

PRESCOTT MUIR ARCHITECT
171 West Pierpont Avenue
Salt Lake City, Utah 84101
801-521-9111 • 801-521-9158 fax

MEMO

DATE: 12.22.20

PROJECT: Smith's #448
8301 Golf Course Road, NW
Albuquerque, NM 87120

TO: Planning Department
City of Albuquerque

ATTN: Marwa Al-najjar
Associate Engineer/ Planning Department

FROM: Thomas Morahan

RE: **Administrative Amendment, Accessibility Requirements comment**

Application reference: PR-2019-002643/ SI-2022-02251

Mr. Marwa Al-najjar,
Please, see attached the memo with the Accessibility requirements indicated per your review and the associated revised sheets A0.1 and A0.2 with the required corrections, clouded and identified with a delta #1 and today's date.
Kind regards

Thomas Morahan
Project Manager at Prescott Muir Architect
801.521.9111 ext. 114
thomas@prescottmuir.com

Thomas Morahan

From: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Sent: Monday, December 19, 2022 4:59 PM
To: Thomas Morahan; roger.gough@sfdc.com
Cc: Rodenbeck, Jay B.; Webb, Robert L.; Armijo, Ernest M.; Angelica Fierro; Restrepo, Jennifer
Subject: RE: New AA @ 8301 Golf Course Rd NW - PR-2019-002643 / SI-2022-02251

Good afternoon Mr. Thomas,
Yes, that's will work. Thanks

Marwa Al-najjar
Associate Engineer/ Planning Department
505-924-3675
malnajjar@cabq.gov

From: Thomas Morahan <Thomas@prescottmuir.com>
Sent: Friday, December 16, 2022 5:22 PM
To: Al-najjar, Marwa G. <malnajjar@cabq.gov>; roger.gough@sfdc.com
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Angelica Fierro <angelica@prescottmuir.com>
Subject: RE: New AA @ 8301 Golf Course Rd NW - PR-2019-002643 / SI-2022-02251

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Marwa,
Before we implement this on the plan we want to consult with you the following (see attached the sketched photograph, it is very rudimentary but it may explain the existing condition)
The current stalls configuration does not include a demarcated accessible isle for the Accessible Stall adjacent to the proposed grocery pick up area, my understanding is that, because the sidewalk next to it is flush with the pavement level, it is considered a wider accessible isle usable by this stall, would it be acceptable to apply the required demarcation on the side shown in the photograph? This way, avoid pushing the grocery pick up stalls into the other standard stalls?
We'll be expecting your feedback.
Thank you



From: Thomas Morahan

Sent: Friday, December 16, 2022 4:58 PM

To: Al-najjar, Marwa G. <malnajjar@cabq.gov>; roger.gough@sfdc.com

Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Angelica Fierro <angelica@prescottmuir.com>

Subject: RE: New AA @ 8301 Golf Course Rd NW - PR-2019-002643 / SI-2022-02251

Marwa,
I have just returned from a site trip to another Smith's store, we'll apply the required corrections and send them back to you on Monday.
Thank you very much

Thomas Morahan, R.A.

PRESCOTT MUIR ARCHITECTS

SLC: P 801 521 9111 F 801 521 9158
LA: P 310 854 6464 F 310 854 6465



www.prescottmuir.com

From: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Sent: Monday, December 12, 2022 4:59 PM
To: roger.gough@sfdc.com
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Thomas Morahan <Thomas@prescottmuir.com>; Armijo, Ernest M. <earmijo@cabq.gov>
Subject: RE: New AA @ 8301 Golf Course Rd NW - PR-2019-002643 / SI-2022-02251



IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender malnajjar@cabq.gov

Good afternoon,
Please provide ADA access aisle (5 ft. wide) for the ADA parking space that adjacent to the proposed "PICK-UP" parking spaces. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

If you have any questions, let me know.

Marwa Al-najjar
Associate Engineer/ Planning Department

505-924-3675
malnajjar@cabq.gov

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Sent: Monday, December 12, 2022 11:41 AM
To: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Cc: Webb, Robert L. <rwebb@cabq.gov>
Subject: FW: New AA @ 8301 Golf Course Rd NW - PR-2019-002643 / SI-2022-02251

Good morning Marwa,

Just checking in with you regarding the status of your review of the AA below.

Thanks,



Jay Rodenbeck

Planning Manager
Development Review Services
o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning

From: Rodenbeck, Jay B.

Sent: Thursday, December 1, 2022 1:08 PM

To: Aranda, James M. <jmaranda@cabq.gov>; Al-najjar, Marwa G. <malnajjar@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Biazar, Shahab <sbiazar@cabq.gov>; Chen, Tiequan <tchen@cabq.gov>

Cc: Webb, Robert L. <rwebb@cabq.gov>; Montoya, Yolanda <yolandamontoya@cabq.gov>; Gomez, Angela J. <agomez@cabq.gov>; Gricius, Michelle A. <mgricius@cabq.gov>; Sanchez, Rachel M. <rachelsanchez@cabq.gov>;

Muzzey, Devin P. <dmuzzey@cabq.gov>; Grush, Matthew P. <mgrush@cabq.gov>

Subject: New AA @ 8301 Golf Course Rd NW - PR-2019-002643 / SI-2022-02251

Good afternoon all,

We got a new AA at 8301 Golf Course Rd NW at a Smith's, which is ready for review at the following location:

X:\PL\SHARES\PL-Share\AAs\AA_2022_PDFs\PR-2019-002643 - 8301 Golf Course Rd NW - Smith's

The Project # is: PR-2019-002643

The Application # is: SI-2022-02251

The AA has been added to the AA Review Spreadsheet.

Hydrology and Transportation reviewers: when there's an update to the review and/or approval of an AA per Hydrology and Transportation review, we would greatly appreciate it if you could update the AA in the AA Review List spreadsheet with a simple and quick update under the Hydrology and Transportation columns (for review, re-submittal, and comments) in the spreadsheet.

You can access the AA Review List spreadsheet by going to the following link: X:\PL\SHARES\PL-Share\AAs\AA_Review_List.xlsx

Thanks,



Jay Rodenbeck

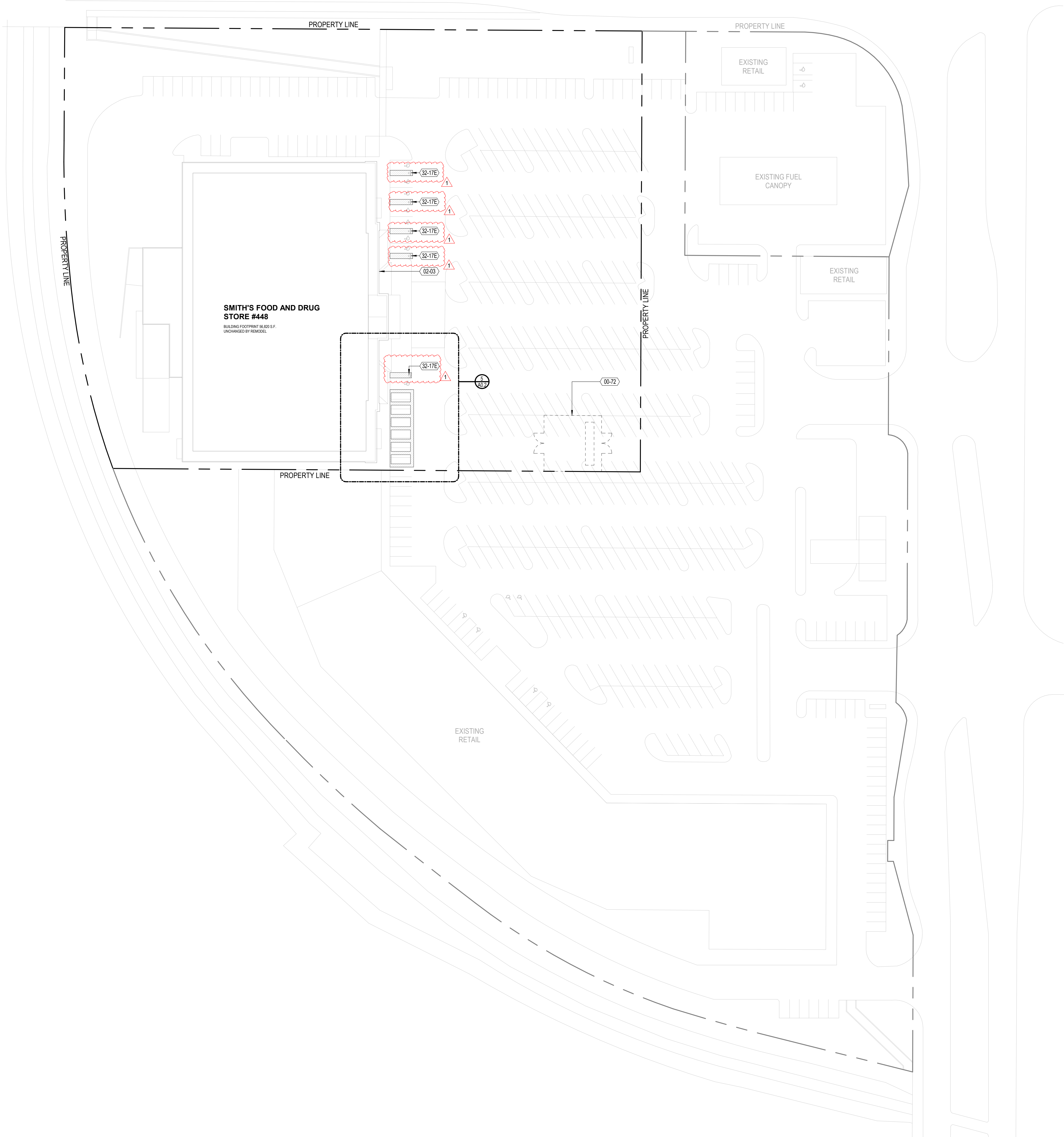
Planning Manager
Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

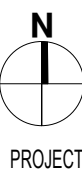
cabq.gov/planning



SITE PLAN

1" = 40'-0"

NOTE:
SITE PLAN DERIVED FROM RECORD DRAWINGS AND IS INTENDED FOR REFERENCE ONLY



SITE PLAN KEYED NOTES

- 02-72 STAGING AND STORAGE LOCATION, PROVIDE SCREEN FENCING PER SECTION 0072-14, COORDINATE FINAL LOCATION AND REQUIRED AREA WITH KROGER PROJECT MANAGER
- 02-03 EXISTING BUILDING
- 02-05 REMOVE EXISTING PAINTED STRIPES AT MODIFIED PARKING AREA
- 10-14A INSTALL GROCERY PICK UP INFORMATIONAL SIGN, SEE CSO-42A
- 10-14B INSTALL GROCERY PICKUP DIRECTIONAL SIGN, SEE CSO-43B
- 32-17A APPLY 15 MIL (2 COATS) WHITE PAINT STRIPING IN AREA OF NEW GROCERY PICK UP STALLS
- 32-17C APPLY 15 MIL (2 COATS) WHITE PAINT 4" X 4" SIZE ARROWS AND NUMBERS
- 32-17D APPLY 15 MIL (2 COATS) WHITE PAINT 1" X 4" SIZE LETTERS
- 32-17E APPLY 15 MIL (2 COATS) WHITE PAINT 1" X 4" SIZE LETTERS, READING "NO PARKING" AT ALL ACCESSIBLE ISLES
- 32-17F APPLY 15 MIL (2 COATS) YELLOW PAINT STRIPING IN ACCESSIBLE ISLE AREA AT ACCESSIBLE STALLS

SITE PLAN GENERAL NOTES

1. COORDINATE ADDITIONAL SITE WORK REQUIRED WITH OWNER AFTER AWARD OF THE CONTRACT.
2. THIS SITE PLAN IS INTENDED FOR REFERENCE ONLY. ITEMS SHOWN MAY NOT BE ACCURATE OR COMPLETE. CONTRACTOR TO VERIFY CONDITIONS AND QUANTITIES AS REQUIRED FOR NEW SITE WORK AS OUTLINED BELOW.

OFF STREET PARKING CALCULATIONS

BERNALILLO COUNTY CODE OF ORDINANCES OFF-STREET PARKING REQUIREMENTS PER APPENDIX A, SECTION 21

REQUIRED STALLS

1 STALL PER 200 S.F. OF RETAIL USE (96,800 S.F.) = 285 REQUIRED SPACES

201-300 PROVIDED STALLS, 7 ACCESSIBLE REQUIRED, INCLUDING 1 VAN ACCESSIBLE
301-400 PROVIDED STALLS, 8 ACCESSIBLE REQUIRED, INCLUDING 1 VAN ACCESSIBLE

PROVIDED STALLS

TOTAL OF 223 STALLS, INCLUDING 8 ACCESSIBLE
215 REGULAR STALLS
8 ACCESSIBLE STALLS

OVERFLOW PARKING PROVIDES 253 ADDITIONAL SPACES INCLUDING 10 ACCESSIBLE

PROPOSED MODIFICATION

CONVERT 8 EXISTING STANDARD STALLS INTO 8 NEW PICK UP STALLS = REDUCTION OF 2 STANDARD STALLS

NEW TOTAL: 221 STALLS

SHEET NO. A0.1

DATE:
09.12.22
12.22.22

DRAWN BY:
NM

SMITH'S FOOD AND DRUG
STORE #448 PICK UP
8301 GOLF COURSE ROAD NW
ALBUQUERQUE, NM 87120

PROJECT NO.:
22.068

PRESCOTT MUJR ARCHITECT

171 WEST PIERPONT AVE.

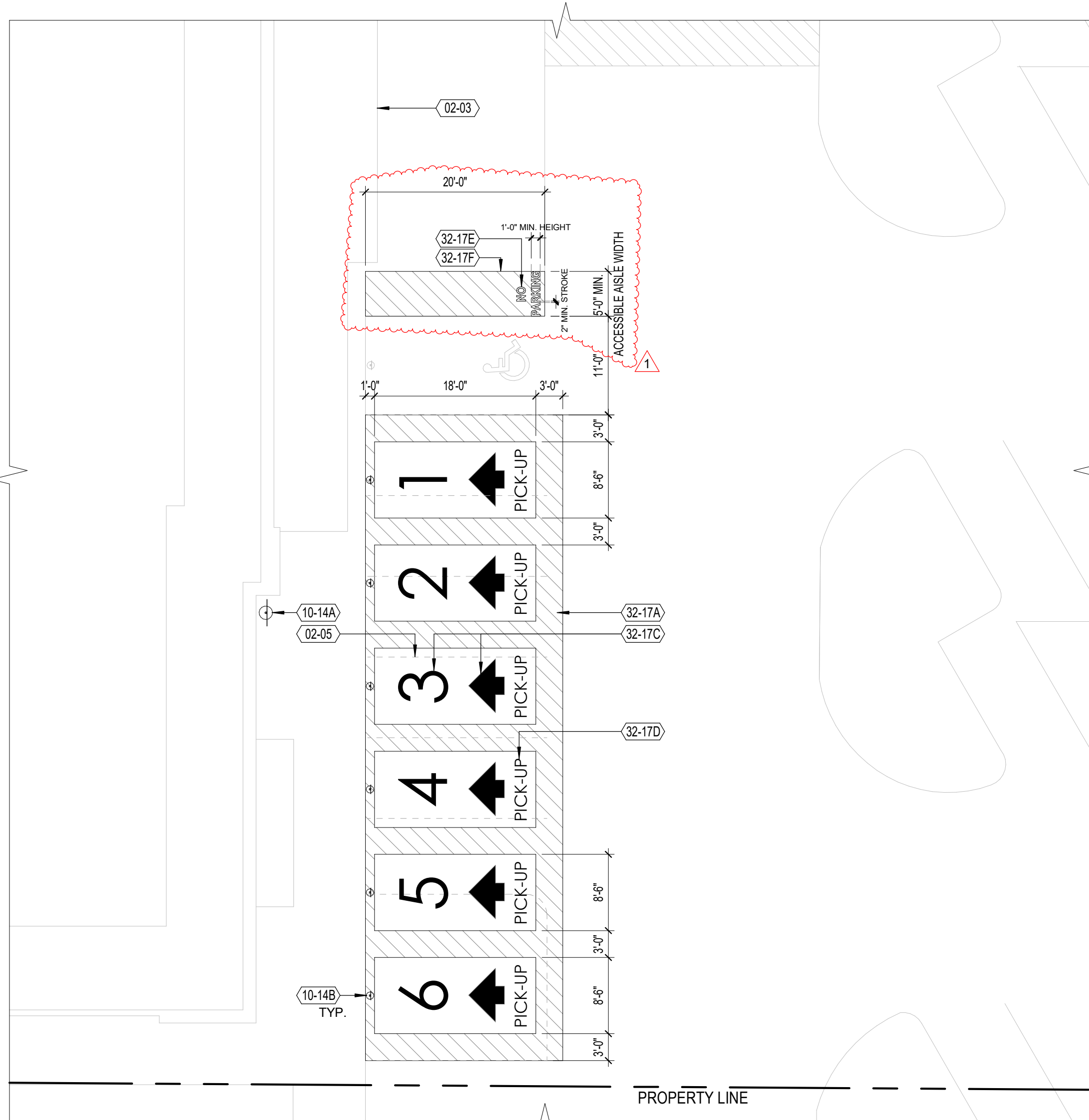
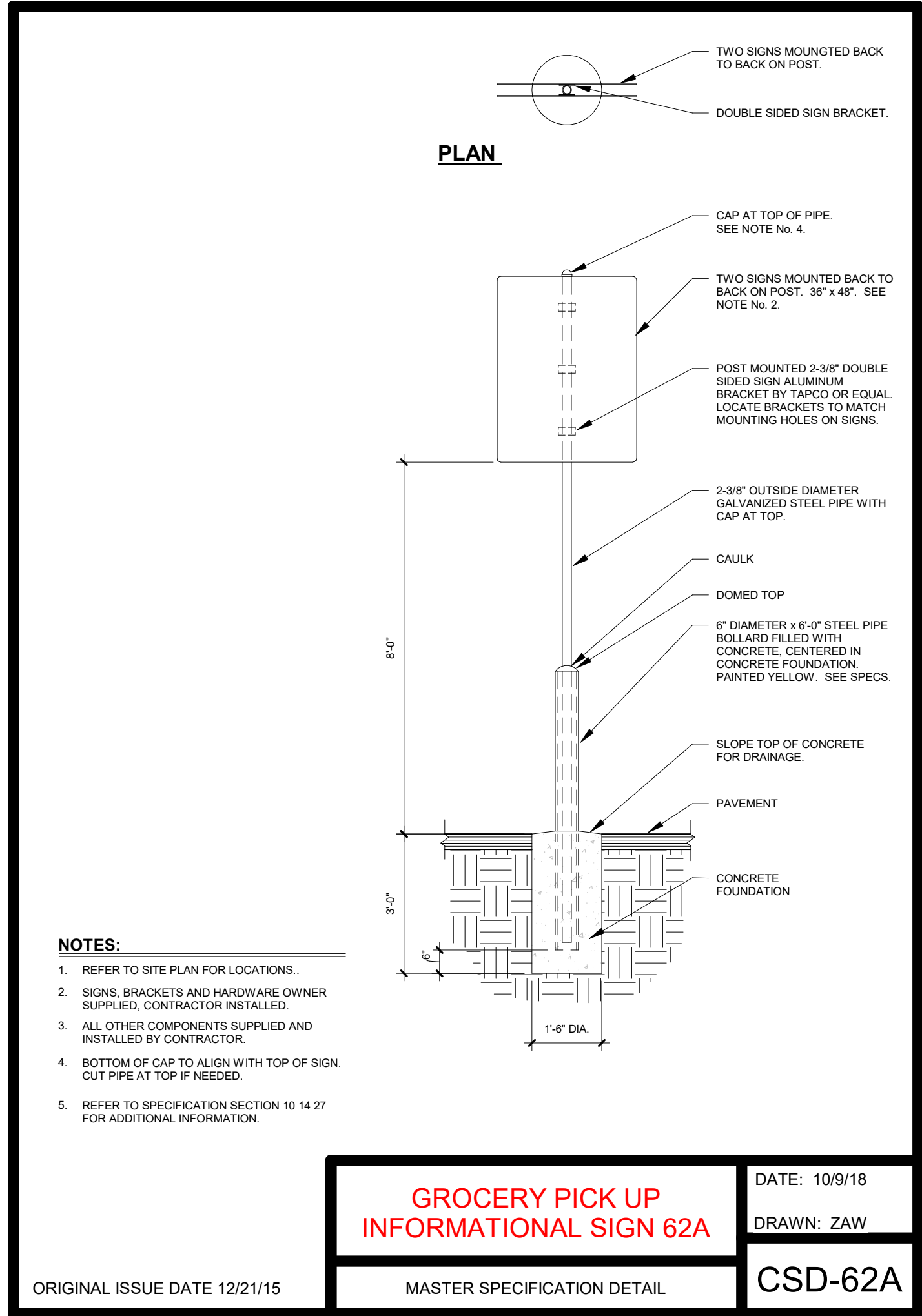
SALT LAKE CITY, UTAH 84101

TEL: 801.521.9111

FAX: 801.521.9158

SITE PLAN

MECHANICAL ENGINEERS
PVE INC. 801.359.3158
ELECTRICAL ENGINEERS
ECE, LLC 801.521.8007



- SITE PLAN KEYED NOTES**
- 02-72 STAGING AND STORAGE LOCATION. PROVIDE SCREEN FENCING PER SECTION 070214. COORDINATE FINAL LOCATION AND REQUIRED AREA WITH PROJECT MANAGER.
 - 02-03 EXISTING BUILDING
 - 02-05 REMOVE EXISTING PAINTED STRIPES AT MODIFIED PARKING AREA
 - 10-14A INSTALL GROCERY PICKUP INFORMATIONAL SIGN. SEE CSD-62A
 - 10-14B INSTALL GROCERY PICKUP DIRECTIONAL SIGN. SEE CSD-63B
 - 32-17A APPLY 15 MIL (2 COATS) WHITE PAINT STRIPING IN AREA OF NEW GROCERY PICKUP STALLS
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 - 32-17D APPLY 15 MIL (2 COATS) WHITE PAINT 1'-0" SIZE LETTERS
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 - THIS SITE PLAN IS INTENDED FOR REFERENCE ONLY. ITEMS SHOWN MAY NOT BE ACCURATE OR COMPLETE. CONTRACTOR TO VERIFY CONDITIONS AND QUANTITIES AS REQUIRED FOR NEW SITE WORK AS OUTLINED BELOW.

CSD-62A ELEV/SECTION GROCERY PICK UP SIGN 62A

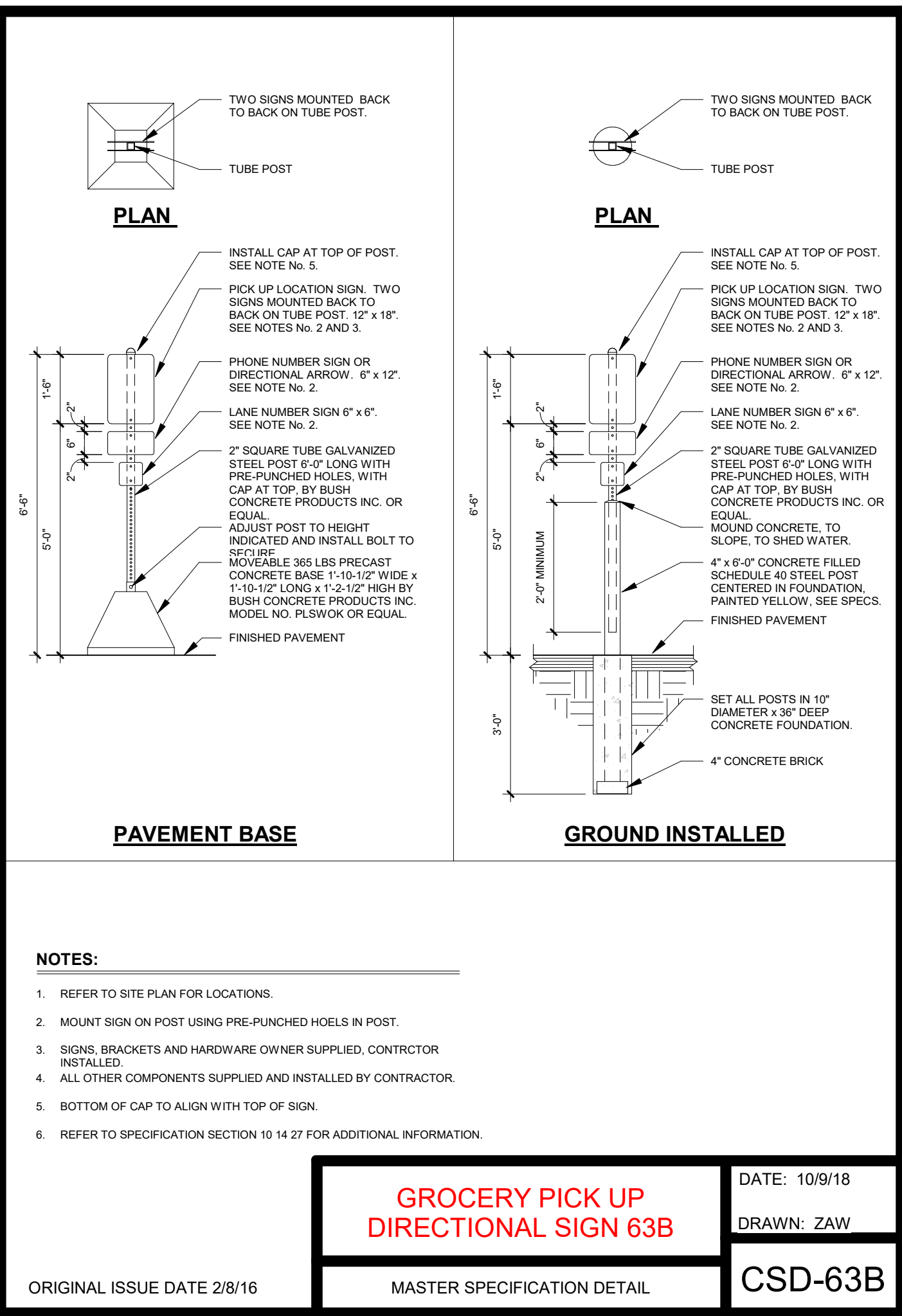
VERTICAL
3/8" = 1'-0"

8

GROCERY PICK UP STALLS

HORIZONTAL
1/4" = 1'-0"

5



CSD-63B ELEVATION - GROCERY PICK UP
DIRECTIONAL SIGN 63B

VERTICAL
3/8" = 1'-0"

16

PRESCOTT MUIR ARCHITECT

171 WEST PIERPONT AVE.

SALT LAKE CITY, UTAH 84101

TEL: 801.521.9111

FAX: 801.521.9158

SHEET NO.

A02

DATE:

09.12.22

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DRAWN BY:

NM

SMITH'S FOOD AND DRUG
STORE #448 PICK UP

8301 GOLF COURSE ROAD NW
ALBUQUERQUE, NM 87120

MECHANICAL ENGINEERS

PVE INC. 801.359.3158

ELECTRICAL ENGINEERS

ECE, LLC 801.521.8007

PICKUP ENLARGED PLAN