



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Randy Kimoto	Phone: (404) 765-8000
Address: 5200 Buffington Rd.	Email: randy.kimoto@cfacorp.com
City: Atlanta State: GA	Zip: 30349
Professional/Agent (if any): Brandi Loper	Phone: (916) 390-1322
Address: P.O. Box 270571	Email: cmaxe@4gdev.com
City: San Diego State: CA	Zip: 92198
Proprietary Interest in Site:	List all owners:

BRIEF DESCRIPTION OF REQUEST

Site remodel to move office and freezer into a building addition to expand kitchen and update interior and exterior finishes. Add canopies over order points and pick-up window. Remove Parking stalls. Modify drive-thru lane.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): A-14-Z	Existing Zoning: NP-PD	Proposed Zoning: NP-PD
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.163 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 3801 Ellision Rd NW	Between: Cottonwood Dr NW	and: Ellision Rd NW
--	---------------------------	---------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: Brandi Loper	Date: 12/08/2022
Printed Name: Brandi Loper	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		



May 4, 2022

CITY OF ALBUQUERQUE
600 2ND STREET NW
ALBUQUERQUE, NM 87102

RE: CHICK-FIL-A @ 3801 ELLISON RD NW, ALBUQUERQUE, NM 87114

To Whom it May Concern:

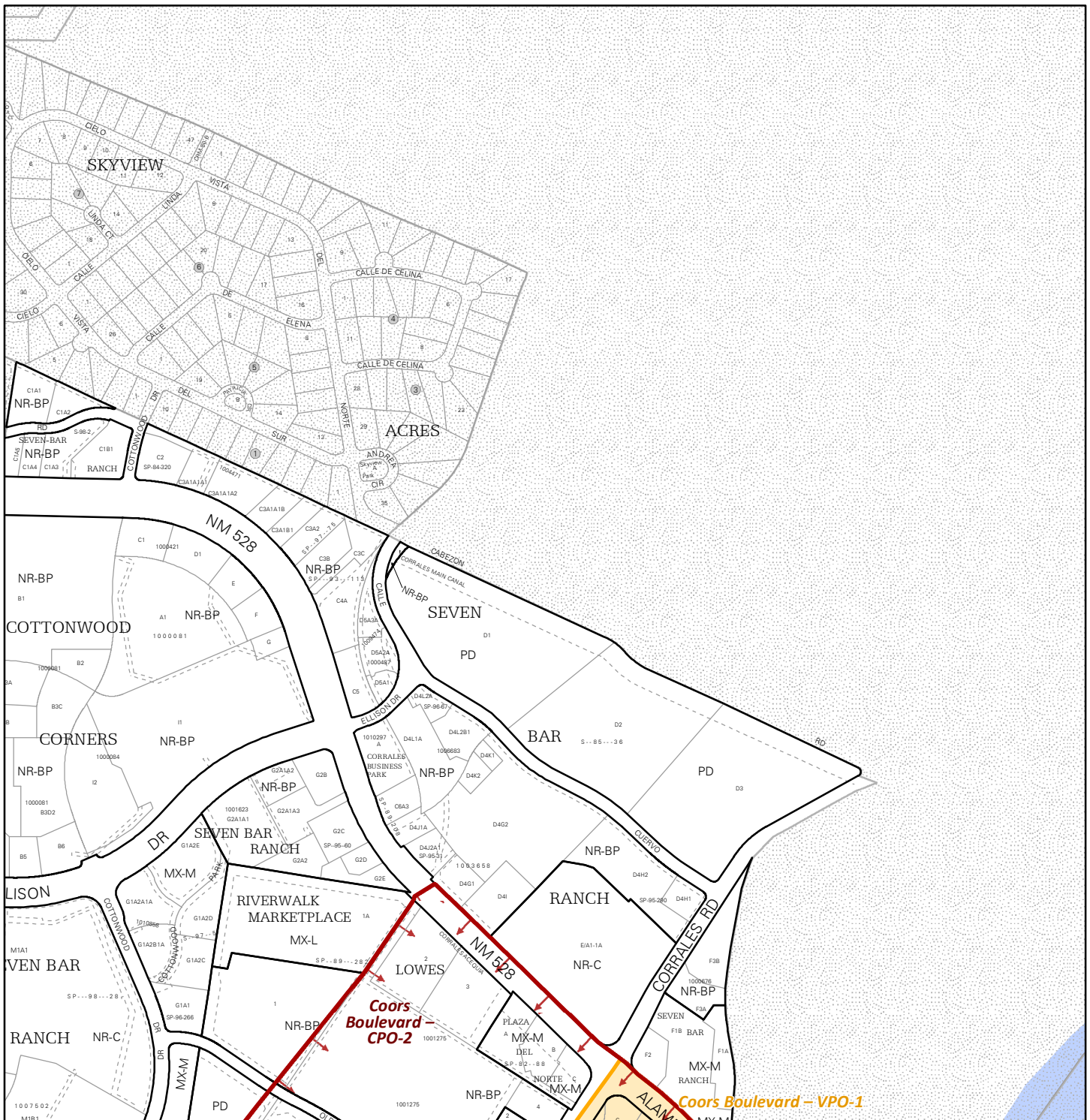
As the representative of Chick-fil-A, I hereby authorize 4G Development, Inc. (Brandi Loper), to submit and provide correspondence for any and all necessary approvals and permits from the City of Albuquerque with services such as submittal, plan check revisions, fee payments, etc. concerning the proposed remodel of a Chick-fil-A fast-food restaurant located at 3801 Ellison Rd NW, Albuquerque, NM 87114.

Please feel free to contact me should you have any questions.

Best Regards,

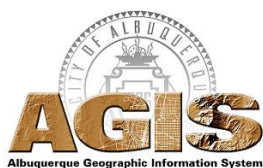
Randy Kimoto

Randy Kimoto
Strategic Investment Lead
Chick-fil-A, Inc.

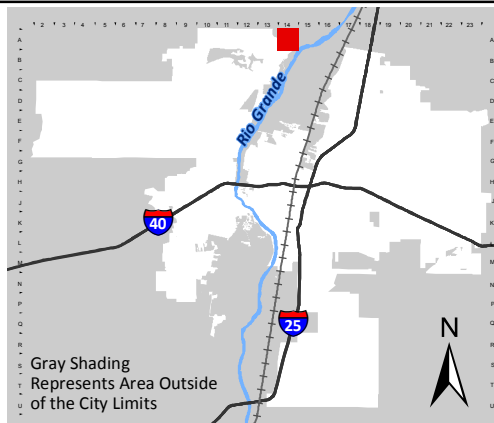


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-14-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet



Proposed Chick-fil-A Drive-Thru Restaurant

3801 Ellison Rd NW, Albuquerque, NM 87114

Project Statement

December 1st, 2022

Thank you for considering this proposal for a Chick-fil-A restaurant remodel at 3801 Ellison Rd NW.

This application is being submitted by 4G Development & Consulting on behalf of Chick-fil-A Inc. and pertains to 1. acres of commercial property (APN: 101306651410240506). The property is zoned Non-Residential Business Park (NP-BP). The proposed remodel will add a second drive-thru lane and remove a row of parking. A new freestanding Order Point Canopy and attached Outside Meal Delivery Canopy will be constructed, as well as a 420-sf building addition. The proposed project is believed to be in accordance with all provisions and regulation set forth by IDO Section 14-16-6-6(I)(3). The City's existing infrastructure and public improvements are believed to all have adequate capacity for this remodel project. Per city staff member, Jay Rodenbeck, an Official Notice of Decision could not be found and is thus not required.

6-4(Z)(1)(a) Minor Amendments

The Planning Director may grant minor amendments that meet the following requirements:

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements. **Yes, please reference our modified site plan for evidence of compliance with approval and code requirements.**
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments. **Per attached correspondence with Jay Rodenbeck we are within the threshold for a minor amendment.**
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body. **Per responses on previous review PRT22-132 we do not require major public infrastructure changes.**
4. No deviations, Variances, or Waivers shall be granted for minor amendments. **No deviation or variances are being requested.**

We believe this renovated Chick-fil-A restaurant will be an asset to the City of Albuquerque and will be well received by the surrounding community. Thank you for your review.

TRACT B-3-D
COTTONWOOD CORNERS
Filed 7-3-2002, Vol. 2002C, Folio 225

ING 25' WATER & SANITARY
EASEMENT FILED MAY 29,
IN BOOK A36, PAGE 8190 AS
DOC. NO. 2002068387

EXISTING 15' WATERLINE EASEMENTS FILED
FEBRUARY 24, 1998 IN BOOK 9805, PAGE 8742
AS DOCUMENT # 1998020203 AND BOOK 9805,
PAGE 8741 AS DOC. # 1998020202

WUMH
RM ELEV= 5045.66
INV ELEV (W)= 5030.71
INV ELEV (N)= 5030.71
INV ELEV (S)= 5030.66

WUMH
RM ELEV= 5045.71
INV ELEV (W)= 5037.68
INV ELEV (S)= 5037.01

EXISTING 10' PNM UNDERGROUND EASEMENT
FILED MARCH 22, 2002, IN BOOK A33, PAGE
7841, AS DOC. NO. 2002037939

EXISTING 20' SANITARY SEWER EASEMENT FILED
MAY 29, 2002 IN BOOK A36, PAGE 8190 AS
DOCUMENT NO. 2002068387

ELLISON DRIVE NW,
156' PUBLIC R/W

LINE TABLE		
LINE	LENGTH	BEARING
L1	21.52'	N90°00'00"E
L2	49.88'	S22°39'32"E
L3	43.00'	S67°20'25"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING
C1	152.51'	2232.36'	76.29'	152.48'	S20°42'09"E
C2	40.97'	25.00'	26.76'	36.54'	S24°17'45"W
C3	195.20'	1022.00'	97.90'	194.91'	S76°43'22"W

LAYOUT NOTES

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED HANDICAP SYMBOL
- 5 STANDARD PARKING STALL / 4" PAINTED STRIPE
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- 8 CURBED RAMP
- 9 24" CURB & GUTTER
- 10 CONCRETE WHEEL STOP
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- 13 PIPE BUMPER POST
- 14 CURB SECTION DRIVE-THRU
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- 15b A TYPICAL SIDEWALK WITH BROOM FINISH
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- 44 EXISTING WASTEWATER MANHOLE RIM TO BE ADJUSTED TO MATCH PROPOSED GRADES. CONTRACTOR TO COORDINATE WITH NEW MEXICO UTILITIES, INC.

PROJECT INFORMATION

ADDRESS: NWC ELLISON DRIVE NW AND COTTONWOOD DRIVE ALBUQUERQUE, NEW MEXICO
CURRENT ZONING: SU-1 FOR IP USES
SITE AREA: 1.16 AC
BUILDING AREA: 4,261 SQ. FT.
TOTAL SEATING: 152
BUILDING HEIGHT: 25'-6"
PARKING PROVIDED: 45 SPACES (2 ACCESSIBLE)
PARKING REQUIRED: 38 BY CITY
PARKING RATIO PROVIDED: 1:95

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
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TRACT "B-6" OF TRACTS A THRU I, COTTONWOOD CORNERS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 3, 2000, IN PLAT BOOK 2000C, FOLIO 68.

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ELEVATION = 5041.90
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ELEVATION = 5044.53
- TBM #3 CONCRETE NAIL AND BRASS DISK AT NORTHEAST CORNER OF TRACT.
ELEVATION = 5045.42

ADMINISTRATIVE AMENDMENT

File # 04AA 0415, Project # 1000081
Amendment # AA de shen
APPROVED BY: [Signature] DATE: 5-17-04

AA # 04AA-00465

Project # 1000081

REV	DATE	BY	REVISION
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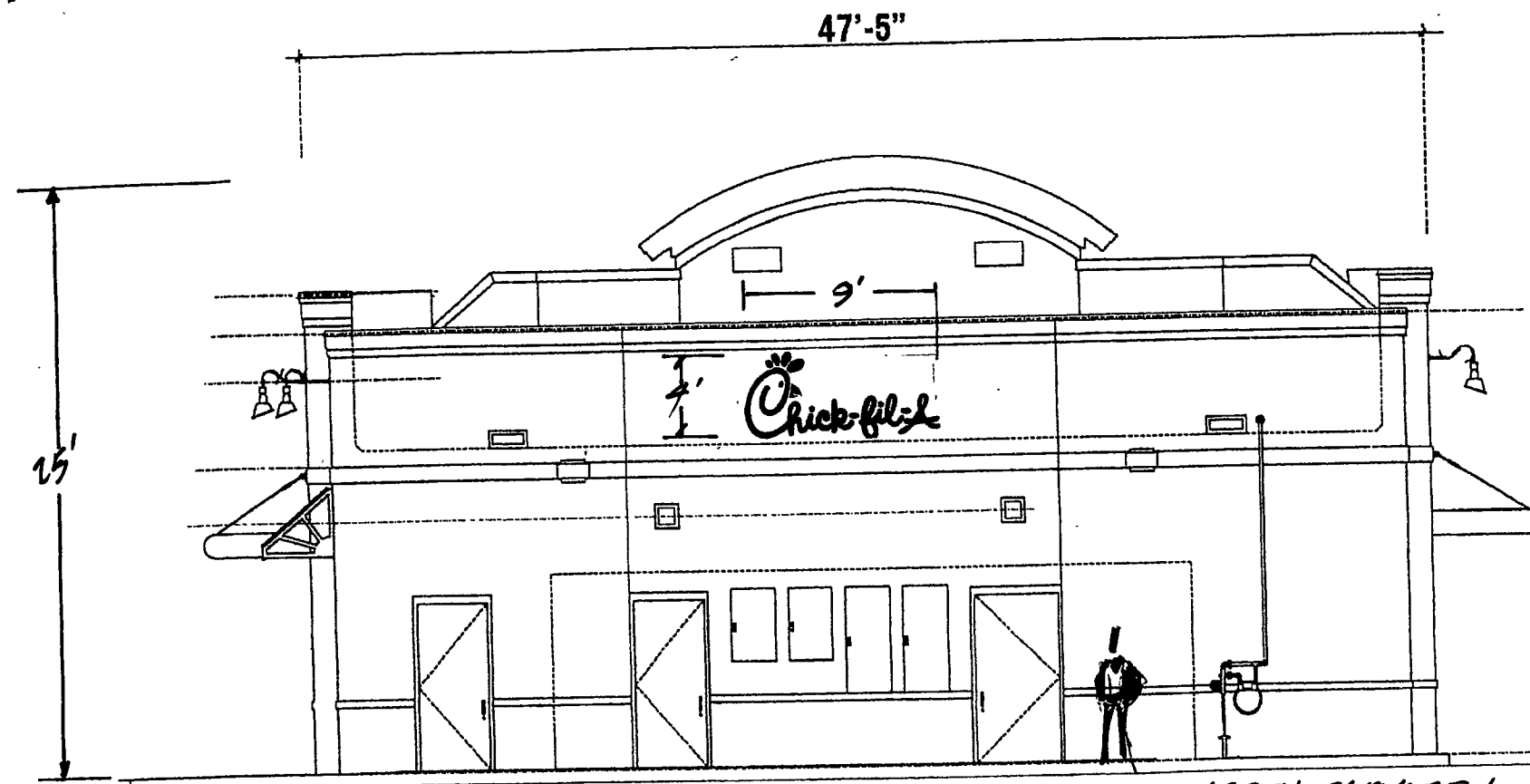
Chick-fil-A
CHICK-FIL-A
5200 BUFFINGTON RD.
ATLANTA, GEORGIA
30349-2998

Bury+Partners
Consulting Engineers and Surveyors
San Antonio, Texas Tel 210/595-9090 Fax 210/625-0629
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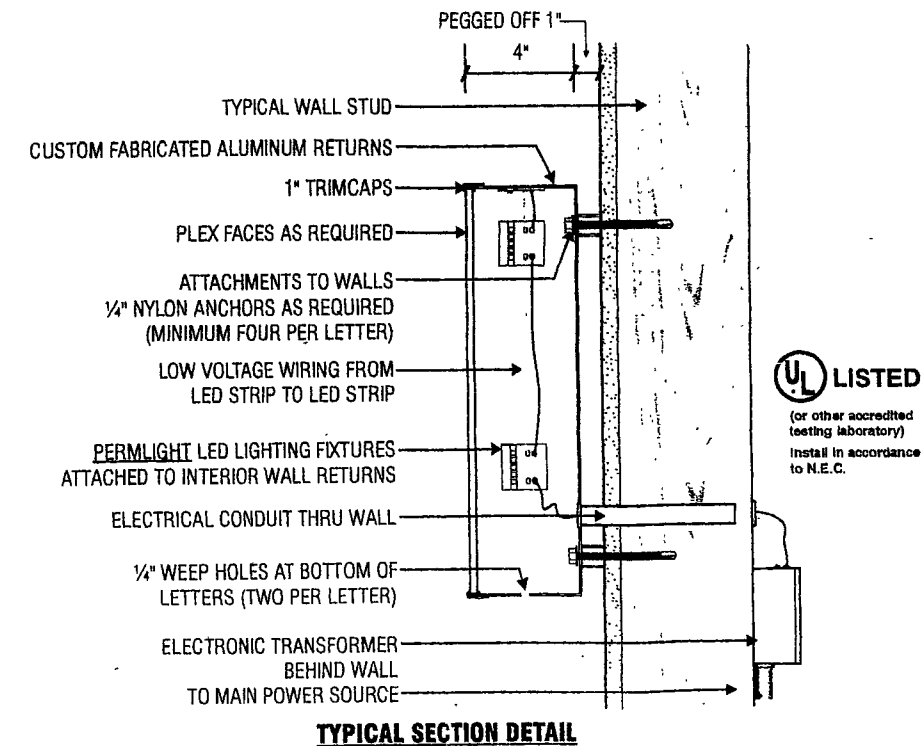
PROJECT TITLE CHICK-FIL-A NWC Ellison Drive NW and Cottonwood Drive Albuquerque, New Mexico	STORE # 1688
PROJECT MANAGER William O. Schock, P.E.	DRAWN BY: MM
JOB NO. 50049-128.30	
SHEET TITLE Site Plan	
DATE: 5/11/04	SHEET C-2
SCALE: 1"=20'	

3801 Ellison Dr NW



BLDG. FACIA: 1187.5 SQ. FT.
SIGN: 36 SQ. FT.
RATIO: 3%

NORTH ELEVATION
SCALE: 1/8" = 1'-0"



CHICK-FIL-A

3801 ELISON DRIVE N.W.

AL-579 P

E-9-1-2004

3801 Ellison Dr NW

ADMINISTRATIVE AMENDMENT	
File # <u>04-01343</u>	Project # <u>10000 B1</u>
<u>Building mounted signage -</u>	
<u>north elevation chick fil a</u>	
<u>Bob Paul</u>	<u>9/17/04</u>
APPROVED BY	DATE



ELECTRICAL PRODUCTS CO. OF NEW MEXICO, INC.
P.O. BOX 6465 2024 FIFTH STREET NORTHWEST ALBUQUERQUE, NEW MEXICO 87102 (505) 243-3771
NEW MEXICO TOLL FREE 1-800-444-7407

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FILED 7-3-2002, Vol. 2002C, Folio 225

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ELEVATION = 5044.53
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ELEVATION = 5045.42

ADMINISTRATIVE AMENDMENT

File # 04AA-00465 Project # 1000081
Addendum to AA do show
dimension
APPROVED BY: S-17-04
DATE

AA # 04AA-00465

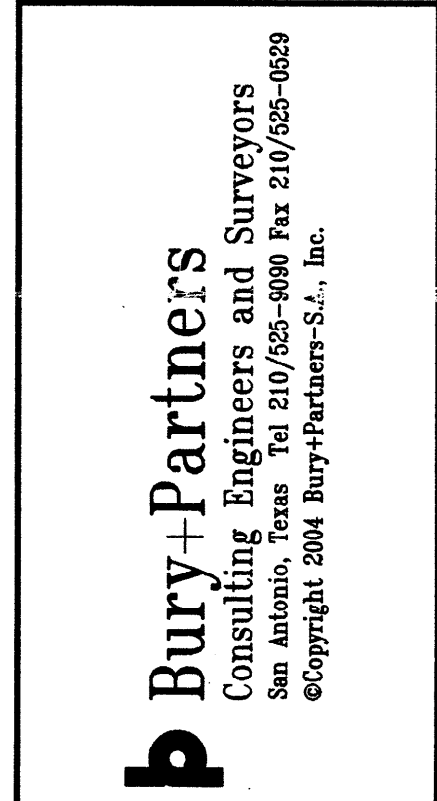
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3801 Ellison P. NW

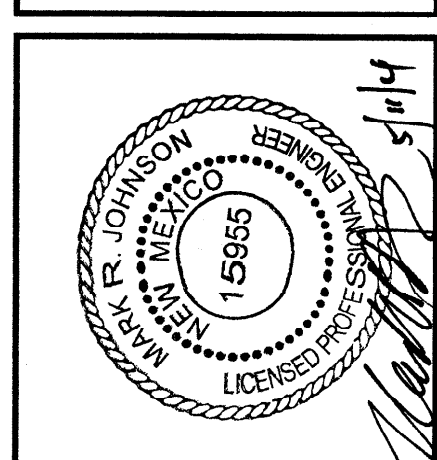
REV	DATE	BY	REVISION
1			
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3			
4			
5			



CHICK FILA
5200 BUFFINGTON RD.
ATLANTA, GEORGIA
30349-2998



Bury+Partners
Consulting Engineers and Surveyors
San Antonio, Texas Tel 210/655-6000 Fax 210/655-6559
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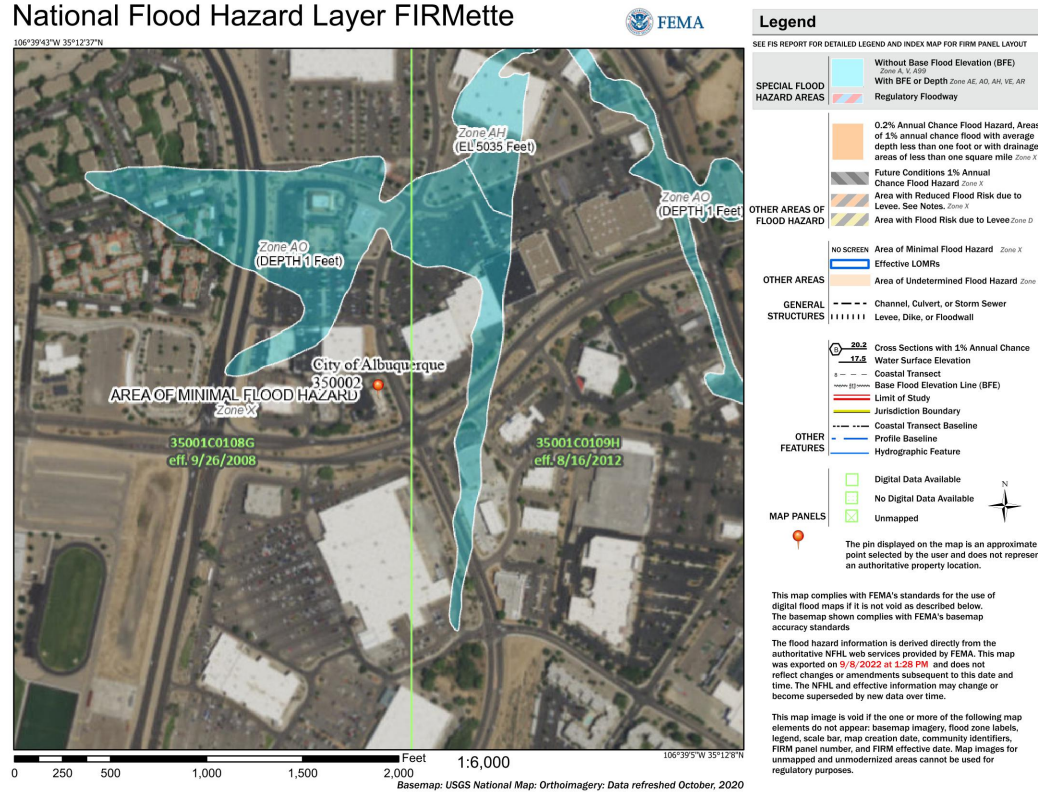
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PROJECT MANAGER William O. Schock, P.E.	JOB NO. 50049-128.30	SHEET TITLE Site Plan
DATE: 5/11/04	SCALE: 1"=20'	SHEET C-2

LINE	LENGTH	BEARING
L1	21.52'	N90°00'00"E
L2	49.88'	S22°39'32"E
L3	43.00'	S67°20'25"W

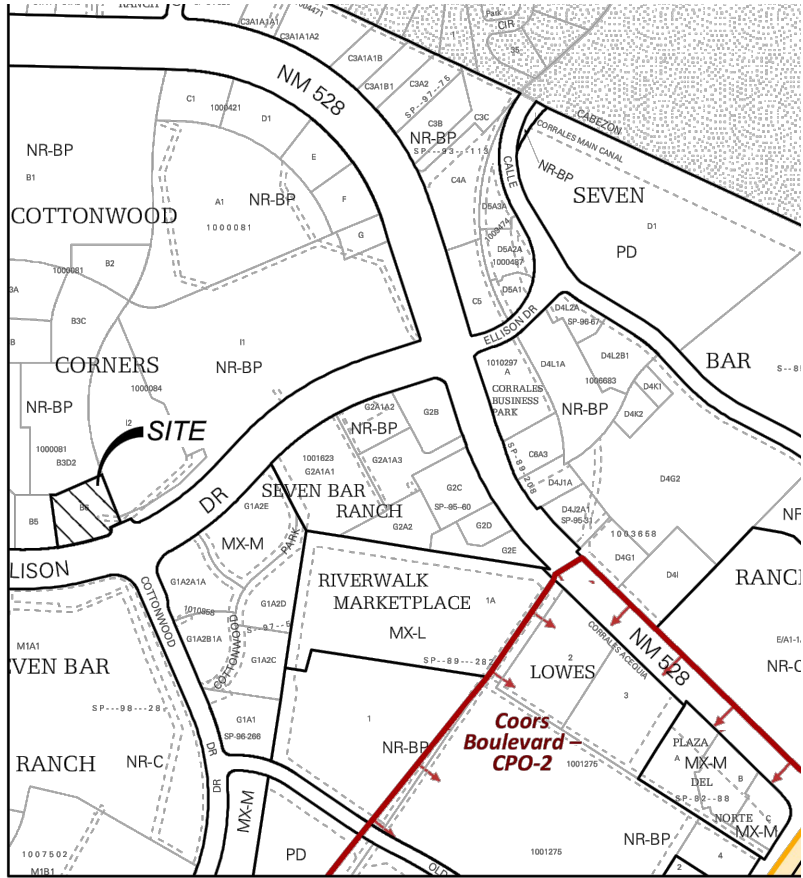
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	152.51'	2232.36'	76.29'	162.45'	S20°42'09"E	3°54'52"
C2	40.97'	25.00'	26.76'	36.54'	S24°17'45"W	93°53'56"
C3	195.20'	1022.00'	97.90'	194.91'	S76°43'22"W	10°56'37"



Know what's below.
Call before you dig.



FIRM MAP NO 35001C0114H



VICINITY MAP
N.T.S

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS LOT B6 OF COTTONWOOD CORNERS AND IS 1.16 ACRES LOCATED ON THE NORTH SIDE OF ELLISON DRIVE NW AND THE WEST SIDE OF COTTONWOOD DRIVE NW. THE PROPOSED DEVELOPMENT WILL BE A DRIVE THRU EXPANSION TO THE EXISTING FAST FOOD RESTAURANT.

FLOODPLAIN STATUS

THE PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0108G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2

EXISTING DRAINAGE

THE SITE IS WITHIN THE AREA OF THE COTTONWOOD CORNERS DRAINAGE MASTER PLAN DATED JUNE 20, 2002. THE EXISTING DRAINAGE FLOWS TO THREE LOW POINT INLETS IN THE PARKING LOT. THE INLETS ARE CONNECTED BY STORM SEWER ALONG THE CENTER OF THE SITE AND CONVEY FLOWS TO THE EXISTING STORM SYSTEM ON THE ADJACENT LOT.

DEVELOPED CONDITION

THE SITE DRAINAGE PATTERN WILL REMAIN MOSTLY UNCHANGED. THE LAND TREATMENT WILL REMAIN TREATMENT D. THE PROPOSED V380 IS 19 AC-FT WHICH IS EQUAL TO THE EXISTING. THE PROPOSED V1440 VOLUME IS 22 AC-FT WHICH IS 0.12 AC-FT LESS THAN THE EXISTING. THE PROPOSED PEAK DISCHARGE IS 4.78 CFS COMPARED TO EXISTING OF 5.07 CFS. IT IS OUR ASSERTION THE SITE CHANGES DO NOT PRODUCE ANY INCREASE IN VOLUMES REQUIRED.

REQUIRED FIRST FLUSH VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE TOTAL VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

IMPERVIOUS AREA: 36,996 SF

REQUIRED VOLUME = 36,996 * (0.44-0.10)/12 = 1049 FT³

PROVIDED VOLUME ON SITE (BASIN A) = 0 FT³

PROVIDED VOLUME IN DEVELOPMENT POND = 1289 FT³

LAND TREATMENT (AC)					
BASIN	A	B	C	D	TOTAL
ZONE-1				1.16	1.16

NOTES:

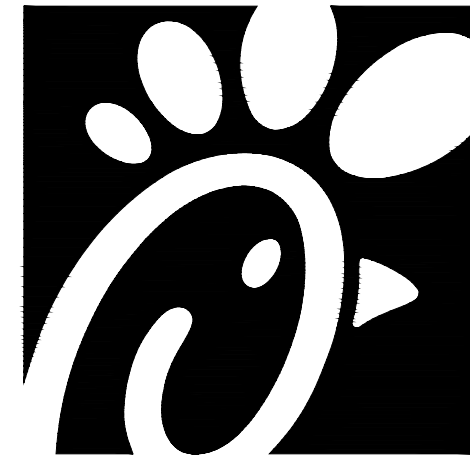
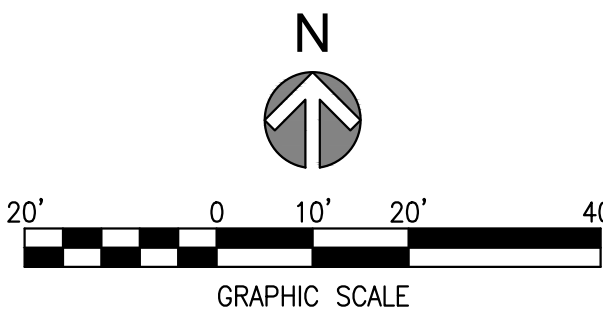
- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ELEVATIONS ARE 51XX.XX, UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND:

- PROPERTY LINE
- LIMITS OF GRADING
- 4945 PROPOSED MAJOR CONTOUR
- 4943 PROPOSED MINOR CONTOUR
- 4945 EXISTING MAJOR CONTOUR
- 4943 EXISTING MINOR CONTOUR
- 42.69'x FLOWLINE SPOT ELEVATION
- FF: 42.69'x FINISHED FLOOR SPOT ELEVATION
- FG: 42.69'x FINISHED GRADE SPOT ELEVATION
- TC: 93.41'x TOP OF CURB SPOT ELEVATION
- EG: 93.41'x EXISTING GRADE SPOT ELEVATION
- EX FL: 93.41'x EXISTING FLOWLINE SPOT ELEVATION
- 2.7% PROPOSED SLOPE ARROWS
- EX 2.7% EXISTING SLOPE ARROWS
- BASIN LINES
- STORM INLET
- STORM MANHOLE



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5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

CHICK-FIL-A
COTTONWOOD FSU
3801 ELLISON ROAD, NW
ALBUQUERQUE, NM 87114

FSR#1688

BUILDING TYPE / SIZE:

RELEASE:

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	65121159-01
PRINTED FOR	REVIEW
DATE	10/14/2022
DRAWN BY	LDV
SHEET	

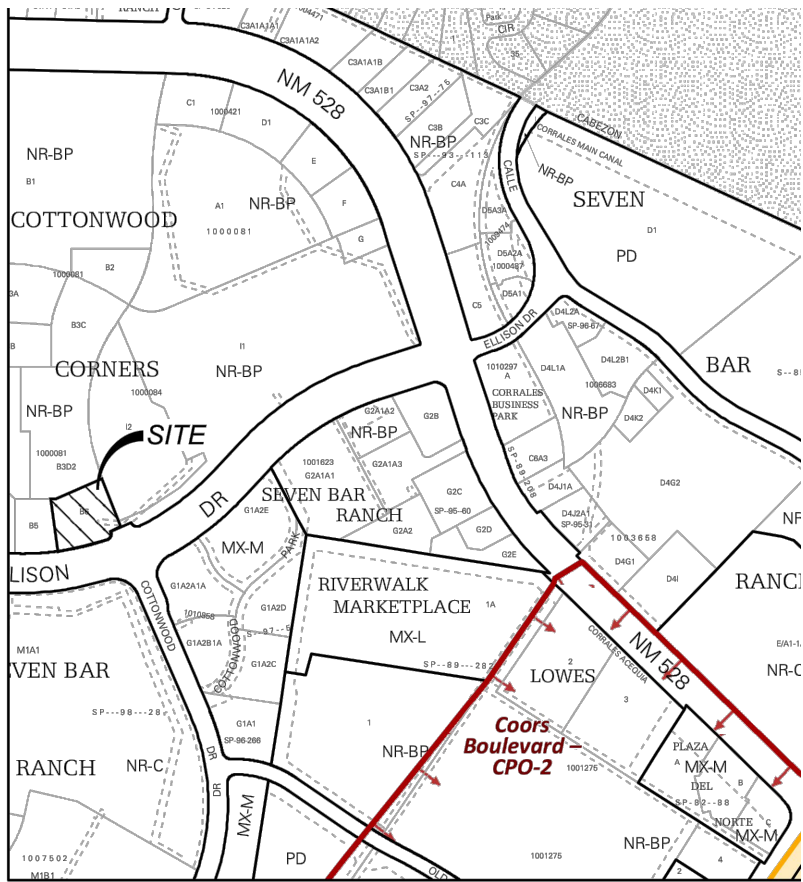
GRADING AND
DRAINAGE PLAN
SHEET NUMBER



Know what's below.
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SITE PLAN DESIGN NOTES & KEY PLAN

- 1 HEIGHT CLEARANCE ARM
- 2 CONCRETE DRIVE THROUGH
- 3 ORDER POINT CANOPY
- 4 MENU BOARDS
- 5 ROLL OVER CURB
- 6 TRANSITION TO ZERO HEIGHT CURB
- 7 3' CURB CHASE
- 8 SIDEWALK
- 9 PICK UP WINDOW CANOPY
- 10 GREASE INTERCEPTOR



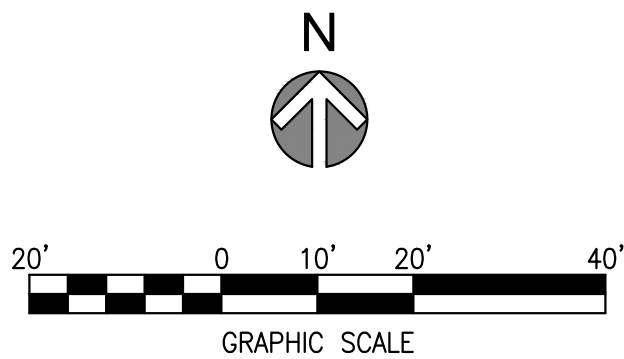
VICINITY MAP
N.T.S.

LEGEND

PROPERTY LINE	
BUILDING LINE	
NEW CURB AND GUTTER	
NEW SIDEWALK	
EASEMENT LINE	
(20'-0" LENGTH TYPE) VEHICLE	

GENERAL NOTES

1. DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
2. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
3. APPLICANT SHALL ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS.
4. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
5. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



SITE DATA CHART

LEGAL DESCRIPTION OF LEASE AREA: TRACT "B-6" OF TRACTS A THRU I, COTTONWOOD CORNERS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON MARCH 3, 200, IN PLAT BOOK 2000C, FOLIO 68.

ZONE DISTRICT: SU-1 FOR IP USES

PROPOSED USE: QUICK SERVICE RESTAURANT

	SQ. FT.	ACRES	PERCENTAGE
TOTAL AREA OF PROPERTY:	50,690	1.16	100%
LANDSCAPE AREA:	9,565	0.22	19%
HARDSCAPE AREA:	4,133	0.09	8%
TOTAL PARKING AND DRIVE AREA:	32,309	0.74	64%
TOTAL BUILDING AREA:	4,683	0.11	9%

REQUIRED PARKING CALCULATION - RESTAURANT WITH DRIVE-THRU
AT LEAST 1 PARKING SPACE PER 4 SEATS IN BUILDING = 38 SPACES

REQUIRED HANDICAP ACCESSIBLE PARKING SPACES = 3

STANDARD PARKING SPACES:	37
ACCESSIBLE PARKING SPACES:	3
TOTAL AUTO PARKING SPACES PROVIDED:	40

NO ON STREET PARKING.

FORMER PROJECT NUMBER:

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION _____ DATE _____

ABCWUA _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

CITY ENGINEER _____ DATE _____

SOLID WASTE MANAGEMENT _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

PROJECT STATUS

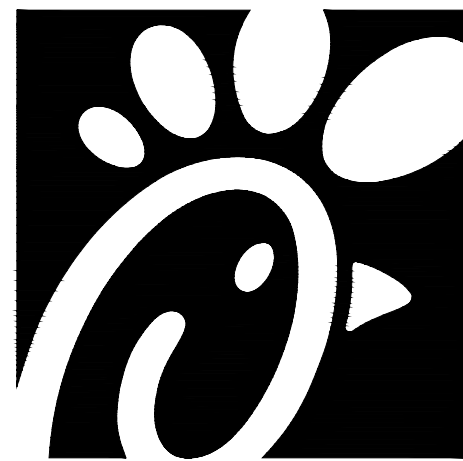
NO.	DATE	DESCRIPTION
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SITE PLAN

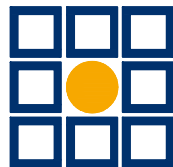
SHEET NUMBER

1



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FSR#1688

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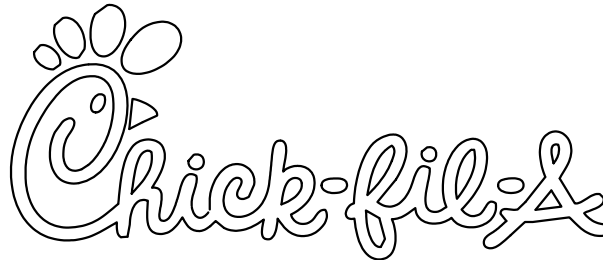
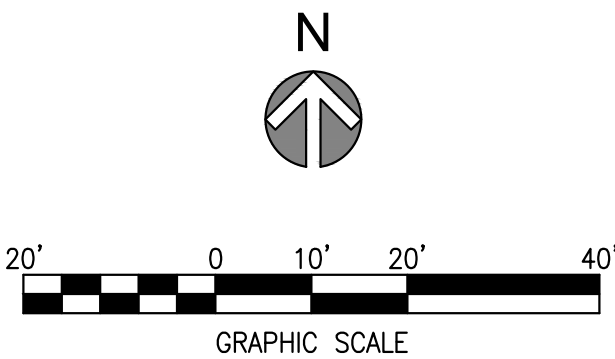


PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- | | |
|----|--|
| 1 | CONNECT TO EXISTING WATER LINE |
| 2 | ELECTRIC SERVICE LINE |
| 3 | ELECTRIC METER AND DISTRIBUTION PANEL |
| 4 | GAS METER |
| 5 | GREASE INTERCEPTOR (PRIVATE) |
| 6 | 4" PVC WASTEWATER SERVICE LINE (PRIVATE) |
| 7 | 4" PVC KITCHEN WASTE LINE (PRIVATE) |
| 8 | 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE) |
| 9 | TRASH ENCLOSURE AREA DRAIN, CONNECT TO PROPOSED SANITARY SEWER LINE. |
| 10 | STORM DRAIN |
| 11 | STORM INLET |

LEGEND:

- | | |
|--|-------------------------|
| | PROPERTY LINE |
| | WATER METER |
| | IRRIGATION METER |
| | GREASE TRAP |
| | SINGLE CLEANOUT |
| | TWO-WAY CLEANOUT |
| | TRANSFORMER |
| | STORM INLET |
| | STORM MANHOLE |
| | LIGHT POLE |
| | PROPOSED TRAFFIC SIGN |
| | PAVEMENT STRIPING |
| | WATER LINE |
| | SANITARY SEWER |
| | STORM SEWER |
| | EX STORM MANHOLE |
| | EX SANITARY MANHOLE |
| | EX STORM INLET |
| | EX LIGHT POLE |
| | EX UNDERGROUND ELECTRIC |
| | EX GAS SERVICE |
| | EX WATER LINE |
| | EX SANITARY SEWER |
| | EX TELEPHONE SERVICE |
| | EX FIRE HYDRANT |
| | EX TRAFFIC SIGN |
| | EX IRRIGATION VALVE |
| | EX WATER VALVE |
| | EX TELEPHONE BOX |
| | EX ELECTRIC BOX |
| | EX STORM SEWER |



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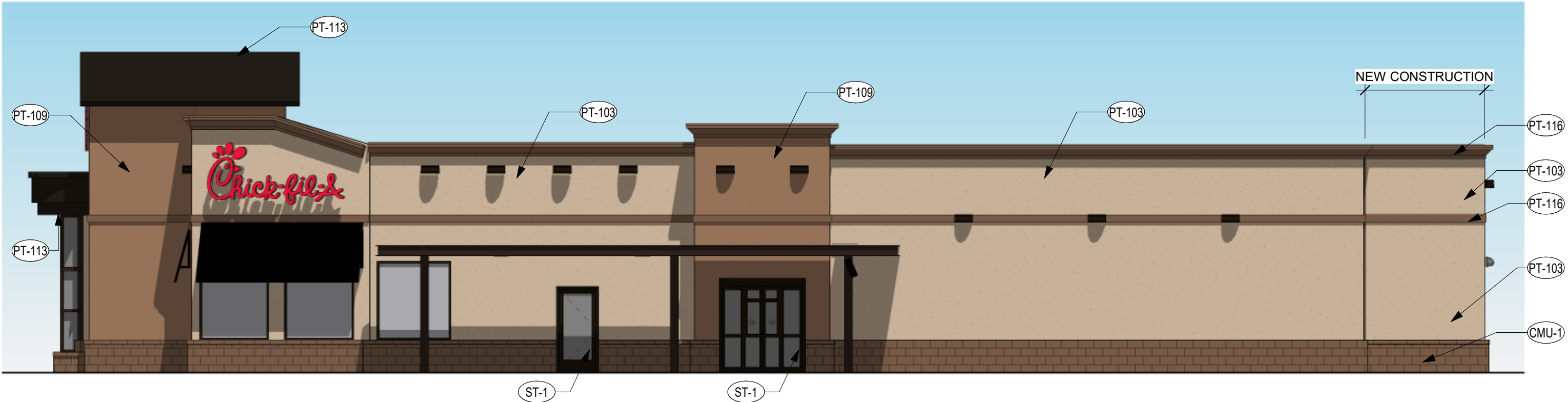
CONSULTANT PROJECT #	65121159-01
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UTILITY PLAN

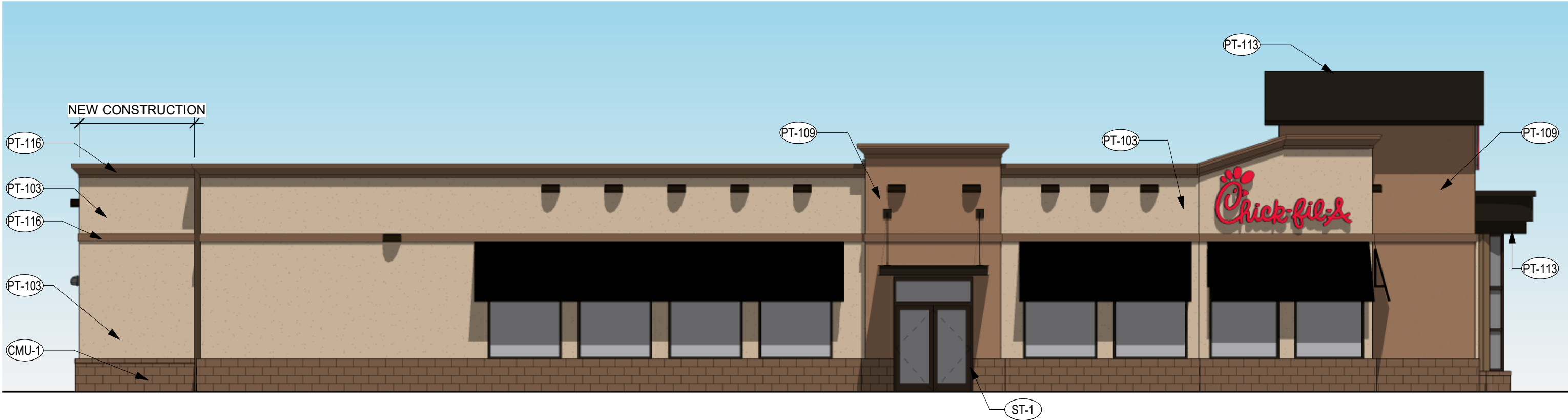
SHEET NUMBER

3

3 OF 3



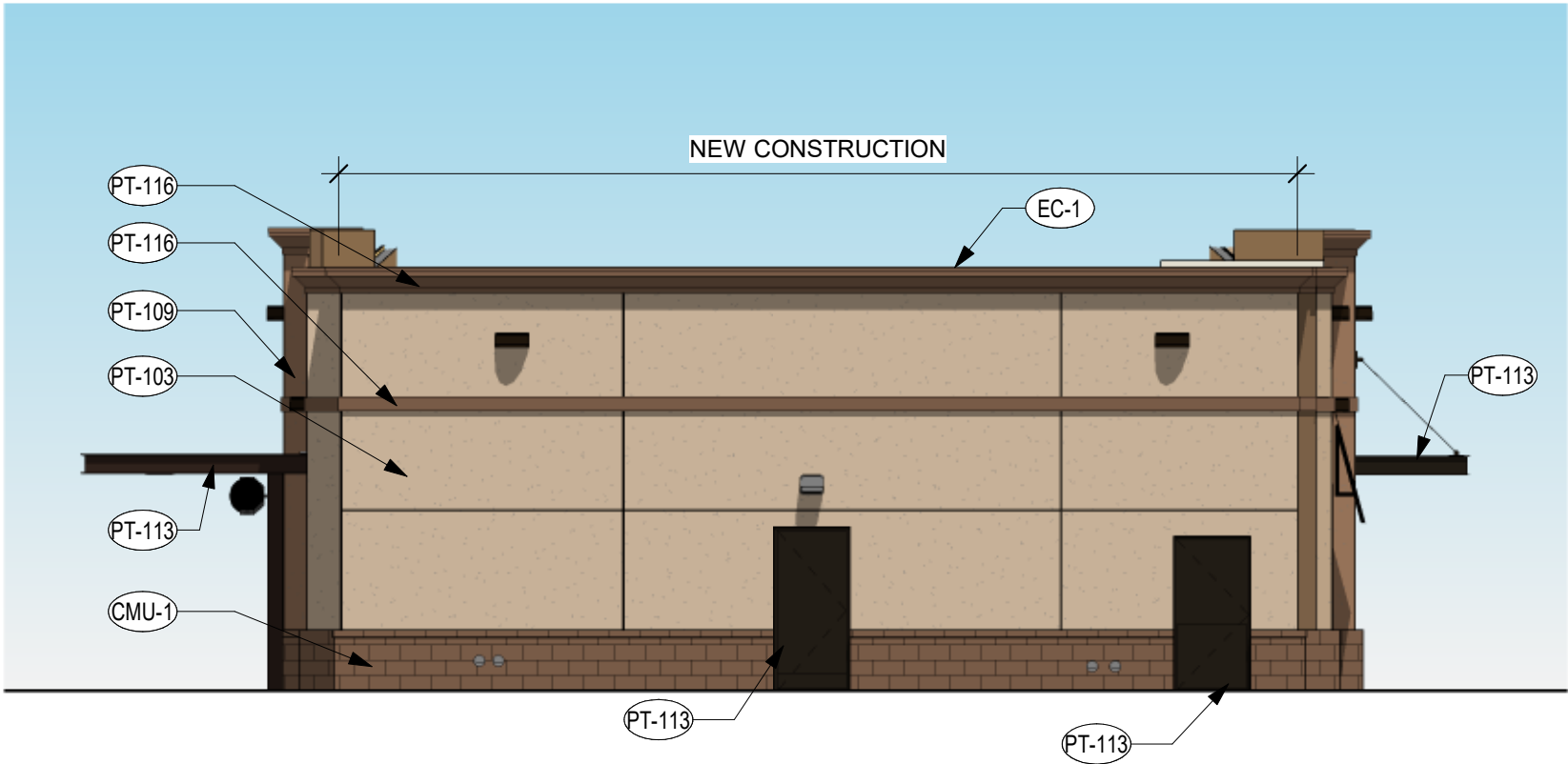
1 ELEVATION - DRIVE THRU
1/8" = 1'-0"



2 ELEVATION - ENTRY
1/8" = 1'-0"

COLOR ELEVATIONS





1 ELEVATION - REAR
1/8" = 1'-0"



2 ELEVATION - FRONT
1/8" = 1'-0"

EXTERIOR FINISHES

PAINT AT EXISTING/NEW STUCCO



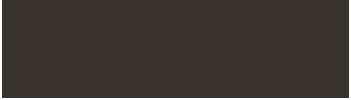
PT-103
PAINT
SW6107
NOMADIC DESERT



PT-109
PAINT
SW6095
TOASTY



PT-116
PAINT
SW6089
GROUNDED



EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE



PT-113
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS



ST-1
STOREFRONT
COLOR: DARK BRONZE



CMU-1
EXISTING SPLITFACE CMU VENEER
INTEGRAL COLOR TO MATCH PT-116
(SW 6089 GROUNDED)

COLOR ELEVATIONS