

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

---

---

---

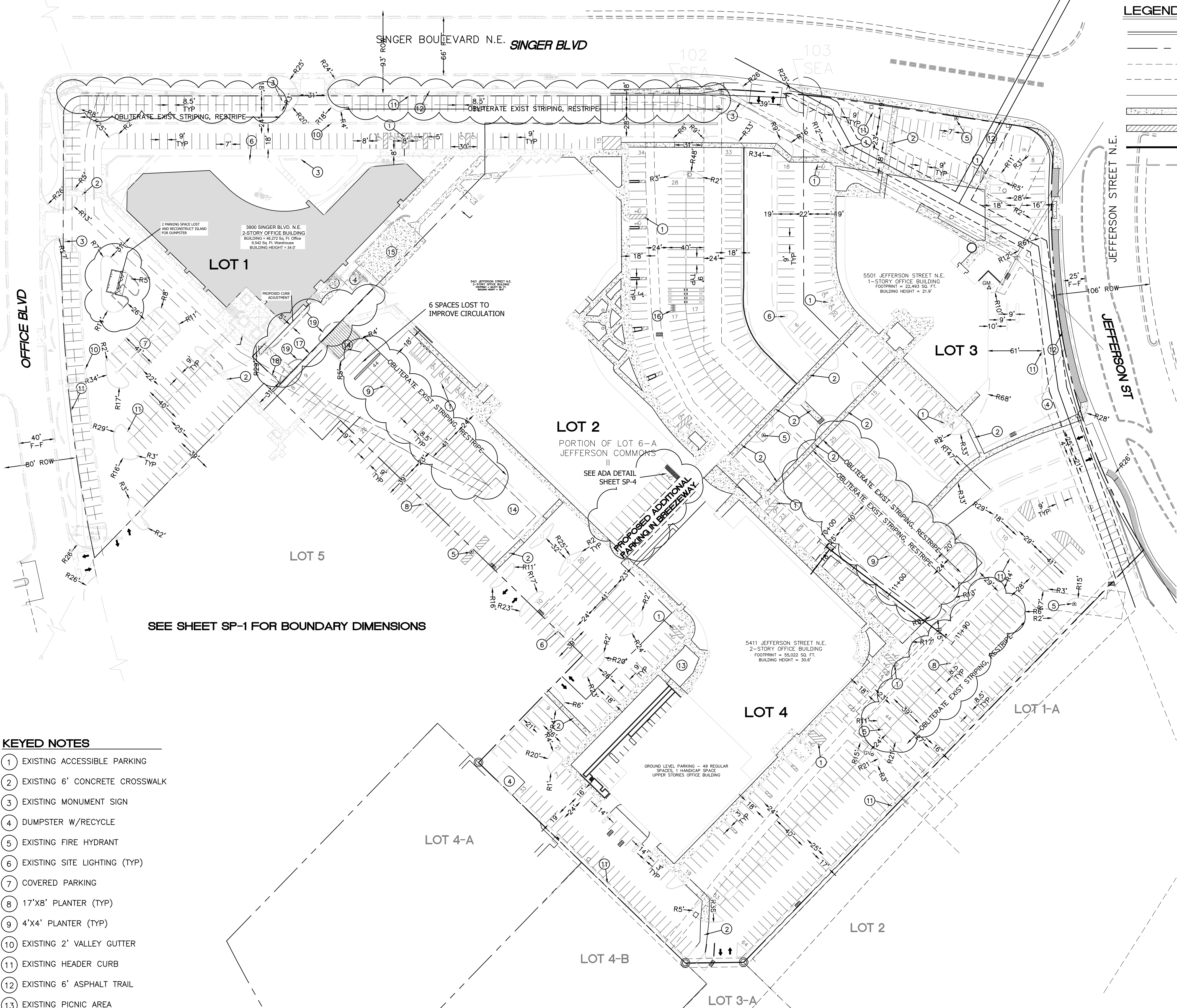
---

---

\_\_\_\_\_  
APPROVED BY

\_\_\_\_\_  
DATE





KEYED NOTES

- 1 EXISTING ACCESSIBLE PARKING
- 2 EXISTING 6" CONCRETE CROSSWALK
- 3 EXISTING MONUMENT SIGN
- 4 DUMPSTER W/RECYCLE
- 5 EXISTING FIRE HYDRANT
- 6 EXISTING SITE LIGHTING (TYP)
- 7 COVERED PARKING
- 8 17'X8' PLANTER (TYP)
- 9 4'X4' PLANTER (TYP)
- 10 EXISTING 2' VALLEY GUTTER
- 11 EXISTING HEADER CURB
- 12 EXISTING 6" ASPHALT TRAIL
- 13 EXISTING PICNIC AREA
- 14 EXISTING UTILITY ENCLOSURE
- 15 EXISTING BASKETBALL COURT
- 16 EXISTING BIKE RACKS
- 17 PROPOSED SCREEN WALL
- 18 PROPOSED SECURITY GATE
- 19 DEMO EXISTING CURB

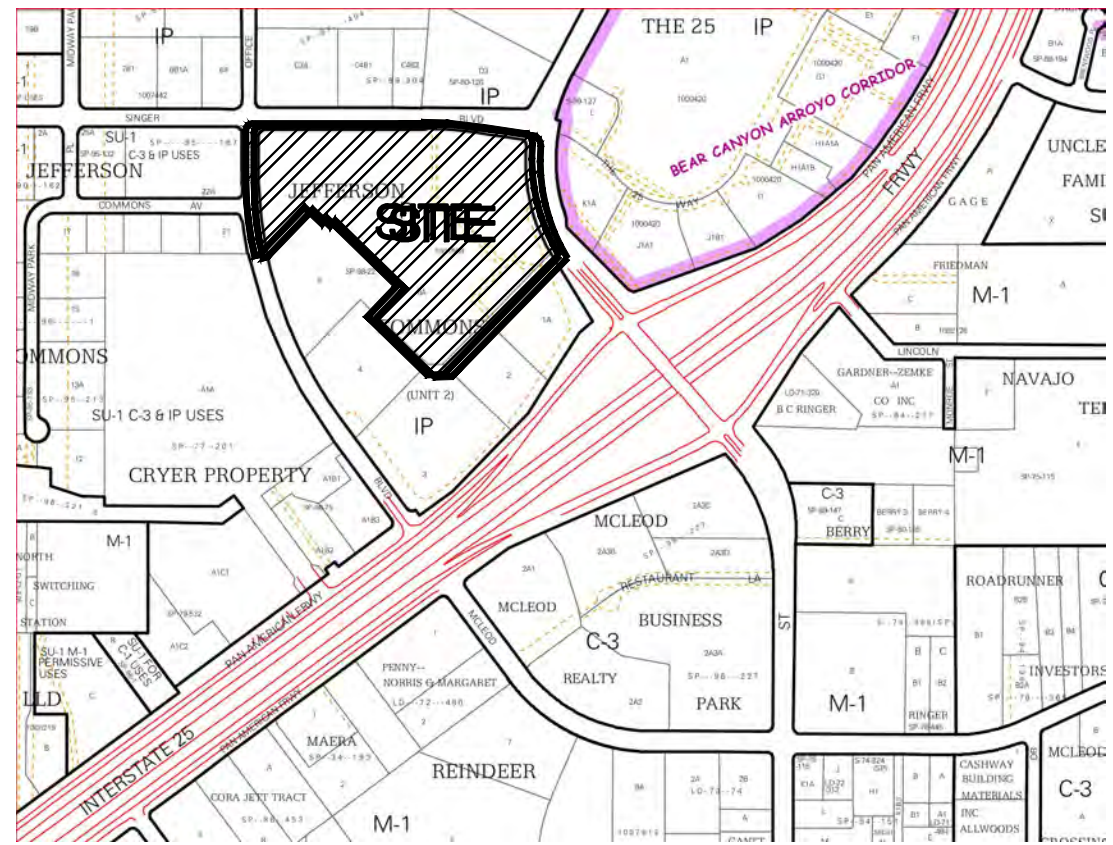
Building/Parking Field #	Building	Building Footprint Area (SF)	Building Area Per Original Site Development Plan	Assumed Office Area (SF)	Total Req'd Parking Spaces	Total Ex. Parking Spaces (Not HC)	Total Ex. HC Spaces	Ex. Motorcycle Parking Spaces	Proposed Additional Parking Spaces	Spaces Lost	Total	Parking Ratio
1	3900 Singer BLVD NE	29497	29560	29560	103	195	8	N/A	2	2	203	6.9
2	5421 Jefferson ST NE	62077	63000	94500	331	415	11	12	*15	6	435	4.6
3	5501 Jefferson ST NE	22493	22000	22493	79	90	8	N/A	0	0	98	4.4
4	5411 Jefferson ST NE	55022	55000	93429	327	344	6	N/A	2	0	352	3.8

\* 1 OF THE 15 PROPOSED ADDITIONAL PARKING SPACES IS A HANDICAP SPACE. 10 OF THE 15 SPACES ARE OPTIONAL ADDITIONAL SPACES IN THE BREEZEWAY. 5 OF THE ADDITIONAL SPACES CAME FROM RESTRIPIING EXISTING PARKING

NOTE: PARKING RATIOS BASED ON ASSUMED BUILDING AREAS

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- ASPHALT TRAIL
- RETAINING WALL
- EXISTING CURB & GUTTER



VICINITY MAP

F-17-Z

LEGAL DESCRIPTION

LOT 6A JEFFERSON COMMONS

SITE DATA LOT 1

ZONING	NR-BP
CURRENT USAGE	OFFICE
LOT AREA	156988 SF (3.60 AC)
BUILDING AREA	29497 SF
FAR	0.188
BUILDING HEIGHT	34' MAXIMUM
SETBACKS	
FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)

SITE DATA LOT 2

ZONING	NR-BP
CURRENT USAGE	OFFICE
LOT AREA	290144 SF (6.66 AC)
BUILDING AREA	62077 SF
FAR	0.214
BUILDING HEIGHT	30.5' MAXIMUM
SETBACKS	
FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)

SITE DATA LOT 3

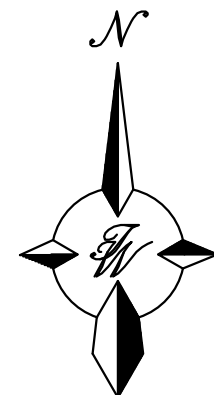
ZONING	NR-BP
PROPOSED USAGE	OFFICE
LOT AREA	100039 SF (2.30 AC)
BUILDING AREA	22493 SF
FAR	0.225
BUILDING HEIGHT	21.9' MAXIMUM
SETBACKS	
FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)

SITE DATA LOT 4

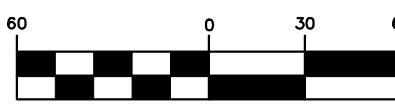
ZONING	NR-BP
PROPOSED USAGE	OFFICE
LOT AREA	196237 SF (4.50 AC)
BUILDING AREA	55022 SF
FAR	0.280
BUILDING HEIGHT	30.6' MAXIMUM
SETBACKS	
FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



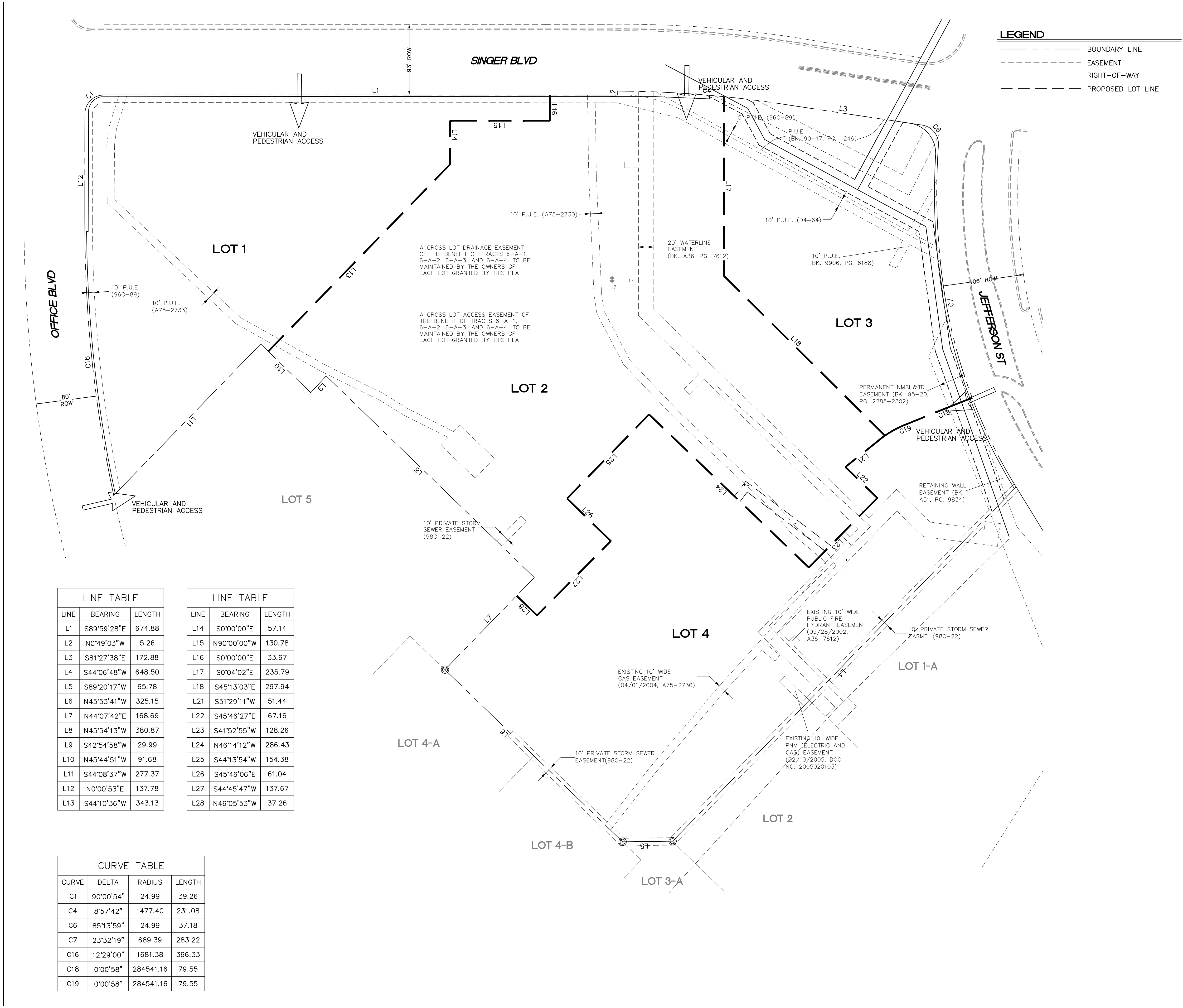
GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	5411, 5421 AND 5501 JEFFERSON ST AND 3900 SINGER BLVD ALBUQUERQUE, NM	DRAWN BY AR
	JEFFERSON COMMONS II SITE PLAN ADMIN. AMENDMENT	DATE 8/31/2022
	<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com</div>	SHEET # <b>SP-2</b>  JOB # 2018078





**VICINITY MAP**

**F-17-Z**

**LEGAL DESCRIPTION**

LOT 6A JEFFERSON COMMONS

**LEGEND**

- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- PROPOSED LOT LINE

**LINE TABLE**

LINE	BEARING	LENGTH
L1	S89°59'28"E	674.88
L2	N0°49'03"W	5.26
L3	S81°27'38"E	172.88
L4	S44°06'48"W	648.50
L5	S89°20'17"W	65.78
L6	N45°53'41"W	325.15
L7	N44°07'42"E	168.69
L8	N45°54'13"W	380.87
L9	S42°54'58"W	29.99
L10	N45°44'51"W	91.68
L11	S44°08'37"W	277.37
L12	N0°00'53"E	137.78
L13	S44°10'36"W	343.13

**LINE TABLE**

LINE	BEARING	LENGTH
L14	S0°00'00"E	57.14
L15	N90°00'00"W	130.78
L16	S0°00'00"E	33.67
L17	S0°04'02"E	235.79
L18	S45°13'03"E	297.94
L21	S51°29'11"W	51.44
L22	S45°46'27"E	67.16
L23	S41°52'55"W	128.26
L24	N46°14'12"W	286.43
L25	S44°13'54"W	154.38
L26	S45°46'06"E	61.04
L27	S44°45'47"W	137.67
L28	N46°05'53"W	37.26

**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH
C1	90°00'54"	24.99	39.26
C4	8°57'42"	1477.40	231.08
C6	85°13'59"	24.99	37.18
C7	23°32'19"	689.39	283.22
C16	12°29'00"	1681.38	366.33
C18	0°00'58"	284541.16	79.55
C19	0°00'58"	284541.16	79.55

**GRAPHIC SCALE**

( IN FEET )

1 inch = 60 ft.

**ENGINEER'S SEAL**

RONALD R. BOHANNAN  
NEW MEXICO  
PROFESSIONAL ENGINEER  
7868

08/31/2022

RONALD R. BOHANNAN  
P.E. #7868

**5411, 5421 AND 5501 JEFFERSON ST AND 3900 SINGER BLVD ALBUQUERQUE, NM**

**JEFFERSON COMMONS II**

**SITE PLAN ADMIN. AMENDMENT BOUNDARIES AND EASEMENTS**

**TIERRA WEST, LLC**

5571 MIDWAY PARK PL. NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

**DRAWN BY**

AR

**DATE**

8/31/2022

**DRAWING**

2021028-SP1 AA

8-29-22

**SHEET #**

**SP-1**

**JOB #**

2018078