

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
APPROVED BY

\_\_\_\_\_  
DATE

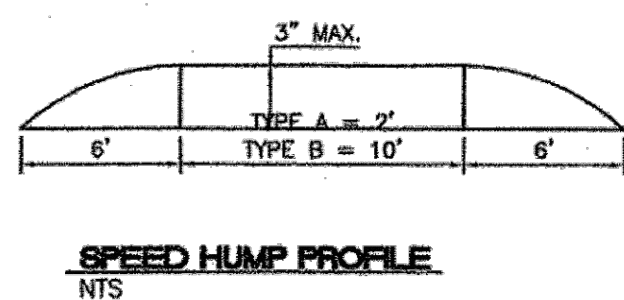


# NOTES:

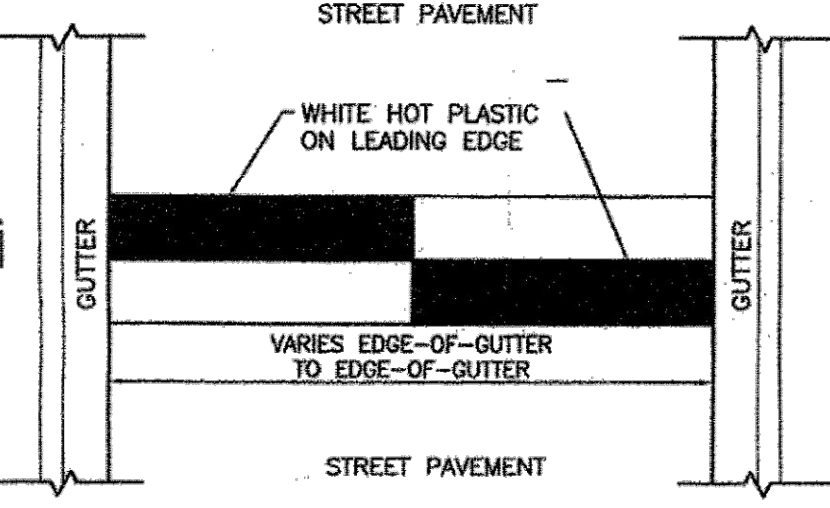
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
5. PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
6. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
7. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
8. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
9. FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16" HIGH POLES WITH FULLY SHIELDED FIXTURES WITHIN 100' OF RESIDENTIAL AREA. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS. ALL OTHER WILL BE 20 FT.
10. ASPHALT BIKE TRAIL 10 FT. WIDE.
11. ALL LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS AND THE NIGHT SKY ORDINANCE.
12. ALL RETAINING AND SCREEN WALLS WILL BE MEDIAN TAN.
13. ALL PROPOSED SCREEN WALLS AND RETAINING WALLS SHALL BE DESIGNED ACCORDING TO THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS (SECTION 14-16-3-9)
14. APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO DRB.
15. BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
16. ELEVATIONS SHALL BE COMPLEMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
17. FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
18. ALL TREES WILL BE PLANTED AT A MINIMUM HEIGHT OF 8'.
19. ALL TREES PLANTED ALONG THE NORTHERN BOUNDARY WILL REACH A MINIMUM HEIGHT OF 25 FT. AT MATURITY.

## NOTES:

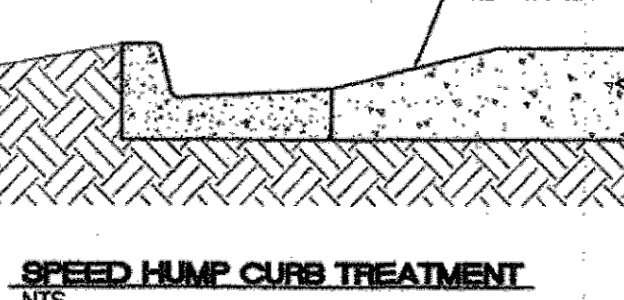
1. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FT. FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
2. NEAR RESIDENTIAL ZONES, THE FOLLOWING GREATER SETBACK REQUIREMENTS SHALL APPLY.
  - A. THERE SHALL BE FRONT OR CORNER SIDE SETBACKS OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON- AND OFF-PREMISE SIGNS.
  - B. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ADJUTS THE SIDE OF A LOT IN A RESIDENTIAL ZONE.
  - C. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ADJUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
3. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.



SPEED HUMP PROFILE  
NTS



SPEED HUMP PLAN VIEW  
NTS



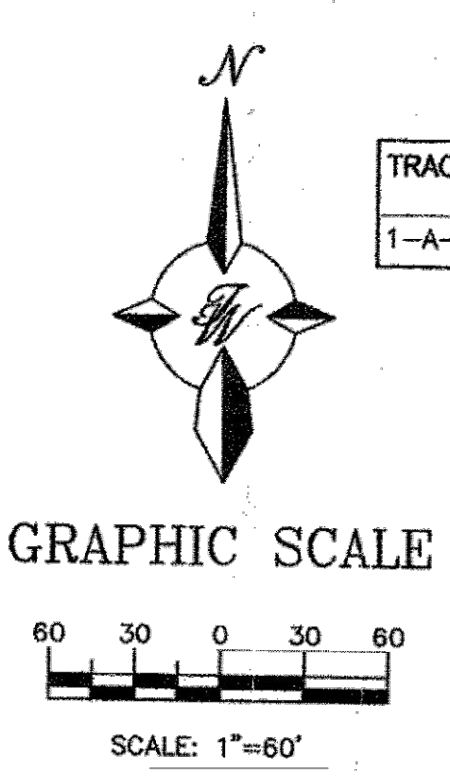
SPEED HUMP CURB TREATMENT  
NTS

## NOTES:

1. APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO THE DRB.
2. BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
3. ELEVATIONS SHALL BE COMPLEMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
4. FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
5. FUTURE ADDITIONS MUST COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE AND COORS CORRIDOR PLAN.

## LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- PROPOSED PARKING SPACE
- PROPOSED CURB & GUTTER
- PROPOSED BUILDING
- CENTERLINE
- EASEMENT
- PROPOSED SCREEN WALL
- STREET LIGHTS



**ADMINISTRATIVE AMENDMENT**  
File # 2022-0114 Project # 1002371  
Phased construction, access easement  
along eastern boundary, public parking at SE  
corner of site, temporary sand volleyball courts.  
APPROVED BY: [Signature] DATE: 30 Aug '06

**PROJECT NUMBER:** 1002371  
**APPLICATION NUMBER:** 05-00560

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [Date], and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No - If Yes, then a set approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

APPROVED BY	DATE
Traffic Engineer, Transportation Division	
Water Utility Development	
Parks & Recreation Department	
City Engineer	
Environmental Health Department (conditional)	

- INDEX TO DRAWINGS**
1. SITE PLAN FOR BUILDING PERMIT
  2. GRADING AND DRAINAGE PLAN
  3. MASTER UTILITY PLAN
  4. BUILDING AND STRUCTURE ELEVATIONS
  5. BUILDING AND STRUCTURE ELEVATIONS
  6. BUILDING AND STRUCTURE ELEVATIONS
  - 6A. BUILDING AND STRUCTURE ELEVATIONS
  7. DETAILS
  - L1. LANDSCAPING PLAN
  - L2. LANDSCAPING PLAN

NO.	DATE	REVISIONS	BY
1	04/01/2019	ADD GOLF CART STORAGE BUILDING, REMOVED 10 PARKING SPACES	RRB
2	06/01/2022	ADD STORAGE BUILDING REMOVED 12 PARKING SPACES	RRB

TRACT	AREA (AC)	USE	ZONING	F.A.R.	LANDSCAPE AREA	MAX. BLDG. HEIGHT
1-A-1	16.28	CHURCH	SU-1 / R-2	.25	15% OF PAVED AREA	-

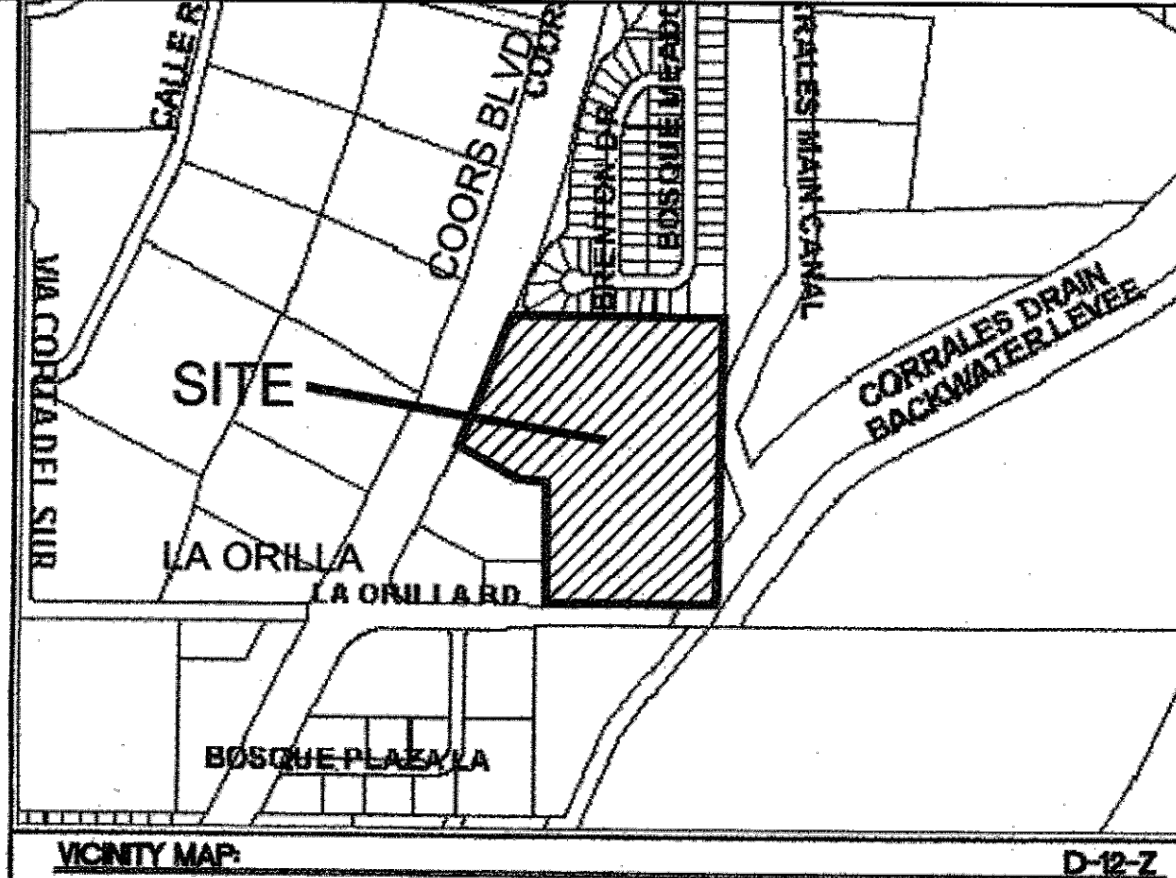
**ENGINEER'S SEAL**

**HOFFMANTOWN WEST CLUB SAGEBRUSH CHURCH COORS AND LA ORILLA SITE PLAN FOR BUILDING PERMIT ADMINISTRATIVE AMENDMENT**

ALBUQUERQUE, NEW MEXICO 87113 (505) 958-3100

RONALD R. BOHANNAN P.E. #7888

**DRAWN BY:** BJF  
**DATE:** 4/1/2019  
**SHEET #:** 20190005-SP-AA  
**C1**  
**JOB #:** 2019005



**LEGAL DESCRIPTION:**  
TRACTS 1-A-1, OF ALBAN HILLS SUBDIVISION

**SITE DATA**

PROPOSED USAGE: SU-1 R2 & CHURCH RELATED USES

LOT AREA: 16.2819 ACRE

BUILDING AREA: PROPOSED 133,276 SF - BUILDING FOOTPRINT: PROPOSED 87,284 SF

BUILDING AREA: FUTURE 13,460 SF - BUILDING FOOTPRINT: FUTURE 11,600 SF

BUILDING AREA: TOTAL 146,736 SF - BUILDING FOOTPRINT: TOTAL 98,884 SF

SEATING CAPACITY: WORSHIP 2000

PARKING  
WORSHIP 2000 SEATS/4 = 500 SPACES  
EDUCATION 40 EMPLOYEES = 40 SPACES  
OFFICE 11,344 S.F./200 = 57 SPACES (NOT OCCUPIED DURING SERVICES.)  
FELLOWSHIP 250 OCCUPANTS/4 = 63 SPACES (NOT OCCUPIED DURING SERVICES.)

PARKING PROVIDED: 831 SPACES  
PARKING REQUIRED: 540 SPACES

HC PARKING PROVIDED: 20 SPACES  
HC PARKING REQUIRED: 16 SPACES  
3 SPACES VAN ACCESSIBLE

BIKE PARKING PROVIDED: 30 SPACES  
BIKE PARKING REQUIRED: 27 SPACES BIKE

HC PARKING PROVIDED: 20 SPACES  
HC PARKING REQUIRED: 16 SPACES  
3 SPACES VAN ACCESSIBLE

BIKE PARKING PROVIDED: 30 SPACES  
BIKE PARKING REQUIRED: 27 SPACES BIKE





ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: FP-22-110232  
APPROVED DATE: 06/01/22  
**APPROVED**



#### LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- EXISTING HYDRANT

THESE CONSTRUCTION DOCUMENTS WERE PREPARED AND  
APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN  
ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL  
FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 10  
DAYS. FINAL INSPECTION REQUIRED.

#### KEYED NOTES

- EXISTING FIRE HYDRANT
- EXISTING 8" WL
- KNOX BOX
- BUILDING ADDRESS

#### LEGAL DESCRIPTION:

TRACTS 1-A-1, ALBAN HILLS SUBDIVISION

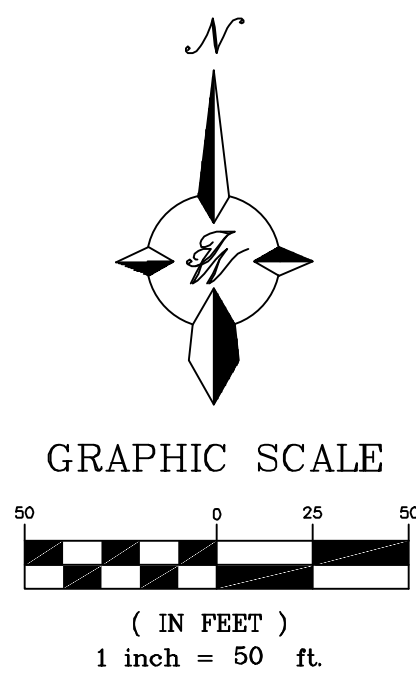
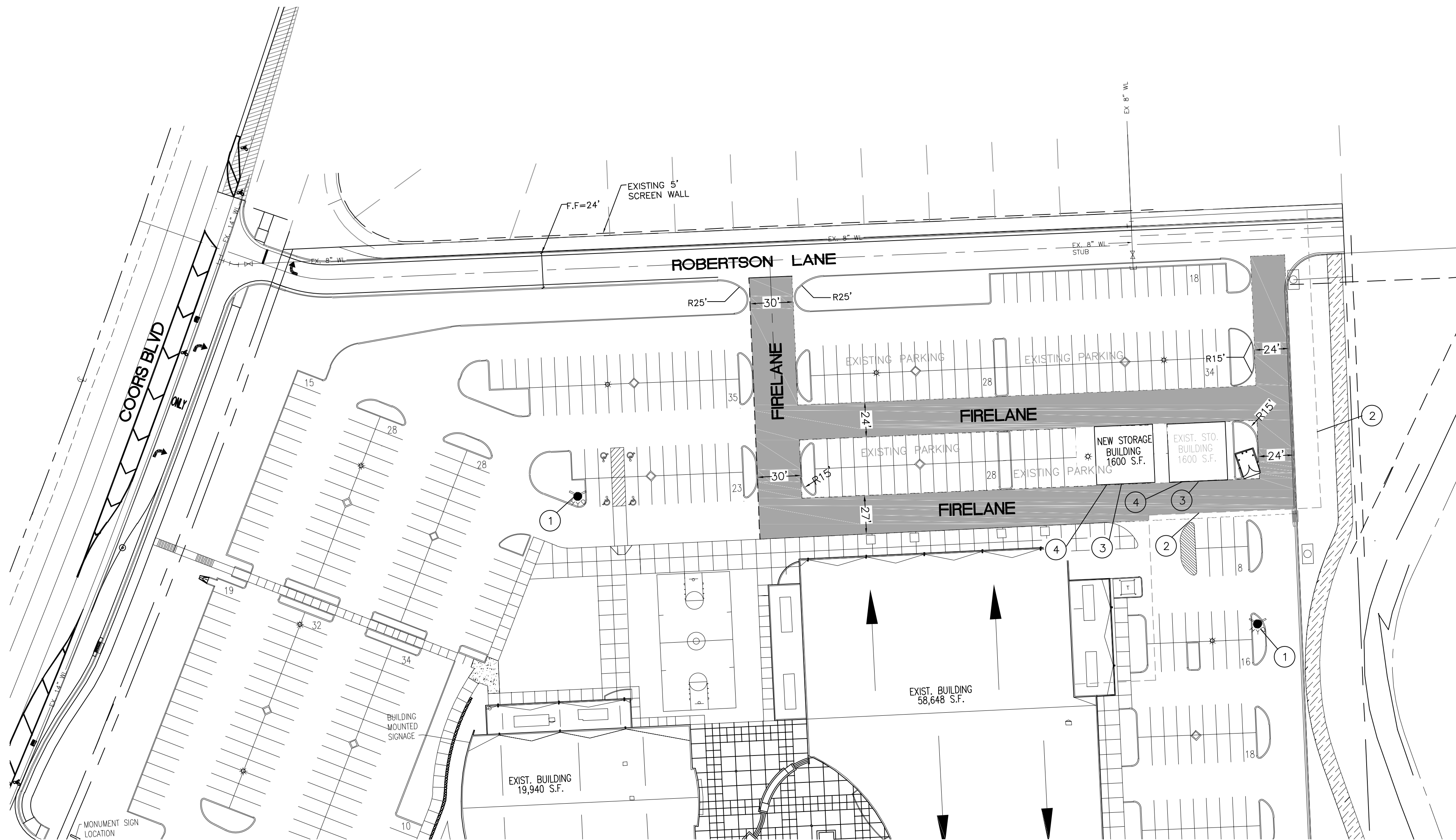
#### NOTES:

UPC NO: 100905705529520103

SAGEBRUSH CHURCH  
6440 COORS BLVD NW  
ALBUQUERQUE, NM 87120  
2nd STORAGE FACILITY FOR SAGEBRUSH CHURCH  
OCCUPANCY TYPE: SECURED STORAGE FOR  
GOLF CARTS  
LOT AREA: 16.26 ACRES  
BUILDING AREA: 1600 SF  
CONSTRUCTION TYPE: II-B  
NONSPRINKLED  
MAX. BUILDING HEIGHT 16' TOP OF PARAPET

#### NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.



#### CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	<b>SAGEBRUSH CHURCH COORS AND LA ORILLA</b>	DRAWN BY JL
	<b>2ND NEW STORAGE SHED FIREONE PLAN</b>	DATE 5-18-22
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2022027-FO
		SHEET # <b>1</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2022027