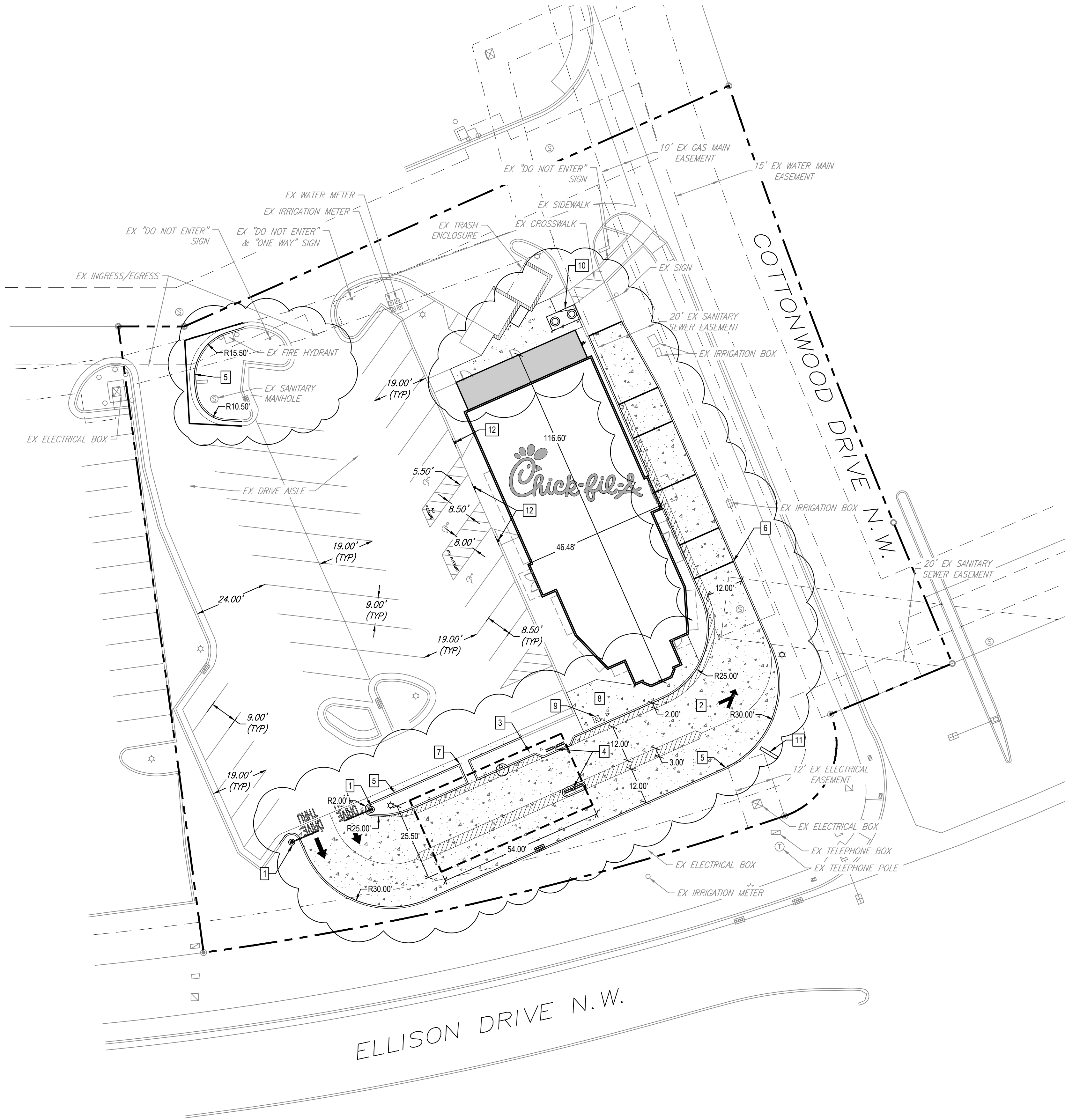


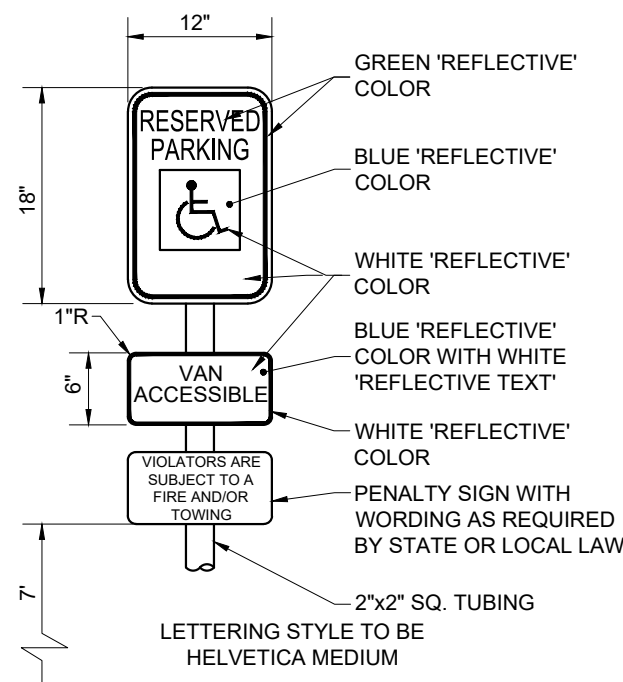


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SITE PLAN DESIGN NOTES & KEY PLAN

- 1 HEIGHT CLEARANCE ARM
- 2 CONCRETE DRIVE THROUGH
- 3 ORDER POINT CANOPY
- 4 MENU BOARDS
- 5 ROLL OVER CURB
- 6 TRANSITION TO ZERO HEIGHT CURB
- 7 3' CURB CHASE
- 8 SIDEWALK
- 9 FLAG POLE
- 10 GREASE INTERCEPTOR
- 11 RELOCATED MONUMENT SIGN
- 12 ACCESSIBLE PARKING SIGN



LEGEND

| | |
|---------------------|-----|
| PROPERTY LINE | --- |
| BUILDING LINE | --- |
| NEW CURB AND GUTTER | --- |
| NEW SIDEWALK | --- |
| EASEMENT LINE | --- |

SITE DATA CHART

LEGAL DESCRIPTION OF LEASE AREA: TRACT "B-6" OF TRACTS A THRU I, COTTONWOOD CORNERS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON MARCH 3, 200, IN PLAT BOOK 2000C, FOLIO 68.

ZONE DISTRICT: SU-1 FOR IP USES

PROPOSED USE: QUICK SERVICE RESTAURANT

| | SQ. FT. | ACRES | PERCENTAGE |
|-------------------------------|---------|-------|------------|
| TOTAL AREA OF PROPERTY: | 50,690 | 1.16 | 100% |
| LANDSCAPE AREA: | 8,497 | 0.19 | 17% |
| HARDSCAPE AREA: | 4,133 | 0.09 | 8% |
| TOTAL PARKING AND DRIVE AREA: | 33,377 | 0.77 | 66% |
| TOTAL BUILDING AREA: | 4,683 | 0.11 | 9% |

REQUIRED PARKING CALCULATION - RESTAURANT
8 PARKING SPACE PER 1000 SF GFA = 38 SPACES

REQUIRED HANDICAP ACCESSIBLE PARKING SPACES = 3

STANDARD PARKING SPACES: 37
ACCESSIBLE PARKING SPACES: 3
TOTAL AUTO PARKING SPACES PROVIDED: 40

NO ON STREET PARKING.

FORMER PROJECT NUMBER:

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION _____ DATE _____

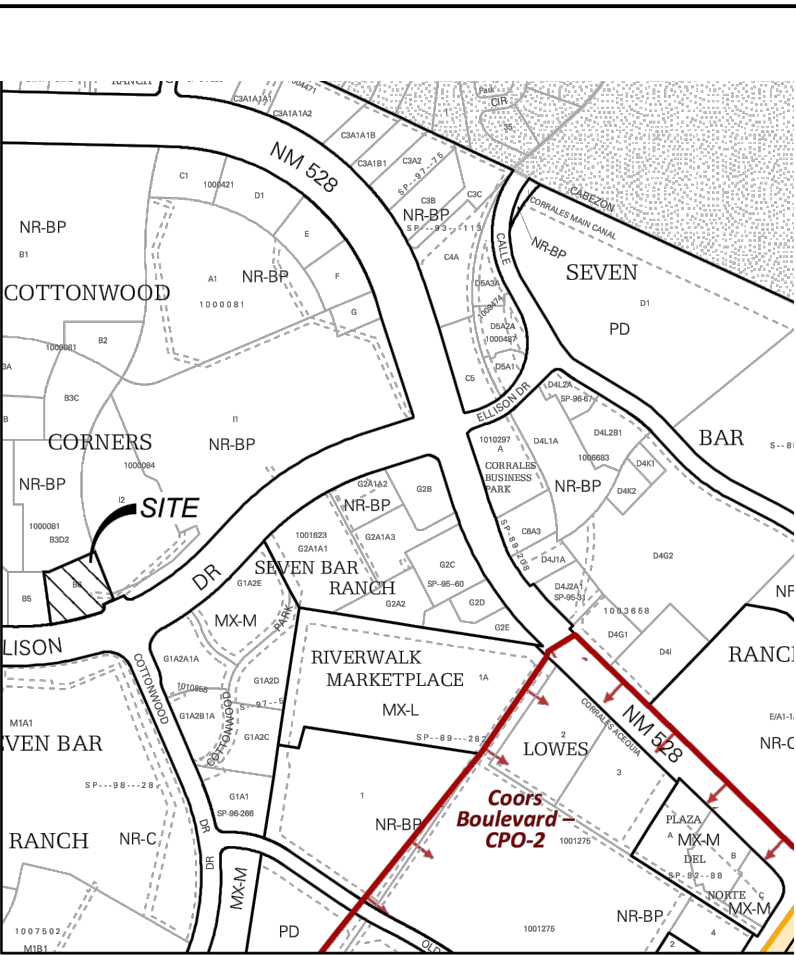
ABCWUA _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

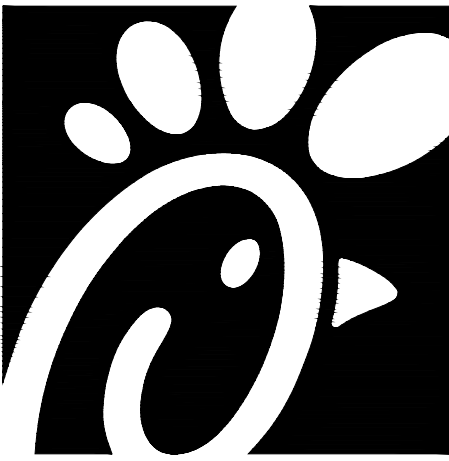
CITY ENGINEER _____ DATE _____

SOLID WASTE MANAGEMENT _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____



VICINITY MAP
N.T.S.



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

CHICK-FIL-A
COTTONWOOD FSU
3801 ELLISON ROAD, NW
ALBUQUERQUE, NM 87114

FSR#1688

BUILDING TYPE / SIZE:

RELEASE:

| REVISION SCHEDULE | NO. | DATE | DESCRIPTION |
|-------------------|-----|------|-------------|
|-------------------|-----|------|-------------|

CONSULTANT PROJECT # 65121159-01

PRINTED FOR REVIEW

DATE 10/14/2022

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SHEET

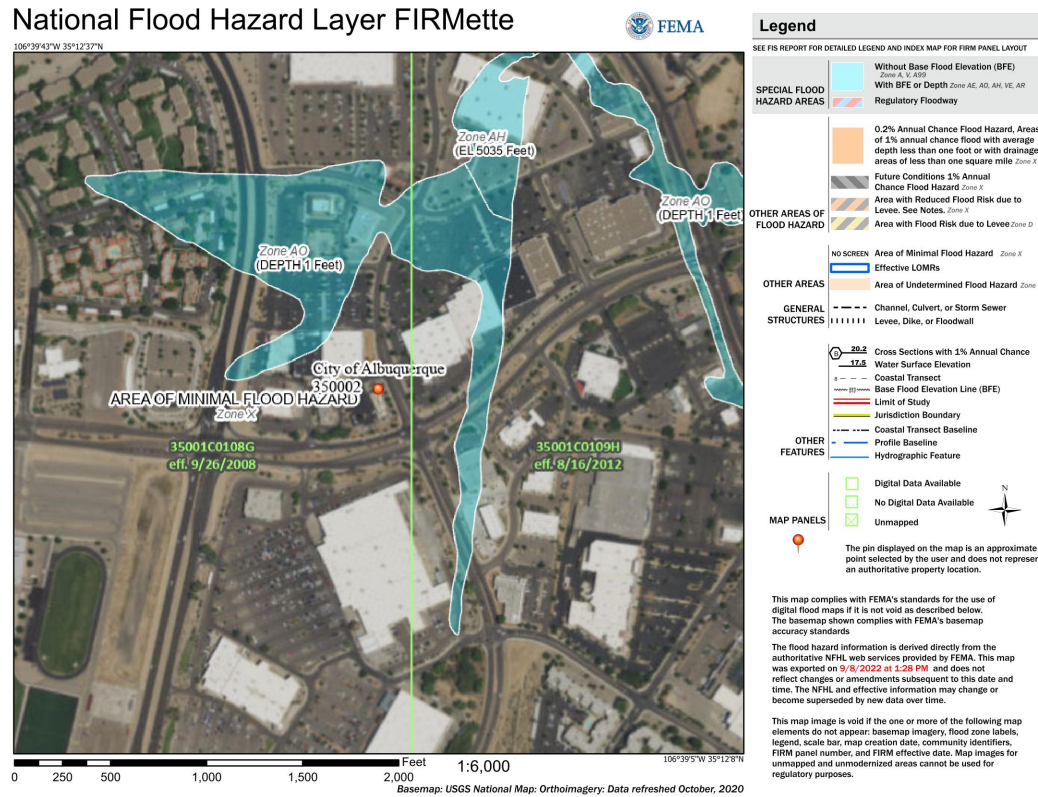
SITE PLAN

SHEET NUMBER

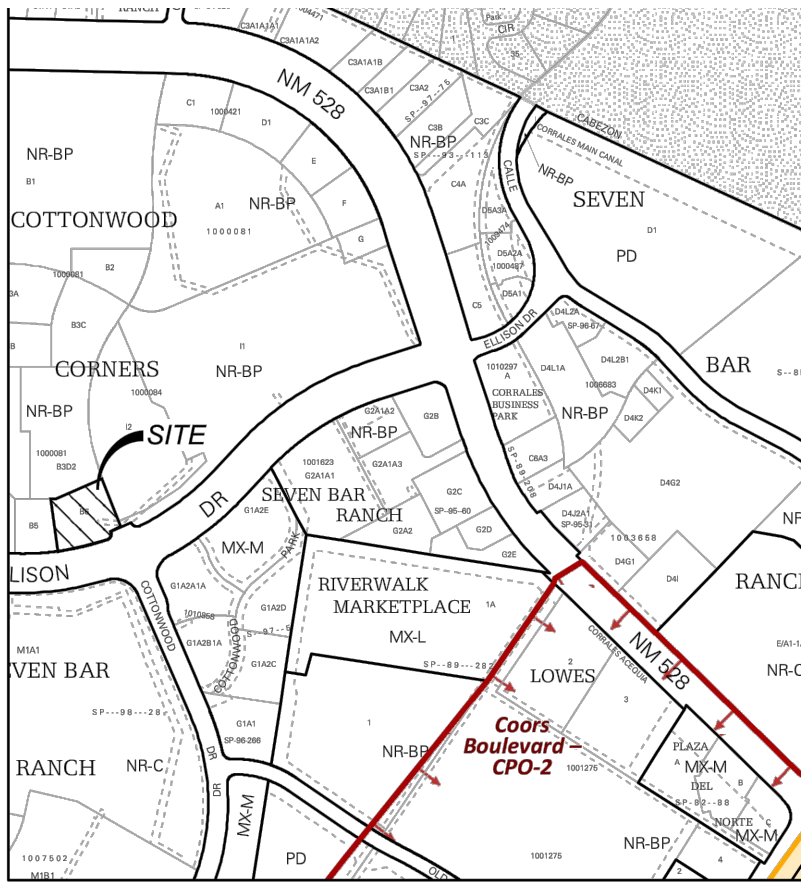
1



Know what's below.
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FIRM MAP NO 35001C0114H



VICINITY MAP
N.T.S

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS LOT B6 OF COTTONWOOD CORNERS AND IS 1.16 ACRES LOCATED ON THE NORTH SIDE OF ELLISON DRIVE NW AND THE WEST SIDE OF COTTONWOOD DRIVE NW. THE PROPOSED DEVELOPMENT WILL BE A DRIVE THRU EXPANSION TO THE EXISTING FAST FOOD RESTAURANT.

FLOODPLAIN STATUS

THE PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0108G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2

EXISTING DRAINAGE

THE SITE IS WITHIN THE AREA OF THE COTTONWOOD CORNERS DRAINAGE MASTER PLAN DATED JUNE 20, 2002. THE EXISTING DRAINAGE FLOWS TO THREE LOW POINT INLETS IN THE PARKING LOT. THE INLETS ARE CONNECTED BY STORM SEWER ALONG THE CENTER OF THE SITE AND CONVEY FLOWS TO THE EXISTING STORM SYSTEM ON THE ADJACENT LOT.

DEVELOPED CONDITION

THE SITE DRAINAGE PATTERN WILL REMAIN MOSTLY UNCHANGED. THE LAND TREATMENT WILL REMAIN TREATMENT D. THE PROPOSED V360 IS 19 AC-FT WHICH IS EQUAL TO THE EXISTING. THE PROPOSED V1440 VOLUME IS 22 AC-FT WHICH IS 0.12 AC-FT LESS THAN THE EXISTING. THE PROPOSED PEAK DISCHARGE IS 4.78 CFS COMPARED TO EXISTING OF 5.07 CFS. IT IS OUR ASSERTION THE SITE CHANGES DO NOT PRODUCE ANY INCREASE IN VOLUMES REQUIRED.

REQUIRED FIRST FLUSH VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE TOTAL VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

IMPERVIOUS AREA: 38,060 SF

REQUIRED VOLUME = 38,060 * (0.44-0.10)/12 = 1078 FT³

PROVIDED VOLUME ON SITE (BASIN A) = 0 FT³

PROVIDED VOLUME IN DEVELOPMENT POND = 1289 FT³

| LAND TREATMENT (AC) | | | | | |
|---------------------|---|---|---|------|-------|
| BASIN | A | B | C | D | TOTAL |
| ZONE-1 | | | | 1.16 | 1.16 |

NOTES:

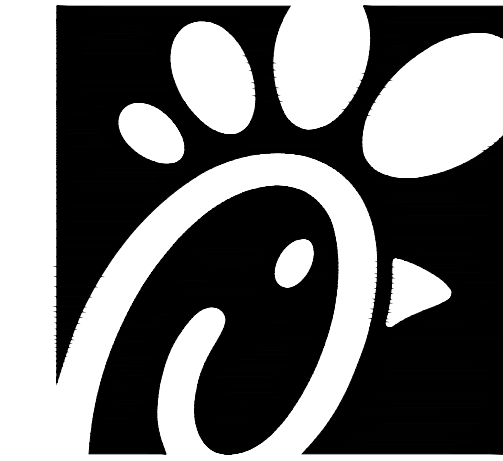
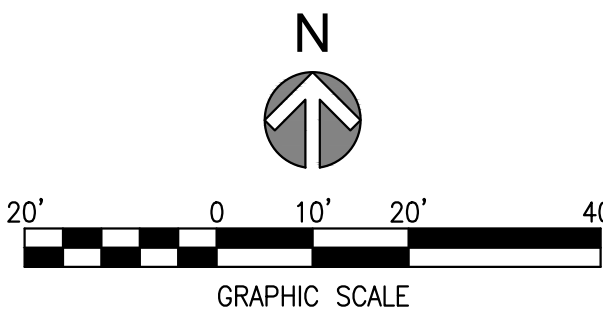
- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ELEVATIONS ARE 51XX.XX, UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND:

- PROPERTY LINE
- LIMITS OF GRADING
- 4945 PROPOSED MAJOR CONTOUR
- 4943 PROPOSED MINOR CONTOUR
- 4945 EXISTING MAJOR CONTOUR
- 4943 EXISTING MINOR CONTOUR
- 42.69'x FLOWLINE SPOT ELEVATION
- FF: 42.69'x FINISHED FLOOR SPOT ELEVATION
- FG: 42.69'x FINISHED GRADE SPOT ELEVATION
- TC: 93.41'x TOP OF CURB SPOT ELEVATION
- EG: 93.41'x EXISTING GRADE SPOT ELEVATION
- EX FL: 93.41'x EXISTING FLOWLINE SPOT ELEVATION
- 2.7% PROPOSED SLOPE ARROWS
- EX 2.7% EXISTING SLOPE ARROWS
- BASIN LINES
- STORM INLET
- STORM MANHOLE



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FSR#1688

BUILDING TYPE / SIZE:

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| REVISION SCHEDULE | | |
|-------------------|------|-------------|
| NO. | DATE | DESCRIPTION |

| | |
|----------------------|-------------|
| CONSULTANT PROJECT # | 65121159-01 |
| PRINTED FOR | REVIEW |
| DATE | 10/14/2022 |
| DRAWN BY | LDV |
| SHEET | |

GRADING AND
DRAINAGE PLAN
SHEET NUMBER



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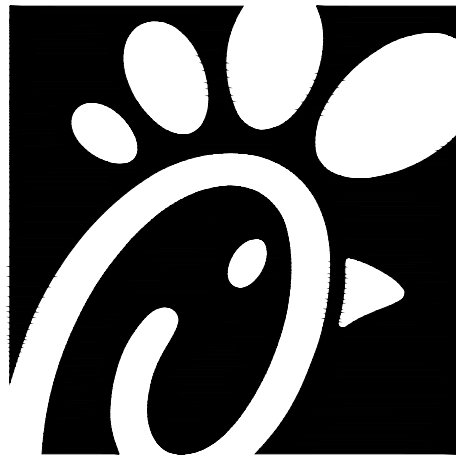
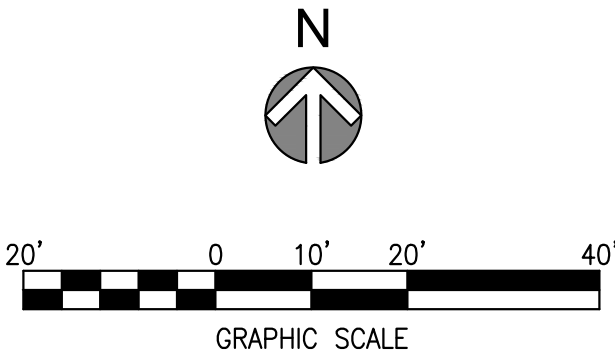


PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- | | |
|----|--|
| 1 | CONNECT TO EXISTING WATER LINE |
| 2 | ELECTRIC SERVICE LINE |
| 3 | ELECTRIC METER AND DISTRIBUTION PANEL |
| 4 | GAS METER |
| 5 | GREASE INTERCEPTOR (PRIVATE) |
| 6 | 4" PVC WASTEWATER SERVICE LINE (PRIVATE) |
| 7 | 4" PVC KITCHEN WASTE LINE (PRIVATE) |
| 8 | 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE) |
| 9 | TRASH ENCLOSURE AREA DRAIN, CONNECT TO PROPOSED SANITARY SEWER LINE. |
| 10 | STORM DRAIN |
| 11 | STORM INLET |

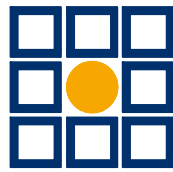
LEGEND:

- | | |
|--|-------------------------|
| | PROPERTY LINE |
| | WATER METER |
| | IRRIGATION METER |
| | GREASE TRAP |
| | SINGLE CLEANOUT |
| | TWO-WAY CLEANOUT |
| | TRANSFORMER |
| | STORM INLET |
| | STORM MANHOLE |
| | LIGHT POLE |
| | PROPOSED TRAFFIC SIGN |
| | PAVEMENT STRIPING |
| | WATER LINE |
| | SANITARY SEWER |
| | STORM SEWER |
| | EX STORM MANHOLE |
| | EX SANITARY MANHOLE |
| | EX STORM INLET |
| | EX LIGHT POLE |
| | EX UNDERGROUND ELECTRIC |
| | EX GAS SERVICE |
| | EX WATER LINE |
| | EX SANITARY SEWER |
| | EX TELEPHONE SERVICE |
| | EX FIRE HYDRANT |
| | EX TRAFFIC SIGN |
| | EX IRRIGATION VALVE |
| | EX WATER VALVE |
| | EX TELEPHONE BOX |
| | EX ELECTRIC BOX |
| | EX STORM SEWER |



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UTILITY PLAN

SHEET NUMBER

3