

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

FILE: \\c:\p\orb\job_files\19-223_TMS_Juan_Tabo\CAD Files\Plan.dwg USER: jps DATE: Sep, 17, 2020 TIME: 10:02 am

LIGHTING LEGEND

- LED POLE LIGHT, +15' T.O.F. TYPE AS SHOWN ON PLAN.
- LED POST TOP LIGHT, +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
- LED CARPORT LIGHT. TYPE 'CP'.
- LED WALL MINI WALL PACK, +10' B.O.F. TYPE 'WP'.
- ⊕ LED WALL SCONCE, DECORATIVE, +6' B.O.F. TYPE 'WS'.

NOTE: LIGHTING SHALL BE FULLY SHIELDED, AND DESIGNED IN COMPLIANCE WITH THE ILLUMINATION STANDARDS CONTAINED IN IDO SECTION 14-16-5-B

SYMBOLS - SITE PLAN:

- BUILDING NUMBER
- ← BUILDING TYPE
- ← # OF STORES
- OPEN PARKING SPACES
- COVERED PARKING SPACES
- ACCESSIBLE PARKING OR GARAGE
- INDICATES CARPORT PARKING STRUCTURE
- CS □ ELECTRIC VEHICLE CHARGING STATION
- FR □ FIRE RISER ROOM
- BP □ BIKE PARKING RACK

KEYNOTES

1. 9'x18' PARKING SPACE WITH 2' OVERHANG SEE DETAIL 01/A1.20
2. 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG SEE DETAIL 05/A1.20
3. 14'x20' ACCESSIBLE GARAGE SPACE.
4. ACCESSIBLE DRIVEWAY CROSSING - CONTRASTING COLORED SCORED CONCRETE.
5. CARPORT PARKING STRUCTURE SEE DETAIL 06/A1.20
6. TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL WITH STUCCO FINISH PAINTED SEE DETAIL 14/A1.20
7. ELECTRONIC ENTRY VEHICULAR GATE, EQUIPPED FOR FIRE DEPARTMENT ACCESS SEE DETAIL 28/A1.21
8. PEDESTRIAN ENTRY GATE SEE DETAIL 23/A1.21
9. POOL ENTRY GATE SEE DETAIL 24/A1.21
10. CMU PERIMETER WALL SEE DETAIL 16/A1.21
11. TUBE STEEL POOL FENCE SEE DETAIL 19/A1.21
12. 6 FT. SIDEWALK CONNECTING TO PUBLIC WAYS, GRAY CONCRETE COLOR.
13. 4 FT. SIDEWALK, TYPICAL ON SITE, GRAY CONC. COLOR.
14. 6'-8" SIDEWALK, TYPICAL AT PARKING AREA, GRAY CONCRETE COLOR.
15. BICYCLE PARKING RACK, PARKS 4 BICYCLES (PARKS 6 AT BUILDING #4), SEE DETAIL 30/A1.21.
16. PARKING SCREEN - 3 FT. CMU WALL WITH 3 FT. FENCE ABOVE SEE DETAIL 27/A1.21
17. FIRE RISER LOCATION.
18. ENTRY MONUMENT SIGN SEE DETAIL 29/A1.21
19. ACCESSIBLE RAMP SEE DETAIL 08/A1.20
20. FIRE TRUCK TURNING RADIUS (35' INSIDE/55' OUTSIDE)
21. 8 TO 10-FOOT WIDE PAVED BIKE TRAIL, PER DPM STANDARDS.
22. 6 FT. TALL TUBE STEEL SECURITY FENCE WITH CMU PIERS, SEE DETAIL 18/A1.21
23. 6 FT. SIDEWALK, TYPICAL ON SITE BUILDING ACCESS PATH FROM STREET, GRAY CONCRETE COLOR.
24. ACCESS KEY PAD AND SITE MAP
25. CLEAR SITE VISIBILITY TRIANGLE
26. SOUND BARRIER WALL ALONG THE SITE'S INTERSTATE-40 FRONTAGE, REFER TO GENERAL NOTE 6.
27. SIDEWALK TRANSITION TO EXISTING 4 FT. WIDE SIDEWALK.
28. RESIDENT ONLY EXIT ELECTRONIC GATE, EQUIPPED FOR FIRE DEPT. ACCESS, PROVIDE KNOX BOX SWITCH & OPTICAL SENSOR.
29. BIKE PATH TRANSITION BOLLARDS.

DEVELOPMENT DATA

NET SITE AREA: 5.0400 ACRES (219,542 S.F.)

ZONING AND LAND USE:
 ZONING: PLANNED DEVELOPMENT (PD)
 LAND USE: MULTIFAMILY RESIDENTIAL, RECREATION/LEASING

BUILDING HEIGHT:
 PROPOSED: 44'-0" - 3 STORY
 52'-0" - 4 STORY

DENSITY:
 PROPOSED: 163 D.U./5.04 AC = 32.34 DU/ACRE

SETBACKS:
 REQUIRED: NO REQUIRED MINIMUM SETBACK IN THE PD ZONE
 FRONT/WEST REAR RIGHT SIDE LEFT SIDE
 PAISANO ST EAST SOUTH NORTH
 PROVIDED: 10'-0" 5'-0" 10'-0" 10'-0"

USABLE OPEN SPACE			
	SF REQ. PER DU	# OF DUs	AREA S.F.
STUDIO	200	48	9,600
1 BEDROOM	200	56	11,200
2 BEDROOM	250	58	14,500
TOTAL REQUIRED			35,500
GROUND LEVEL OPEN SPACE			30,550
BALCONY PRIVATE OPEN SPACE			4,950
TOTAL PROVIDED:			35,410

AREA S.F.	UNIT TYPE					UNITS PER BLDG	NO. BLDGS	TOTAL UNITS
	STUDIO	1 BEDROOM	2 BEDROOM					
BLDG. TYPE 1	9					15	1	15
BLDG. TYPE 2	16					36	1	36
BLDG. TYPE 3		12	6	8	8	6	58	2
TOTAL	25	24	12	16	12	8	8	14

PARKING SPACE REQUIREMENTS		
	PARKING RATIO REQUIRED	PARKING SPACES
REQUIRED 1.5 PARKING SPACE PER D.U.	1.5 x 163	245
Total Parking Spaces Required		245
PRIVATE GARAGE PROVIDED		52
SECURE CARPORT PROVIDED		112
SECURE OPEN PROVIDED		88
OPEN PROVIDED		6
Total Parking Provided (1.61 P.S./D.U.)		258
Accessible Parking Required 2% OF REQ'D. PARKING		5
GARAGE PARKING PROVIDED		2
CARPORT PARKING PROVIDED		1
OPEN ACCESSIBLE PARKING PROVIDED		3
Total Accessible Parking Provided		6
Elec. Car Charging Station Required 2% OF REQ'D. PARKING		5
ACCESSIBLE (1 GARAGE/1 OPEN) PARKING PROVIDED		2
GARAGE PARKING PROVIDED		1
CARPORT PARKING PROVIDED		1
OPEN PARKING PROVIDED		2
Total Elec. Car Charging Provided		6
Bicycle Parking Required 10% OF REQUIRED PARKING		25
ONE BICYCLE PER PRIVATE GARAGE PROVIDED		52
BICYCLE RACK ON SITE PROVIDED		26
Total Bicycle Parking Provided		78

BUILDING AREAS:

BLDG. TYPE	No. OF BLDGS	1st. Floor				2nd. Floor				3rd. Floor				4th. Floor				Area per Bldg.	TOTAL
		Rec.	Residential Units			Rec.	Residential Units			Rec.	Residential Units			Rec.	Residential Units				
1	1		4,651				4,651								13,953	13,953			
2	1		8,708				8,988								8,988	35,672			
3	2		18,196				18,395								18,395	146,762			
4	1	5,236													5,236	5,236			
TOTAL	5															201,623			

GENERAL NOTES:

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
2. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES), CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER COA STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
3. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WATER BATH BERRIES, DENSE EVERGREEN PLANTINGS, OR OTHER ACCEPTABLE SCREENING DEVICE.
4. CLEAR SIGHT VISIBILITY TRIANGLE - VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED IN THE CLEAR SIGHT TRIANGLE.
5. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB), INCLUDING SIDEWALK AND TRAIL REQUIREMENTS TO ENSURE SIDEWALK WIDTH REQUIREMENTS AS PER STREET CLASSIFICATION AND MEET PARKS AND REC. REQUIREMENTS.
6. PER CONDITION OF APPROVAL #8 - THE APPLICANT SHALL CONTACT AND REQUEST THAT THE MNDOT ERECT A SOUND BARRIER WALL ALONG THE SITE'S INTERSTATE 40 FRONTAGE ON THE NORTH SIDE AND COORDINATE CONSTRUCTION AS NECESSARY.
7. WORK ORDER IMPROVEMENTS ARE NEEDED FOR WORK WITHIN PUBLIC RIGHT-OF-WAY ON INFRASTRUCTURE LIST.

PROJECT NUMBER: PR-2020-003455

Application Number: SI-2020-00824

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Jeanne Wolfenbarger</i> Jeanne Wolfenbarger Sep 30, 2020 1:25 PM Traffic Engineering, Transportation Division	Sep 30, 2020
<i>Andrey Lobanov</i> Andrey Lobanov Oct 1, 2020 1:43 PM ABCWUA	Oct 1, 2020
<i>Chris Henschel</i> Chris Henschel Oct 6, 2020 1:41 PM Parks and Recreation Department	Oct 6, 2020
<i>Ernest Lopez</i> Ernest Lopez Sep 30, 2020 City Engineer/Hydrology	Sep 30, 2020
<i>Carl Garcia</i> Carl Garcia Oct 1, 2020 1:01 PM Code Enforcement	Oct 1, 2020
<i>Heriberto Gallagos</i> Heriberto Gallagos Oct 7, 2020 DRB Chairperson, Planning Department	Oct 7, 2020

* Environmental Health Department (conditional) Date

** Solid Waste Approval for Access Date 09-23-20

Heriberto Gallagos Date

Solid Waste Management Date

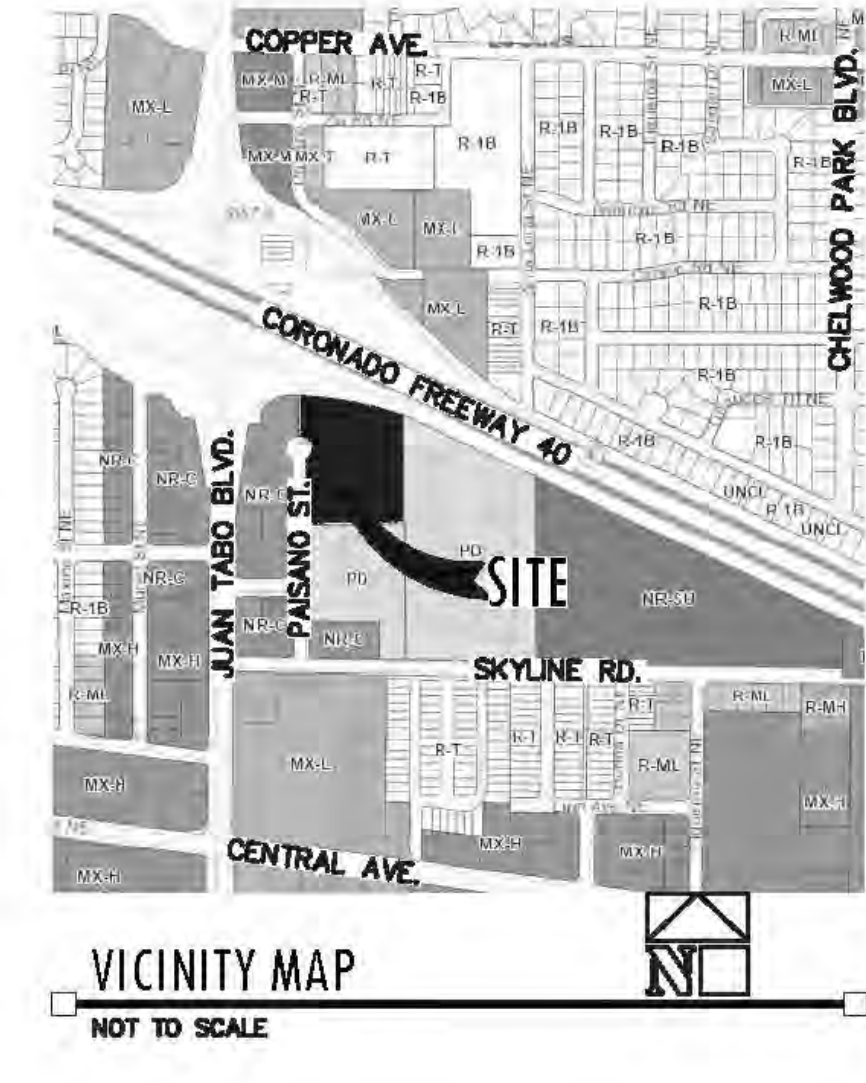
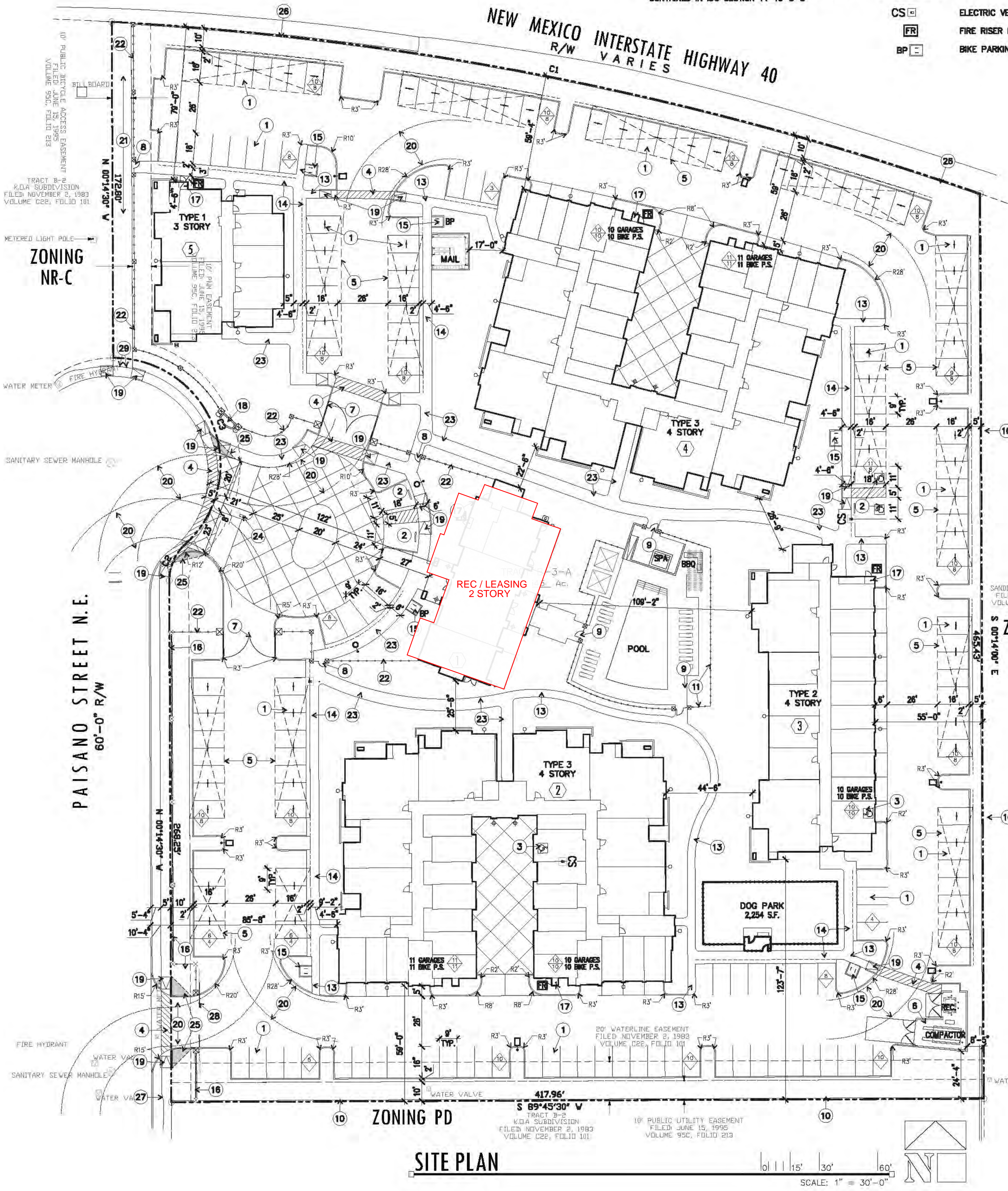
DRB Chairperson, Planning Department Date

VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NEW MEXICO 87123

Office of Rich Barber
ORB
 Architecture, LLC

WorldHQ@ORBArch.com



REVISIONS

DATE: SEPTEMBER 17, 2020 ORB # 19-223

A1.10

SITE PLAN

VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NEW MEXICO 87123

Rich Barber
Architect

WorldHQ@DRBArch.com



MATERIAL KEY NOTES:

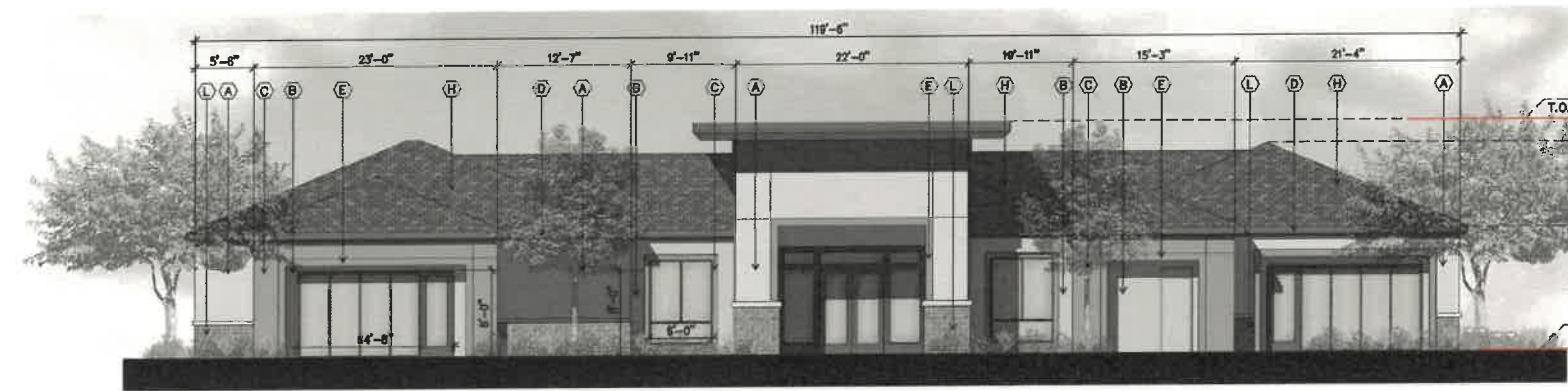
- (A) STUCCO FINISH LIGHT GRAY
- (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
- (L) BRICK VENEER

increased height of this area to allow mezzanine access.

increased parapet heights to obscure mechanical equipment

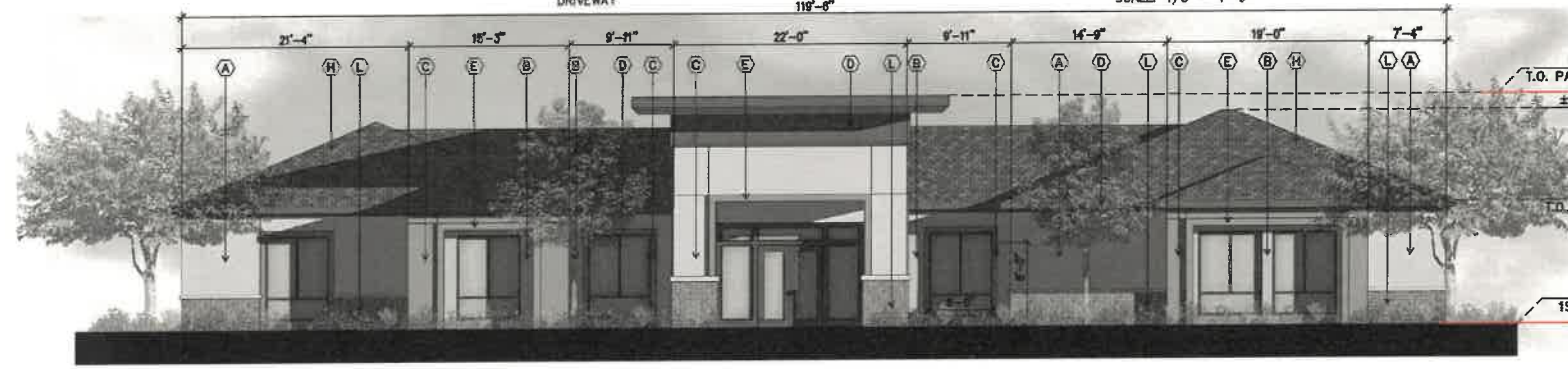
Added balcony area overlooking pool

Windowed areas added to fitness room



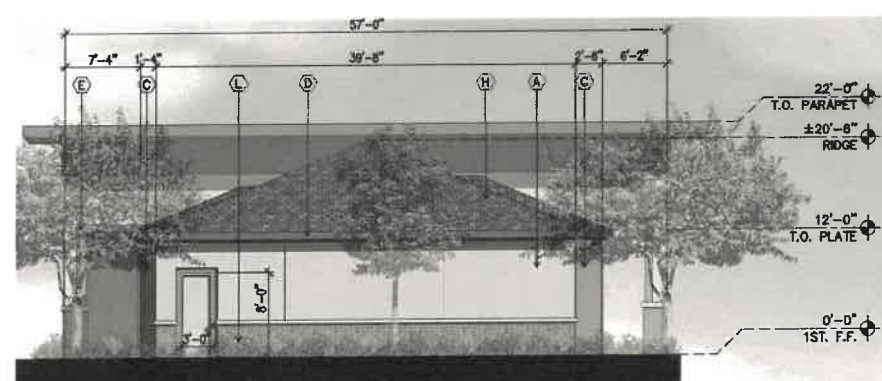
REC BLDG. FRONT ELEVATION

DRIVEWAY 119'-6" SCALE: 1/8" = 1'-0"



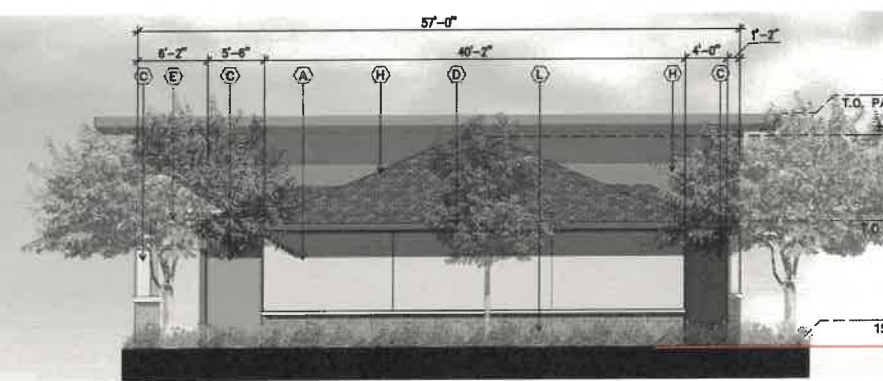
REC BLDG. REAR ELEVATION

POOL SCALE: 1/8" = 1'-0"



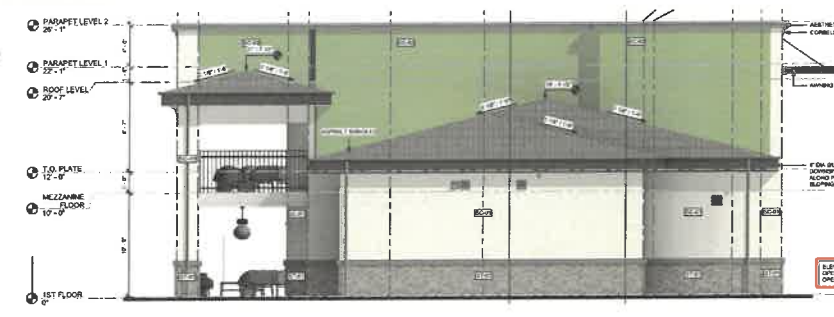
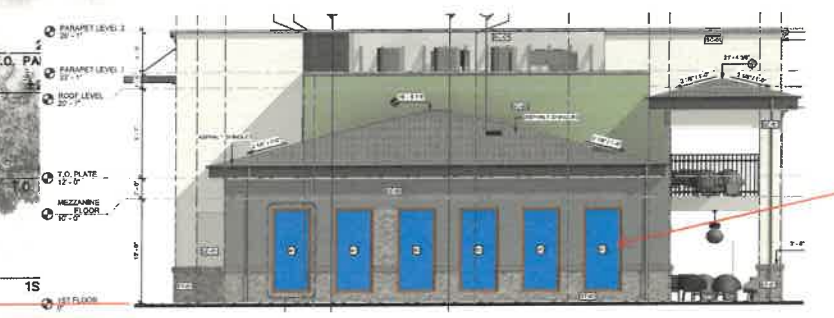
REC BLDG. LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REC BLDG. RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



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DATE: SEPTEMBER 02, 2020 ORB # 19-223

A3.42

REC/LEASING
PRELIMINARY ELEVATIONS