

ADMINISTRATIVE AMENDMENT

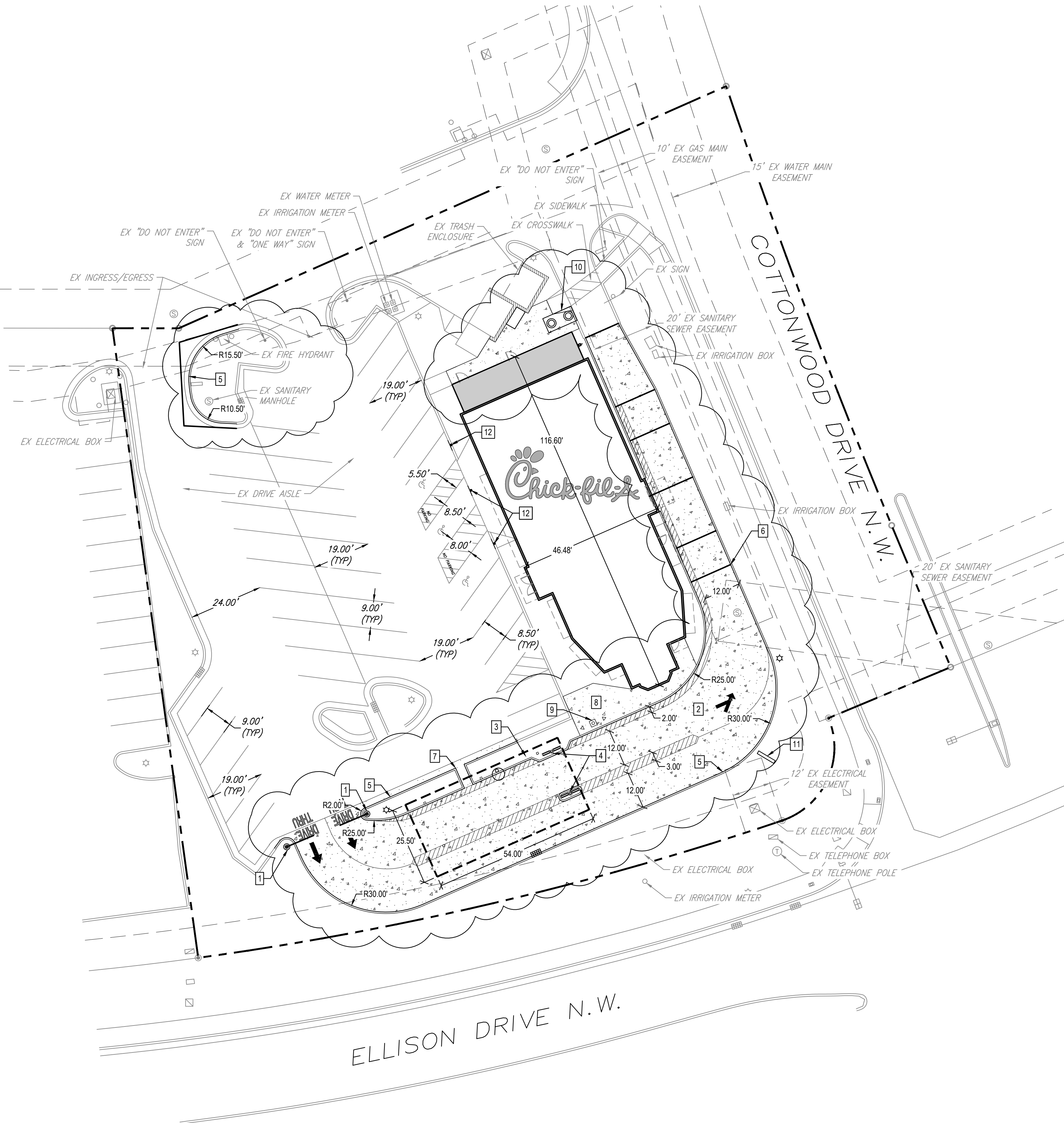
FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

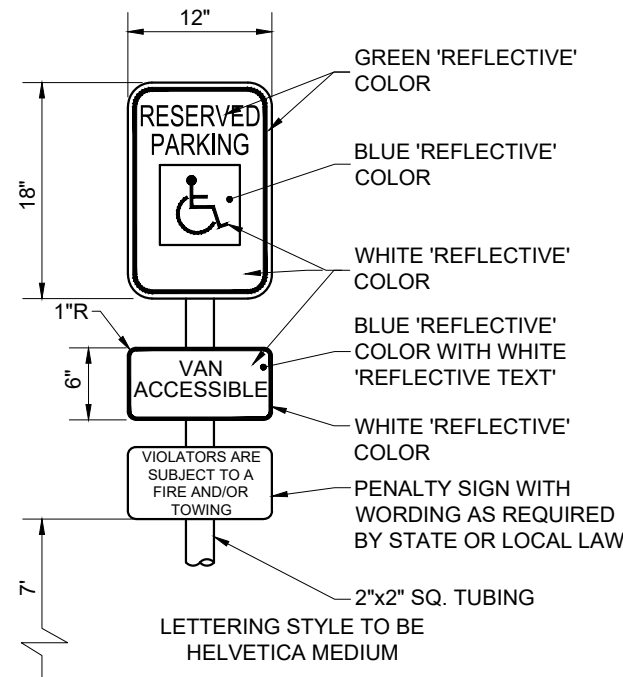


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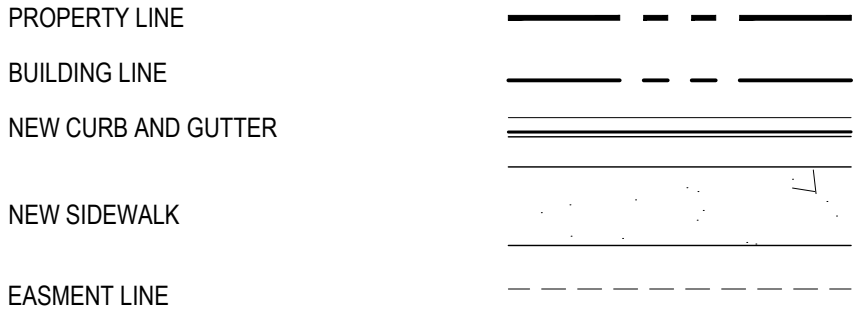


SITE PLAN DESIGN NOTES & KEY PLAN

- 1 HEIGHT CLEARANCE ARM
- 2 CONCRETE DRIVE THROUGH
- 3 ORDER POINT CANOPY
- 4 MENU BOARDS
- 5 ROLL OVER CURB
- 6 TRANSITION TO ZERO HEIGHT CURB
- 7 3' CURB CHASE
- 8 SIDEWALK
- 9 FLAG POLE
- 10 GREASE INTERCEPTOR
- 11 RELOCATED MONUMENT SIGN
- 12 ACCESSIBLE PARKING SIGN



LEGEND



SITE DATA CHART

LEGAL DESCRIPTION OF LEASE AREA: TRACT "B-6" OF TRACTS A THRU I, COTTONWOOD CORNERS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON MARCH 3, 200, IN PLAT BOOK 2000C, FOLIO 68.

ZONE DISTRICT: SU-1 FOR IP USES

PROPOSED USE: QUICK SERVICE RESTAURANT

	SQ. FT.	ACRES	PERCENTAGE
TOTAL AREA OF PROPERTY:	50,690	1.16	100%
LANDSCAPE AREA:	8,497	0.19	17%
HARDSCAPE AREA:	4,133	0.09	8%
TOTAL PARKING AND DRIVE AREA:	33,377	0.77	66%
TOTAL BUILDING AREA:	4,683	0.11	9%

REQUIRED PARKING CALCULATION - RESTAURANT
8 PARKING SPACE PER 1000 SF GFA = 38 SPACES

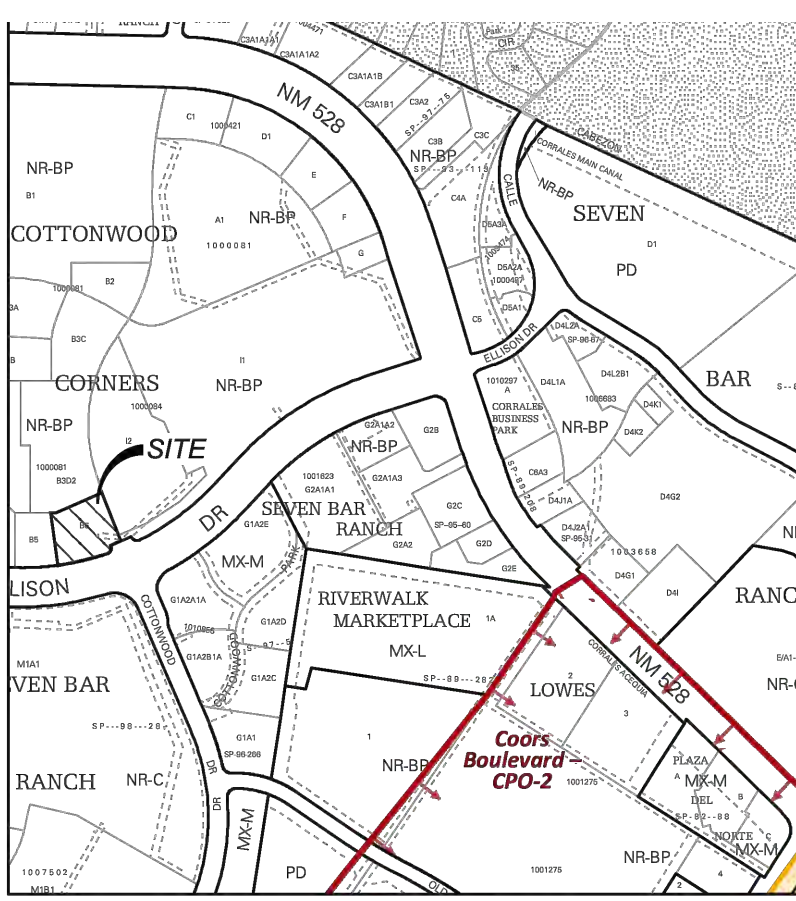
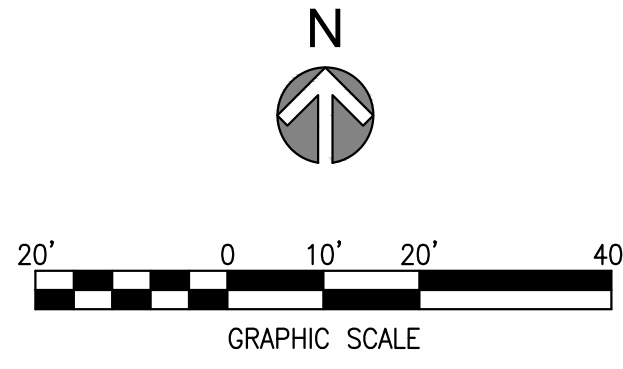
REQUIRED HANDICAP ACCESSIBLE PARKING SPACES = 3

STANDARD PARKING SPACES: 37
ACCESSIBLE PARKING SPACES: 3
TOTAL AUTO PARKING SPACES PROVIDED: 40

NO ON STREET PARKING.

NOTES

- DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
- SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
- APPLICANT SHALL ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



PROJECT STATUS

FORMER PROJECT NUMBER: _____

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

CHICK-FIL-A
COTTONWOOD FSU
3801 ELLISON ROAD, NW
ALBUQUERQUE, NM 87114

FSR#1688

BUILDING TYPE / SIZE: RELEASE:		
<u>REVISION SCHEDULE</u>		
NO.	DATE	DESCRIPTION
CONSULTANT PROJECT # 65121159-01		
PRINTED FOR REVIEW		
DATE 10/14/2022		
DRAWN BY LDV		
SHEET		

SITE PLAN

SHEET NUMBER

1



5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

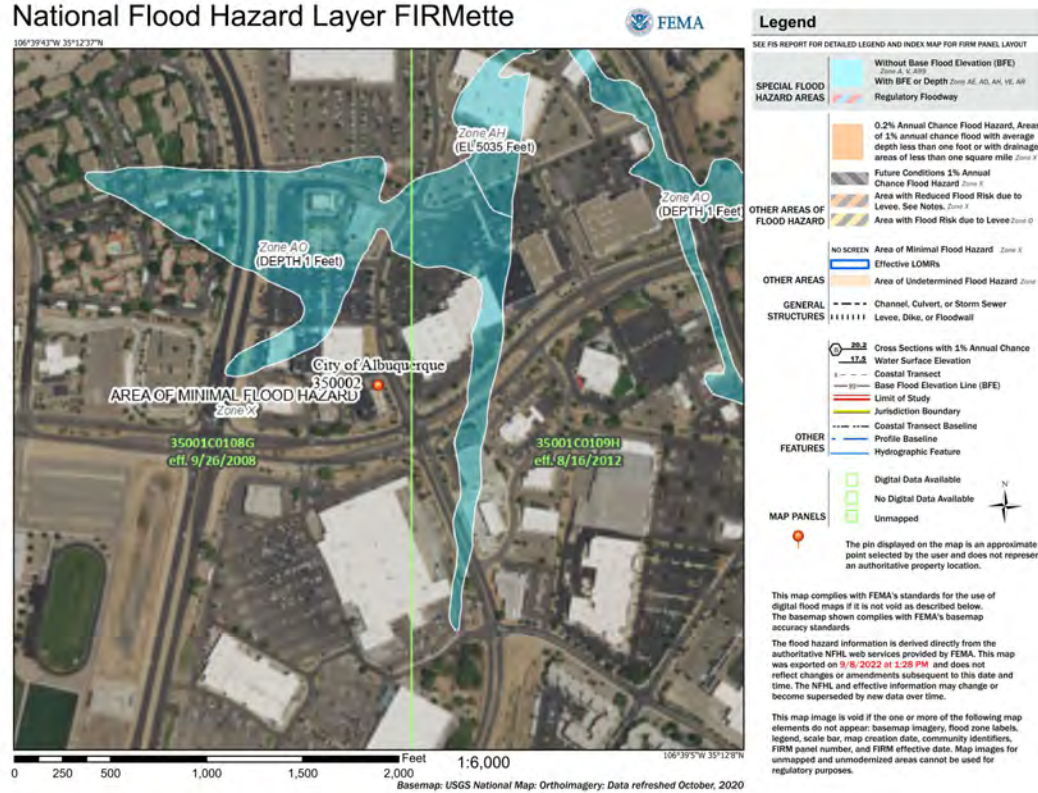


Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-
2998

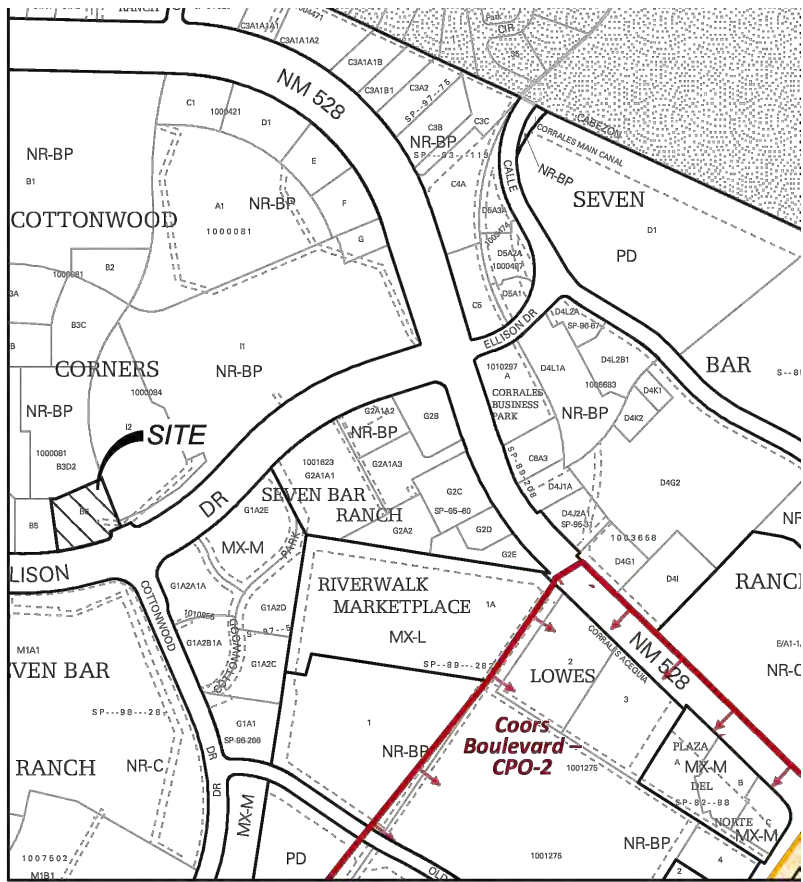




Know what's below.
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FIRM MAP NO 35001C0114H



VICINITY MAP
N.T.S

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS LOT B6 OF COTTONWOOD CORNERS AND IS 1.16 ACRES LOCATED ON THE NORTH SIDE OF ELLISON DRIVE NW AND THE WEST SIDE OF COTTONWOOD DRIVE NW. THE PROPOSED DEVELOPMENT WILL BE A DRIVE THRU EXPANSION TO THE EXISTING FAST FOOD RESTAURANT.

FLOODPLAIN STATUS

THE PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0108G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2

EXISTING DRAINAGE

THE SITE IS WITHIN THE AREA OF THE COTTONWOOD CORNERS DRAINAGE MASTER PLAN DATED JUNE 20, 2002. THE EXISTING DRAINAGE FLOWS TO THREE LOW POINT INLETS IN THE PARKING LOT. THE INLETS ARE CONNECTED BY STORM SEWER ALONG THE CENTER OF THE SITE AND CONVEY FLOWS TO THE EXISTING STORM SYSTEM ON THE ADJACENT LOT.

DEVELOPED CONDITION

THE SITE DRAINAGE PATTERN WILL REMAIN MOSTLY UNCHANGED. THE LAND TREATMENT WILL REMAIN TREATMENT D. THE PROPOSED V360 IS 19 AC-FT WHICH IS EQUAL TO THE EXISTING. THE PROPOSED V1440 VOLUME IS 22 AC-FT WHICH IS 0.12 AC-FT LESS THAN THE EXISTING. THE PROPOSED PEAK DISCHARGE IS 4.78 CFS COMPARED TO EXISTING OF 5.07 CFS. IT IS OUR ASSERTION THE SITE CHANGES DO NOT PRODUCE ANY INCREASE IN VOLUMES REQUIRED.

REQUIRED FIRST FLUSH VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE TOTAL VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

IMPERVIOUS AREA: 38,060 SF

REQUIRED VOLUME = 38,060 * (0.44-0.10)/12 = 1078 FT³

PROVIDED VOLUME ON SITE (BASIN A) = 0 FT³

PROVIDED VOLUME IN DEVELOPMENT POND = 1289 FT³

LAND TREATMENT (AC)					
BASIN	A	B	C	D	TOTAL
ZONE-1				1.16	1.16

NOTES:

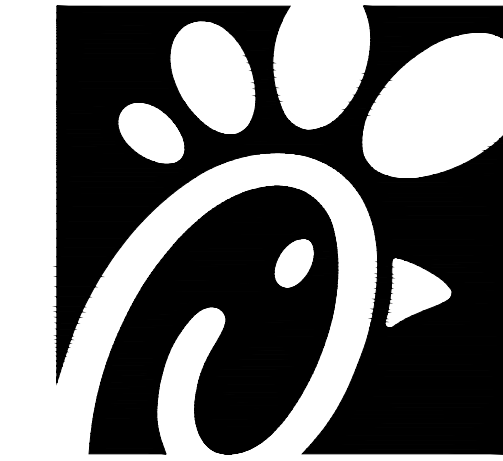
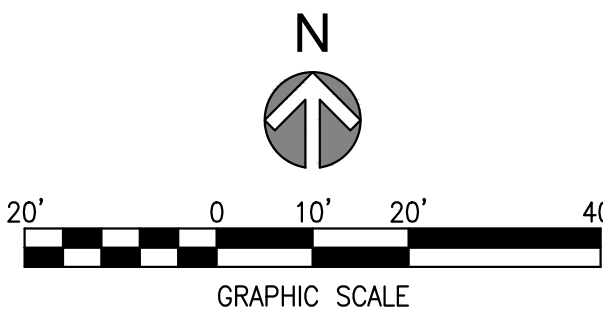
- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ELEVATIONS ARE 51XX.XX, UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND:

- PROPERTY LINE
- LIMITS OF GRADING
- 4945 PROPOSED MAJOR CONTOUR
- 4943 PROPOSED MINOR CONTOUR
- 4945 EXISTING MAJOR CONTOUR
- 4943 EXISTING MINOR CONTOUR
- 42.69'x FLOWLINE SPOT ELEVATION
- FF: 42.69'x FINISHED FLOOR SPOT ELEVATION
- FG: 42.69'x FINISHED GRADE SPOT ELEVATION
- TC: 93.41'x TOP OF CURB SPOT ELEVATION
- EG: 93.41'x EXISTING GRADE SPOT ELEVATION
- EX FL: 93.41'x EXISTING FLOWLINE SPOT ELEVATION
- 2.7% PROPOSED SLOPE ARROWS
- EX 2.7% EXISTING SLOPE ARROWS
- BASIN LINES
- STORM INLET
- STORM MANHOLE



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



CHICK-FIL-A
COTTONWOOD FSU
3801 ELLISON ROAD, NW
ALBUQUERQUE, NM 87114

FSR#1688

BUILDING TYPE / SIZE:

RELEASE:

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	65121159-01
PRINTED FOR	REVIEW
DATE	10/14/2022
DRAWN BY	LDV
SHEET	

GRADING AND
DRAINAGE PLAN

SHEET NUMBER



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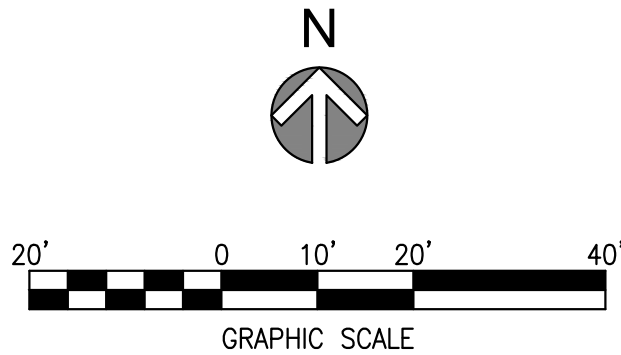


PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- | | |
|----|--|
| 1 | CONNECT TO EXISTING WATER LINE |
| 2 | ELECTRIC SERVICE LINE |
| 3 | ELECTRIC METER AND DISTRIBUTION PANEL |
| 4 | GAS METER |
| 5 | GREASE INTERCEPTOR (PRIVATE) |
| 6 | 4" PVC WASTEWATER SERVICE LINE (PRIVATE) |
| 7 | 4" PVC KITCHEN WASTE LINE (PRIVATE) |
| 8 | 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE) |
| 9 | TRASH ENCLOSURE AREA DRAIN, CONNECT TO PROPOSED SANITARY SEWER LINE. |
| 10 | STORM DRAIN |
| 11 | STORM INLET |

LEGEND:

- | | |
|--|-------------------------|
| | PROPERTY LINE |
| | WATER METER |
| | IRRIGATION METER |
| | GREASE TRAP |
| | SINGLE CLEANOUT |
| | TWO-WAY CLEANOUT |
| | TRANSFORMER |
| | STORM INLET |
| | STORM MANHOLE |
| | LIGHT POLE |
| | PROPOSED TRAFFIC SIGN |
| | PAVEMENT STRIPING |
| | WATER LINE |
| | SANITARY SEWER |
| | STORM SEWER |
| | EX STORM MANHOLE |
| | EX SANITARY MANHOLE |
| | EX STORM INLET |
| | EX LIGHT POLE |
| | EX UNDERGROUND ELECTRIC |
| | EX GAS SERVICE |
| | EX WATER LINE |
| | EX SANITARY SEWER |
| | EX TELEPHONE SERVICE |
| | EX FIRE HYDRANT |
| | EX TRAFFIC SIGN |
| | EX IRRIGATION VALVE |
| | EX WATER VALVE |
| | EX TELEPHONE BOX |
| | EX ELECTRIC BOX |
| | EX STORM SEWER |



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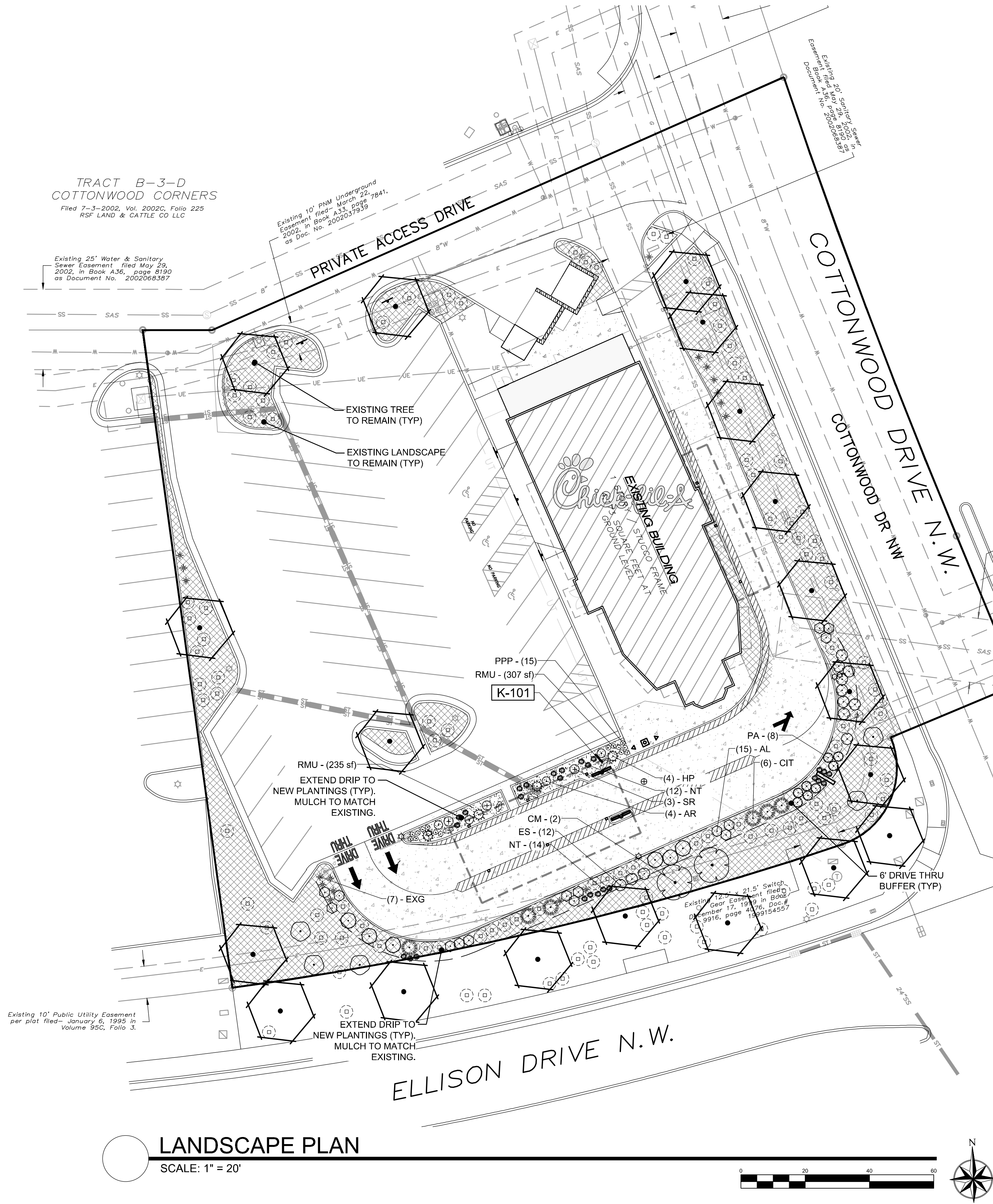
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UTILITY PLAN

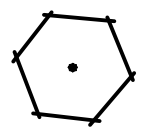
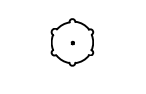
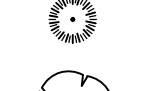
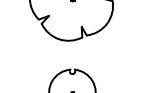
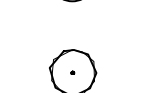

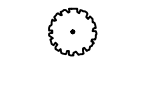


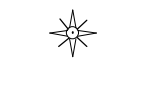

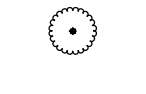
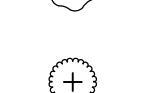

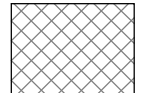


SHEET NUMBER

3



PLANT SCHEDULE

QTY FOR REFERENCE ONLY.
VERIFY ALL COUNTS PER PLAN

TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT
	EX-RET	19	EXISTING TREE TO REMAIN / TO REMAIN- PROTECT DURING CONSTRUCTION	EX
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE
	AL	15	LEADPLANT / AMORPHA CANESCENS	1 GAL
	CIT	6	LITTLE LEAF MOUNTAIN MAHOGONY / CERCOCARPUS INTRICATUS	5 GAL
	CM	2	CURLLEAF MOUNTAIN MAHOGANY / CERCOCARPUS LEDIFOLIUS MULTISTEM	5 GAL
	ES	12	DWARF BLUE RABBITBRUSH / ERICAMERIA NAUSEOSA SPECIOSA	5 GAL
	FP	6	APACHE PLUME / FALLUGIA PARADOXA	5 GAL
	HP	4	RED YUCCA / HESPERALOE PARVIFLORA	1 GAL
	PA	8	DWARF RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRES'	1 GAL
	RG	5	GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	5 GAL
	ESR	112	EXISTING SHRUB / TO REMAIN PROTECT IN PLACE. REPLACE ANY DAMAGED OR DEAD MATERIALS.	EX
GRASSES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE
	EXG	17	TO REMAIN / EXISTING ORNAMENTAL GRASS	1 GAL
	NT	26	TEXAS NEEDLE GRASS / NASSELLA TENUSSIMA	1 GAL
PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE
	AR	4	THREADLEAF GIANT HYSSOP / AGASTACHE RUPESTRIS	1 GAL
	PPP	15	THREADLEAF BEARDTONGUE / PENSTEMON PINIFOLIUS	1 GAL
	SR	3	AUTUMN SAGE / SALVIA GREGGII 'RASPBERRY'	1 GAL
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT
	EXRS	8,555 SF	TO REMAIN-PER PREVIOUSLY APPROVED PLAN / EX LANDSCAPE - SHRUB BED ADJUST FOR NEW LAYOUT. REPLACE ANY DEAD/DAMAGED MATERIALS AND PROTECT DURING CONSTRUCTION.	EX
MULCHES	CODE	QTY	COMMON / BOTANICAL NAME	CONT
	RMU	430 SF	MATCH EXISTING / ROCK MULCH TO MATCH EXISTING	MULCH

REFERENCE NOTES SCHEDULE

SYMBOL	ROCK DESCRIPTION	QTY
K-101	GRANITE/MOSS ROCK BOULDER-DECORATIVE. 1/2 TON AVG SIZE	4

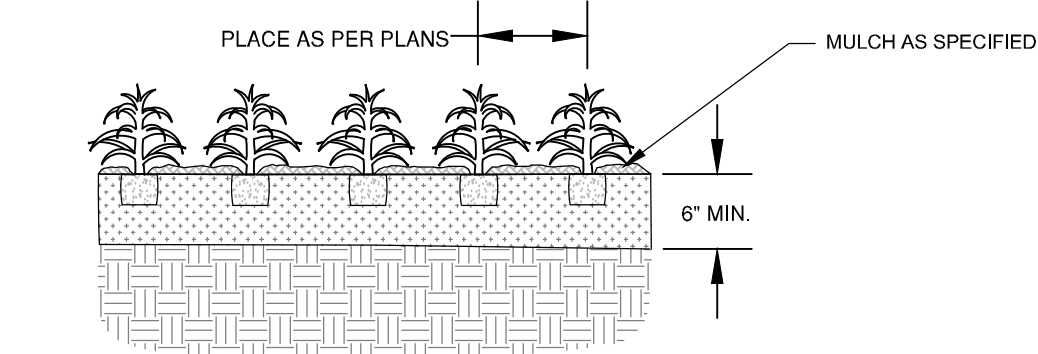
PLAN NOTES:

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS EQUAL TO THE ROOTBALL OF THE PLANT. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
- ALL EMITTERS PER IRRIGATION PLAN.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- RETAIN 10% OF PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

IRRIGATION NOTES:

- EXTEND IRRIGATION TO NEW PLANTINGS FROM EXISTING SYSTEM

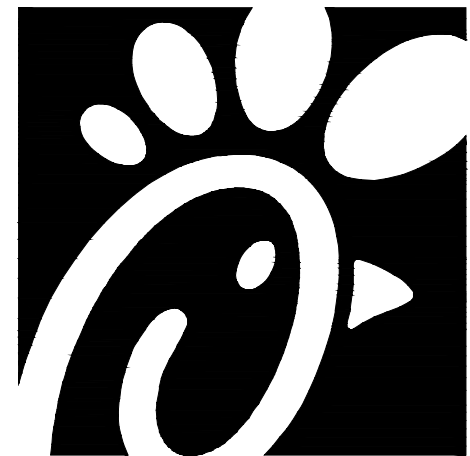
- NOTES:
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
 - PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.



PERENNIAL/GROUNDCOVER PLANTING DETAIL
L1.0
NOT TO SCALE

MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning • Irrigation Design
5539 Golf Drive, Longmont, CO 80503
(303) 443-0388 • nei@ndscolorado.com



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



FOR AND ON-BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
COTTONWOOD FSU
3801 ELLISON ROAD, NW
ALBUQUERQUE, NM 87114

FSR#1688

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

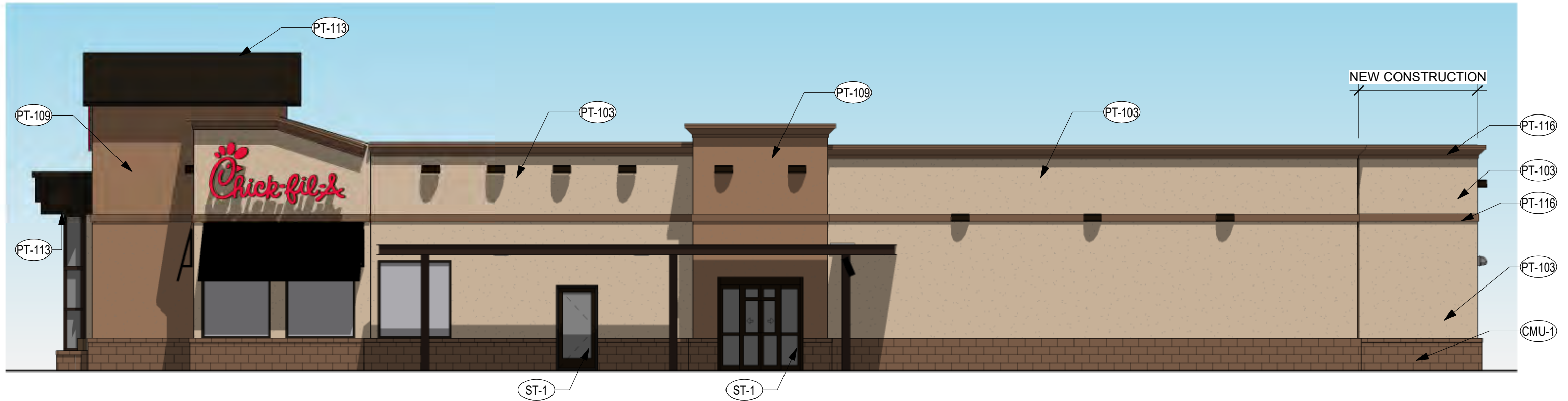
REVISION SCHEDULE		
NO	DATE	DESCRIPTION
X	XX/XX/XX	XXXXXXXXXXXX

CONSULTANT PROJECT #	65121159-01
PRINTED FOR	XXXXXXXXXX
DATE	09/16/22
DRAWN BY	JRO
SHEET	

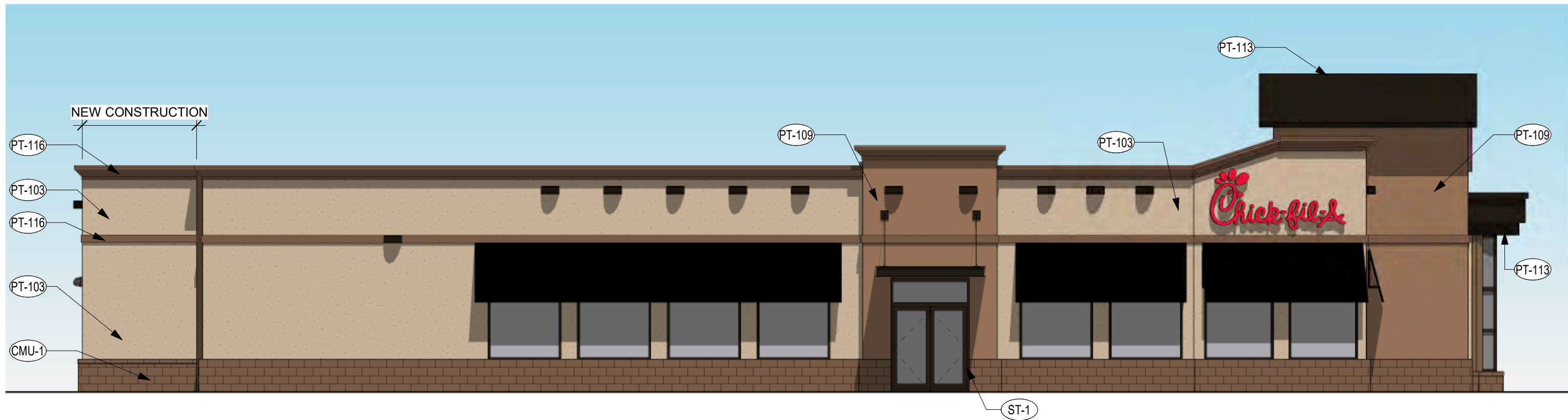
LANDSCAPE
PLAN

SHEET NUMBER

L1.0



1 ELEVATION - DRIVE THRU
1/8" = 1'-0"



2 ELEVATION - ENTRY
1/8" = 1'-0"

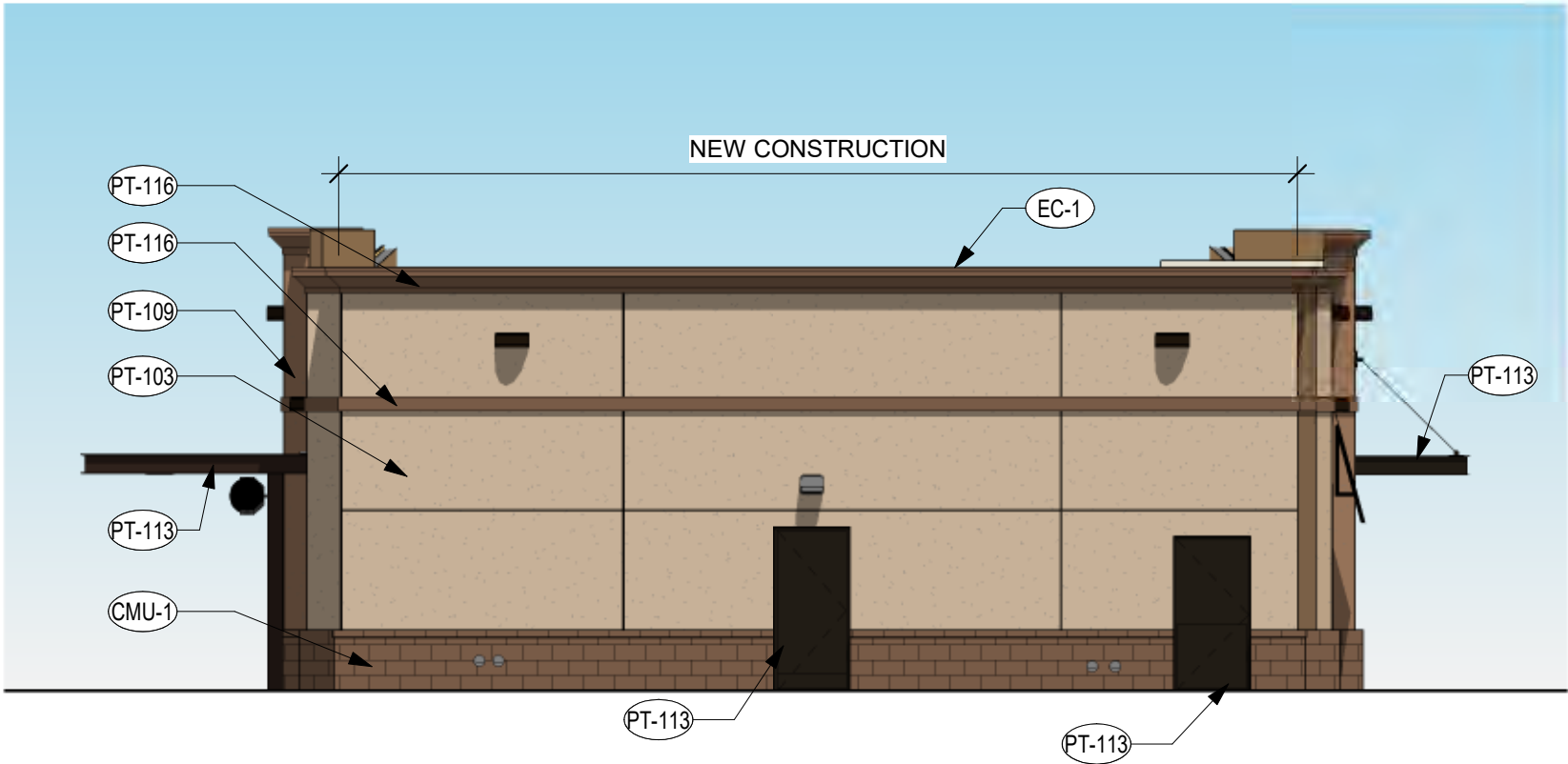
COLOR ELEVATIONS

01688, COTTONWOOD FSU, 3801 ELLISON RD. NW, ALBUQUERQUE, NM 87114

7-1-2022

THE CHICK-FIL-A DESIGN DEVELOPMENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE WITH ORDINANCES AND CODES.





1 ELEVATION - REAR
1/8" = 1'-0"



2 ELEVATION - FRONT
1/8" = 1'-0"

EXTERIOR FINISHES

PAINT AT EXISTING/NEW STUCCO



PT-103
PAINT
SW6107
NOMADIC DESERT



PT-109
PAINT
SW6095
TOASTY



PT-116
PAINT
SW6089
GROUNDED



EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE



PT-113
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS



ST-1
STOREFRONT
COLOR: DARK BRONZE



CMU-1
EXISTING SPLITFACE CMU VENEER
INTEGRAL COLOR TO MATCH PT-116
(SW 6089 GROUNDED)

COLOR ELEVATIONS

