



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Affordable Solar/ Ryan Centerwall		Phone:
Address: 3900 Singer Blvd NE		Email: ryan.centerwall@affordable-solar.com
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: arizvi@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner		List all owners:

BRIEF DESCRIPTION OF REQUEST

Minor Amendment To Site Plan

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Lt 6-A-2 & 6-A-3 Correction Plat of Lots 6-A-1, 6-A-2, 6-A-3 and 6-A-4	Block:	Unit:
Subdivision/Addition: Jefferson Commons II	MRGCD Map No.:	UPC Code: 101706119847520211
Zone Atlas Page(s): F-17-Z	Existing Zoning: NR-BP	Proposed Zoning: NR_BP
# of Existing Lots: 2	# of Proposed Lots: 2	Total Area of Site (acres): 10.0487

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 3900 Singer	Between: Singer Blvd NE	and: Jefferson St NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1001569, PR-2020-003357/SD-2020-00040, PR-2019-003171/SI-2019-00416, PR-2019003209/SI-2019-00426/SI-2021-01363/SI-2022-01359

Signature:	Date:
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☒ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ The approved Site Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

- ☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted

Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

August 29, 2022

Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: REQUEST FOR ADMINISTRATIVE AMENDMENT
AFFORDABLE SOLAR INC.
3900 SINGER BOULEVARD NE 87109
LOT 6-A-1 OF JEFFERSON COMMONS II OFFICE PARK
SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST
ZONE ATLAS PAGE F-17-Z**

Dear Chair:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Affordable Solar pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Affordable Solar Inc. Representative

Ryan Centerwall
Print Name


Signature

CEO
Title

8/29/22
Date

August 29, 2022

Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: REQUEST PRELIMINARY/FINAL PLAT APPROVAL
5411 5 JEFFERSON BLVD NE ALBUQUERQUE NM 87109
LT 6-A PLAT OF LOTS 1-A & 6-A JEFFERSON COMMONS II BEING
A REPLAT OF LOT 1 & LOT 6 JEFFERSON COMMONS**

Dear Chair:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of ABQ OFFICE LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Mark Horrell

Print Name

Mark Horrell

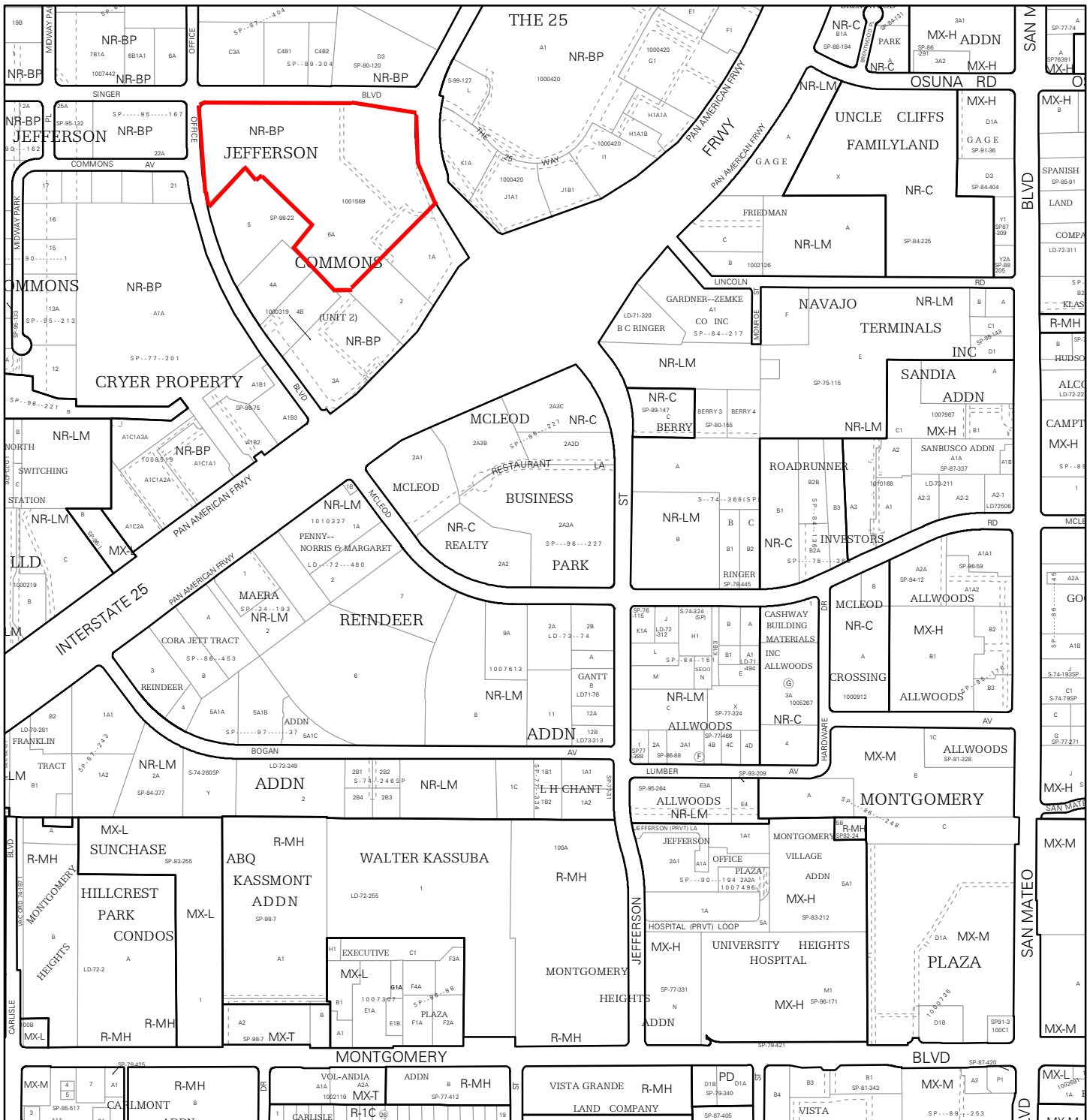
Signature

Authorized Signatory

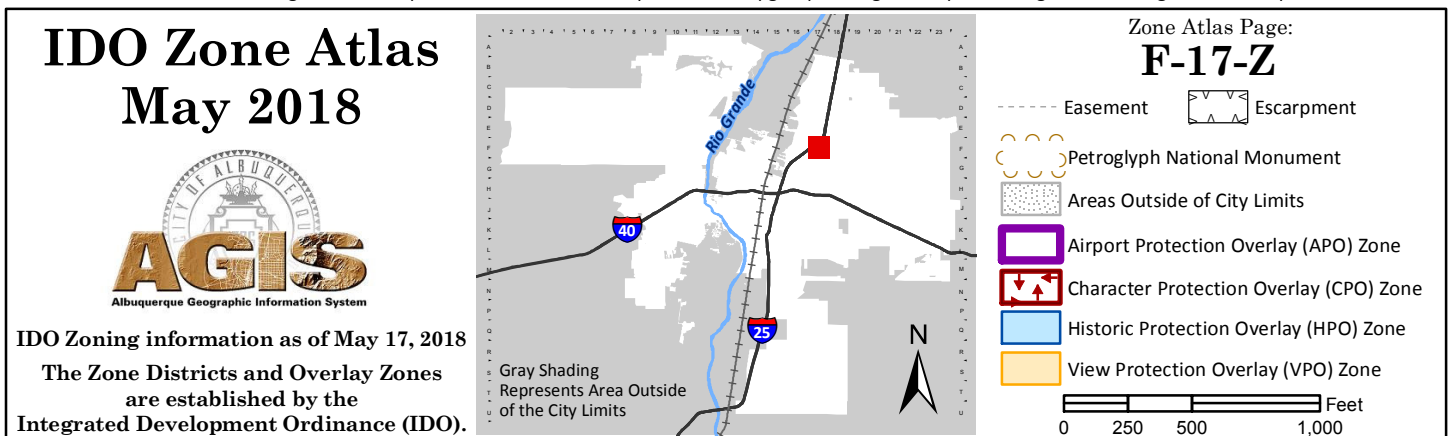
Title

08/30/2022

Date



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>





TIERRA WEST, LLC

August 31, 2022

Ms. Jolene Wolfley, Chair
Design Review Board
PO Box 1293
Albuquerque, NM 87102

**RE: 3900 SINGER
MINOR AMENDMENT TO SITE PLAN
LT 6-A-1 CORRECTION PLAT OF LOTS 6-A-1
6-A-2, 6-A-3 AND 6-A-4 JEFFERSON COMMONS II
ZONE ATLAS MAP: F-17-Z**

Dear Ms. Wolfley:

Tierra West, LLC on behalf of ABQ. Office, LLC requests approval of a Minor Amendment to Site Plan for a 3.522 acres site. The subject property is located at 3900 Singer Blvd. The site's legal description LT 6-A-1 Correction Plat of Lots 6-A-1, 6-A-2, 6-A-3 and 6-A-4 Jefferson Commons II. The lot is currently zoned Non-residential-Business Park (NR-BP) per the Integrated Development Ordinance (IDO). Lot 6-A-1 is owned by Affordable Solar, Inc. and Lot 6-A-2 is owned by ABQ Office, LLC.

The intent behind this Minor Amendment to the site plan is to adapt the current approved site plan to account for a new loading dock on Lot 6-A-1 which will affect the parking counts and vehicle circulation in Lot 6-A-1 and 6-A-2. The parking analysis on the proposed site plan was revised to demonstrate that both lots still meet their required parking counts.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

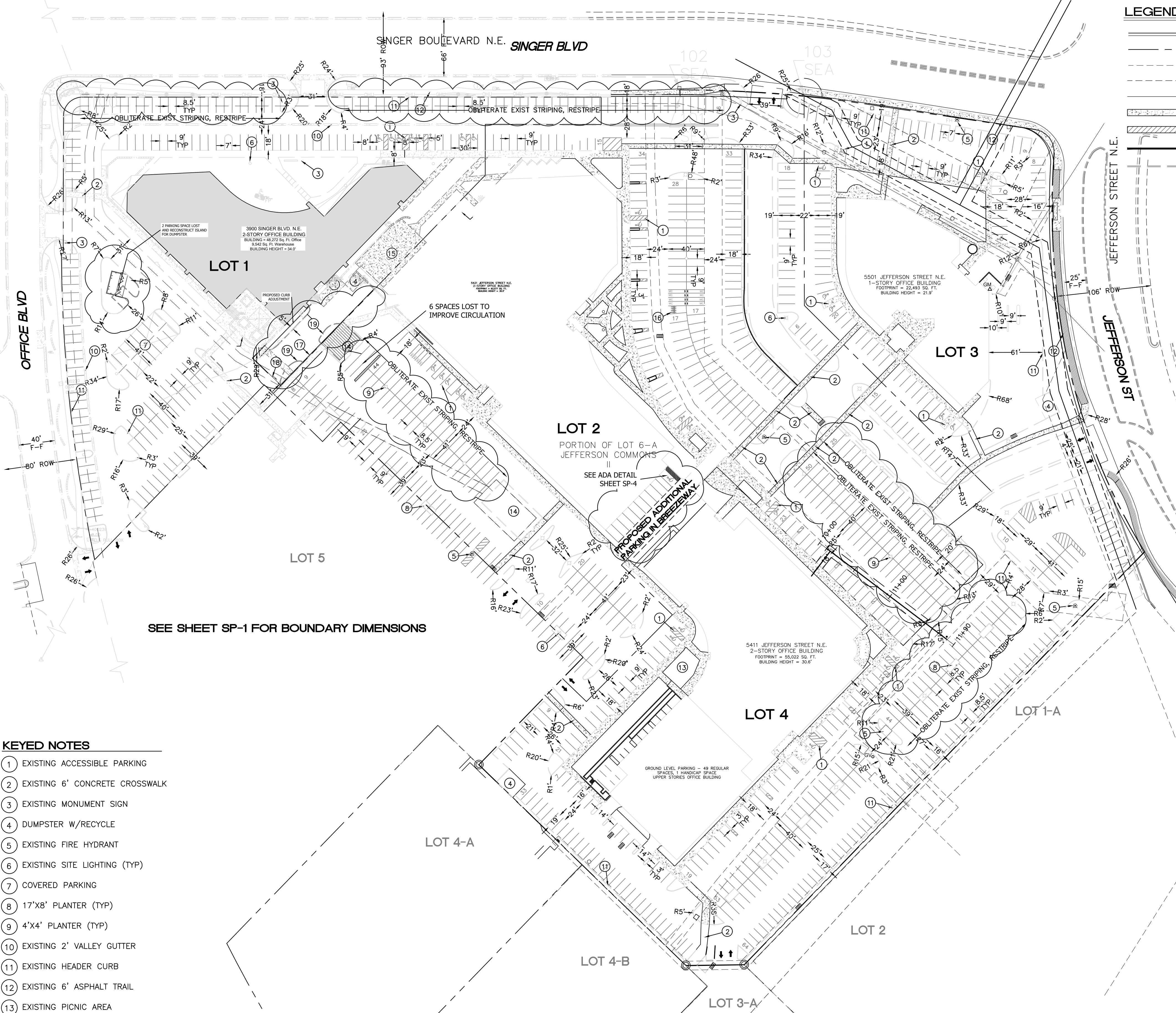
Sincerely,

Ronald R. Bohannon, P.E.

JN: 2021028

cc: Ryan Centerwall, Affordable Solar
RRB/ar/kw

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com



KEYED NOTES

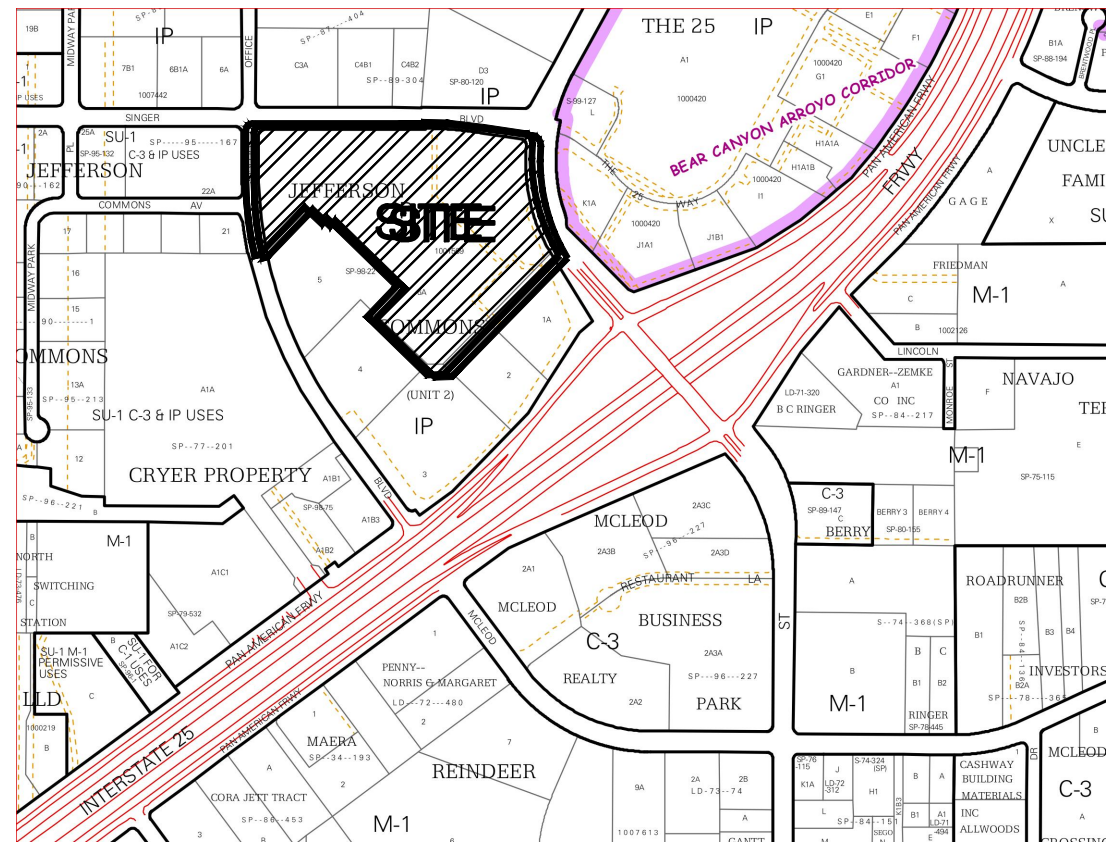
- EXISTING ACCESSIBLE PARKING
- EXISTING 6" CONCRETE CROSSWALK
- EXISTING MONUMENT SIGN
- DUMPSTER W/RECYCLE
- EXISTING FIRE HYDRANT
- EXISTING SITE LIGHTING (TYP)
- COVERED PARKING
- 17'X8' PLANTER (TYP)
- 4'X4' PLANTER (TYP)
- EXISTING 2' VALLEY GUTTER
- EXISTING HEADER CURB
- EXISTING 6" ASPHALT TRAIL
- EXISTING PICNIC AREA
- EXISTING UTILITY ENCLOSURE
- EXISTING BASKETBALL COURT
- EXISTING BIKE RACKS
- PROPOSED SCREEN WALL
- PROPOSED SECURITY GATE
- DEMO EXISTING CURB

Building/Parking Field #	Building	Building Footprint Area (SF)	Building Area Per Original Site Development Plan	Assumed Office Area (SF)	Total Req'd Parking Spaces	Total Ex. Parking Spaces (Not HC)	Total Ex. HC Spaces	Ex. Motorcycle Parking Spaces	Proposed Additional Parking Spaces	Spaces Lost	Total	Parking Ratio
1	3900 Singer BLVD NE	29497	29560	29560	103	195	8	N/A	2	2	203	6.9
2	5421 Jefferson ST NE	62077	63000	94500	331	415	11	12	*15	6	435	4.6
3	5501 Jefferson ST NE	22493	22000	22493	79	90	8	N/A	0	0	98	4.4
4	5411 Jefferson ST NE	55022	55000	93429	327	344	6	N/A	2	0	352	3.8

* 1 OF THE 15 PROPOSED ADDITIONAL PARKING SPACES IS A HANDICAP SPACE. 10 OF THE 15 SPACES ARE OPTIONAL ADDITIONAL SPACES IN THE BREEZEWAY. 5 OF THE ADDITIONAL SPACES CAME FROM RESTRIPIING EXISTING PARKING
NOTE: PARKING RATIOS BASED ON ASSUMED BUILDING AREAS

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- ASPHALT TRAIL
- RETAINING WALL
- EXISTING CURB & GUTTER



VICINITY MAP

F-17-Z

LEGAL DESCRIPTION
LOT 6A JEFFERSON COMMONS

SITE DATA LOT 1

ZONING NR-BP
CURRENT USAGE OFFICE
LOT AREA 156988 SF (3.60 AC)
BUILDING AREA 29497 SF
FAR 0.188
BUILDING HEIGHT 34' MAXIMUM
SETBACKS
FRONT 11' (MINIMUM)
SIDE 10' (MINIMUM)
REAR 10' (MINIMUM)

SITE DATA LOT 2

ZONING NR-BP
CURRENT USAGE OFFICE
LOT AREA 290144 SF (6.66 AC)
BUILDING AREA 62077 SF
FAR 0.214
BUILDING HEIGHT 30.5' MAXIMUM
SETBACKS
FRONT 11' (MINIMUM)
SIDE 10' (MINIMUM)
REAR 10' (MINIMUM)

SITE DATA LOT 3

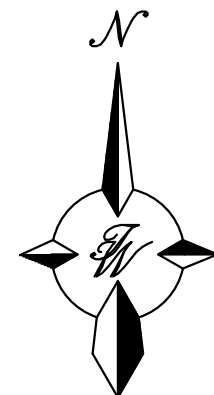
ZONING NR-BP
PROPOSED USAGE OFFICE
LOT AREA 100039 SF (2.30 AC)
BUILDING AREA 22493 SF
FAR 0.225
BUILDING HEIGHT 21.9' MAXIMUM
SETBACKS
FRONT 11' (MINIMUM)
SIDE 10' (MINIMUM)
REAR 10' (MINIMUM)

SITE DATA LOT 4

ZONING NR-BP
PROPOSED USAGE OFFICE
LOT AREA 196237 SF (4.50 AC)
BUILDING AREA 55022 SF
FAR 0.280
BUILDING HEIGHT 30.6' MAXIMUM
SETBACKS
FRONT 11' (MINIMUM)
SIDE 10' (MINIMUM)
REAR 10' (MINIMUM)

NOTICE TO CONTRACTORS

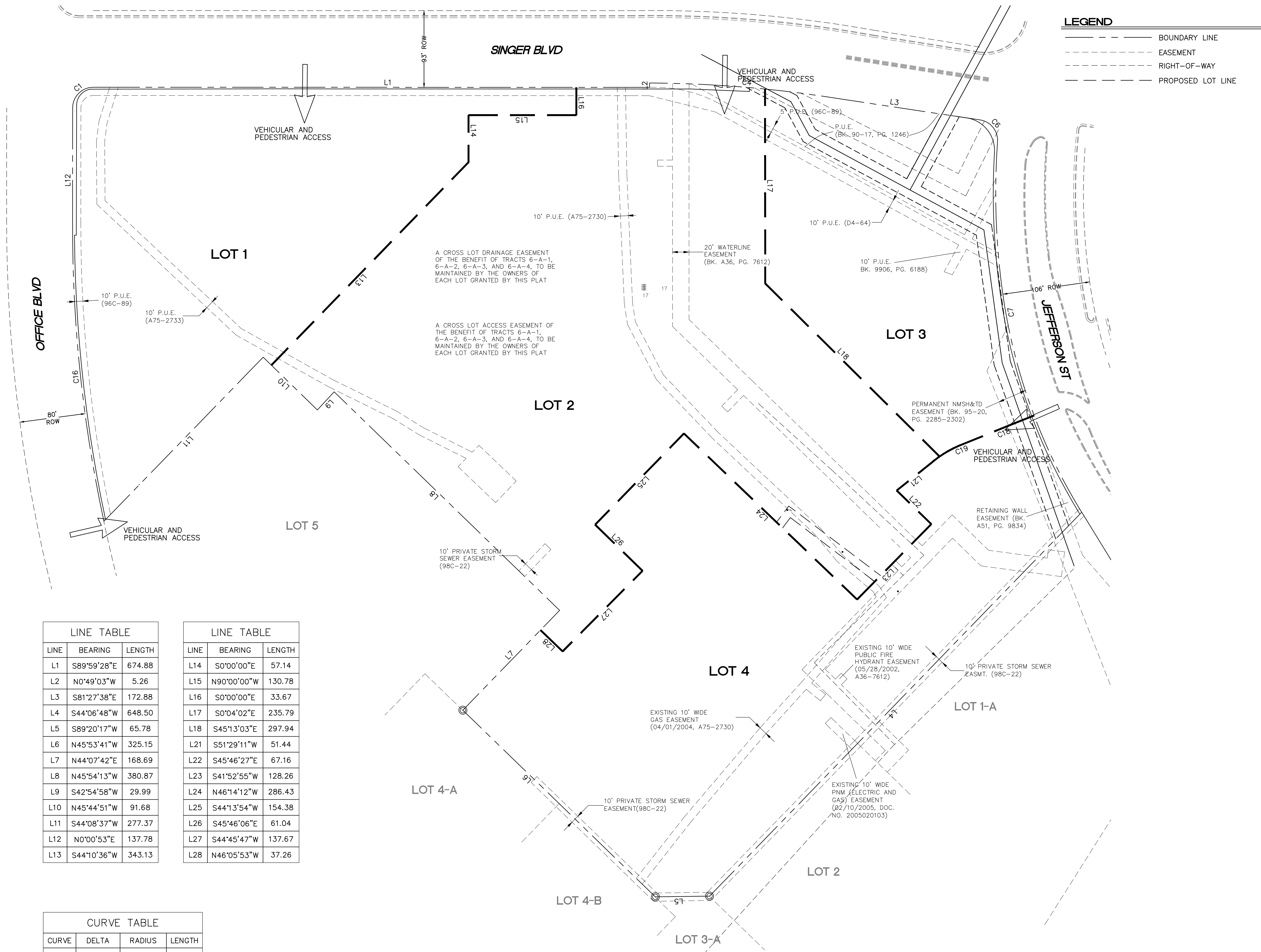
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

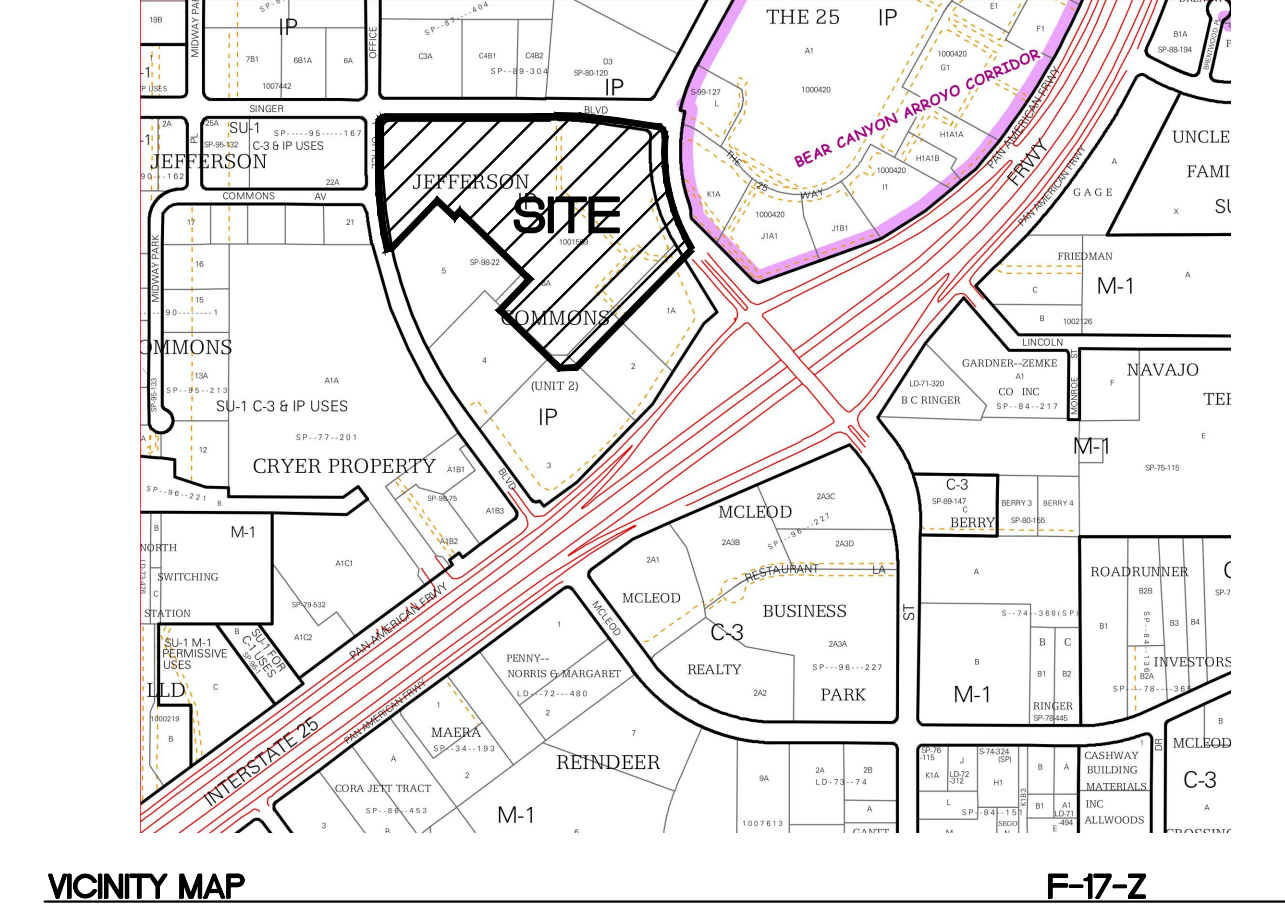
ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 08/31/2022 RONALD R. BOHANNAN P.E. #7868	5411, 5421 AND 5501 JEFFERSON ST AND 3900 SINGER BLVD ALBUQUERQUE, NM JEFFERSON COMMONS II SITE PLAN ADMIN. AMENDMENT TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY AR DATE 8/31/2022 DRAWING SHEET # SP-2 JOB # 2018078
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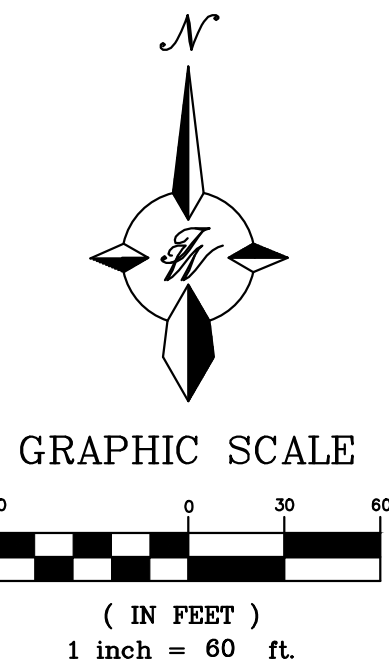
LINE TABLE		
LINE	BEARING	LENGTH
L1	S89°59'28"E	674.88
L2	N0°49'03"W	5.26
L3	S81°27'38"E	172.88
L4	S44°06'48"W	648.50
L5	S89°20'17"W	65.78
L6	N45°53'41"W	325.15
L7	N44°07'42"E	168.69
L8	N45°54'13"W	380.87
L9	S42°54'58"W	29.99
L10	N45°44'51"W	91.68
L11	S44°08'37"W	277.37
L12	N0°00'53"E	137.78
L13	S44°10'36"W	343.13




LINE TABLE		
LINE	BEARING	LENGTH
L14	S0°00'00"E	57.14
L15	N90°00'00"W	130.78
L16	S0°00'00"E	33.67
L17	S0°04'02"E	235.79
L18	S45°13'03"E	297.94
L21	S51°29'11"W	51.44
L22	S45°46'27"E	67.16
L23	S41°52'55"W	128.26
L24	N46°14'12"W	286.43
L25	S44°13'54"W	154.38
L26	S45°46'06"E	61.04
L27	S44°45'47"W	137.67
L28	N46°05'53"W	37.26

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	90°00'54"	24.99	39.26
C4	8°57'42"	1477.40	231.08
C6	85°13'59"	24.99	37.18
C7	23°32'19"	689.39	283.22
C16	12°29'00"	1681.38	366.33
C18	0°00'58"	284541.16	79.55
C19	0°00'58"	284541.16	79.55



LEGAL DESCRIPTION
LOT 6A JEFFERSON COMMONS



ENGINEER'S SEAL	5411, 5421 AND 5501 JEFFERSON ST AND 3900 SINGER BLVD ALBUQUERQUE, NM	DRAWN BY AR
  08/31/2022	JEFFERSON COMMONS II SITE PLAN ADMIN. AMENDMENT BOUNDARIES AND EASEMENTS	DATE 8/31/2022
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021028-SP1 AA 8-29-22
		SHEET # SP-1
RONALD R. BOHANNAN P.E. #7868		JOB # 2018078

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



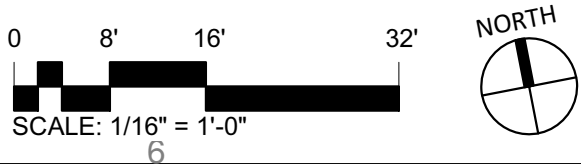
OCCUPANT LOAD CALCS					
USE	AREA	USE TYPE	OCC. LOAD FACTOR	GROSS/NET	TOTAL OCCUPANTS
BREAK AREAS	2,670 SF	A2	15 SF	NET	178
WAITING/CONFERENCE AREAS	1,729 SF	A3	15 SF	NET	115
OFFICES	14,426 SF	B	100 SF	GROSS	144
HALLS/RESTROOMS/MOTHERS ROOM	9,633 SF	B2	100 SF	GROSS	96
MECH/ELEC/STOR/I.T.	2,411 SF	S	300 SF	GROSS	8
TOTAL OCCUPANTS: 541					

PLUMBING FIXTURE SCHEDULE							
	WATER CLOSET		LAVATORIES		DRINKING FOUNTAINS		SERVICE SINKS
A2: BREAK AREAS OL: 178 MALE: 89 FEMALE: 89	FACTOR: MALE: 1/75 FEMALE: 1/75	REQUIRED: MALE: 1.2 FEMALE: 1.2	FACTOR: 1/200	REQUIRED: MALE: 0.4 FEMALE: 0.4	FACTOR: 1/500	REQUIRED 0.4	REQUIRED: 1 SERVICE SINK
A3: WAIT./CONF. OL: 115 MALE: 57.5 FEMALE: 57.5	FACTOR: MALE: 1/125 FEMALE: 1/65	REQUIRED: MALE: 0.5 FEMALE: 0.9	FACTOR: 1/200	REQUIRED: MALE: 0.3 FEMALE: 0.3	FACTOR: 1/500	REQUIRED 0.2	
B: OFFICES/REC. OL: 144 MALE: 72 FEMALE: 72	FACTOR: M&F: 1/25 (FIRST 50) 1/50 (REMAINDER)	REQUIRED: MALE: 2.4 FEMALE: 2.4	FACTOR: M&F: 1/40 (FIRST 80) 1/80 (REMAINDER)	REQUIRED: MALE: 1.8 FEMALE: 1.8	FACTOR: 1/100	REQUIRED 1.4	
B2: HALLS/RR OL: 96 MALE: 48 FEMALE: 48	FACTOR: M&F: 1/25 (FIRST 50) 1/50 (REMAINDER)	REQUIRED: MALE: 1.9 FEMALE: 1.9	FACTOR: M&F: 1/40 (FIRST 80) 1/80 (REMAINDER)	REQUIRED: MALE: 1.2 FEMALE: 1.2	FACTOR: 1/100	REQUIRED 1	
S: STOR/MECH/I.T. OL: 8	FACTOR: 1/100	REQUIRED: 0.1	FACTOR: 1/100	REQUIRED: 0.1	FACTOR: 1/1000	REQUIRED 0.0	
	REQUIRED: MALE: 6, FEMALE: 6 PROVIDED: MALE: 6, FEMALE: 7		REQUIRED: MALE: 4, FEMALE: 4 PROVIDED: MALE: 4, FEMALE: 4		REQUIRED: 3 PROVIDED: 4		REQUIRED: 1 PROVIDED: 1

CODE DATA ANALYSIS	
I.	APPLICABLE BUILDING CODES AND REGULATIONS 2015 NEW MEXICO COMMERCIAL BUILDING CODE (2015 IBC, AMENDED) 2015 NEW MEXICO MECHANICAL CODE (AS AMENDED BY UAC) 2015 NEW MEXICO PLUMBING CODE (AS AMENDED BY UAC) 2018 NEW MEXICO ENERGY CONSERVATION CODE 2015 NEW MEXICO EXISTING BUILDING CODE 2015 NEW MEXICO ELECTRICAL CODE 2015 INTERNATIONAL FIRE CODE ANSI 117.1, 2009 EDITION
II.	CLASSIFICATION OF WORK PER IBC, CHAPTER 5 CLASSIFICATION OF WORK PER IBC 2015 - ALTERATION LEVEL 2: WORK AREA EXCEEDS MORE THAN 50% OF THE BUILDING AREA.
III.	OCCUPANCY CLASSIFICATION PER IBC CHAPTER 3 B - BUSINESS (OFFICES AND WORK SPACES)
IV.	CONSTRUCTION TYPE (IBC CHAPTER 6) IIB - FULLY SPRINKLERED
V.	ALLOWABLE AREA FACTOR (PER IBC 2015 TABLE 506.2) TOTAL BUILDING OCCUPANCY TYPE IS B - BUSINESS ALLOWABLE AREA FACTOR FOR OCCUPANCY B AND TYPE IIB CONSTRUCTION, SPRINKLERED - 92,000 SF TOTAL WORK AREA: 29,560 SF - THEREFORE COMPLIANT
VI.	INTERIOR WALL AND CEILING FINISH REQUIREMENTS (PER IBC TABLE 803.1.1) FOR SPRINKLERED OCCUPANCY TYPE B: CLASS B FINISHES REQUIRED FOR EXIT PASSAGEWAYS, CLASS C FOR ENCLOSED SPACES FOR SPRINKLERED OCCUPANCY TYPE S: CLASS C FINISHES REQUIRED TYPE "X" GYPSUM BOARD FOR CEILINGS AND WALLS MEETS THE CLASS B AND C REQUIREMENTS, THEREFORE COMPLIANT (REFER TO WALL TYPES ON G-003)
VII.	SEISMIC DESIGN CATEGORY: D
VIII.	MEANS OF EGRESS: REFER TO PLAN ON THIS SHEET EXIT ACCESS AND TRAVEL DISTANCE PER 1017.2 (WITH SPRINKLER SYSTEM): 300' MAX., PROVIDED 191' MAX, THEREFORE COMPLIANT. MINIMUM NUMBER OF EXITS PER 1006.3.1: 2 REQUIRED, 5 PROVIDED, THEREFORE COMPLIANT.
IX.	PLUMBING FIXTURE CALCULATIONS: REFER TO PLUMBING FIXTURE TABLE ON THIS SHEET.

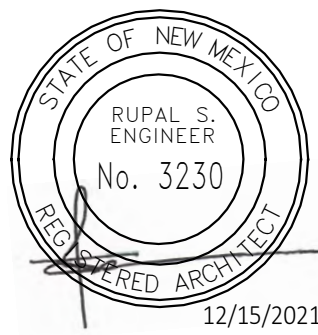


① CODE ANALYSIS
1/16" = 1'-0"



2415 PRINCETON DR. NE, SUITE E
ALBUQUERQUE, NM 87107
505-843-7587
www.designplusabq.com

DESIGN PLUS LLC



IMPROVE GROUP
ASI/GRIDWORKS RENOVATION
3900 SINGER BLVD NE
ALBUQUERQUE, NM 87109

DATE: 12/16/2021

DRAWN BY: NF

CHECKED BY: RE

COPYRIGHT:
DESIGN PLUS, LLC

SHEET TITLE

CODE
ANALYSIS

G-002

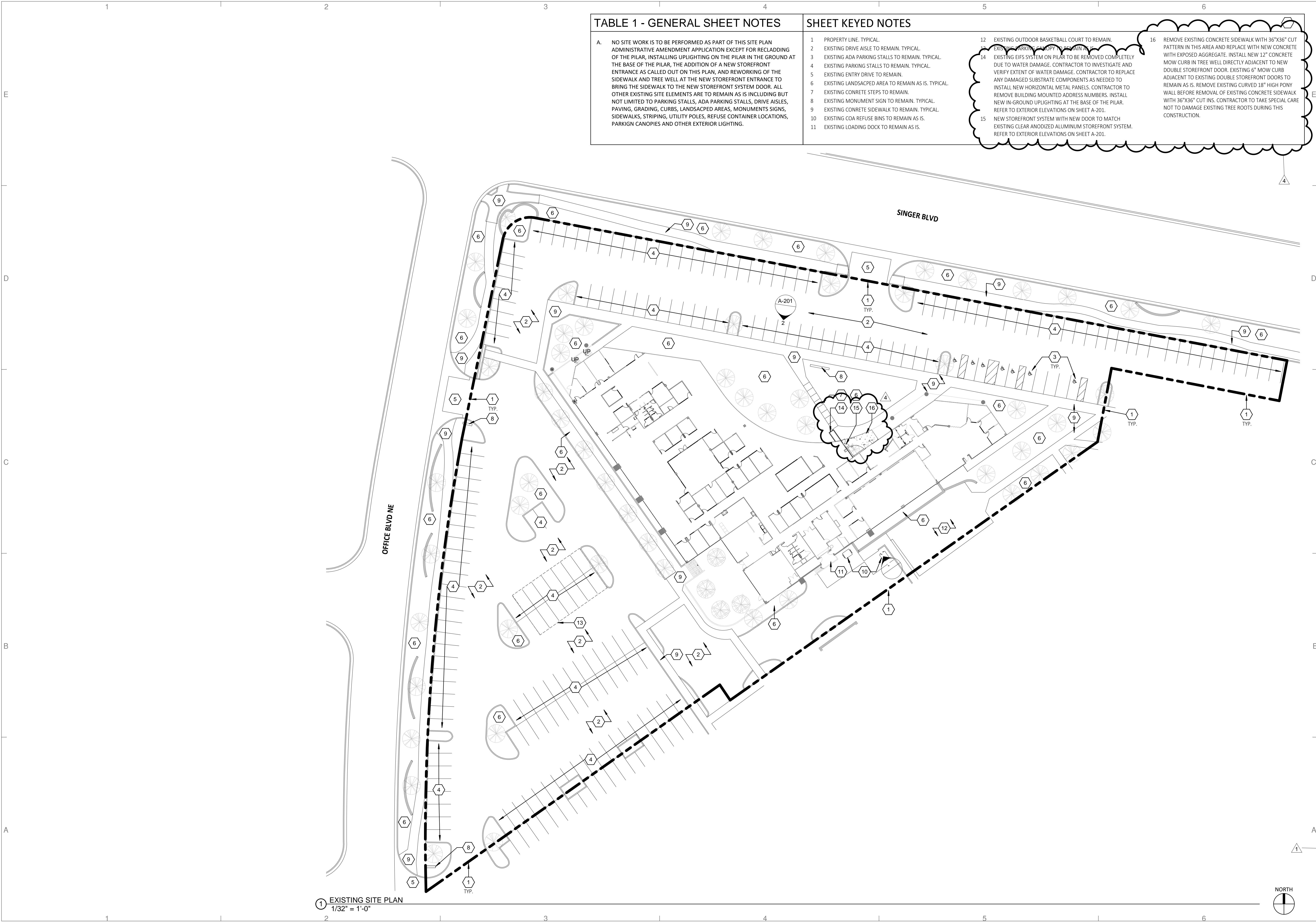


TABLE 1 - GENERAL SHEET NOTES

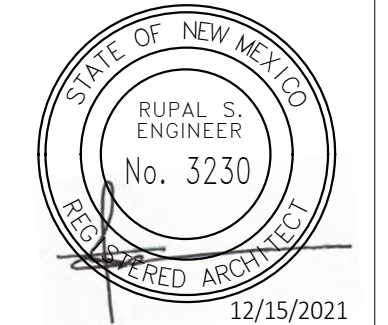
A. NO SITE WORK IS TO BE PERFORMED AS PART OF THIS SITE PLAN ADMINISTRATIVE AMENDMENT APPLICATION EXCEPT FOR RECLADDING OF THE PILAR, INSTALLING UPLIGHTING ON THE PILAR IN THE GROUND AT THE BASE OF THE PILAR, THE ADDITION OF A NEW STOREFRONT ENTRANCE AS CALLED OUT ON THIS PLAN, AND REWORKING OF THE SIDEWALK AND TREE WELL AT THE NEW STOREFRONT ENTRANCE TO BRING THE SIDEWALK TO THE NEW STOREFRONT SYSTEM DOOR. ALL OTHER EXISTING SITE ELEMENTS ARE TO REMAIN AS IS INCLUDING BUT NOT LIMITED TO PARKING STALLS, ADA PARKING STALLS, DRIVE AISLES, PAVING, GRADING, CURBS, LANDSCAPED AREAS, MONUMENTS SIGNS, SIDEWALKS, STRIPING, UTILITY POLES, REFUSE CONTAINER LOCATIONS, PARKIGN CANOPIES AND OTHER EXTERIOR LIGHTING.

SHEET KEYED NOTES

- 1 PROPERTY LINE. TYPICAL.
- 2 EXISTING DRIVE AISLE TO REMAIN. TYPICAL.
- 3 EXISTING ADA PARKING STALLS TO REMAIN. TYPICAL.
- 4 EXISTING PARKING STALLS TO REMAIN. TYPICAL.
- 5 EXISTING ENTRY DRIVE TO REMAIN.
- 6 EXISTING LANDSCAPED AREA TO REMAIN AS IS. TYPICAL.
- 7 EXISTING CONCRETE STEPS TO REMAIN.
- 8 EXISTING MONUMENT SIGN TO REMAIN. TYPICAL.
- 9 EXISTING CONCRETE SIDEWALK TO REMAIN. TYPICAL.
- 10 EXISTING COA REFUSE BINS TO REMAIN AS IS.
- 11 EXISTING LOADING DOCK TO REMAIN AS IS.
- 12 EXISTING OUTDOOR BASKETBALL COURT TO REMAIN.
- 13 EXISTING PARKING CANOPY TO REMAIN.
- 14 EXISTING EIFS SYSTEM ON PILAR TO BE REMOVED COMPLETELY DUE TO WATER DAMAGE. CONTRACTOR TO INVESTIGATE AND VERIFY EXTENT OF WATER DAMAGE. CONTRACTOR TO REPLACE ANY DAMAGED SUBSTRATE COMPONENTS AS NEEDED TO INSTALL NEW HORIZONTAL METAL PANELS. CONTRACTOR TO REMOVE BUILDING MOUNTED ADDRESS NUMBERS. INSTALL NEW IN-GROUND UPLIGHTING AT THE BASE OF THE PILAR. REFER TO EXTERIOR ELEVATIONS ON SHEET A-201.
- 15 NEW STOREFRONT SYSTEM WITH NEW DOOR TO MATCH EXISTING CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM. REFER TO EXTERIOR ELEVATIONS ON SHEET A-201.
- 16 REMOVE EXISTING CONCRETE SIDEWALK WITH 36"x36" CUT PATTERN IN THIS AREA AND REPLACE WITH NEW CONCRETE WITH EXPOSED AGGREGATE. INSTALL NEW 12" CONCRETE MOW CURB IN TREE WELL DIRECTLY ADJACENT TO NEW DOUBLE STOREFRONT DOOR. EXISTING 6" MOW CURB ADJACENT TO EXISTING DOUBLE STOREFRONT DOORS TO REMAIN AS IS. REMOVE EXISTING CURVED 18" HIGH PONY WALL BEFORE REMOVAL OF EXISTING CONCRETE SIDEWALK WITH 36"x36" CUT INS. CONTRACTOR TO TAKE SPECIAL CARE NOT TO DAMAGE EXISTING TREE ROOTS DURING THIS CONSTRUCTION.

1 EXISTING SITE PLAN
1/32" = 1'-0"

2415 PRINCETON DR. NE, SUITE E
ALBUQUERQUE, NM 87107
505-843-7587
www.designplusabq.com
DESIGN PLUS LLC



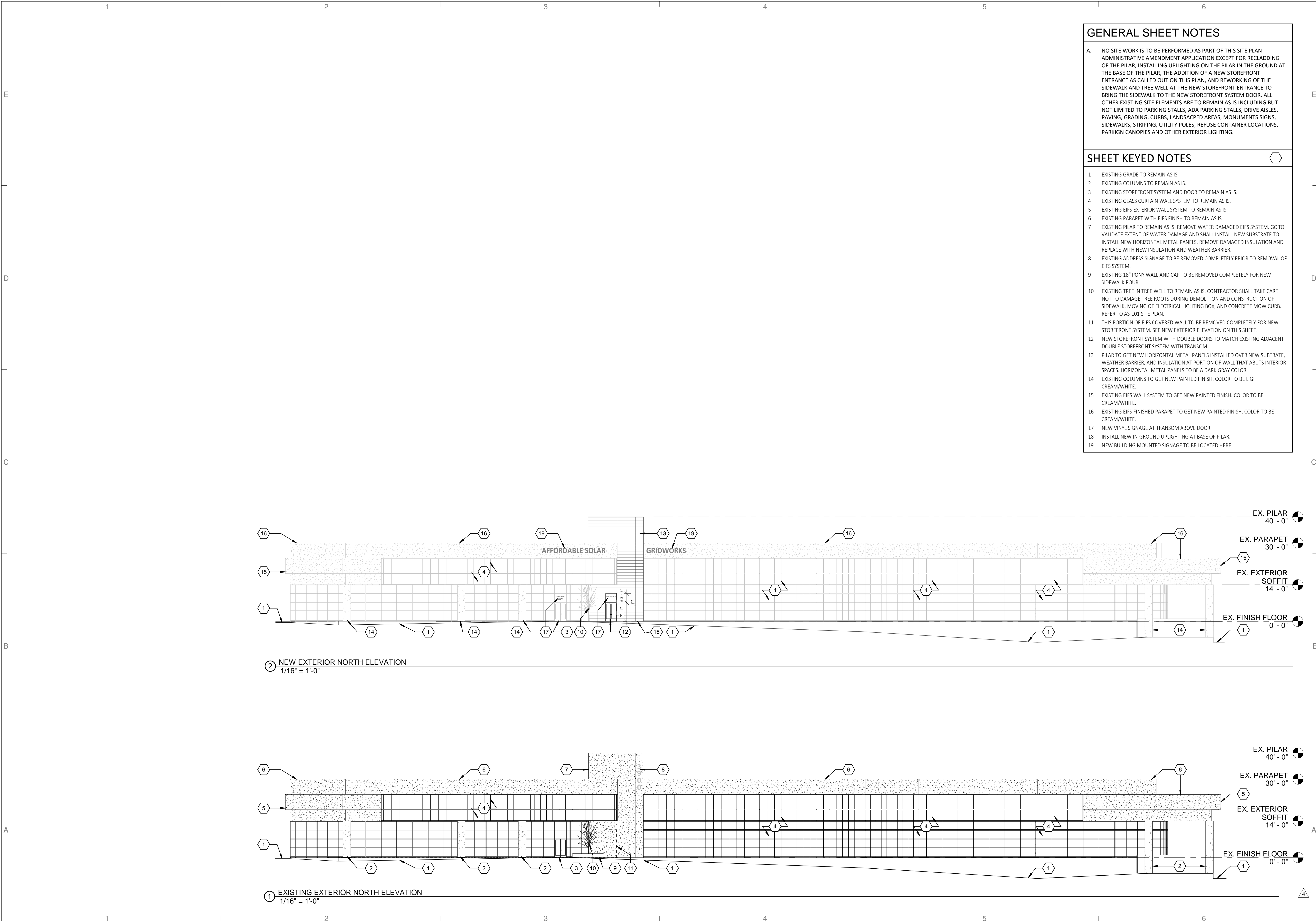
IMPROVE GROUP
AS/GRIDWORKS RENOVATION
3900 SINGER BLVD NE
ALBUQUERQUE, NM 87109

DATE: 6/23/2022

REVISIONS	
1	2/1/2022
4	7/13/2022

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SHEET TITLE

NEW SITE PLAN
AS-101



GENERAL SHEET NOTES

A. NO SITE WORK IS TO BE PERFORMED AS PART OF THIS SITE PLAN ADMINISTRATIVE AMENDMENT APPLICATION EXCEPT FOR RECLADDING OF THE PILAR, INSTALLING UPLIGHTING ON THE PILAR IN THE GROUND AT THE BASE OF THE PILAR, THE ADDITION OF A NEW STOREFRONT ENTRANCE AS CALLED OUT ON THIS PLAN, AND REWORKING OF THE SIDEWALK AND TREE WELL AT THE NEW STOREFRONT ENTRANCE TO BRING THE SIDEWALK TO THE NEW STOREFRONT SYSTEM DOOR. ALL OTHER EXISTING SITE ELEMENTS ARE TO REMAIN AS IS INCLUDING BUT NOT LIMITED TO PARKING STALLS, ADA PARKING STALLS, DRIVE AISLES, PAVING, GRADING, CURBS, LANDSCAPED AREAS, MONUMENTS SIGNS, SIDEWALKS, STRIPING, UTILITY POLES, REFUSE CONTAINER LOCATIONS, PARKIGN CANOPIES AND OTHER EXTERIOR LIGHTING.

SHEET KEYED NOTES

- EXISTING GRADE TO REMAIN AS IS.
- EXISTING COLUMNS TO REMAIN AS IS.
- EXISTING STOREFRONT SYSTEM AND DOOR TO REMAIN AS IS.
- EXISTING GLASS CURTAIN WALL SYSTEM TO REMAIN AS IS.
- EXISTING EIFS EXTERIOR WALL SYSTEM TO REMAIN AS IS.
- EXISTING PARAPET WITH EIFS FINISH TO REMAIN AS IS.
- EXISTING PILAR TO REMAIN AS IS. REMOVE WATER DAMAGED EIFS SYSTEM. GC TO VALIDATE EXTENT OF WATER DAMAGE AND SHALL INSTALL NEW SUBSTRATE TO INSTALL NEW HORIZONTAL METAL PANELS. REMOVE DAMAGED INSULATION AND REPLACE WITH NEW INSULATION AND WEATHER BARRIER.
- EXISTING ADDRESS SIGNAGE TO BE REMOVED COMPLETELY PRIOR TO REMOVAL OF EIFS SYSTEM.
- EXISTING 18" PONY WALL AND CAP TO BE REMOVED COMPLETELY FOR NEW SIDEWALK POUR.
- EXISTING TREE IN TREE WELL TO REMAIN AS IS. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREE ROOTS DURING DEMOLITION AND CONSTRUCTION OF SIDEWALK, MOVING OF ELECTRICAL LIGHTING BOX, AND CONCRETE MOW CURB. REFER TO AS-101 SITE PLAN.
- THIS PORTION OF EIFS COVERED WALL TO BE REMOVED COMPLETELY FOR NEW STOREFRONT SYSTEM. SEE NEW EXTERIOR ELEVATION ON THIS SHEET.
- NEW STOREFRONT SYSTEM WITH DOUBLE DOORS TO MATCH EXISTING ADJACENT DOUBLE STOREFRONT SYSTEM WITH TRANSOM.
- PILAR TO GET NEW HORIZONTAL METAL PANELS INSTALLED OVER NEW SUBSTRATE, WEATHER BARRIER, AND INSULATION AT PORTION OF WALL THAT ABUTS INTERIOR SPACES. HORIZONTAL METAL PANELS TO BE A DARK GRAY COLOR.
- EXISTING COLUMNS TO GET NEW PAINTED FINISH. COLOR TO BE LIGHT CREAM/WHITE.
- EXISTING EIFS WALL SYSTEM TO GET NEW PAINTED FINISH. COLOR TO BE CREAM/WHITE.
- EXISTING EIFS FINISHED PARAPET TO GET NEW PAINTED FINISH. COLOR TO BE CREAM/WHITE.
- NEW VINYL SIGNAGE AT TRANSOM ABOVE DOOR.
- INSTALL NEW IN-GROUND UPLIGHTING AT BASE OF PILAR.
- NEW BUILDING MOUNTED SIGNAGE TO BE LOCATED HERE.

2415 PRINCETON DR. NE, SUITE E
ALBUQUERQUE, NM 87107
505-843-7587
www.designplusllc.com

DESIGN PLUS LLC

STATE OF NEW MEXICO
RUPAL S.
ENGINEER
No. 3230
REGISTERED ARCHITECT
7/14/2022

IMPROVE GROUP
AS/GRIDWORKS RENOVATION
3900 SINGER BLVD NE
ALBUQUERQUE, NM 87109

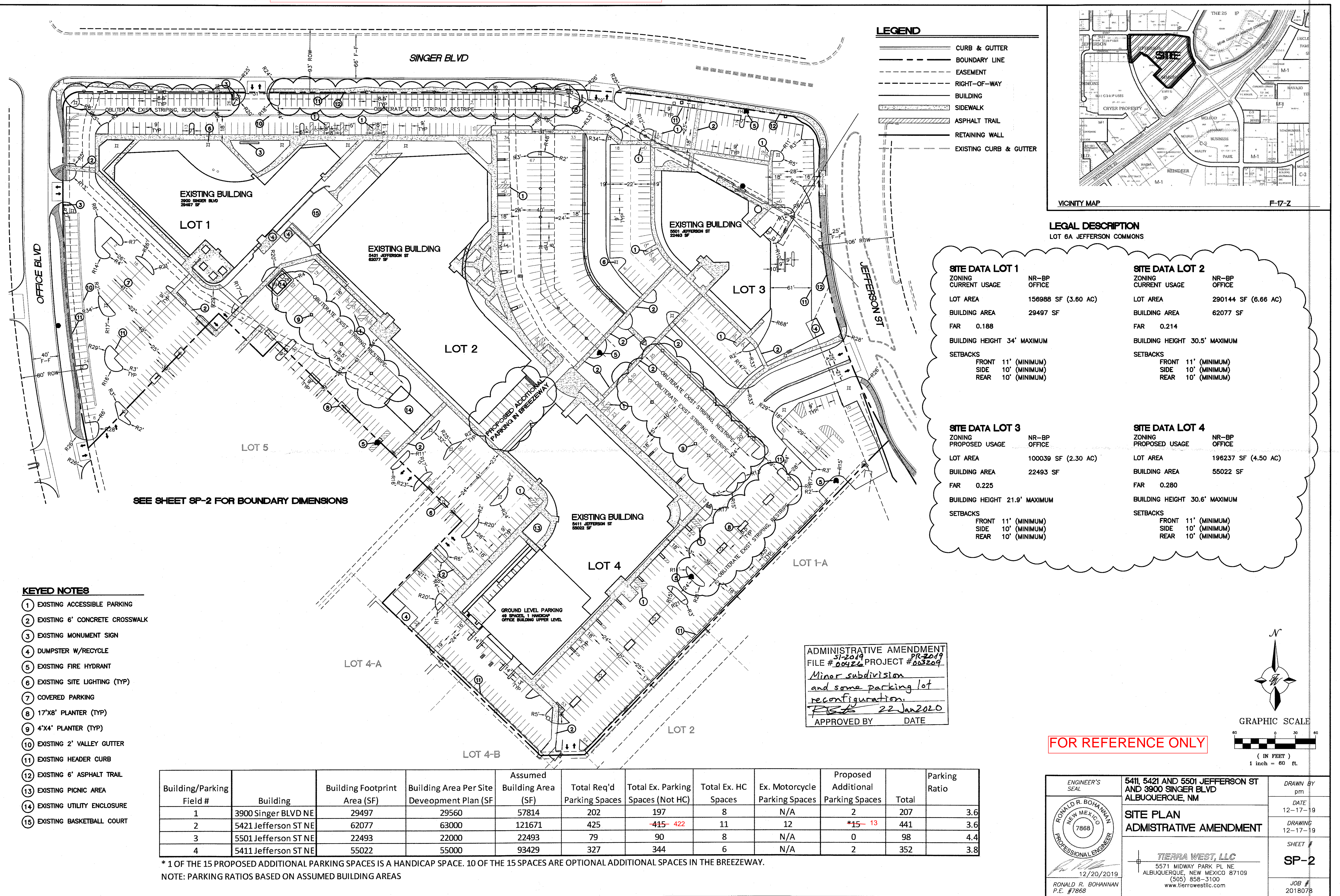
DATE: 6/23/2022

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4	7/13/2022

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SHEET TITLE

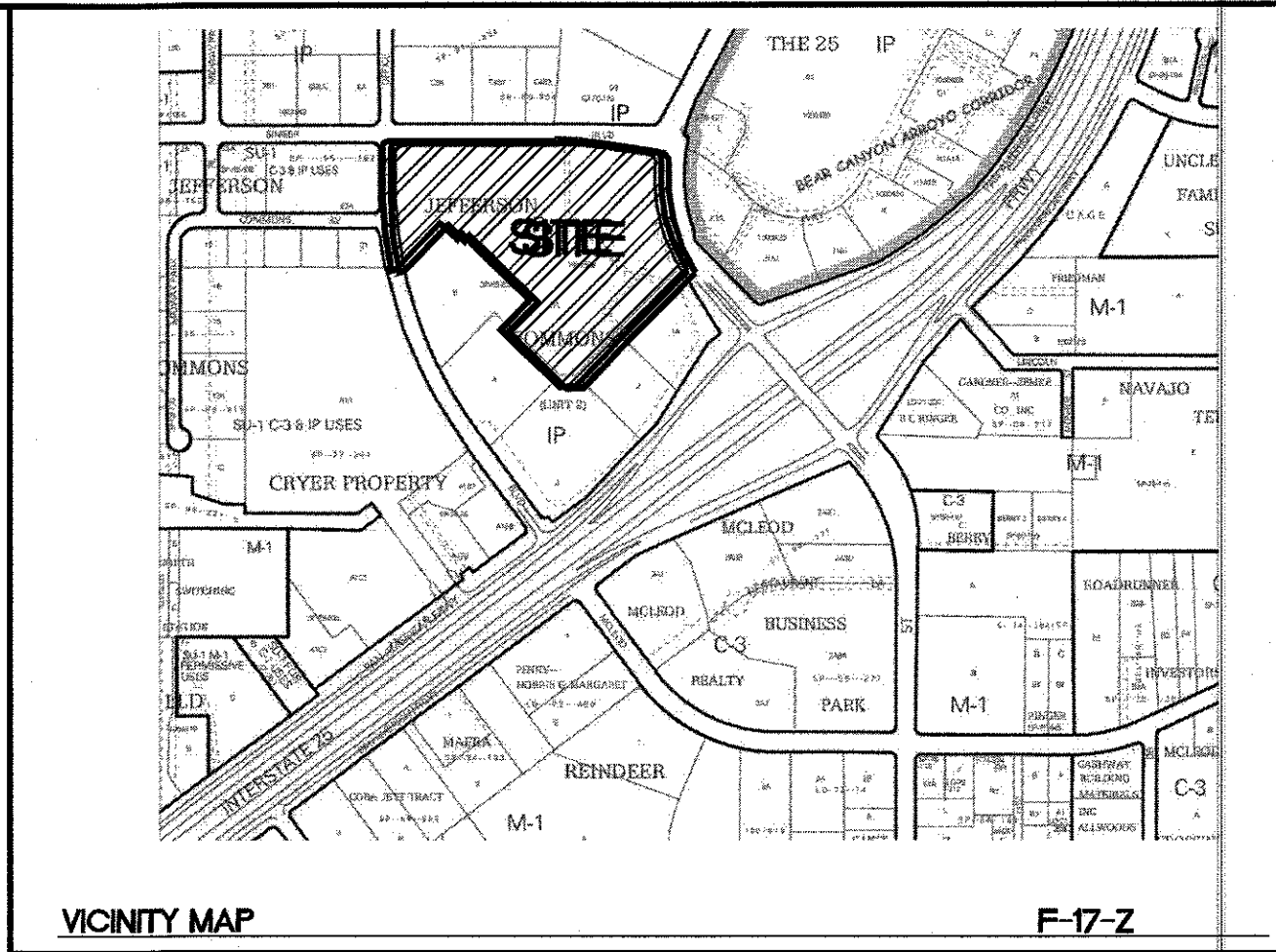
EXTERIOR
ELEVATIONS
A-201

PREVIOUSLY APPROVED SITE PLAN AMENDMENT



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- ASPHALT TRAIL
- RETAINING WALL
- EXISTING CURB & GUTTER

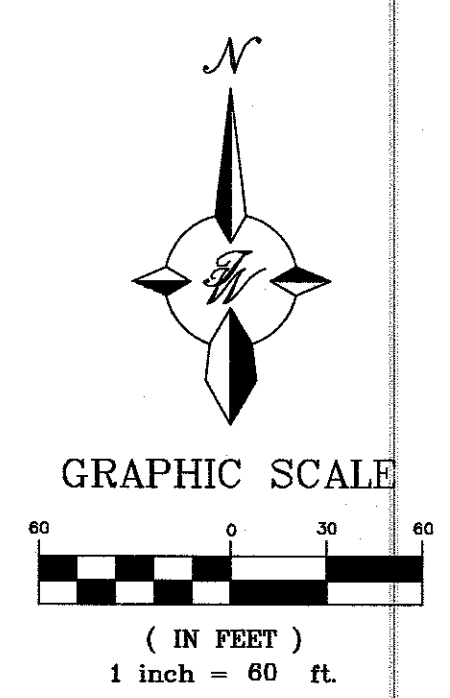


LEGAL DESCRIPTION
LOT 6A JEFFERSON COMMONS

SITE DATA LOT 1		SITE DATA LOT 2	
ZONING	NR-BP	ZONING	NR-BP
CURRENT USAGE	OFFICE	CURRENT USAGE	OFFICE
LOT AREA	156988 SF (3.60 AC)	LOT AREA	290144 SF (6.66 AC)
BUILDING AREA	29497 SF	BUILDING AREA	62077 SF
FAR	0.188	FAR	0.214
BUILDING HEIGHT	34' MAXIMUM	BUILDING HEIGHT	30.5' MAXIMUM
SETBACKS		SETBACKS	
FRONT	11' (MINIMUM)	FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)	SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)	REAR	10' (MINIMUM)
SITE DATA LOT 3		SITE DATA LOT 4	
ZONING	NR-BP	ZONING	NR-BP
PROPOSED USAGE	OFFICE	PROPOSED USAGE	OFFICE
LOT AREA	100039 SF (2.30 AC)	LOT AREA	196237 SF (4.50 AC)
BUILDING AREA	22493 SF	BUILDING AREA	55022 SF
FAR	0.225	FAR	0.280
BUILDING HEIGHT	21.9' MAXIMUM	BUILDING HEIGHT	30.6' MAXIMUM
SETBACKS		SETBACKS	
FRONT	11' (MINIMUM)	FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)	SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)	REAR	10' (MINIMUM)

- KEYED NOTES**
- 1 EXISTING ACCESSIBLE PARKING
 - 2 EXISTING 6" CONCRETE CROSSWALK
 - 3 EXISTING MONUMENT SIGN
 - 4 DUMPSTER W/RECYCLE
 - 5 EXISTING FIRE HYDRANT
 - 6 EXISTING SITE LIGHTING (TYP)
 - 7 COVERED PARKING
 - 8 17'X8' PLANTER (TYP)
 - 9 4'X4' PLANTER (TYP)
 - 10 EXISTING 2' VALLEY GUTTER
 - 11 EXISTING HEADER CURB
 - 12 EXISTING 6" ASPHALT TRAIL
 - 13 EXISTING PICNIC AREA
 - 14 EXISTING UTILITY ENCLOSURE
 - 15 EXISTING BASKETBALL COURT

ADMINISTRATIVE AMENDMENT
FILE # 51-2019 PROJECT # PR-2019
#00426 #003209
Minor subdivision
and some parking lot
reconfiguration.
R.B.S. 22 Jan 2020
APPROVED BY DATE



FOR REFERENCE ONLY

Building/Parking	Field #	Building	Building Footprint Area (SF)	Building Area Per Site Deveopment Plan (SF)	Assumed Building Area (SF)	Total Req'd Parking Spaces	Total Ex. Parking Spaces (Not HC)	Total Ex. HC Spaces	Ex. Motorcycle Parking Spaces	Proposed Additional Parking Spaces	Total	Parking Ratio
1	1	3900 Singer BLVD NE	29497	29560	57814	202	197	8	N/A	2	207	3.6
2	2	5421 Jefferson ST NE	62077	63000	121671	425	415- 422	11	12	*15- 13	441	3.6
3	3	5501 Jefferson ST NE	22493	22000	22493	79	90	8	N/A	0	98	4.4
4	4	5411 Jefferson ST NE	55022	55000	93429	327	344	6	N/A	2	352	3.8

* 1 OF THE 15 PROPOSED ADDITIONAL PARKING SPACES IS A HANDICAP SPACE. 10 OF THE 15 SPACES ARE OPTIONAL ADDITIONAL SPACES IN THE BREEZEWAY.
NOTE: PARKING RATIOS BASED ON ASSUMED BUILDING AREAS

	5411, 5421 AND 5501 JEFFERSON ST AND 3900 SINGER BLVD ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN ADMISTRATIVE AMENDMENT	DATE 12-17-19
		DRAWING 12-17-19
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	SHEET # SP-2

Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: December 7, 1998

**OFFICIAL NOTIFICATION OF
DECISION**

Chant Family II
P.O. Box 3529
Albuq. NM 87190

FILE: Z-97-20

LEGAL DESCRIPTION: For Lot
6, Jefferson Commons Phase II,
zoned IP, located on Jefferson Street
NE and I-25 between I-25 and
Singer, containing approximately 17
acres. (F-17) Bob Paulsen, Staff
Planner

On December 3, 1998, the Environmental Planning Commission voted to approve Z-97-20, a site development plan for building permit based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site plan for building permit for a 17-acre site within the 35-acre Jefferson Commons Phase II property which is located along the west side of the I-25 southbound frontage road and on the south side of Jefferson Boulevard NE.
2. The subject site is zoned IP. Submitted plans propose the development of four buildings within the 17-acre site; the proposed uses appear to be allowed within the IP zone.
3. A master development plan (as required by IP zoning) was approved for Jefferson Commons Phase II in 1997 by the EPC, as was a site plan for subdivision. An amendment to the master development plan was approved by the EPC in July of 1998; site plans for building permit for lots within this 35-acre property must be in conformance with these adopted plans.
4. The EPC-approved amendment to the master development plan has not been approved by the DRB; final approval is pending. It is reasonable and desirable that this approval be

finalized prior to EPC review of the site plan for the 17-acre subject site.

5. The submitted site plan drawings are deficient as to content; specifically, elevation drawings have not been provided for the 35,000 sf office / bank building, complete landscaping and parking calculations are not provided and preferred parking along with other trip reduction measures are not evident. In addition, square footage modifications are unexplained in the submittal packet.
6. The Planning Commission is willing to delegate the site plan to its subcommittee for consideration.

CONDITIONS:

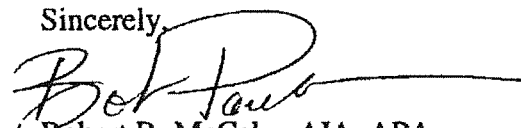
1. The plan shall be reviewed and meet the satisfaction of the Traffic Engineer prior to DRB approval.
2. The site plan shall not be approved by the DRB until the Master Development Plan amendment receives final DRB approval.
3. The site development plan shall meet the satisfaction of the EHD and Planning Department concerning bike storage, on site shower and locker facilities and dining facilities.
4. Preferred parking shall be designated.
5. The landscape plan shall provide details as to patio areas to the satisfaction of the Planning Department.
6. Building entrances shall be indicated on the site plan along with connecting sidewalks.
7. Bike racks are required and shall be noted on the site plan in convenient locations.
8. Loading areas shall be screened as shall HVAC equipment.
9. Comments from Public Works shall be satisfied prior to DRB approval.
10. All building elevations shall be provided with appropriate details to the satisfaction of the Planning Department. The building shall be consistent with what has been approved on Lot 5.

11. A complete plan package shall be submitted to the site plan delegation committee. The committee shall confirm the completeness of the submittal before the plans can be submitted to the DRB. If the plans do not meet the satisfaction of the committee, the applicant must resubmit the plans to the EPC for approval.
12. The construction of all temporary improvements across Lot 4 is the responsibility of the developer of Lot 6.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **DECEMBER 18, 1998** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

FOR Robert R. McCabe, AIA, APA
Planning Director

RRM/BP/vm

cc: Pappas Restaurant, Inc., P.O. Box 3141, Houston, TX
Herbert Denish & Assoc., P.O. Box 2001, Albuquerque, NM 87103


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Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: December 7, 1998

**OFFICIAL NOTIFICATION OF
DECISION**

Chant Family II
P.O. Box 3529
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