

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

- ☐ ARCHEOLOGICAL CERTIFICATE
- ☐ Archaeological Compliance Documentation Form with property information section completed

☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ Letter of authorization from the property owner if application is submitted by an agent

☐ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB
- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)

☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded

☒ Copy of the Official Notice of Decision associated with the prior approval

☒ Three (3) copies of the proposed Site Plan, with changes circled and noted

☒ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

☒ Letter of authorization from the property owner if application is submitted by an agent -submitted by applicant

☒ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

- ☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)

☐ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded

☐ Copy of the Official Notice of Decision associated with the prior approval

☐ Three (3) copies of the proposed Site Development Plan, with changes circled and noted

☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

☐ Letter of authorization from the property owner if application is submitted by an agent

☐ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

- ☐ ACCELERATED EXPIRATION SITE PLAN
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)

☐ Site Plan to be Expired

☐ Letter of authorization from the property owner if application is submitted by an agent

☐ Zone Atlas map with the entire site clearly outlined and labeled
- ☐ ALTERNATIVE SIGNAGE PLAN
- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)

☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)

☐ Required notices with content per IDO Section 14-16-6-4(K)

☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives

☐ Sign Posting Agreement

☐ Letter of authorization from the property owner if application is submitted by an agent

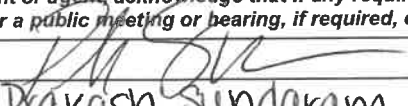
☐ Zone Atlas map with the entire site clearly outlined and labeled
- ☐ ALTERNATIVE LANDSCAPE PLAN
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)

☐ Landscape Plan

☐ Letter of authorization from the property owner if application is submitted by an agent

☐ Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 

Date: 10/17/2022

Printed Name: Prakash Sundaram

☒ Applicant or ☐ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers


-

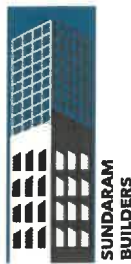
-

-

Staff Signature:

Date:





October 17, 2022

TO: Whom It May Concern

RE: Building Permit: BP-2022-17740

This letter is intended to provide you with a justification for the changes which have occurred on the View House project Permit# BP- 2022-17740. We request your approval for the minor modifications made to the Clubhouse building as to design and height outlined in detail below.

- The top of parapet was increased an additional 4 feet from 22ft to 26ft.
- The majority of the steep pitched roofs were replaced by flat roofs and a second story.
- The second story was added to provide additional multifunction space for residents who may use the area for study, meetings, leisure or work.
- We believe all changes are in accordance with the IDO and are minor changes to the previously approved site development plan.

Regards,

Prakash Sundaram  
Sundaram Builders Inc.



**DEVELOPMENT REVIEW APPLICATION**

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: <b>Prakash Sundaram</b>		Phone: <b>505-259-3805</b>
Address: <b>4239 Balloon Park Rd. NE, Suite A</b>		Email: <b>prakash@tmsnm.com</b>
City: <b>Albuquerque</b>	State: <b>NM</b>	Zip: <b>87109</b>
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List all owners:

**BRIEF DESCRIPTION OF REQUEST**

**Updates to recreational building height and design**

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: <b>B-3-A</b>	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning: <b>PD</b>	Proposed Zoning: <b>PD</b>
# of Existing Lots: <b>1</b>	# of Proposed Lots: <b>1</b>	Total Area of Site (acres): <b>5.04</b>

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: <b>Paisano St.</b>	Between: <b>I-40</b>	and: <b>Skyline Rd.</b>
---	----------------------	-------------------------

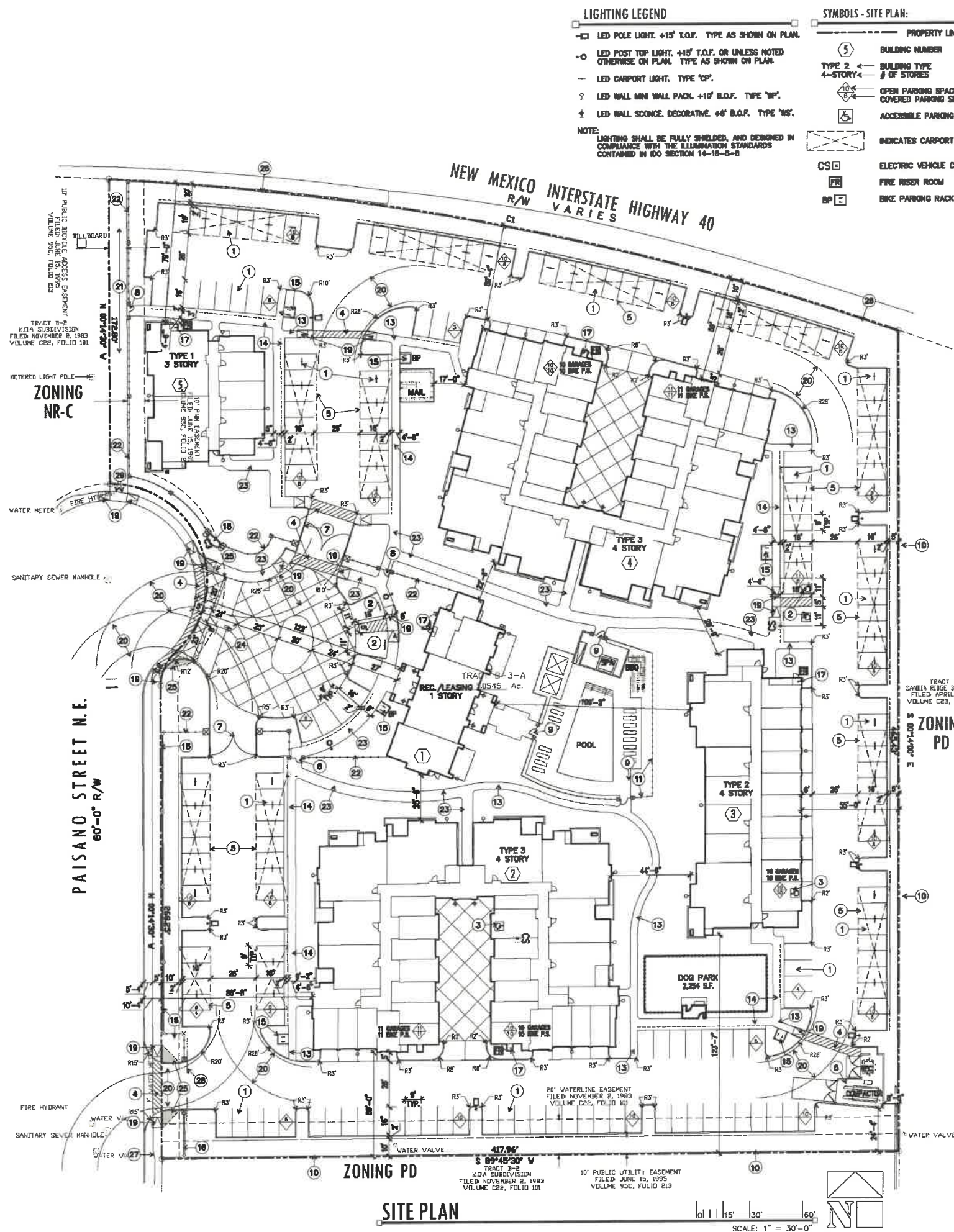
**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

Signature:	Date: <b>10/17/2022</b>
Printed Name: <b>Prakash Sundaram</b>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		





#### LIGHTING LEGEND

- LED POLE LIGHT, +15' T.O.F. TYPE AS SHOWN ON PLAN.
  - LED POST TOP LIGHT, +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
  - LED CARPORT LIGHT, TYPE 'CP'.
  - LED WALL MINI WALL PACK, +10' B.O.F. TYPE 'WP'.
  - LED WALL SCONCE, DECORATIVE, +8' B.O.F. TYPE 'WS'.
- NOTE: LIGHTING SHALL BE FULLY SHIELDED, AND DESIGNED IN COMPLIANCE WITH THE ILLUMINATION STANDARDS CONTAINED IN IES SECTION 14-18-5-5

#### SYMBOLS - SITE PLAN:

- PROPERTY LINE
- BUILDING NUMBER
- BUILDING TYPE
- TYPE 2
- 4-STORY
- # OF STORES
- OPEN PARKING SPACES
- COVERED PARKING SPACES
- ACCESSIBLE PARKING OR GARAGE
- INDICATES CARPORT PARKING STRUCTURE
- ELECTRIC VEHICLE CHARGING STATION
- FIRE RISER ROOM
- BIKE PARKING RACK

#### KEYNOTES ①

- 9'x18' PARKING SPACE WITH 2' OVERHANG SEE DETAIL 01/A1.20
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG SEE DETAIL 05/A1.20
- 14'x20' ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE DRIVEWAY CROSSING - CONTRASTING COLORED SCORED CONCRETE.
- CARPORT PARKING STRUCTURE SEE DETAIL 08/A1.20
- TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL WITH STUCCO FINISH PAINTED SEE DETAIL 14/A1.20
- ELECTRONIC ENTRY VEHICULAR GATE, EQUIPPED FOR FIRE DEPARTMENT ACCESS SEE DETAIL 28/A1.21
- PEDESTRIAN ENTRY GATE SEE DETAIL 23/A1.21
- POOL ENTRY GATE SEE DETAIL 24/A1.21
- CMU PERIMETER WALL SEE DETAIL 16/A1.21
- TUBE STEEL POOL FENCE SEE DETAIL 19/A1.21
- 8 FT. SIDEWALK CONNECTING TO PUBLIC WAYS, GRAY CONCRETE COLOR.
- 4 FT. SIDEWALK, TYPICAL ON SITE, GRAY CONC. COLOR.
- 6'-8" SIDEWALK, TYPICAL AT PARKING AREA, GRAY CONCRETE COLOR.
- BICYCLE PARKING RACK, PARKS 4 BICYCLES (PARKS 8 AT BUILDING #4), SEE DETAIL 30/A1.21.
- PARKING SPACES - 3 FT. CMU WALL WITH 3 FT. FENCE ABOVE SEE DETAIL 27/A1.21
- FIRE RISER LOCATION.
- ENTRY MONUMENT SIGN SEE DETAIL 29/A1.21
- ACCESSIBLE RAMP SEE DETAIL 09/A1.20
- FIRE TRUCK TURNING RADIUS (35' INSIDE/55' OUTSIDE)
- 8 TO 10-FOOT WIDE PAVED BIKE TRAIL, PER DPM STANDARDS.
- 6 FT. TALL TUBE STEEL SECURITY FENCE WITH CMU PIERS, SEE DETAIL 18/A1.21
- 8 FT. SIDEWALK, TYPICAL ON SITE BUILDING ACCESS PATH FROM STREET, GRAY CONCRETE COLOR.
- ACCESS KEY PAD AND SITE MAP
25. CLEAR SITE VISIBILITY TRIANGLE.
- SOUND BARRIER WALL ALONG THE SITE'S INTERSTATE-40 FRONTAGE, REFER TO GENERAL NOTE 6.
- SIDEWALK TRANSITION TO EXISTING 4 FT. WIDE SIDEWALK.
- EXISTING ONLY EXISTING GATE, EQUIPPED FOR FIRE DEPT. ACCESS, PROVIDE 1800X BOX SWITCH & OPTICAL SENSOR.
- BIKE PATH TRANSITION BOLLARDS.

#### DEVELOPMENT DATA

NET SITE AREA : 5.0400 ACRES (219,542 S.F.)

ZONING AND LAND USE:  
ZONING: PLANNED DEVELOPMENT (PD)  
LAND USE: MULTIFAMILY RESIDENTIAL, RECREATION/LEASING

BUILDING HEIGHT :  
PROPOSED: 44'-0" - 3 STORY  
62'-0" - 4 STORY

DENSITY:  
PROPOSED: 183 D.U./3.04 AC = 32.34 DU/ACRE

SETBACKS :  
REQUIRED: NO REQUIRED MINIMUM SETBACK IN THE PD ZONE  
FRONT/WEST PAISANO ST 10'-0"  
REAR EAST 5'-0"  
RIGHT SIDE SOUTH 10'-0"  
LEFT SIDE NORTH 10'-0"

USABLE OPEN SPACE				
	SF REQ. PER DU	# OF DUs	AREA S.F. REQUIRED	PROVIDED
STUDIO	200	48	9,600	
1 BEDROOM	200	58	11,600	
2 BEDROOM	280	28	7,840	
TOTAL REQUIRED			29,040	
GROUND LEVEL OPEN SPACE			30,000	
BALCONY PRIVATE OPEN SPACE			8,880	
TOTAL PROVIDED:			38,880	

UNIT MIX													
		UNIT TYPE								UNITS PER BLDG		NO. BLDGS	
		STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	4 BEDROOM	5 BEDROOM	6 BEDROOM	7 BEDROOM				
AREA S.F.	380,000	750	1,170										
BLDG. TYPE 1	9									15	1	15	
BLDG. TYPE 2	18									36	1	36	
BLDG. TYPE 3	12									50	2	112	
TOTAL	25	24	12	18	12	8	14	18	12		4	163	

PARKING SPACE REQUIREMENTS		
REQUIRED 1.5 PARKING SPACE PER D.U.	1.5 x 163	245
Total Parking Spaces Required		
245		
PRIVATE GARAGE PROVIDED		
82		
SECURE CARPORT PROVIDED		
112		
SECURE OPEN PROVIDED		
8		
Total Parking Provided (1.81 P.S./D.U.)		
258		
Accessible Parking Required 2% OF REQ'D. PARKING		
5		
Garage Parking Provided		
2		
Carport Parking Provided		
1		
Open Accessible Parking Provided		
6		
Elec. Car Charging Station Required 2% OF REQ'D. PARKING		
5		
Accessible (1 GARAGE/1 OPEN) PARKING PROVIDED		
2		
Garage Parking Provided		
1		
Carport Parking Provided		
1		
Open Parking Provided		
2		
Total Elec. Car Charging Provided		
6		
Bicycle Parking Required 10% OF REQUIRED PARKING		
25		
ONE BICYCLE PER PRIVATE GARAGE PROVIDED		
82		
BICYCLE RACK ON SITE PROVIDED		
28		
Total Bicycle Parking Provided		
110		

#### BUILDING AREAS:

BLDG. TYPE	No. OF BLDGS	1st. Floor	2nd. Floor	3rd. Floor	4th. Floor	Area per Bldg	TOTAL
		Res.					
1	1	4,651	4,651	4,651		13,953	13,953
2	1	8,708	8,988	8,988	8,988	35,672	35,672
3	2	18,196	18,395	18,395	18,395	73,381	146,762
4	1	5,236				5,236	5,236
TOTAL	5						201,623

#### GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES), CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER GDA STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2450), CURB AND GUTTER (2414A).
- GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, BATH SCREENS, DOOR SCREENS, PLAYERS, OR OTHER SCREENING DEVICES.
- CLEAR SIGHT VISIBILITY TRIANGLE - VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, VESPEPE SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAIR) ARE NOT ALLOWED IN THE CLEAR SIGHT TRIANGLE.
- DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB), INCLUDING SIDEWALK AND TRAIL REQUIREMENTS TO ENSURE SIDEWALK WIDTH REQUIREMENTS AS PER STREET CLASSIFICATION AND MEET PARKS AND RECR. REQUIREMENTS.
- PER CONDITION OF APPROVAL #8 - THE APPLICANT SHALL CONTACT AND REQUEST THAT THE MCDOT ERECT A SOUND BARRIER WALL ALONG THE SITE'S INTERSTATE 40 FRONTAGE ON THE NORTH SIDE AND COORDINATE CONSTRUCTION AS NECESSARY.
- WORK ORDER IMPROVEMENTS ARE NEEDED FOR WORK WITHIN PUBLIC RIGHT-OF-WAY ON INFRASTRUCTURE LIST.

PROJECT NUMBER: PR-2020-003455

Application Number: SI-2020-00824

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger  
Traffic Engineering, Transportation Division  
Date: Sep 30, 2020

ABCWJA  
Date: Oct 1, 2020

ABCWJA  
Date: Oct 6, 2020

City Engineer/Hydrology  
Date: Sep 30, 2020

Code Enforcement  
Date: Oct 1, 2020

Environmental Health Department (conditional)  
Date: Oct 23, 2020

Public Works Management  
Date: Oct 7, 2020

DRB Chairperson, Planning Department  
Date: Oct 7, 2020



## VIEW HOUSE APARTMENTS

540 PAISANO STREET NE  
ALBUQUERQUE, NEW MEXICO 87123

Office of Rich Barber  
ORB  
Architecture, LLC  
WorldHQ@ORBArch.com



#### REVISIONS

△	
△	
△	
△	
△	
△	

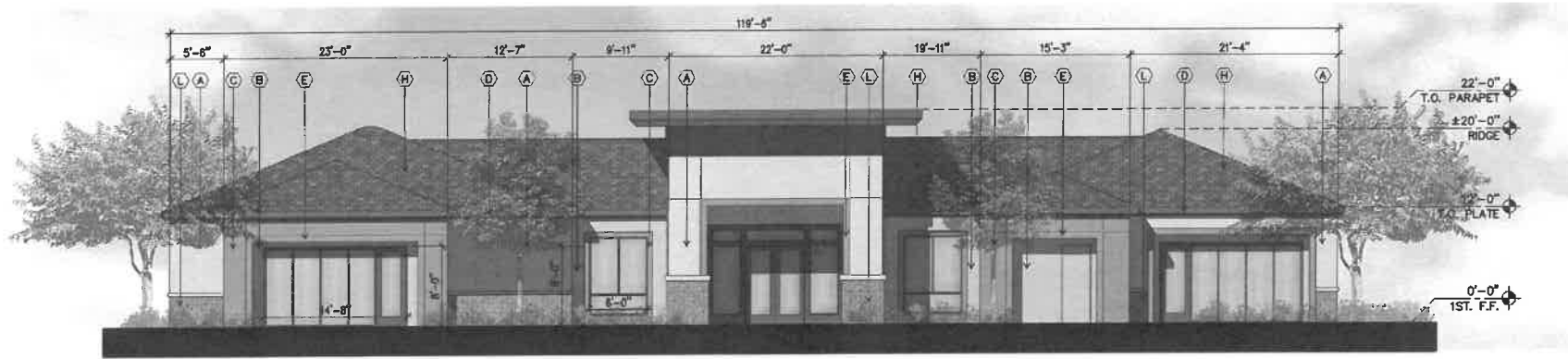
DATE: SEPTEMBER 17, 2020 ORB # 19-223

# A1.10

SITE PLAN

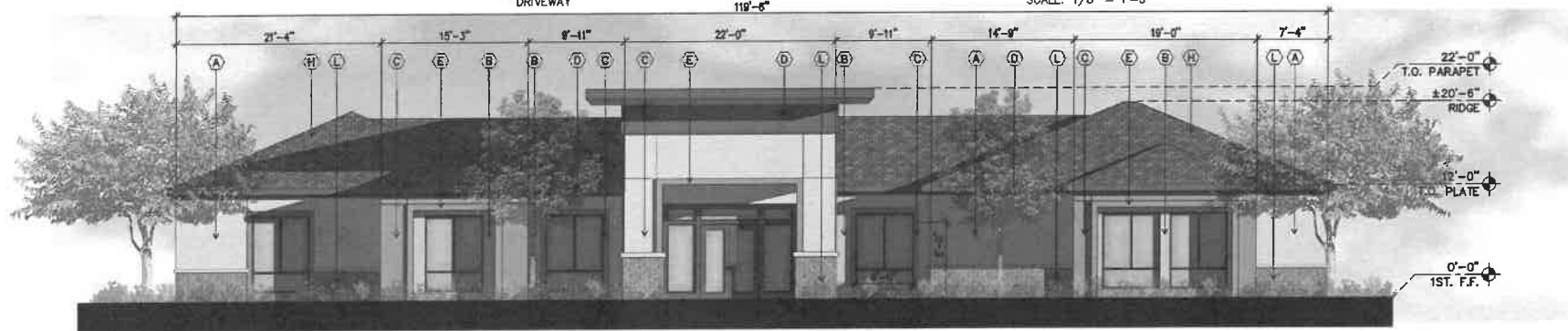


F:\T:\Cib\VRB\_abb Files\19-223\_1NS\_1\Tol\CAD Files\Preliminary\19-223\_A342 Bldg Rec Elev.dwg USER: j DATE: Feb, 25 2020 TIME: 09:09 am



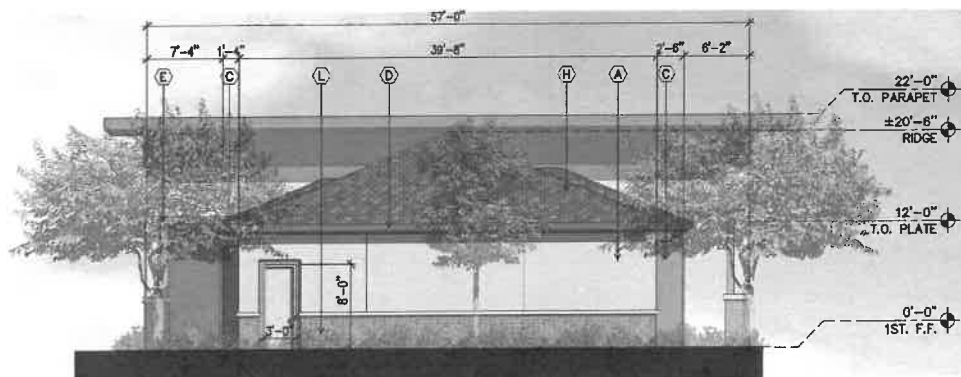
REC BLDG. FRONT ELEVATION

DRIVEWAY 119'-6" SCALE: 1/8" = 1'-0"



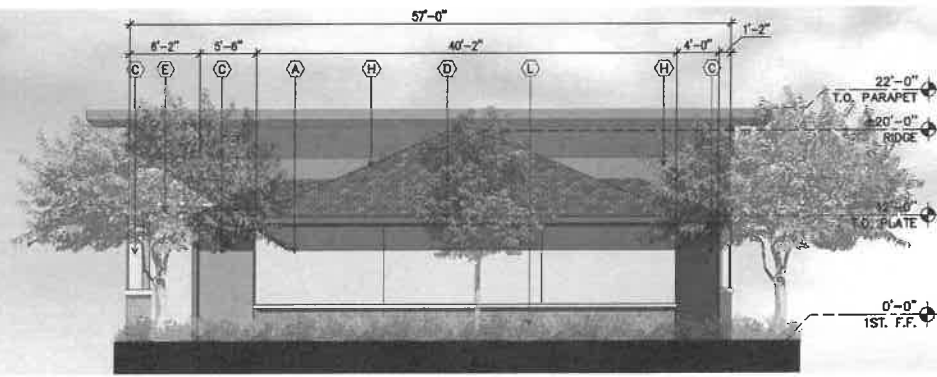
REC BLDG. REAR ELEVATION

POOL 119'-6" SCALE: 1/8" = 1'-0"



REC BLDG. LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REC BLDG. RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT GRAY
- (B) STUCCO FINISH MEDIUM GRAY
- (C) STUCCO FINISH DARK GRAY
- (D) STUCCO FINISH BLACK
- (E) STUCCO FINISH LIGHT BROWN
- (F) METAL RAILING
- (G) EXPOSED CMU
- (H) CONCRETE LIGHTWEIGHT TILE
- (I) WINDOW SHADE
- (J) OPENING
- (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
- (L) BRICK VENEER

VIEW HOUSE  
APARTMENTS

540 PAISANO STREET NE  
ALBUQUERQUE, NEW MEXICO 87123

Office of Rich Barber  
**ORB**  
Architecture, LLC

WorldHQ@ORBArch.com

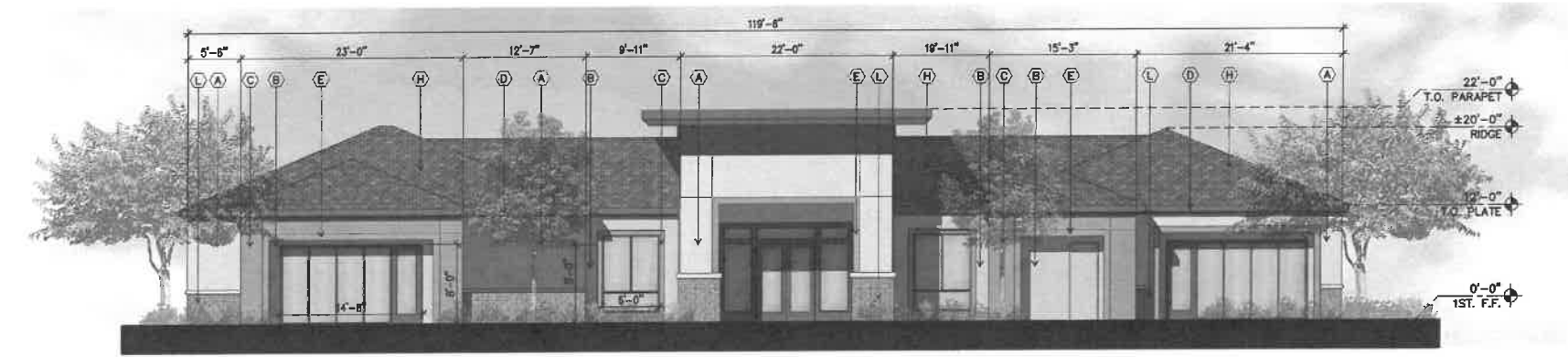


DATE: SEPTEMBER 02, 2020 ORB # 19-223

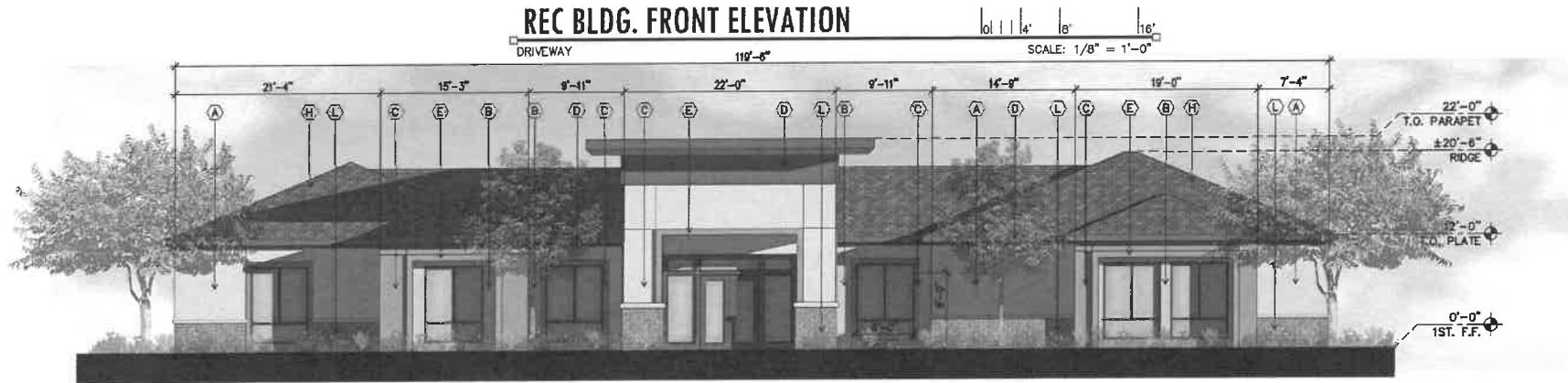
**A3.42**

REC/LEASING  
PRELIMINARY ELEVATIONS

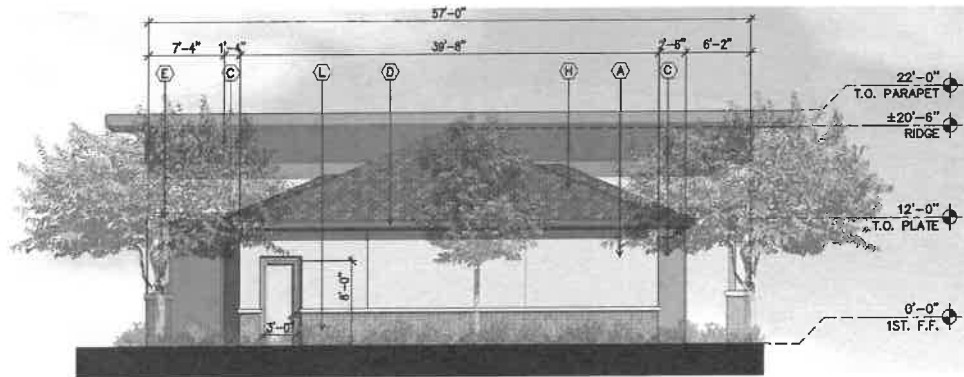
F:\E:\1\Draw\ORB Job Files\19-223\_1MS\_Arch\Draw\19723 4347 Rec Elev.dwg USER: j DATE: Feb, 26 2020 TIME: 10:49 pm



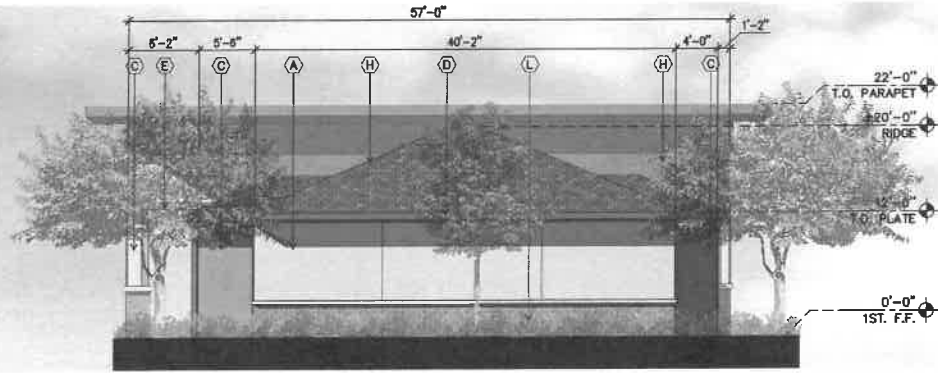
REC BLDG. FRONT ELEVATION



REC BLDG. REAR ELEVATION



REC BLDG. LEFT ELEVATION



REC BLDG. RIGHT ELEVATION

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT GRAY
- (B) STUCCO FINISH MEDIUM GRAY
- (C) STUCCO FINISH DARK GRAY
- (D) STUCCO FINISH BLACK
- (E) STUCCO FINISH LIGHT BROWN
- (F) METAL RAILING
- (G) EXPOSED CMU
- (H) CONCRETE LIGHTWEIGHT TILE
- (I) WINDOW SHADE
- (J) OPENING
- (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
- (L) BRICK VENEER

VIEW HOUSE  
APARTMENTS

540 PAISANO STREET NE  
ALBUQUERQUE, NEW MEXICO 87123

Office of Rich Barber  
Architecture, LLC  
ORB  
Rich Barber  
Architect

WorldHQ@ORBArch.com

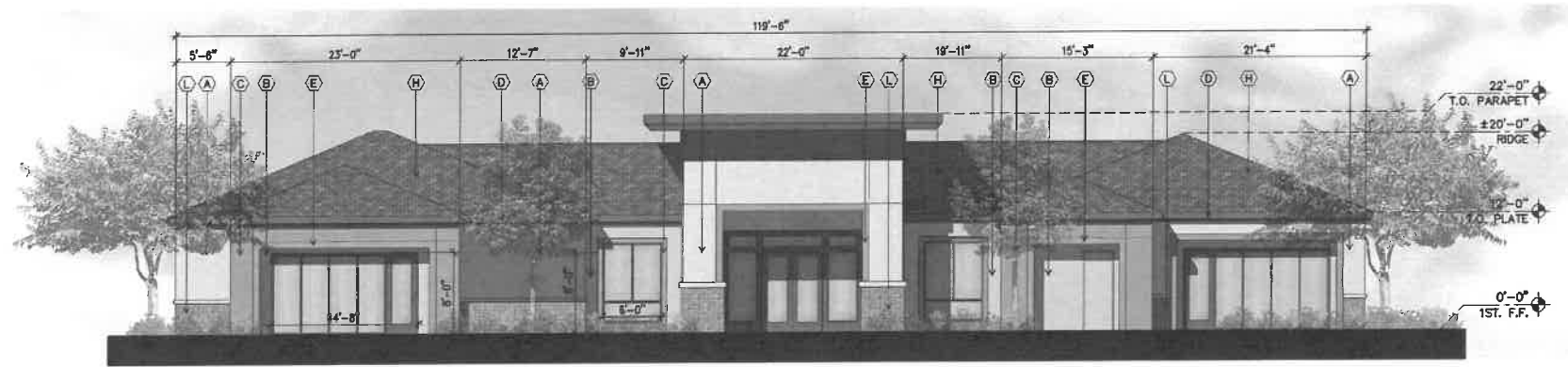


DATE: SEPTEMBER 02, 2020 ORB # 19-223

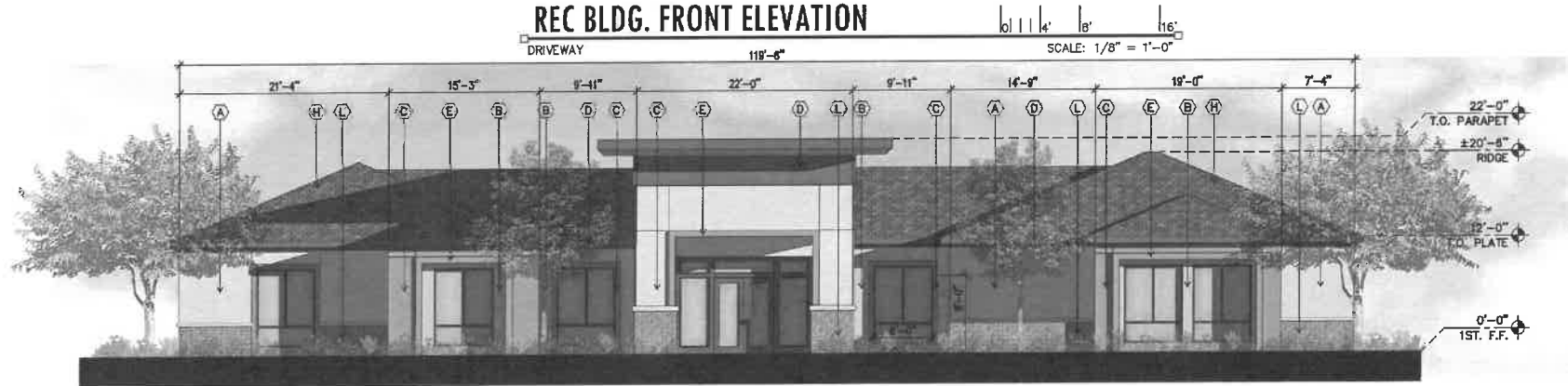
A3.42

REC/LEASING  
PRELIMINARY ELEVATIONS

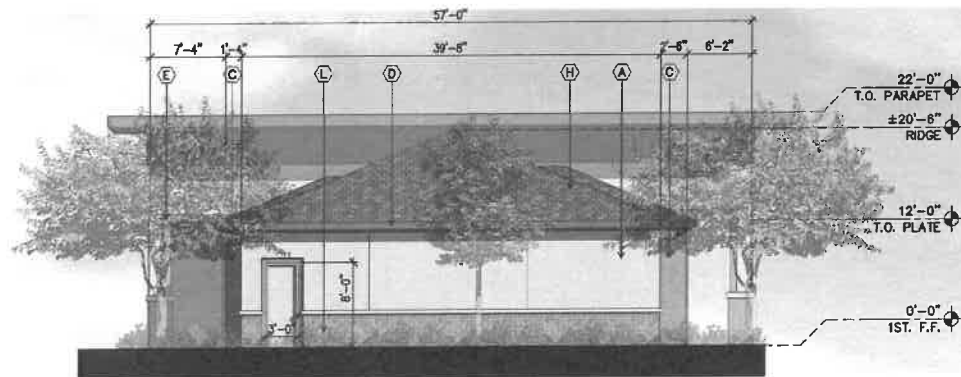
FILE: T:\Gtd\PRR Job Files\19-223\_1MS\_dwg Tables\CAD Files\Preliminary\19223 A342 Bldg Rec Elev.dwg USER: jf DATE: Feb, 26, 2020 TIME: 09:09 am



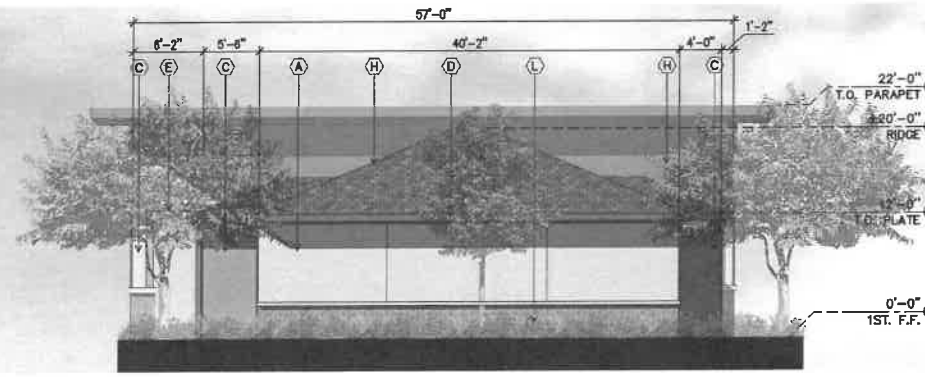
REC BLDG. FRONT ELEVATION



REC BLDG. REAR ELEVATION



REC BLDG. LEFT ELEVATION



REC BLDG. RIGHT ELEVATION

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT GRAY
- (B) STUCCO FINISH MEDIUM GRAY
- (C) STUCCO FINISH DARK GRAY
- (D) STUCCO FINISH BLACK
- (E) STUCCO FINISH LIGHT BROWN
- (F) METAL RAILING
- (G) EXPOSED CMU
- (H) CONCRETE LIGHTWEIGHT TILE
- (I) WINDOW SHADE
- (J) OPENING
- (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
- (L) BRICK VENEER

VIEW HOUSE  
APARTMENTS

540 PAISANO STREET NE  
ALBUQUERQUE, NEW MEXICO 87123

Office of Rich Barber  
**ORB**  
Architecture, LLC

WorldHQ@ORBArch.com

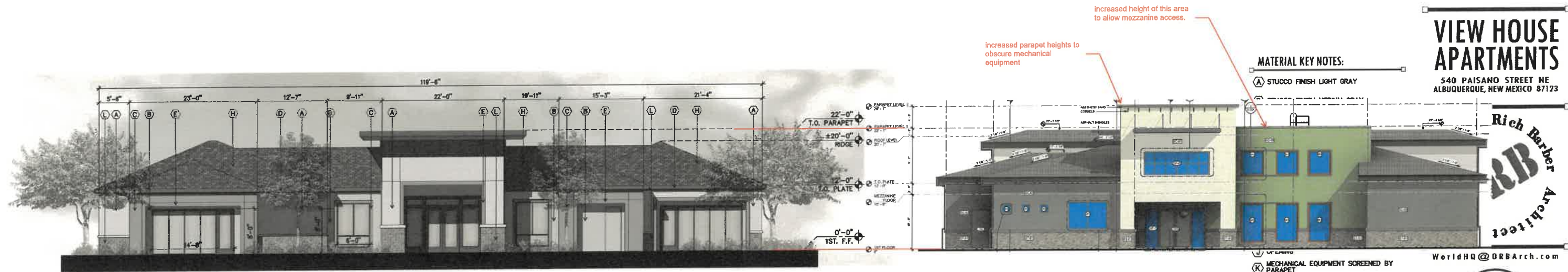


DATE: SEPTEMBER 02, 2020 ORB # 19-223

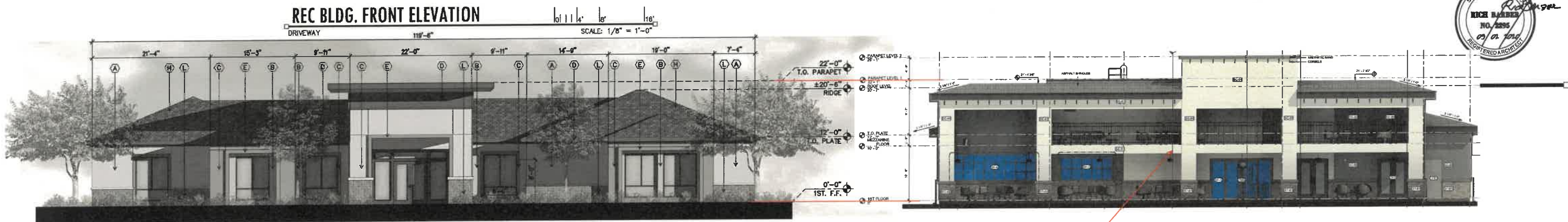
**A3.42**

REC/LEASING  
PRELIMINARY ELEVATIONS

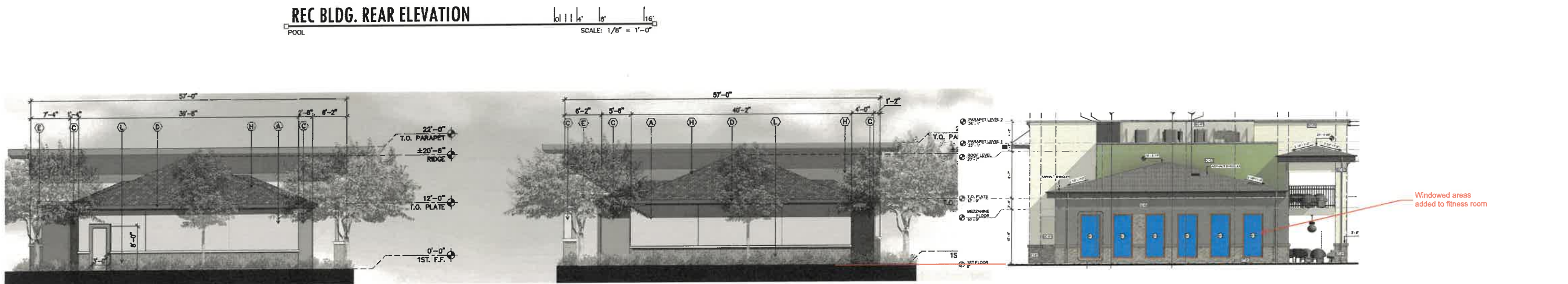




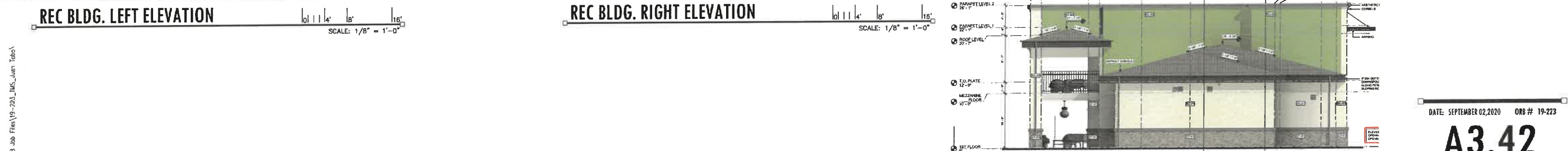
REC BLDG. FRONT ELEVATION



REC BLDG. REAR ELEVATION



REC BLDG. LEFT ELEVATION



REC BLDG. RIGHT ELEVATION

**VIEW HOUSE  
APARTMENTS**  
540 PAISANO STREET NE  
ALBUQUERQUE, NEW MEXICO 87123

Rich Barber  
Architect

WorldHQ@ORBArch.com



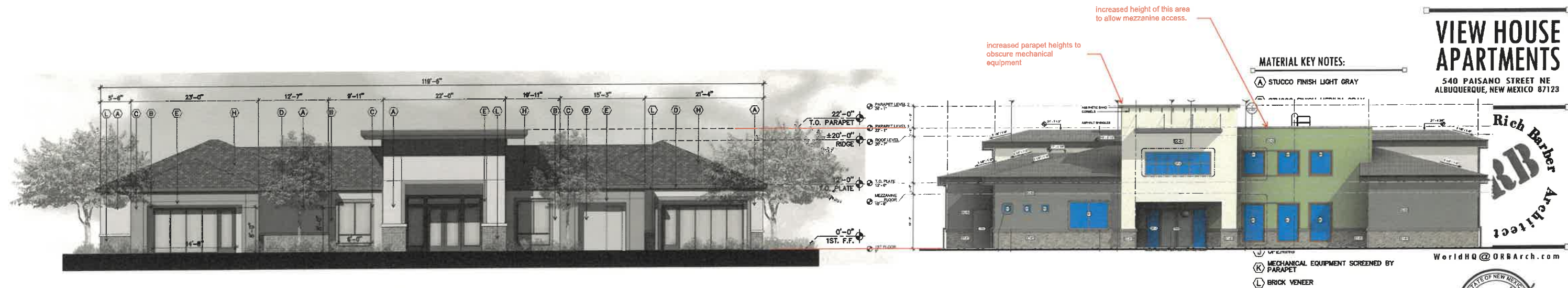
Windowed areas  
added to fitness room

DATE: SEPTEMBER 02, 2020 ORB # 19-223

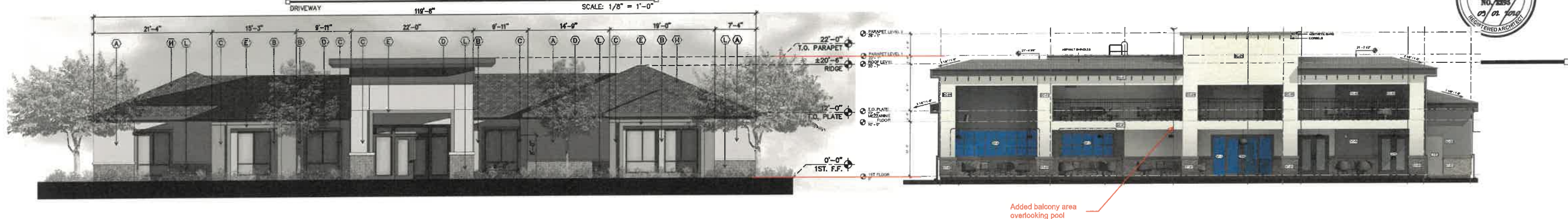
**A3.42**

REC/LEASING  
PRELIMINARY ELEVATIONS

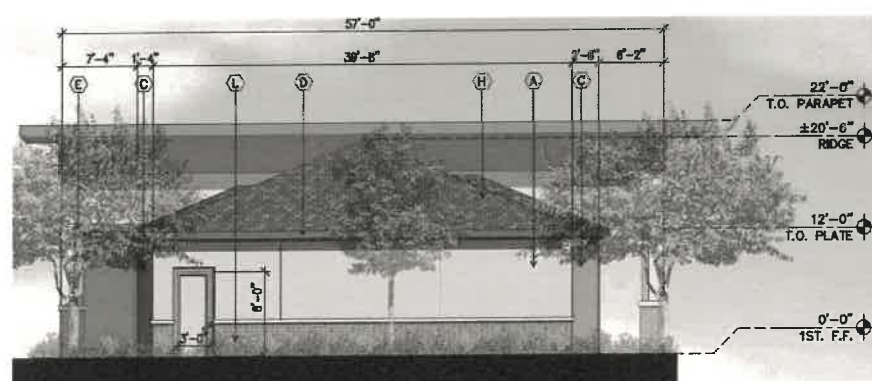




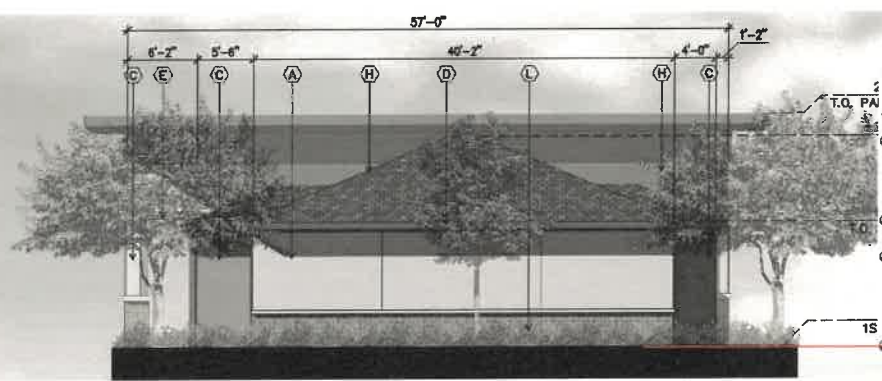
REC BLDG. FRONT ELEVATION



REC BLDG. REAR ELEVATION



REC BLDG. LEFT ELEVATION



REC BLDG. RIGHT ELEVATION

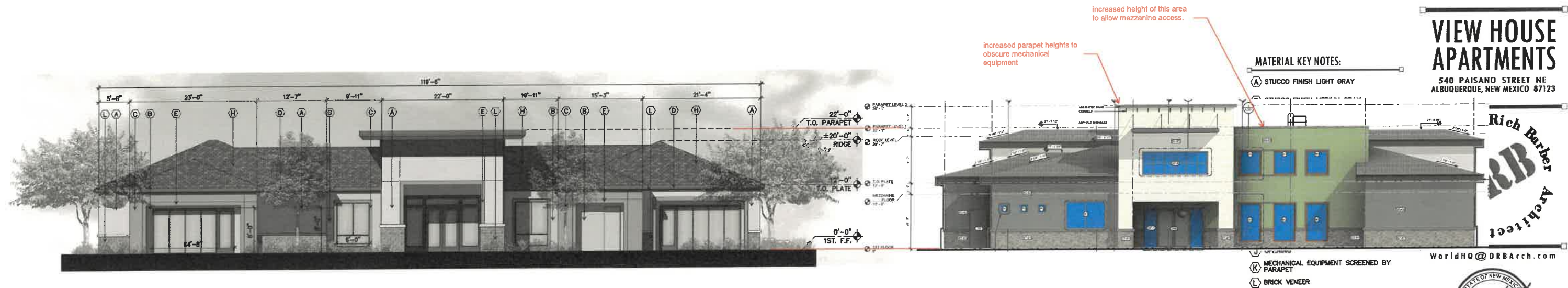


DATE: SEPTEMBER 02, 2020 ORB # 19-223

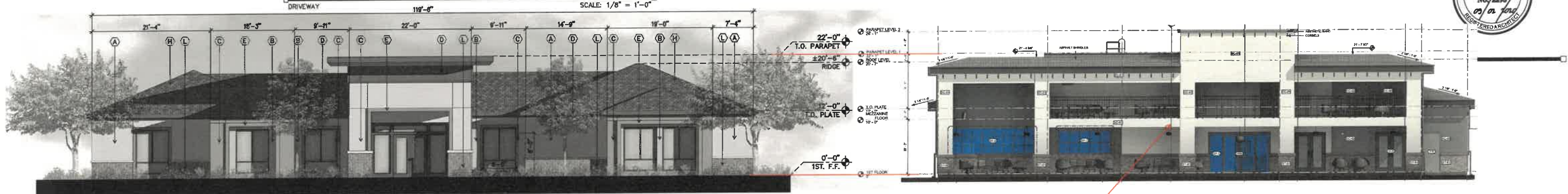
A3.42

REC/LEASING  
PRELIMINARY ELEVATIONS

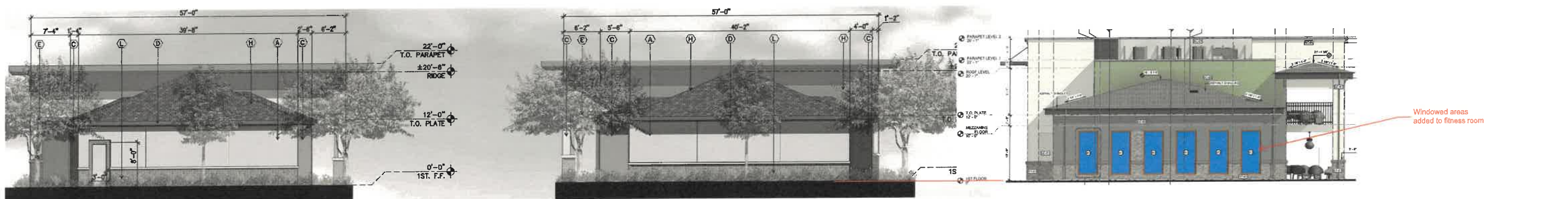




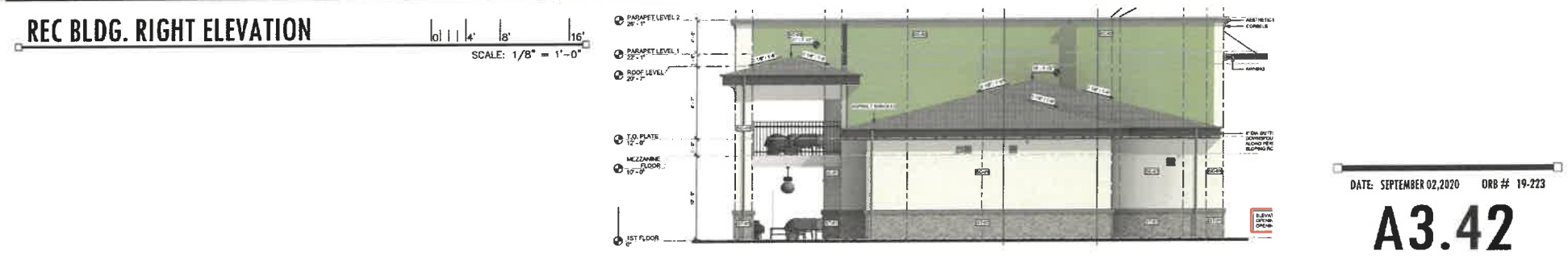
REC BLDG. FRONT ELEVATION



REC BLDG. REAR ELEVATION



REC BLDG. LEFT ELEVATION



REC BLDG. RIGHT ELEVATION

VIEW HOUSE  
APARTMENTS  
540 PAISANO STREET NE  
ALBUQUERQUE, NEW MEXICO 87123

Rich Barber  
Architect

WorldHQ@DRBArch.com



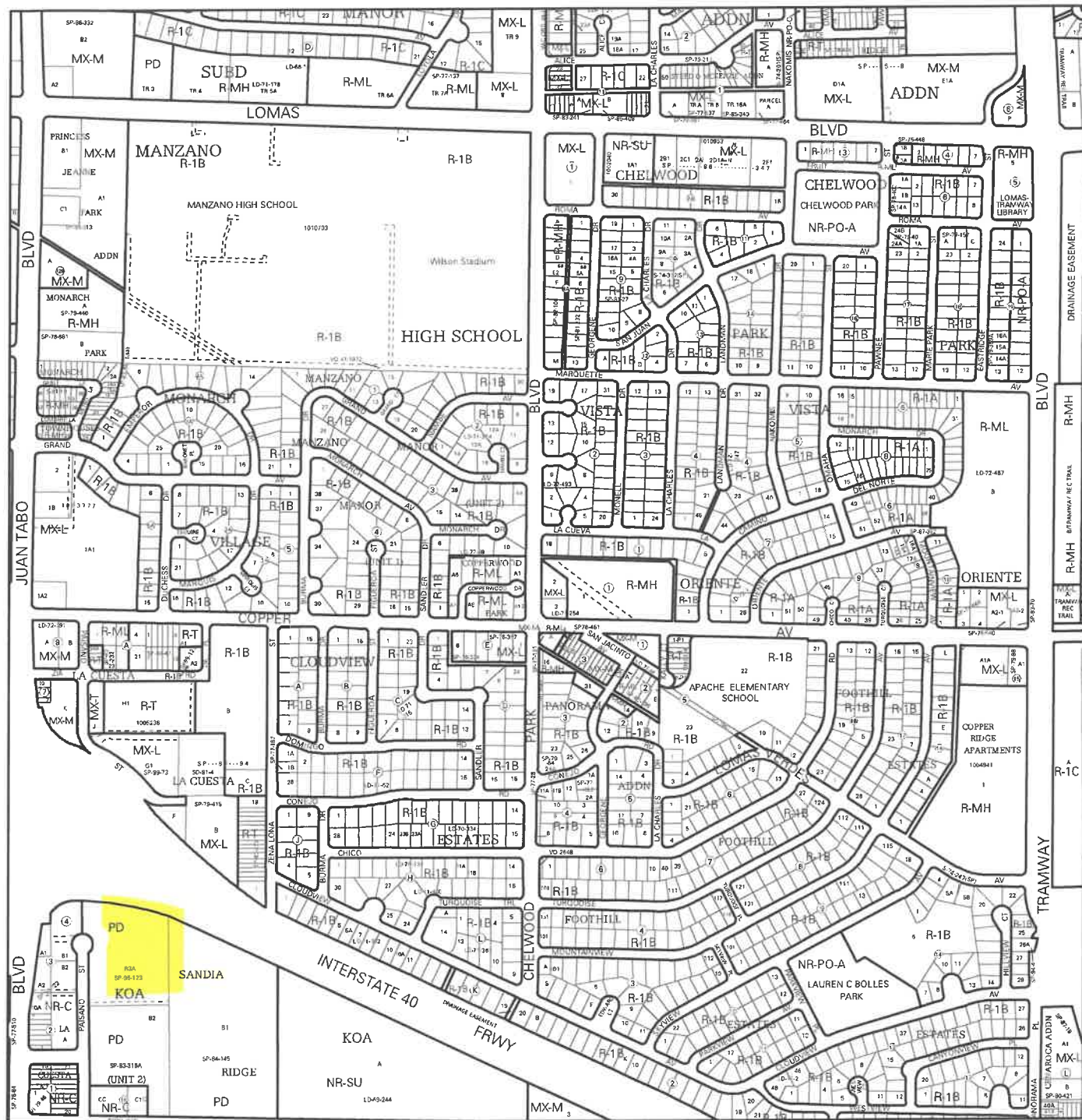
Windowed areas  
added to fitness room

DATE: SEPTEMBER 02, 2020 ORB # 19-223

A3.42  
REC/LEASING  
PRELIMINARY ELEVATIONS

FILE: F:\010\PRB Job Files\19-223\_TMS\_Juan Tabo\





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas

### May 2018

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: **K-22-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

N

0 250 500 1,000 Feet