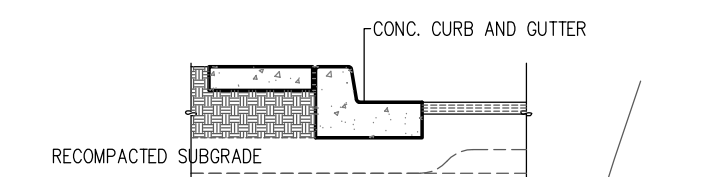
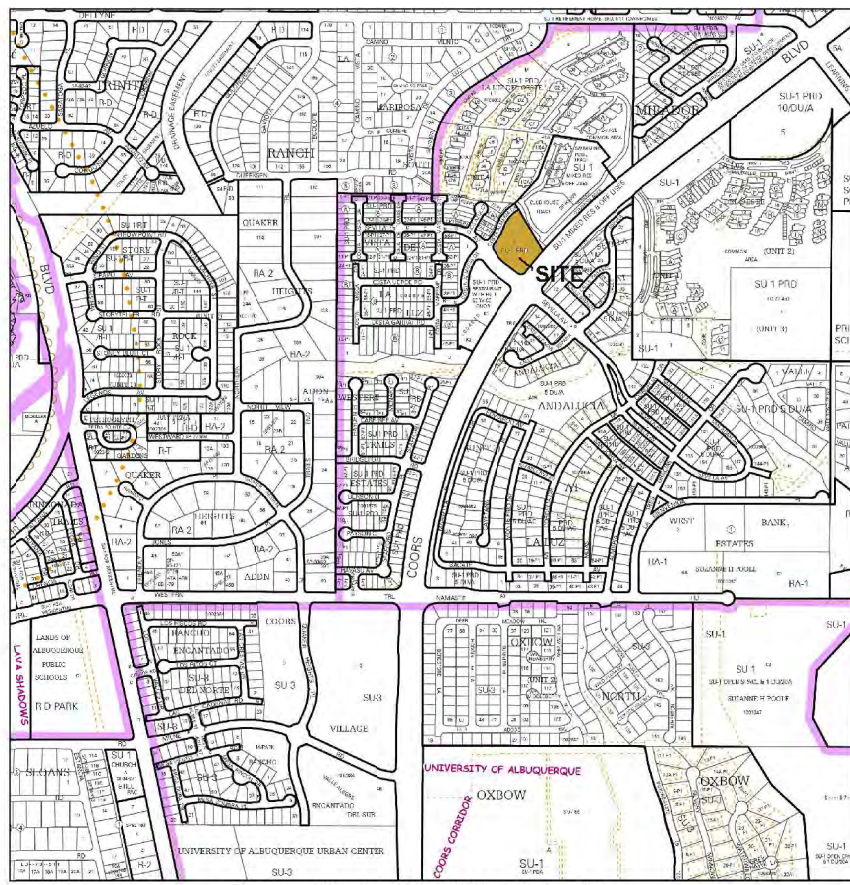


ADMINISTRATIVE AMENDMENT

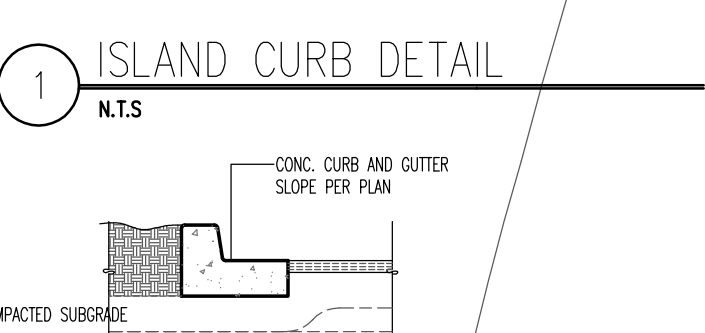
FILE #: _____ PROJECT #: _____

APPROVED BY

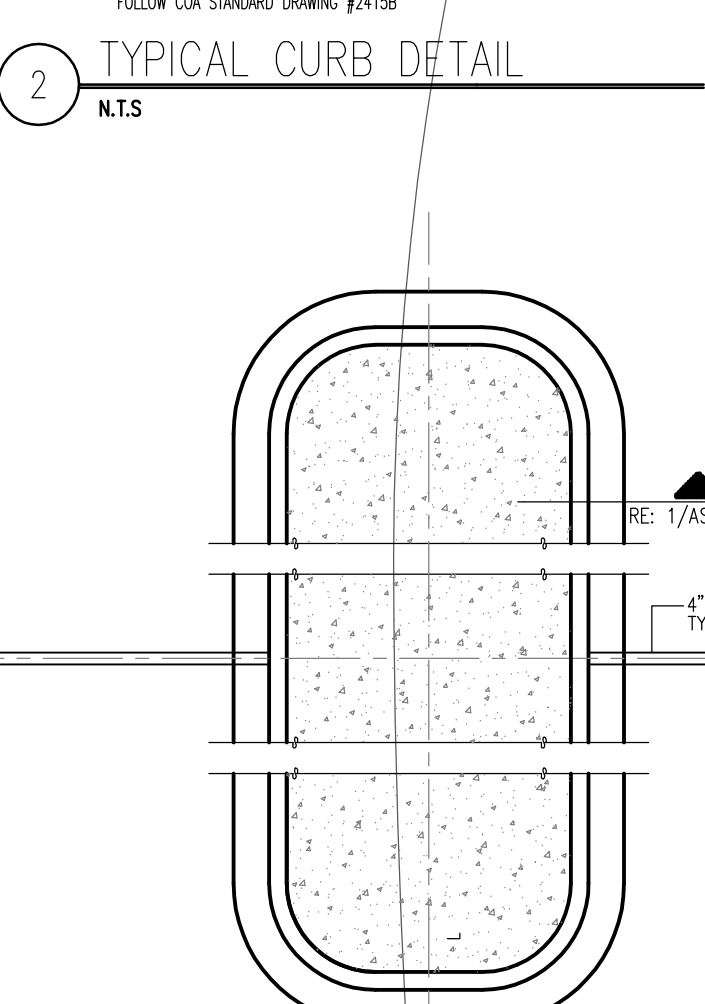
DATE



1 ISLAND CURB DETAIL
N.T.S.



2 TYPICAL CURB DETAIL
N.T.S.



3 ISLAND DETAIL
N.T.S.

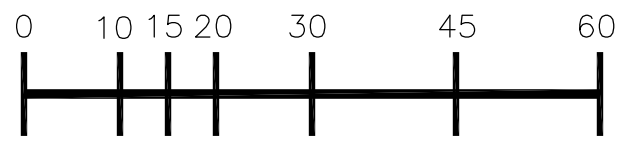
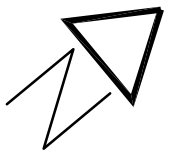
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER

ALL SCREENING AND VEGETATION AROUND GROUND-MOUNTED TRANSFORMERS SHALL PROVIDE 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 FEET OF CLEARANCE ON THE REMAINING 3 SIDES

THE SITE IS SERVED BY AN EXISTING PUBLIC TRANSIT ROUTE

SEE LANDSCAPE PLAN FOR LANDSCAPE WALLS

1 SITE PLAN
1"= 20'-0"



DATA

LAND AREA: 1.8728 ACRES
ZONING: SU-1 PRD, O-1, C-1 ALLOWED
MAX. BUILDING HEIGHT: 26'
FLOOR/AREA RATIO: 0.12
BUILDING AREA:
CARWASH 5,548 SF
RETAIL PAD 5,021 SF

* REQUIRED PARKING:
CARWASH + RETAIL PAD = 10,569/200=52.8
(53)-10%* (5) = 48 *10% REDUCTION WITHIN
300' OF REGULAR TRANSIT ROUTE
TOTAL: 48 SPACES REQUIRED AND 58 PROVIDED

2 MC SPACES REQUIRED AND PROVIDED
3 HC SPACES REQUIRED AND PROVIDED
3 BICYCLE SPACES REQUIRED AND PROVIDED

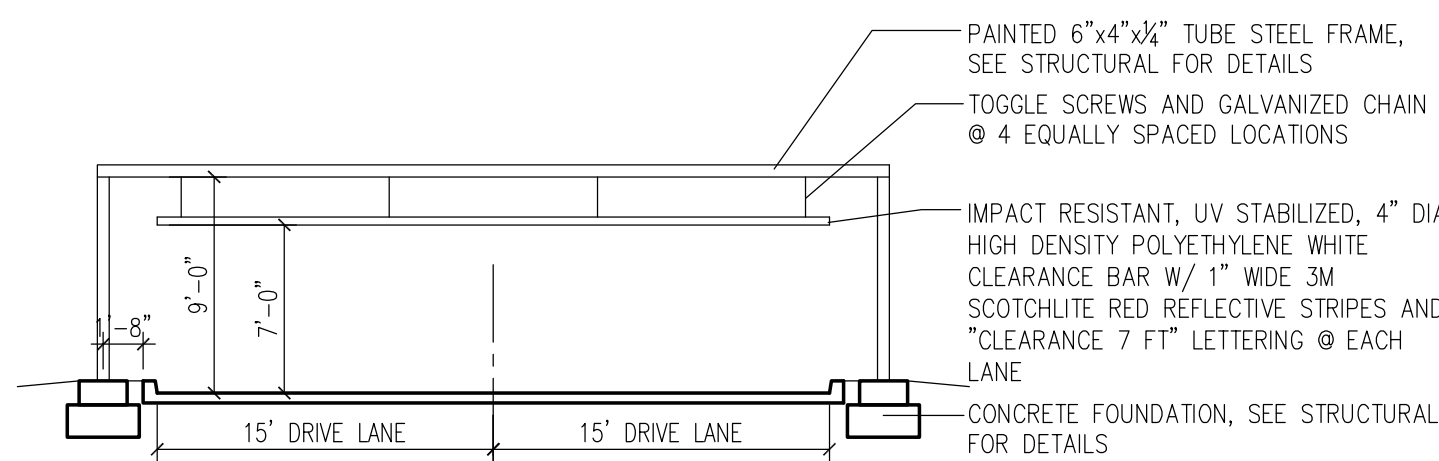
* INCLUDES MC & HC SPACES

GENERAL NOTES

A. ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.

LEGAL DESCRIPTION:

TRACT LETTERED "J", PLAT OF VISTA DE LA LUZ, WITHIN SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 30, 2006, IN PLAT BOOK 2006C, FOLIO 331, AS DOCUMENT No. 2006165286



2 CLEARANCE BAR DETAIL

N.T.S.

PROJECT NUMBER:	1004-675
APPLICATION NUMBER:	16DRB-70239
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [] and the findings and conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () YES () NO If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
Resonance Mutual	11/30/16
Traffic Engineering, Transportation Division	Date
Water Utility Department	11-30-16
Paul S. Demont	Date
Parks and Recreation Department	11-30-16
City Engineer	11-30-16
Environmental Health Department	11-30-16
Solid Waste Management	11-30-16
DRB Chairperson, Planning Department	11-30-16
* Environmental Health, if necessary	

KEYNOTES

- EXISTING CONC. SIDEWALK
- NEW CONC. SIDEWALK, SEE DETAIL 14/AS1.1
- HC ACCESSIBLE RAMP, SEE DETAILS 17 & 18/AS1.1
- MONUMENT SIGN PENDING GOVERNMENTAL APPROVALS
- HC ACCESS AISLES, PARKING SPACES, SIGNAGE*
- MOTORCYCLE SPACES, SEE DETAIL 5/AS1.1 FOR SIGNAGE
- LANDSCAPED AREA, REFER TO LANDSCAPE PLAN
- TREE WELL
- STRIPING
- DUMPSTER ENCLOSURE FOR FUTURE RETAIL INCLUDED IN THIS PHASE
- TRANSFORMER LOCATION, REFER TO ELECTRICAL SITE PLAN.
- HEAVY DUTY ASPHALT PAVING, SEE DETAIL 4/AS1.1
- NEW CURB CUT/ DRIVEPAD
- COLOR CONCRETE PATIO
- SHADE CANOPY ABOVE, COLOR TO MATCH BLDGS
- CARWASH DUMPSTER ENCLOSURE, SEE DETAIL 8/AS1.1
- BIKE RACK 3 LOOPS
- 20' HIGH LIGHT POLE, REFER TO ELECTRICAL SITE PLAN
- FLAG POLE, SEE DETAIL 15/AS1.1 FOR BASE
- DIRECTIONAL SIGNAGE
- BENCH
- UMBRELLA AND CHAIRS PROVIDED BY OWNER
- MAX 5' SPLIT FACE CMU RETAINING WALL
- ABSORPTIVE SOUND ELEMENTS SHALL BE PROVIDED INSIDE THE TUNNEL SPRAY AREA
- WHEELSTOP, SEE DETAIL 16/AS1.1
- 6' WIDE ADA ACCESSIBLE PATH
- MIN. 6", MAX. 8" HIGH CURB BETWEEN LANDSCAPE AREA AND PARKING/DRIVE AISLES, TYPICAL
- DIRECTIONAL SIGNAGE
- LIGHT DUTY ASPHALT PAVING, SEE DETAIL 7/AS1.1
- CONCRETE PAVING, SEE DETAIL 9/AS1.1
- 4' HIGH ALUMINUM FENCE BY AMERISTAR, MONARCH 2 RAIL STYLE
- VEHICLE CLEARANCE BAR, SEE DETAIL ON THIS SHEET.

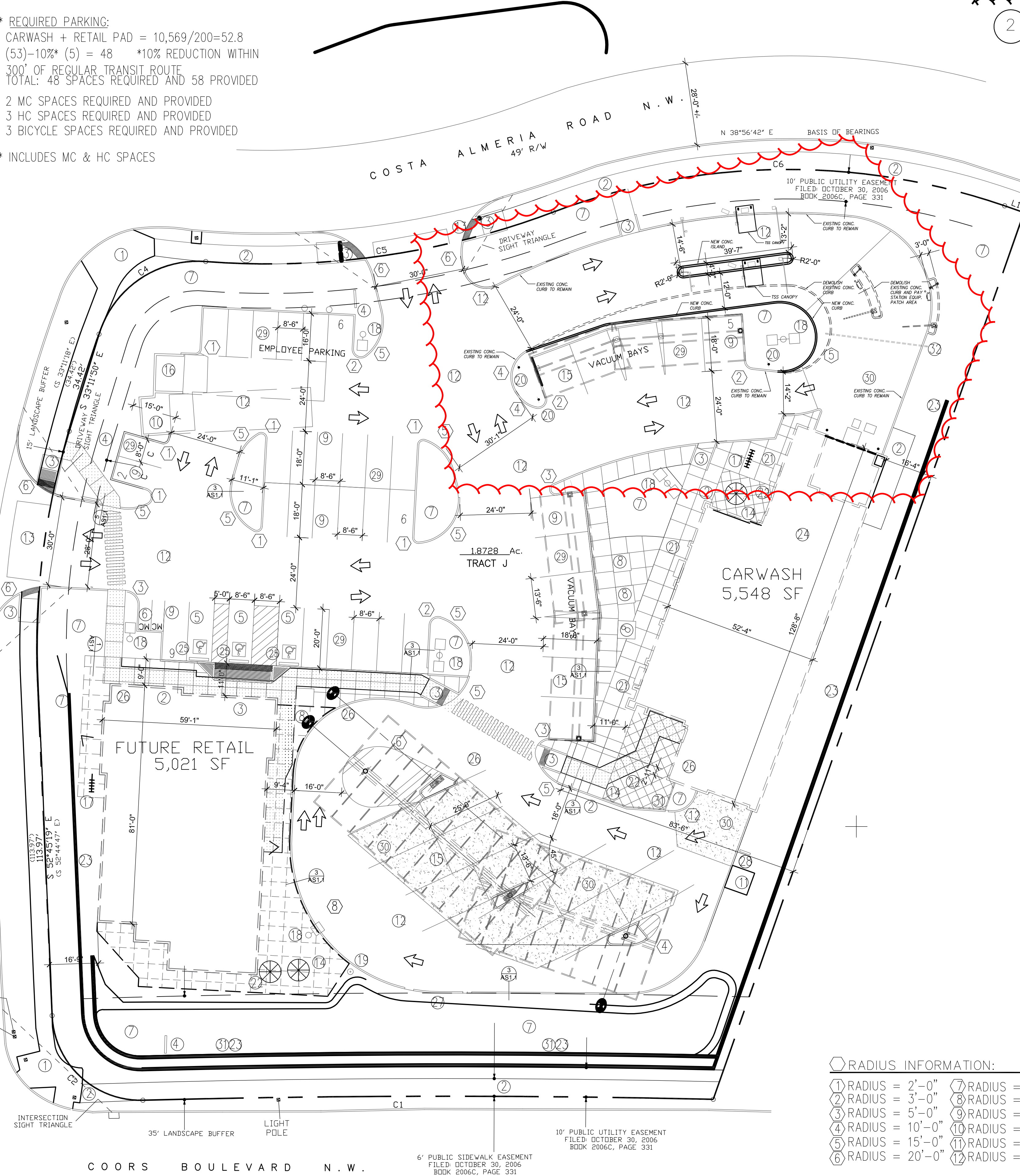
* NOTE: -ADA PARKING SIGNAGE SHALL HAVE LANGUAGE: "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
-ADA ACCESS AISLE SHALL HAVE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH LETTER MIN. 1' HIGH X 2" WIDE

NUMBER	DIRECTION	DISTANCE
L1	S 58°46'11" W	6.93'
(L1)	(S 58°46'43" W) (6.93')	

RADIUS INFORMATION:

- | | |
|-------------------|--------------------|
| 1 RADIUS = 2'-0" | 7 RADIUS = 25'-0" |
| 2 RADIUS = 3'-0" | 8 RADIUS = 30'-0" |
| 3 RADIUS = 5'-0" | 9 RADIUS = 40'-0" |
| 4 RADIUS = 10'-0" | 10 RADIUS = 50'-0" |
| 5 RADIUS = 15'-0" | 11 RADIUS = 60'-0" |
| 6 RADIUS = 20'-0" | 12 RADIUS = 8'-0" |

NUMBER	DELTA ANGLE	CHORD	DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	02°50'39"	S 39°58'45" W	3894.72	193.33	193.33	193.33
(C1)	(02°50'39")	(S 39°59'12" W)	(3894.72)	(193.33)	(193.33)	(193.33)
C2	89°01'20"	N 82°44'01" E	30.00	46.61	42.06	42.06
(C2)	(89°01'20")	(N 82°44'33" E)	(30.00)	(46.61)	(42.06)	(42.06)
C3	19°33'29"	S 42°58'34" E	250.00	85.34	84.92	84.92
(C3)	(19°33'29")	(S 42°58'03" E)	(250.00)	(85.34)	(84.92)	(84.92)
C4	77°21'34"	S 05°28'58" W	35.00	47.26	43.75	43.75
(C4)	(77°21'34")	(S 05°29'29" W)	(35.00)	(47.26)	(43.75)	(43.75)
C5	25°02'32"	N 31°38'29" E	274.50	119.98	119.02	119.02
(C5)	(25°02'32")	(N 31°39'00" E)	(274.50)	(119.98)	(119.02)	(119.02)
C6	39°36'58"	S 38°56'42" W	225.50	156.05	152.95	152.95
(C6)	(39°38'58")	(S 38°57'14" W)	(225.50)	(156.05)	(152.95)	(152.95)



MODULUS ARCHITECTS

220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE
5401 SEVILLA AVE. NW
COORS & SEVILLA
ALBUQUERQUE, NM

PROJECT MANAGER
JONATHAN STERN

DRAWN BY:
JS

JOB NO.
-

SHEET TITLE
ARCHITECTURAL SITE PLAN

DATE:
03/01/22

SCALE:
AS NOTED

sheet:
AS101

of:
01

GRADING PLAN

VICINITY MAP NO. F-11



FEMA FIRM PANEL NO. 114H



DRAINAGE NOTES

1. THE SITE IS PRESENTLY VOID OF CONSTRUCTION WITH THE EXISTING OF A TEMPORARY DETENTION POND AND A DBL "D" CATCH BASIN w/ AN OUTLET TO THE PUBLIC STORM DRAIN. THERE IS VERY LITTLE VEGETATION ON THE SITE WHICH SLOPES GENTLY DOWN TO THE EAST (EXCEPTING A SOIL SWAMPLE AT THE SOUTHWEST CORNER OF THE LOT). THE SOUTHWEST CORNER OF THE LOT IS RELATIVELY EVEN WITH THE ADJACENT STREET. THREE OTHER THREE SIDES OF THE LOT SLOPE STEEPLY DOWN TO THE LOT LINE.
2. THE EXISTING STEEP SLOPES ON THE LOT BOUNDARIES WILL BE REPLACED BY LOW TIERED RETAINING WALLS WITH LANDSCAPED AREAS BETWEEN THE WALLS.
3. THE SITE IS LOCATED IN RAINFALL ZONE 1. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO DEVELOPMENT. SEE TABLE BELOW FOR EXISTING AND FUTURE FLOW RATES AND RUNOFF VOLUMES.
4. RUNOFF FROM IMPERVIOUS AREAS ARE ROUTED TO SCATTERED ONSITE PONDS SIZED TO RETAIN FIRST FLUSH FLOWS. OVERFLOW FROM THESE PONDS IS ROUTED (VIA AN ONSITE DRAINAGE SYSTEM) TO THE EXISTING ONSITE PRIVATE SYSTEM WHICH DRAINS TO THE PUBLIC STORM DRAIN SYSTEM.
5. THE SITE IS LOCATED IN AN AREA DESIGNATED "ZONE X" PER FEMA FIRM MAP NO. 114H, DATED AUGUST, 2012.
6. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY HARRIS SURVEYING, INC. IN NOVEMBER, 2015.

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year		sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	10	A	79619	0.24	0.24	531	0.44
		B	0	0.22	0.78	0	0.00
		C	0	0.44	1.49	0	0.00
		D	0	1.24	2.89	0	0.00
		TOTAL	79619			531	0.44
DEVELOPED	100	A	79619	0.44	1.29	2919	2.36
		B	0	0.87	2.03	0	0.00
		C	0	0.99	2.87	0	0.00
		D	0	1.97	4.37	0	0.00
		TOTAL	79619			2919	2.36
TOTAL	10	A	0	0.08	0.24	0	0.00
		B	19974	0.22	0.78	386	0.35
		C	0	0.44	1.49	0	0.00
		D	59645	1.24	2.89	6163	3.96
		TOTAL	79619			6550	4.31
TOTAL	100	A	0	0.44	1.29	0	0.00
		B	19974	0.87	2.03	1115	0.93
		C	0	0.99	2.87	0	0.00
		D	59645	1.97	4.37	9782	5.98
		TOTAL	79619			10907	6.91

TOTAL FIRST FLUSH VOLUME

VOLUME = IMPERVIOUS AREA X (0.42-0.10)/12
= 1590 CUBIC FEET

LEGEND

TBM	TEMPORARY BENCHMARK	MH	MANHOLE
G	GROUND	CB	CATCH BASIN GRATE
FF	FINISH FLOOR	GM	GAS METER
FG	FINISH GRADE	GV	GAS VALVE
FL	FLOWLINE	LP	LIGHT POLE
TA	TOP OF ASPHALT	PP	POWER POLE
TC	TOP OF CONCRETE	GW	GUY WIRE
BC	TOP OF CURB	PED	ELEC. OR TEL. PEDESTAL
TP	TOP OF EARTH PAD	RD	ROOF DRAINAGE POINT
TS	TOP OF SIDEWALK	RD	SURFACE RUNOFF DIRECTION
TW	TOP OF WALL		
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE		

KEYED NOTES

1. PROPOSED CAR WASH.
2. PROPOSED SHELL.
3. PROPOSED COVERED AREA.
4. PROPOSED 3" HIGH DRY STACK OR MASONRY RETAINING WALLS w/ 3" PLANTING AREA BETWEEN WALLS.
5. PROPOSED HEAVY AND LIGHT DUTY ASPHALT PAVEMENTS.
6. PROPOSED DESIGNATED WALK.
7. PROPOSED CONCRETE HEADER CURB.
8. PROPOSED STORM DRAIN SYSTEM TO EXISTING STORM DRAIN.
9. PROPOSED RETENTION POND FOR INITIAL STORM RUNOFF w/ OVER FLOW TO STORM DRAIN SYSTEM.
10. PROPOSED 6" CONCRETE PUBLIC SIDEWALK PER COA STD. DET. 2430.
11. PROPOSED PRIVATE ENTRANCE DETAIL PER COA STD. DET. 2426.
12. EXISTING PAVED STREET WITH CONCRETE CURB, GUTTER & SIDEWALK.
13. EXISTING PAVED STREET WITH CONCRETE CURB & GUTTER.
14. PROPOSED WATER QUALITY MANHOLE.

LEGAL DESCRIPTION

TRACT "J", VISTA DE LA LUZ

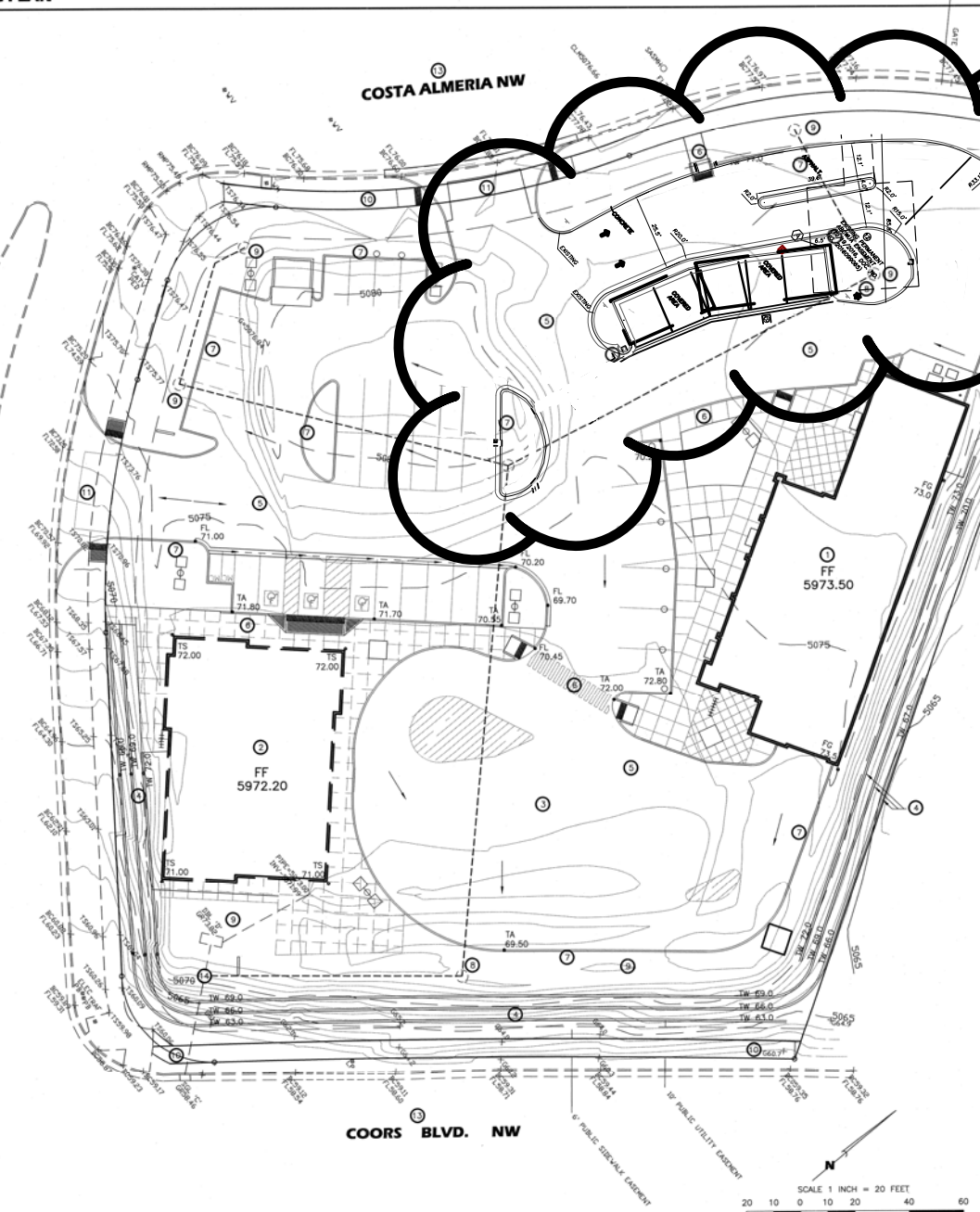
PERMANENT BENCHMARK

ACS STATION 11-F11, ELEVATION 5029.526 (NAVD 1988)

no.	date	remarks	by

REVISIONS			
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sheet title	CONCEPTUAL G&D PLAN		
drawn by	meto	design by	JJB
date	07/05/16	project no.	1518

B BORDENAVE DESIGNS		P.O. BOX 91194, ALBUQUERQUE, NM 87199	
(505)823-1344		FAX (505)821-9105	



[illegible]

1. PROPOSED CAR WASH.
2. PROPOSED BUILDING SHELL.
3. EXISTING 8" PVC SAS.
4. EXISTING 8" PVC WATER.
5. EXISTING 2" WATER SERVICE. USE FOR IRRIGATION SYSTEM.
6. EXISTING 4" SAS SERVICE.
7. EXISTING 6" WATER LINE WITH GATE VALVE. INSTALL FIRE HYDRANT.
8. PROPOSED 2" WATER SERVICE AND METER BOX.
9. PROPOSED 4" SAS SERVICE.
10. PROPOSED 1" WATER SERVICE.

TRACT 'J', VISTA DE LA LUZ

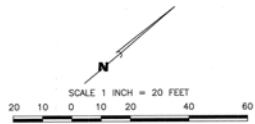
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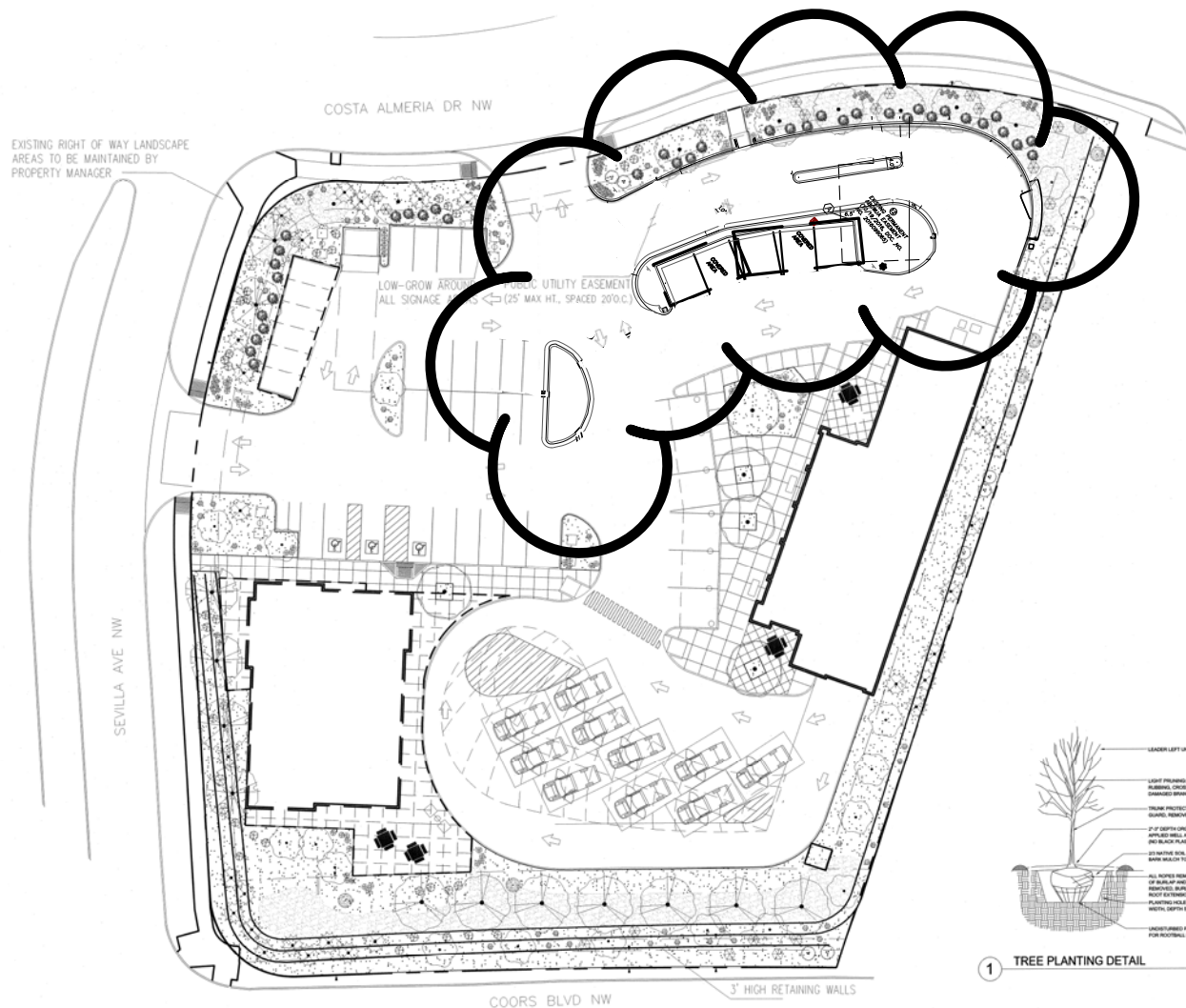
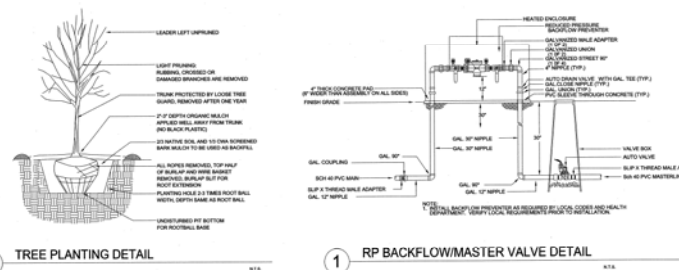
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	REVISIONS project title X 5401 SEVILLA AVE. NW ALBUQUERQUE, NM		
	sheet title WET UTILITY PLAN		
	drawn by meto	design by JUB	project no. 1518
	sheet		

	BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 (505)823-1344 FAX (505)821-9105	of
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TBM	TEMPORARY BENCHMARK	GM	GAS METER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD ►	ROOF DRAINAGE POINT
BC	TOP OF CURB		FEMA FLOODPLAIN BOUNDARY
TP	TOP OF EARTH PAD		DRAINAGE BASIN BOUNDARY
TS	TOP OF SIDEWALK		EROSION SETBACK LINE
TW	TOP OF WALL		EXISTING CONTOUR
FH	FIRE HYDRANT		PROPOSED CONTOUR
WM	WATER METER		EXISTING SPOT ELEVATION
WV	WATER VALVE		PROPOSED SPOT ELEVATION
MH	MANHOLE		RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE		



PLANT SCHEDULE NEW SITE PLAN

LS-01