking spaces counts.

Should you have any questions or require additional information regarding this matter, please feel free to contact Vince Carrica at 505-858-3100.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

Cc: Bob Chruich

JN: 2022027
RRB/vc/jg

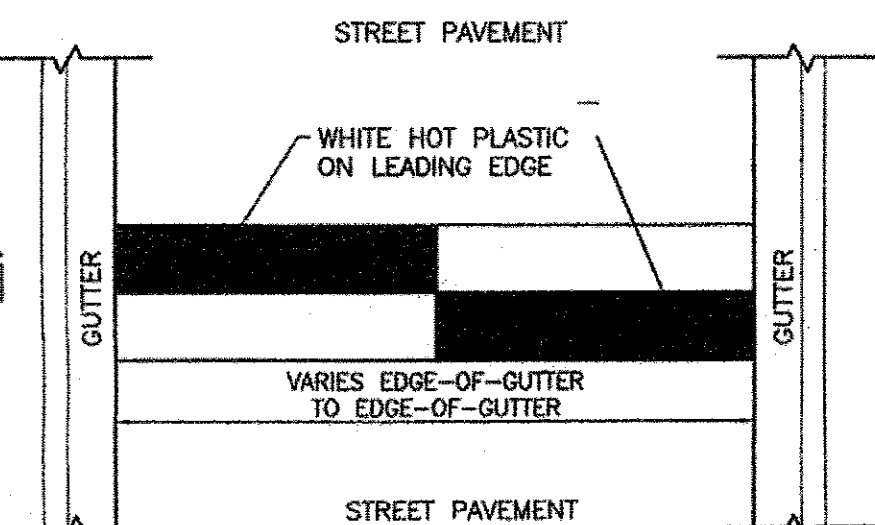
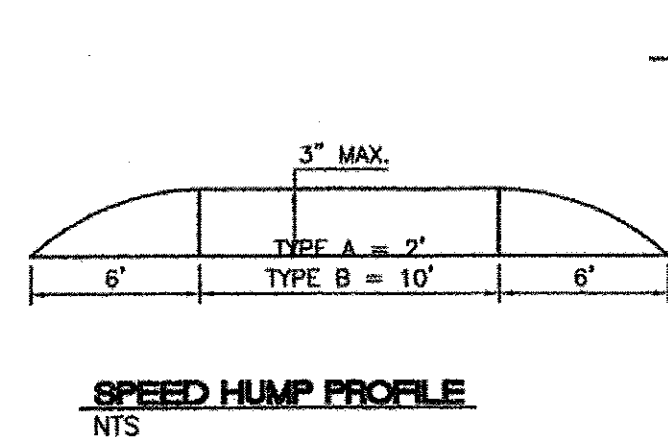
5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

NOTES

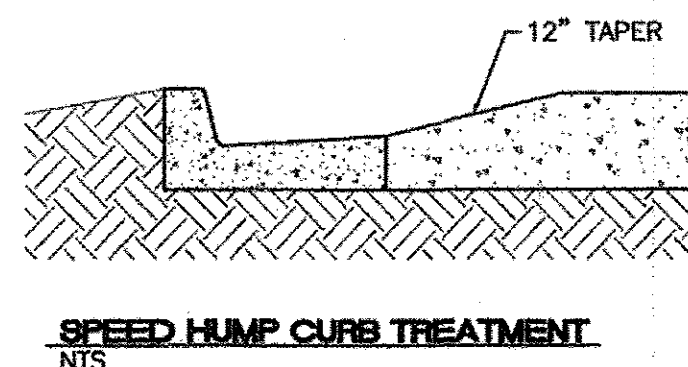
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
- CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
- PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
- NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
- ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
- VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
- FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16' HIGH POLES WITH FULLY SHIELDED FIXTURES WITHIN 100' OF RESIDENTIAL AREA. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS. ALL OTHER WILL BE 20 FT.
- ASPHALT BIKE TRAIL 10 FT. WIDE.
- ALL LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS AND THE NIGHT SKY ORDINANCE.
- ALL RETAINING AND SCREEN WALLS WILL BE MEDIAN TAN.
- ALL PROPOSED SCREEN WALLS AND RETAINING WALLS SHALL BE DESIGNED ACCORDING TO THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS (SECTION 14-16-3-9)
- APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO DRB.
- BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
- ELEVATIONS SHALL BE COMPLIMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
- FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
- ALL TREES WILL BE PLANTED AT A MINIMUM HEIGHT OF 8'.
- ALL TREES PLANTED ALONG THE NORTHERN BOUNDARY WILL REACH A MINIMUM HEIGHT OF 25 FT. AT MATURITY.

NOTES:

- SETBACKS
 - THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FT. FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 - NEAR RESIDENTIAL ZONES, THE FOLLOWING GREATER SETBACK REQUIREMENTS SHALL APPLY.
 - THERE SHALL BE FRONT OR CORNER SIDE SETBACKS OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON- AND OFF-PREMISE SIGNS.
 - THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ADJUTS THE SIDE OF A LOT IN A RESIDENTIAL ZONE.
 - THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ADJUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
 - THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.



SPEED HUMP PLAN VIEW
NTS



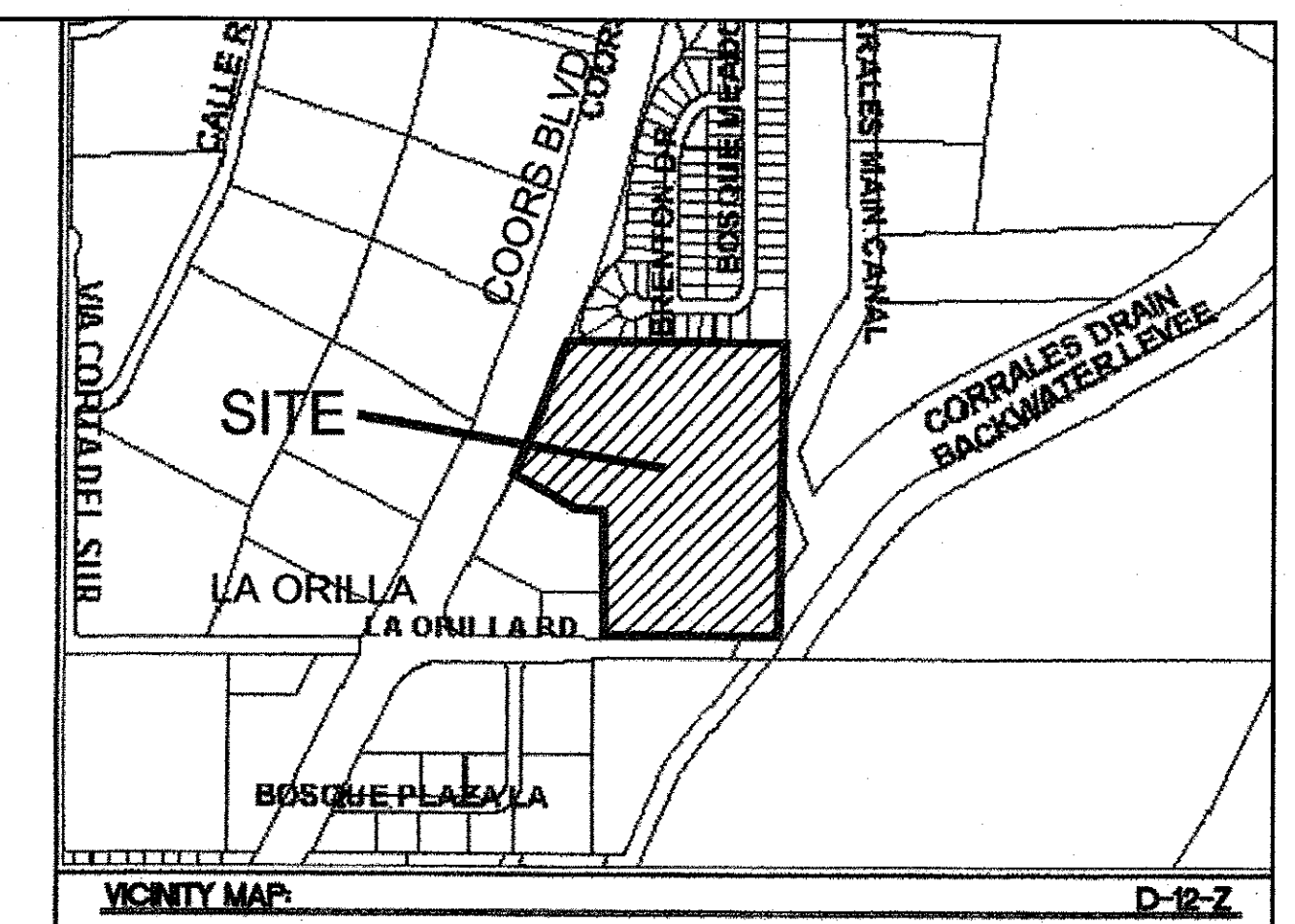
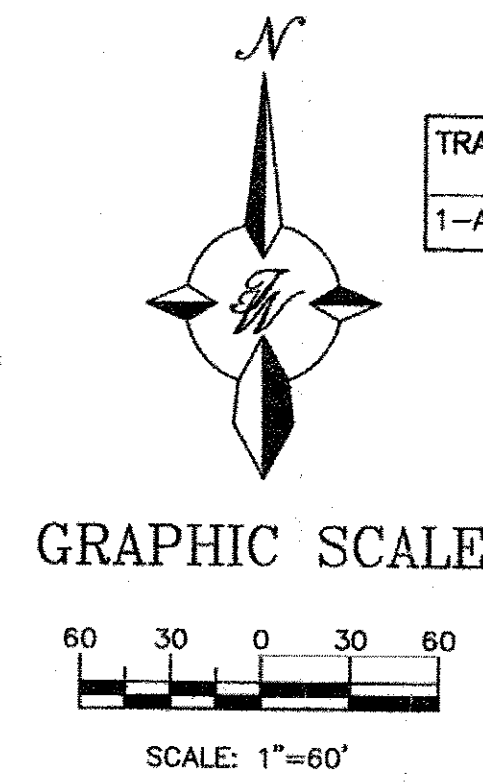
SPEED HUMP CURB TREATMENT
NTS

NOTES:

- APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO THE DRB.
- BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
- ELEVATIONS SHALL BE COMPLIMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
- FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
- FUTURE ADDITIONS MUST COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE AND COORS CORRIDOR PLAN.

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- PROPOSED PARKING SPACE
- PROPOSED CURB & GUTTER
- PROPOSED BUILDING
- CENTERLINE
- EASEMENT
- PROPOSED SCREEN WALL
- STREET LIGHTS



LEGAL DESCRIPTION

TRACTS 1-A-1, OF ALBAN HILLS SUBDIVISION

SITE DATA

PROPOSED USAGE: SU-1 R2 & CHURCH RELATED USES
 LOT AREA: 16.2619 ACRE
 BUILDING AREA: PROPOSED 133,276 SF - BUILDING FOOTPRINT: PROPOSED 87,284 SF
 BUILDING AREA: FUTURE 13,460 SF - BUILDING FOOTPRINT: FUTURE 11,600 SF
 BUILDING AREA: TOTAL 146,736 SF - BUILDING FOOTPRINT: TOTAL 98,884 SF
 SEATING CAPACITY: WORSHIP 2000
 PARKING
 WORSHIP 2000 SEATS/4 = 500 SPACES
 EDUCATION 40 EMPLOYEES = 40 SPACES
 OFFICE 11,344 S.F./200 = 57 SPACES (NOT OCCUPIED DURING SERVICES.)
 FELLOWSHIP 250 OCCUPANTS/4 = 63 SPACES (NOT OCCUPIED DURING SERVICES.)
 PARKING PROVIDED: 831 SPACES
 PARKING REQUIRED: 540 SPACES
 HC PARKING PROVIDED: 20 SPACES
 HC PARKING REQUIRED: 18 SPACES
 3 SPACES VAN ACCESSIBLE
 BIKE PARKING PROVIDED: 30 SPACES
 PARKING REQUIRED: 27 SPACES BIKE

ADMINISTRATIVE AMENDMENT
 FILE # 0644-0114 PROJECT # 1002371
 Phased construction access easment
 along eastern boundary public parking at SE
 corner of site temporary sand utility ball courts
 Approved by DATE

APPROVED BY DATE
 Ronald R. Bohannan
 P.E. #7868

PROJECT NUMBER: 1002371
 APPLICATION NUMBER: 05-00560

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the findings and conditions in the Official Notification of Decision are satisfied.
 Is an infrastructure list required? (X) Yes () No If Yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date

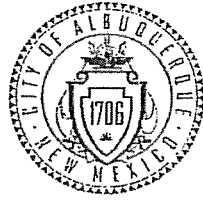
INDEX TO DRAWINGS

- SITE PLAN FOR BUILDING PERMIT
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- BUILDING AND STRUCTURE ELEVATIONS
- BUILDING AND STRUCTURE ELEVATIONS
- BUILDING AND STRUCTURE ELEVATIONS
- DETAILS
- LANDSCAPING PLAN
- LANDSCAPING PLAN

NO.	DATE	REVISIONS	BY
1	4/1/19	ADD GOLF CART STORAGE BUILDING, REMOVED 10 PARKING SPACES	RRB

TRACT	AREA (AC)	USE	ZONING	F.A.R.	LANDSCAPE AREA	MAX. BLDG. HEIGHT
1-A-1	16.28	CHURCH	SU-1 / R-2	.25	15% OF PAVED AREA	-

ENGINEER'S SEAL	HOFFMANTOWN WEST CHURCH SITE PLAN FOR BUILDING PERMIT-ADMINISTRATIVE AMENDMENT TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY: BJF DATE: 4/1/2019 20190005-SP-AA SHEET # C1 JOB # 2019005
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City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 21, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002371**
03EPC-01285 Zone Map Amendment
03EPC-01815 EPC Site Development Plan-
Subdivision

Hoffmantown Church West
2600 American Road SE, Ste 350
Rio Rancho, NM 87124

LEGAL DESCRIPTION: for all or a portion of Tracts 1A,1B & 1C, Block 15, Alban Hills Subdivision, Unit 1 and Tract A, Access Easement, Bosque Meadows, a zone map amendment from SU-1 for R-2 Uses and SU-1 for R-2 Uses with 175 DU Max to SU-1 for C-2 Uses and SU-1 for R-2 and Church and Related Uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN, containing approximately 17 acres. (D-12)

Simon Shima, Staff Planner

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1002371/03EPC-01285, a Zone Map Amendment, for Tracts 1-A, 1-B & 1-C, Block 15, Alban Hills Subdivision, Unit 1, & Tract A, Access Easement, Bosque Meadows, based on the following Findings and subject to the following Condition:

FINDINGS:

1. This is a request for a zone map amendment: a) from SU-1 for R-2 Uses with 175 D/U Max to SU-1 for R-2 Uses and Church and Related Uses for Tract 1-A, containing 10.24 acres; b) from SU-1 for R-2 Uses to SU-1 for R-2 Uses and Church and Related Uses for a proposed Tract 1-B, containing 5.44 acres (the existing Tract 1-B minus a proposed Tract 1-F); and c) from SU-1 for R-2 Uses to SU-1 for C-2 Uses for a proposed Tract 1-F, containing 0.80 acre. The zoning for Tract 1-C, encumbered by an MRGCD easement, would remain SU-1 for R-2 Uses.
2. In 1998 the applicant requested a Zone Map Amendment and a Site Development Plan for Building Permit for this 17 acre site (Z-98-30). On November 19, 1998, the Environmental Planning Commission voted to approve Z-98-30. This zone change would allow a 308 unit multi-family residential development on the site.

3. The Zone Map Amendment request is generally consistent with Comprehensive Plan Developing Urban Area Policy a (The Developing Urban Areas shall allow a full range of urban land uses) and Policy e (New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured). Nevertheless, environmental and design considerations addressed in the Comprehensive Plan policies would be required to reflect on the subsequent approval a Site Development Plan for Building Permit.
4. The site is located within the Taylor Ranch Community of the West Side Strategic Plan, hereinafter referred to as the "WSSP". The request is consistent with WSSP Taylor Ranch Community Policy 3.14 (The rural character of the Alban Hills area is an important character aspect of the Coors Corridor and Bosque transition zone) compared to the existing zoning. Other applicable policies, however, apply to a Site Development Plan for Building Permit.
5. The site is located in Segment 3 of the Coors Corridor Plan. For land use, the Coors Corridor Plan recommends compliance of new development with design guidelines, and preservation of the Bosque, floodplain, and open space areas (Figure 32 recommended land use). When a Site Development Plan for Building Permit were submitted for approval, the Coors Corridor Plan Design Overlay Zone policies would be applied to review its compliance with such policies.
6. Since Tract 1-D and Tract 1-E, the two adjacent tracts located at the northeast corner of Coors Boulevard and La Orilla Road, are currently zoned SU-1 for C-2 Uses, SU-1 zoning for C-2 Uses for a proposed Tract 1-F, as requested, would be compatible with the surrounding zoning to a large extent. This amendment would render the existing SU-1 for C-2 Uses zoning more cohesive in configuration, resulting in potentially more efficient use of land.
7. The applicant justifies the zone change based on the "more advantageous to the community" test pursuant to Resolution 270-1980. The applicant's assertion of the reduction of river-crossing trips by parishioners and others meets the above criterion. The applicant further justifies the zone change based on the "changed neighborhood conditions" test. Recent development of the Riverside Plaza located south of the site on the same side of Coors Boulevard is a result of annexation and zone change, thereby constituting a changed neighborhood condition under Resolution 270-1980.
8. While the Taylor Ranch and Alban Hills Neighborhood Associations support the zone change to allow a potential church use, the latter opposes the SU-1 for C-2 Uses portion of the request.
9. The developer of the combined commercial property, encompassing Tract 1-D, Tract 1-E, and the proposed Tract 1-F, has agreed to impose a private restriction on all the above Tracts prohibiting the sale of alcoholic beverages for off-site consumption.

10. Concurrent with the zoning all previously approved site development plans for this Tracts 1-D and 1-E are void.

CONDITION:

1. The proposed Tract 1-F, to be zoned SU-1 for C-2 Uses, be replatted with the adjoining Tract 1-D and Tract 1-E, zoned SU-1 for C-2 Uses, respectively, and a site development plan for subdivision with the combined commercial property be approved for this combined commercial parcel.

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1002371/03EPC-01815, a Site Development Plan for Subdivision, for Tracts 1-A, 1-B & 1-C, Block 15, Alban Hills Subdivision, Unit 1, & Tract A, Access Easement, Bosque Meadows, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request for a Site Development Plan for Subdivision entails subdividing the existing Tract 1-B into a proposed Tract B-1 containing 5.44 acres and a proposed Tract 1-F containing 0.80 acre, with an intent to sell a proposed Tract 1-F to the owner of adjacent Tract 1-D and Tract 1-E. Unifying a proposed Tract 1-F with the existing Tract 1-D and Tract 1-E would create a more integrated and developable unit of land.
2. The Site Development Plan for Subdivision, dated 10-21-03, provides minimum requirements for such plan as provided for in Section 14-16-1-5, Definitions of the Zoning Code, i.e., the site, proposed uses, pedestrian and vehicular ingress and egress, internal circulation elements, and maximum building height, minimum building setback, and maximum floor area ratio. Nonetheless, the Site Development Plan provides two(2) conflicting sets of floor area ratio and two (2) conflicting sets of setbacks. Corrections or clarifications on these matters need to be made.
3. No building and parking facilities design concept nor locations of such facilities are provided in the Site Development Plan. Therefore, certain design-related policies of the Comprehensive Plan (Policies d, g, k, l and m) and West Side Strategic Plan (Policies 3.15, 3.18 and 4.6) are applicable to the future request for the Site Development Plan for Building Permit.

4. The site is located in Segment 3 of the Coors Corridor Plan. Issue 3: land use and intensity of development, policy 8, buffer strip of the Coors Corridor Plan provides that a 100-foot-wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development.
5. The confluence of the Corrales Riverside Drain and the Corrales Main Canal is situated east of the existing Tract 1-A and Tract 1-B. The Site Development Plan does not show the alignment of the Corrales Riverside Drain south of the confluence. Therefore, it cannot be ascertained as to whether or not a 100-foot wide buffer strip west of the Corrales Riverside Drain might encroach on Tract 1-B, or the Corrales Riverside Drain alignment itself might encroach on part of Tract 1-C. Therefore, a drawing of the Corrales Riverside Drain alignment and a 100-foot buffer strip on the Site Development Plan all the way to the southern boundary of the site is warranted.
6. The Trails & Bikeways Facility Plan, a Rank II plan, designates both the Corrales Main Canal located adjacent to the site in part and the Corrales Riverside Drain located seemingly on the site in part, as a proposed secondary trail.
7. The Site Development Plan entails two (2) different land uses; church and related uses, and C-2 uses. Two (2) sets of setbacks would be necessary or desired, one for church uses and the other for C-2 uses.
8. The Site Development Plan provides two (2) conflicting set of maximum building height. Should the proposed building height under Note 1 be intended by the applicant, it would comply with the Coors Corridor Plan design regulations.
9. Upon thorough review and analysis, reviewing agencies have provided comprehensive recommendations regarding traffic, access, and circulation. These recommendations are used for conditions of approval of the Site Development Plan.
10. Concurrent with the zoning all previously approved site development plans for Tracts 1-D and 1-E are void.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Two(2) conflicting sets of floor area ratio, setbacks, and building height, as provided in the Site Development Plan, be corrected.
3. If an MRGCD easement has been established on the eastern portion of Tract 1-A overlapped by the Corrales Main Canal right-of-way, such easement be shown on the Site Development Plan.
4. The Corrales Riverside Drain and a 100 foot wide buffer be drawn on the Site Development Plan all the way to the southern boundary of the site.
5. The following conditions of approval as recommended by the reviewing agencies be made the conditions of approval for the Site Development Plan:
 - a. Check deceleration and acceleration lane requirements for main site drive on Coors with NMDOT (Note: a deceleration lane is required per COA).
 - b. Lengthen median on Coors, across from the existing private access easement on north side of property, to ensure that the driveway operates as a right-turn in right-turn out only per the Coors Corridor Plan.
 - c. Re-align existing driveway of private easement to be perpendicular to Coors.
 - d. The access drives on La Orilla to be determined with the Site Plan for Building Permit.
 - e. Re-align eastern most driveway between Tract 1-B and Tract 1-C, to be perpendicular to La Orilla.
 - f. Show existing access to Tract 1-C on the site plan.
 - g. Platting should be a concurrent DRB action.
 - h. The Coors Corridor Plan recommends an eight-lane roadway adjacent to the subject site. Responsibility for improving Coors Boulevard from a three-lane northbound to a four-lane northbound facility along the site should be a condition of Site Plan for Building Permit.
 - i. Dedication of right-of-way for La Orilla Road as provided for in the DPM.

- j. Construct the La Orilla Trail connector (T 159) between Coors and the Corrales Riverside Drain as shown in the City of Albuquerque Trails & Bikeways Facility Plan.


IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 5, 2003** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

OFFICIAL NOTICE OF DECISION
NOVEMBER 20, 2003
PROJECT #1002371
PAGE 7 OF 7

VJC/SS/ac

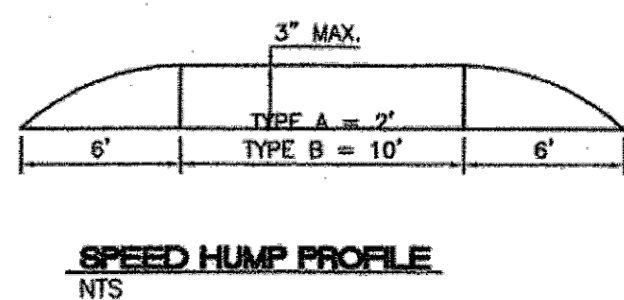
cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Rick Linkous, Coors Trail, 2715 Bosque Del Sol NW, Albuquerque, NM 87120
Alexander Ostwald, Coors Trail, 6423 Bosque Meadows NW, Albuquerque, NM 87120
Eddie Costello, Taylor Ranch, 1711 Alameda NW, Ste J, Albuquerque, NM 87114
Jolene Wolfley, Taylor Ranch, 6804 Staghorn Dr. NW, Albuquerque, NM 87120
Jim Wolcott, Alban Hills, 6420 Camino del Arbol NW, Albuquerque, NM 87120
Jack Scott, Alban Hills, 6419 Camino del Arbol NW, Albuquerque, NM 87120

NOTES:

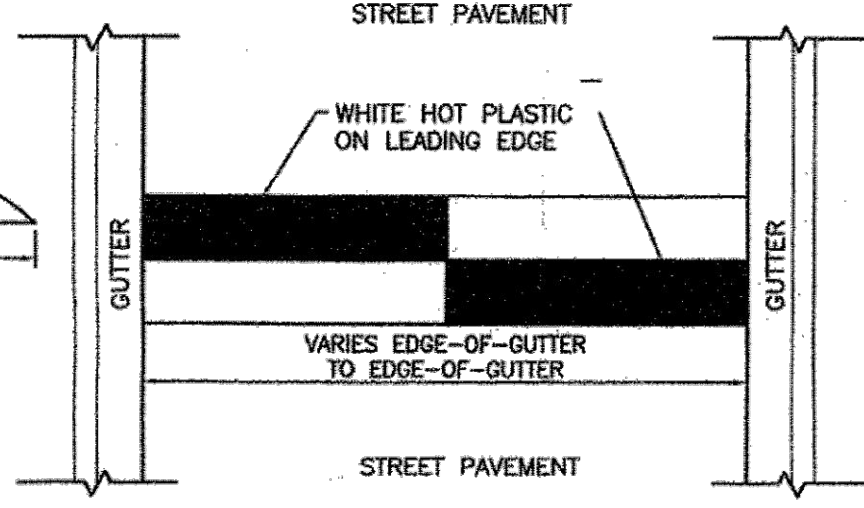
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
5. PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
6. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
7. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
8. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
9. FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16" HIGH POLES WITH FULLY SHIELDED FIXTURES WITHIN 100' OF RESIDENTIAL AREA. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS. ALL OTHER WILL BE 20 FT.
10. ASPHALT BIKE TRAIL 10 FT. WIDE.
11. ALL LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS AND THE NIGHT SKY ORDINANCE.
12. ALL RETAINING AND SCREEN WALLS WILL BE MEDIAN TAN.
13. ALL PROPOSED SCREEN WALLS AND RETAINING WALLS SHALL BE DESIGNED ACCORDING TO THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS (SECTION 14-16-3-9)
14. APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO DRB.
15. BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
16. ELEVATIONS SHALL BE COMPLEMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
17. FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
18. ALL TREES WILL BE PLANTED AT A MINIMUM HEIGHT OF 8'.
19. ALL TREES PLANTED ALONG THE NORTHERN BOUNDARY WILL REACH A MINIMUM HEIGHT OF 25 FT. AT MATURITY.

NOTES:

1. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FT. FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
2. NEAR RESIDENTIAL ZONES, THE FOLLOWING GREATER SETBACK REQUIREMENTS SHALL APPLY.
 - A. THERE SHALL BE FRONT OR CORNER SIDE SETBACKS OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON- AND OFF-PREMISE SIGNS.
 - B. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ADJUTS THE SIDE OF A LOT IN A RESIDENTIAL ZONE.
 - C. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ADJUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
3. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.



SPEED HUMP PROFILE
NTS



SPEED HUMP PLAN VIEW
NTS



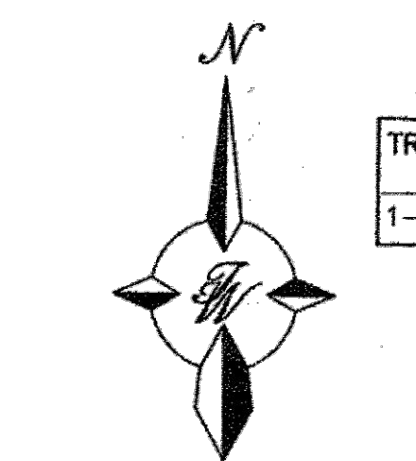
SPEED HUMP CURB TREATMENT
NTS

NOTES:

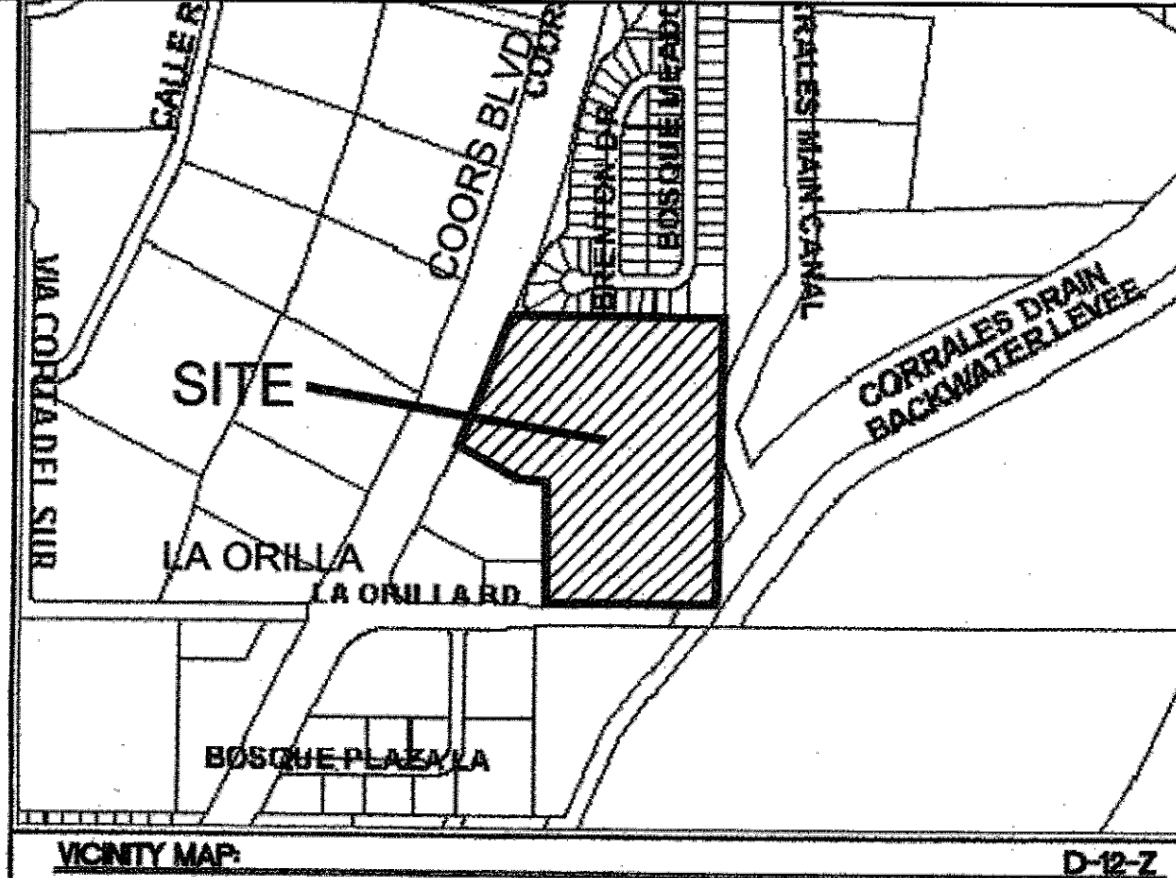
1. APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO THE DRB.
2. BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
3. ELEVATIONS SHALL BE COMPLEMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
4. FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
5. FUTURE ADDITIONS MUST COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE AND COORS CORRIDOR PLAN.

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- PROPOSED PARKING SPACE
- PROPOSED CURB & GUTTER
- PROPOSED BUILDING
- CENTERLINE
- EASEMENT
- PROPOSED SCREEN WALL
- STREET LIGHTS



GRAPHIC SCALE
SCALE: 1"=60'



LEGAL DESCRIPTION

TRACTS 1-A-1, OF ALBAN HILLS SUBDIVISION

SITE DATA

PROPOSED USAGE: SU-1 R2 & CHURCH RELATED USES
 LOT AREA: 16.2619 ACRE
 BUILDING AREA: PROPOSED 133,276 SF - BUILDING FOOTPRINT: PROPOSED 87,284 SF
 BUILDING AREA: FUTURE 13,460 SF - BUILDING FOOTPRINT: FUTURE 11,600 SF
 BUILDING AREA: TOTAL 146,736 SF - BUILDING FOOTPRINT: TOTAL 98,884 SF
 SEATING CAPACITY: WORSHIP 2000
 PARKING
 WORSHIP 2000 SEATS/4 = 500 SPACES
 EDUCATION 40 EMPLOYEES = 40 SPACES
 OFFICE 11,344 S.F./200 = 57 SPACES (NOT OCCUPIED DURING SERVICES.)
 FELLOWSHIP 250 OCCUPANTS/4 = 63 SPACES (NOT OCCUPIED DURING SERVICES.)
 PARKING PROVIDED: 831 SPACES
 PARKING REQUIRED: 540 SPACES
 HC PARKING PROVIDED: 20 SPACES
 HC PARKING REQUIRED: 16 SPACES
 3 SPACES VAN ACCESSIBLE
 BIKE PARKING PROVIDED: 30 SPACES
 PARKING REQUIRED: 27 SPACES BIKE

ADMINISTRATIVE AMENDMENT
 FILE # 2019-0005 PROJECT # 1002371
 New 1600 PDS
 Facility 400 st. storage
 7/2/2019 2/24/2019
 APPROVED BY [Signature]

PROJECT NUMBER: 1002371
 APPLICATION NUMBER: 05-00560

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [Date], and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? (X) Yes () No - If Yes, then a set approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:
 Traffic Engineer, Transportation Division Date
 Water Utility Development Date
 Parks & Recreation Department Date
 City Engineer Date
 * Environmental Health Department (conditional) Date

INDEX TO DRAWINGS

1. SITE PLAN FOR BUILDING PERMIT
2. GRADING AND DRAINAGE PLAN
3. MASTER UTILITY PLAN
4. BUILDING AND STRUCTURE ELEVATIONS
5. BUILDING AND STRUCTURE ELEVATIONS
6. BUILDING AND STRUCTURE ELEVATIONS
- 6A. BUILDING AND STRUCTURE ELEVATIONS
7. DETAILS
- L1. LANDSCAPING PLAN
- L2. LANDSCAPING PLAN

NO.	DATE	REVISIONS	BY
1	04/01/2019	ADD GOLF CART STORAGE BUILDING, REMOVED 10 PARKING SPACES	RRB
2	06/01/2022	ADD STORAGE BUILDING REMOVED 12 PARKING SPACES	RRB

TRACT	AREA (AC)	USE	ZONING	F.A.R.	LANDSCAPE AREA	MAX. BLDG. HEIGHT
1-A-1	16.28	CHURCH	SU-1 / R-2	.25	15% OF PAVED AREA	-

ENGINEER'S SEAL

HOFFMANTOWN
 WEST CLUB
 SAGEBRUSH CHURCH
 COORS AND LA ORILLA
 SITE PLAN FOR
 BUILDING PERMIT
 ADMINISTRATIVE
 AMENDMENT

DRAWN BY BJF
 DATE 4/1/2019
 2019-0005-SP-AA
 4/1/2019
 SHEET # 2022022-SP-AA
 C1
 JOB # 2019005

RONALD R. BOHANNAN
 P.E. #7888

ALBUQUERQUE, NEW MEXICO 87113
 (505)958-3100



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-22-110232
APPROVED DATE: 06/01/22
APPROVED



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- EXISTING HYDRANT

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 101 DAYS. FINAL INSPECTION IS REQUIRED.

KEYED NOTES

- EXISTING FIRE HYDRANT
- EXISTING 8" WL
- KNOX BOX
- BUILDING ADDRESS

LEGAL DESCRIPTION:

TRACTS 1-A-1, ALBAN HILLS SUBDIVISION

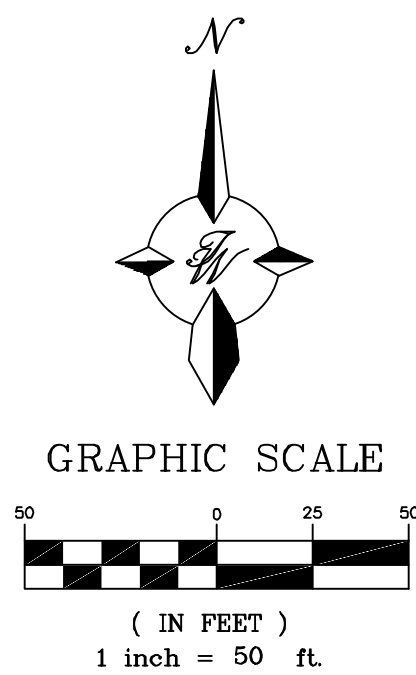
NOTES:

UPC NO: 100905705529520103

SAGEBRUSH CHURCH
6440 COORS BLVD NW
ALBUQUERQUE, NM 87120
2nd STORAGE FACILITY FOR SAGEBRUSH CHURCH
OCCUPANCY TYPE: SECURED STORAGE FOR GOLF CARTS
LOT AREA: 16.26 ACRES
BUILDING AREA: 1600 SF
CONSTRUCTION TYPE: II-B
NONSPRINKLED
MAX. BUILDING HEIGHT 16' TOP OF PARAPET

NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	SAGEBRUSH CHURCH COORS AND LA ORILLA	DRAWN BY JL
	2ND NEW STORAGE SHED FIREONE PLAN	DATE 5-18-22
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2022027-FO
		SHEET # 1
RONALD R. BOHANNAN P.E. #7868		JOB # 2022027