



DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.								
Administrative Decisions Decisions Requiring a Public Meeting or Hearing Policy Decisions								
☐ Archaeological Certificate (Form P3		☐ Site Plan – EPC including any Variances – EPC (Form P1)				option or Amendment of r Facility Plan (Form Z)	Comprehensive	
☐ Historic Certificate of Appropriatene (Form L)	ess – Minor	☐ Master Development Plan (Form P1)				☐ Adoption or Amendment of Historic Designation (Form L)		
☐ Alternative Signage Plan (Form P3)	,	☐ Historic Certificate of Appropriateness – Major (Form L)				☐ Amendment of IDO Text (Form Z)		
☐ Minor Amendment to Site Plan (Form P3) ☐ Demolition Outside of HPO (Form L)				PO (Form L)	☐ Anr	nexation of Land (Form 2	<u>Z</u>)	
☐ WTF Approval (Form W1)		☐ Historic Design Standards and Guidelines (Form			☐ Amendment to Zoning Map – EPC (Form Z)			
		Wirel		tions Facility Waiver	☐ Amendment to Zoning Map – Council (Form Z)			
					Appea	ıls		
					□ Dec	cision by EPC, LC, ZHE	, or City Staff (Form	
APPLICATION INFORMATION								
Applicant:					Ph	one:		
Address:					Em	nail:		
City:				State:	Zip):		
Professional/Agent (if any):					Ph	one:		
Address:					Em	nail:		
City:				State:	Zip	Zip:		
Proprietary Interest in Site: List <u>all</u> owners:								
BRIEF DESCRIPTION OF REQUEST								
SITE INFORMATION (Accuracy of the	ne existing lega	l desc	cription is crucial!	Attach a separate sheet if	necessa	ary.)		
Lot or Tract No.:				Block:	Un	iit:		
Subdivision/Addition:				MRGCD Map No.:	UF	PC Code:		
Zone Atlas Page(s):		Exis	ting Zoning:		Pro	Proposed Zoning:		
# of Existing Lots:		# of	Proposed Lots:		То	Total Area of Site (acres):		
LOCATION OF PROPERTY BY STRE	ETS			,				
Site Address/Street:		Betv	veen:		and:			
CASE HISTORY (List any current or	prior project a	nd cas	se number(s) that	may be relevant to your re	quest.)			
Signature: J-JL					Da	te:		
Printed Name:						Applicant or \square Agent		
FOR OFFICIAL USE ONLY								
Case Numbers	Action		Fees	Case Numbers		Action	Fees	
					•			
Meeting/Hearing Date:					Fe	e Total:		
Staff Signature:			Date:	Pro	oject #			

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS Letter of authorization from the property owner if application is submitted by an agent Zone Atlas map with the entire site clearly outlined and labeled **ARCHEOLOGICAL CERTIFICATE** Archaeological Compliance Documentation Form with property information section completed Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b) MINOR AMENDMENT TO SITE PLAN - ADMIN, EPC, or DRB Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2) The approved Site Plan being amended Copy of the Official Notice of Decision associated with the prior approval The proposed Site Plan, with changes circled and noted Refer to the Site Plan Checklist for information needed on the proposed Site Plan. Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request. N/A MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a) The approved Site Development Plan being amended Copy of the Official Notice of Decision associated with the prior approval The proposed Site Development Plan, with changes circled and noted Refer to the Site Plan Checklist for information needed on the proposed Site Plan. Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request. N/A

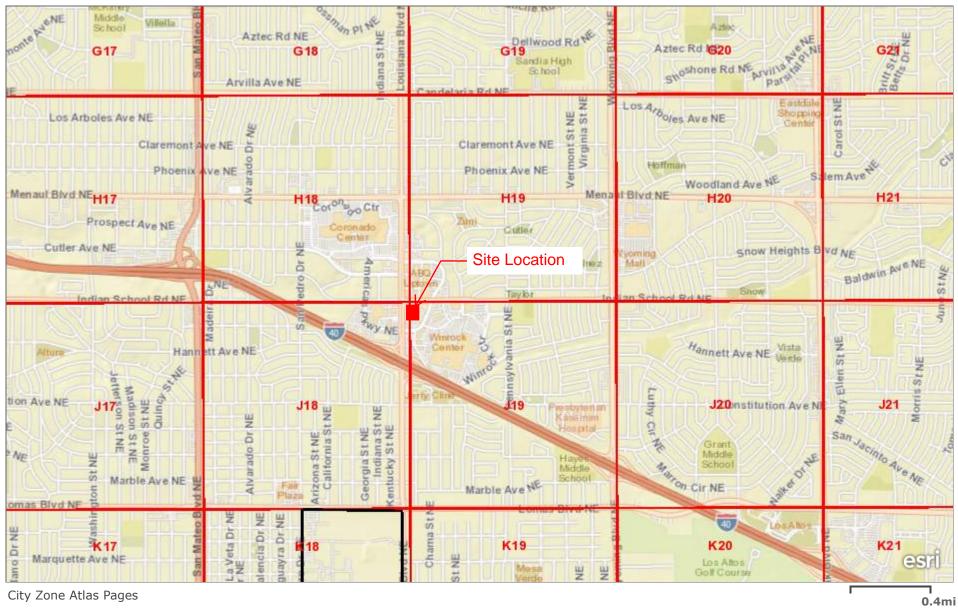
ACCELERATED EXPIRATION SITE PLAN Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c) Site Plan to be Expired **ALTERNATIVE SIGNAGE PLAN** N/A □ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b) Required notices with content per IDO Section 14-16-6-4(K) Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives Sign Posting Agreement **ALTERNATIVE LANDSCAPE PLAN** Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16) Landscape Plan

N/A

I, the applicant or agent, acknowledge that if any scheduled for a public meeting or hearing, if requ		
Signature: 9-34		Date: 8/16/2022
Printed Name: Joanna Graham		☐ Applicant or ☐ Agent
FOR OFFICIAL USE ONLY		
Project Number:	Case Numbers	1 R II
	-	
	-	
	-	17/16/13
Staff Signature:		MENT
Date:		AAAAA

8/2/22, 10:03 AM Zone Atlas

Zone Atlas



City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, GeoTechnologies, Inc., NGA, USGS



August 2, 2022

To Whom It May Concern:

Please let this letter serve as authorization, from Target, for Kimley-Horn and Associates to submit for permits on our behalf for the store located at:

• Target T2813, 2120 Louisiana Blvd NE, Albuquerque, NM

Sincerely,

Matthew Flansburg

TARGET

 $50 \text{ S. } 10^{\text{th}} \text{ St. Ste } \#400, \text{TP3 } 1170$

Minneapolis, MN 55403



Justification Letter

To: City of Albuquerque

From: Joanna Graham

Kimley-Horn and Associates, Inc

Date: September 1, 2022

Subject: Target Store T2813 Drive-Up Expansion Program

PROJECT DESCRIPTION

On behalf of Target Corporation, Kimley-Horn is assisting with the processing of all jurisdictional approvals necessary for the implementation of a building façade remodel and an expanded site Drive-Up service to the store located at 2121 Louisiana Blvd NE. These projects will preferably be carried out with separate permits. The project aims to implement a Drive-Up Expansion program at this Target store in Albuquerque. Customers will be able to shop online or in the Target "app" and, when notified park in the proposed Drive-Up spaces where a Target employee will bring the customer's purchases out to their vehicle.

The scope of work for the façade remodel consists of updating building mounted signs and adding building mounted signs per the attached elevations.

The scope of work for the Drive-Up Expansion consists of expanding the existing drive-up parking stalls, adding wayfinding signage to direct customers to the drive-up area. An elevator will also be installed to help staff deliver groceries to the parking structure.

This project will not affect the land use, site access, traffic patterns, utilities, public facilities, site soils, or geology in the area. Employees required at the store and the hours of operation will remain the same.

PARKING ANALYSIS

Per the Market Center West Site Development Plan, parking required for the center is 312. The development provided 451 parking spaces. The proposed striping changes to expand the drive-up service will reduce the total parking count by 18 spaces. The changes will bring the total parking count to 433 parking spaces, which still meets the requirements of the shopping center.

CRITERIA PER CITY IDO TABLE 6-4-4

This project does not impact the building gross floor area, setbacks, building height, nor any walls or fences. The only numerical standard this project impacts is the number of available parking stalls for the Target store. This numerical standard is only deviated by 3.9% and is below the maximum deviation threshold of 10%. This project has freestanding signs that meet the requirements stated in IDO Section 4-3(D)(37)(b) Large Retail Facilities 5(a): "All freestanding signs shall be monument style, with a maximum height of 15 feet." This project does not impact the federal Fair Housing Act Amendments.



CRITERIA PER CITY IDO SECTION 14-16-6-4-(Z)(1)(a)

Ja Gh

- 1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
- 2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.
- 3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
- 4. No deviations, Variances, or Waivers shall be granted for minor amendments.

SIGNATURE:

Joanna Graham Kimley-Horn

Project #:	Application #:						
Department. Be that are not specified by VPO or if located	vill be used to verify the completeness of site plans submitted for review by the Planning ecause development proposals vary in type and scale, there may be submittal requirements ecified here. Also there may additional requirements if a site is located in CPO, HPO, and/or ed in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are roviding a complete submittal. Certification as specified below is required.						
I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING. 8/16/22 Applicant or Agent Signature / Date							
	s shall be composed of the following plan sheets (unless otherwise approved in writing prior to Planning Department):						
2. L 3. (4. L 5. E	Site Plan (including utilities and easements) Landscaping Plan Grading and Drainage Plan Utility Plan Building and Structure Elevations Previously approved Development Plan (if applicable)						
	The electronic format must be organized in the above manner.						
include all check Non-applicable on the Checklist	ecklist describes the minimum information necessary for each plan element. The Applicant must clist items on their site plan drawings and confirm inclusion by checking off the items below. items must be labeled "N/A." Each non-applicable designation must be explained by notation it.						
special areas as NOTE: If there r	defined by the IDO. equests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan I as addressed in the application letter made with the submittal.						
SHEET #1 - 9							
A. General Ir	nformation						
1. 2.	Date of drawing and/or last revision Scale: 1.0 acre or less 1" = 10' 1.0 - 5.0 acres 1" = 20' Over 5 acres 1" = 50'						

Over 20 acres 1" = 100'

	<u>3</u> .	Barscale	
	4.	North arrow	
	5.	Legend	
	6.	Scaled vicinity map	
	<u>N/A</u> 7.	Property lines (clearly identify)	Project does not impact property boundary
	<u>N/A</u> 8.	Existing and proposed easements (identify each)	Project does not impact any easements Project does not require the breakdown of
	<u>N/A</u> 9.	Phases of development, if applicable	work into phases of development
B.	Proposed	Development Project only impacts an existing	g development.
1.	Structur	ral	
	A.	Location of existing and proposed structures (distin	nguish between existing & proposed) and
		include any accessory structures	
	B.	Square footage of each structure	
	C.	Proposed use of each structure	
NI/A	C. D. E.	Signs (freestanding) and other improvements	
N/A	Ł.	Walls, fences, and screening: indicate height, lengt	
	F.	Dimensions of all principal site elements or typical	dimensions
	F. G. H.	Loading facilities Site lighting (indicate height & fixture type)	
	' ' '.	Indicate structures within 20 feet of site	
	I. J.	Elevation drawing of refuse container and enclosur	e if applicable
	J. K.	Existing zoning/land use of all abutting properties	е, п аррпсавіе.
2.	Parking, A.	Loading and Internal Circulation Parking layout with spaces numbered per aisle and	
			ng motorcycle spaces, bicycle spaces, ADA
		accessible spaces, and compact spaces	and (include any reduction calculations) for
		N/A ₂ . Calculations: spaces required and propomotorcycle, bicycle, compact and ADAs	sed (include any reduction calculations) for
		N/A 3. On street parking spaces	Project does not impact motorcycle, bicycle compact, or ADA spaces Project does not inlcude or impact any on
	N/AB.	Bicycle parking & facilities	street parking
	<u> </u>	1. Bicycle racks – location and detail	Project does not include bicycle parking and
		2. Other bicycle facilities, if applicable	facilities
	<u>N/A</u> C.	Vehicular Circulation (Refer to DPM and IDO)	Project does not impact vehicle circulation
		1. Ingress and egress locations, including w	idth and curve radii dimensions
		2. Drive aisle locations, including width and	
		3. End aisle locations, including width and o	
		4. Location & orientation of refuse enclosur	
		5. Loading, service area, and refuse service	locations and dimensions
	D.	Pedestrian Circulation	
		1. Location and dimensions of all sidewalks	and pedestrian paths (including ADA
		connection from ROW to building and fro	

		2.		n of drive aisle crossings, including paving tre	
		<u>N/A</u> 3.	Location and description	n of amenities, including patios, benches, ta	
	E.	Off C+ro	et Loading	Project does not in	clude any amenities
	⊏.		•	ns of all off street loading areas	
		1.	Location and dimensio	ns of all off-street loading areas	
	F.	Vehicle :	Stacking and Drive-Throu	gh or Drive-Up Facilities	
		1.	9	ns of vehicle stacking spaces and queuing la	nes
		<u>N/A</u> 2.		a if drive-through lanes are adjacent to publi	
		3.	•	Is for one-way drive through facilities	include drive-through
			, 3	, 3	lanes
	_				
3.	Streets	and Circ	culation	Project does not in	mpact streets and cireculation
	N/A A.	Locate ar	nd identify adjacent public	and private streets and alleys.	
		1.		I pavement widths, right-of-way widths and	curve radii
		2.		roposed turn lanes, deceleration lanes and s	
			, , ,	ning of the proposal, with dimensions	
		3.		is and signals related to the functioning of th	ie proposal
		4.	_	roposed medians and median cuts	. с р. сроса.
				ocations, existing and proposed	
		5· 6.	Location of street light		
			9	:sear sight triangle at each site access point	
		7· 8.		kisting driveways fronting and near the subje	est site
		0.	Show location of an ex	difference of the state of the	et site.
	N/A R	Identify Al	ternate transportation fac	cilities within site or adjacent to site	
	<u></u>	=	Bikeways and bike-rel	_	
		1.	•		
		2.	Pedestrian trails and li	3	r ro quiro d
		3.	rransic raciiicies, incluc	ding routes, bus bays and shelters existing or	required
4.	Phasing	g		Project does not re	guire phasing
	N/A A	Proposed	phasing of improvements	and provision for interim facilities. Indicate	
		•		ge of structures and associated improvemen	
		•	, parking and landscaping	•	ts inclouning
		Circulation	i, parking and landscaping) -	
SHE	FT #2 -	LANDS	CAPING PLAN	Project does not im	npact landscaping
J1 1L	.LI #2 -	LANDS	CALINGTEAN		
	N/A	a Scalo	must be same as scale on	shoot #1 Sita plan	
		 Scale - Bar Scale - 		sheet #1 - Site plan	
		3. North			
		4. Proper			
		-	g and proposed easement		
		6. Identify	y nature of ground cover n	materials	
		A.	Impervious areas (pave	ement, sidewalks, slope pavings, curb and gu	tters, etc.)
		B.	Pervious areas (plantine	g beds, gravel areas, grass, ground cover ve	getation, etc.)
		C.	•	or drainage or landscaping/recreational use	-

7	. Identify type, location and size of plantings (common and/or botanical names).
	A. Existing, indicating whether it is to preserved or removed.
	B. Proposed, to be established for general landscaping.
	C. Proposed, to be established for screening/buffering.
8	. Describe irrigation system – Phase I & II
	. Planting Beds, indicating square footage of each bed
10	o. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and
	percentage.
	Responsibility for Maintenance (statement)
	. Landscaped area requirement; square footage and percent (specify clearly on plan)
13	. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square
	footage and percent (specify clearly on plan)
	. Planting or tree well detail
15	 Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
16	. Parking lot edges and interior – calculations, dimensions and locations including tree
10	requirements
17	. Show Edge Buffer Landscaping (14-16-5-6(D)) — location, dimensions and plant material
A separate grad	FRADING AND DRAINAGE PLAN Project does not impact grading and drainage ing and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section submittal for a site plan (See DRWS Form).
A. General	Information
N/A	1. Scale - must be same as Sheet #1 - Site Plan
	2. Bar Scale
	3. North Arrow
	4. Property Lines
	5. Existing and proposed easements
	6. Building footprints
	7. Location of Retaining walls
B. Grading	Information
	1. On the plan sheet, provide a narrative description of existing site topography, proposed
	grading improvements and topography within 100 feet of the site.
	2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing
	and proposed) and points of maximum cut or fill exceeding 1 foot.
	3. Identify ponding areas, erosion and sediment control facilities.
	4. Cross Sections
	Provide cross section for all perimeter property lines where the grade change is greater than
	4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4- UTILITY PLAN

Project does not impact utilities

N/A	Α.	Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
	В.	Distribution lines
	С.	Right-of-Way and easements, existing and proposed, on the property and adjacent to the
		boundaries, with identification of types and dimensions.
	D.	Existing water, sewer, storm drainage facilities (public and/or private).
	Ε.	Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

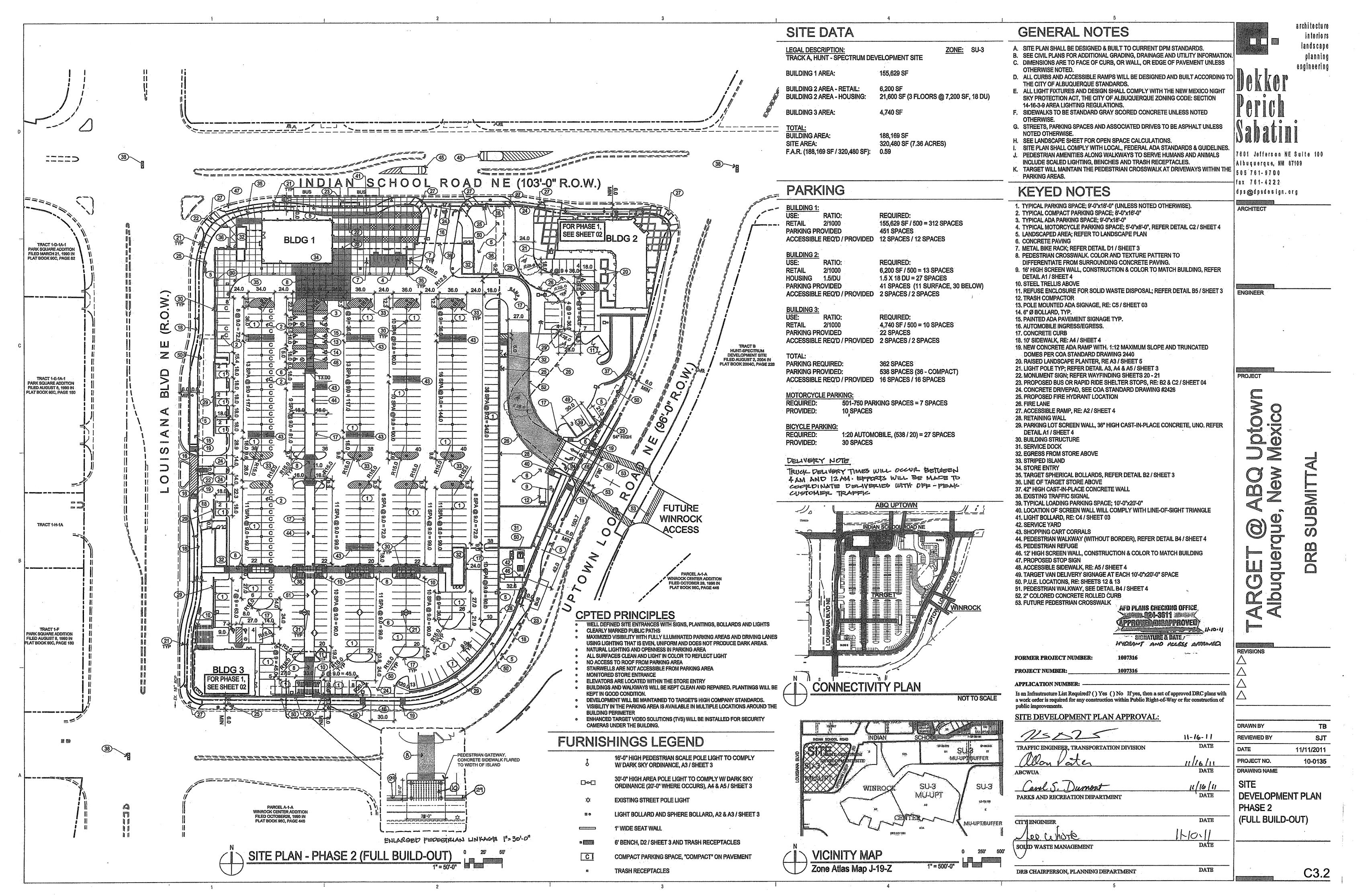
Project does not impact building elevations.

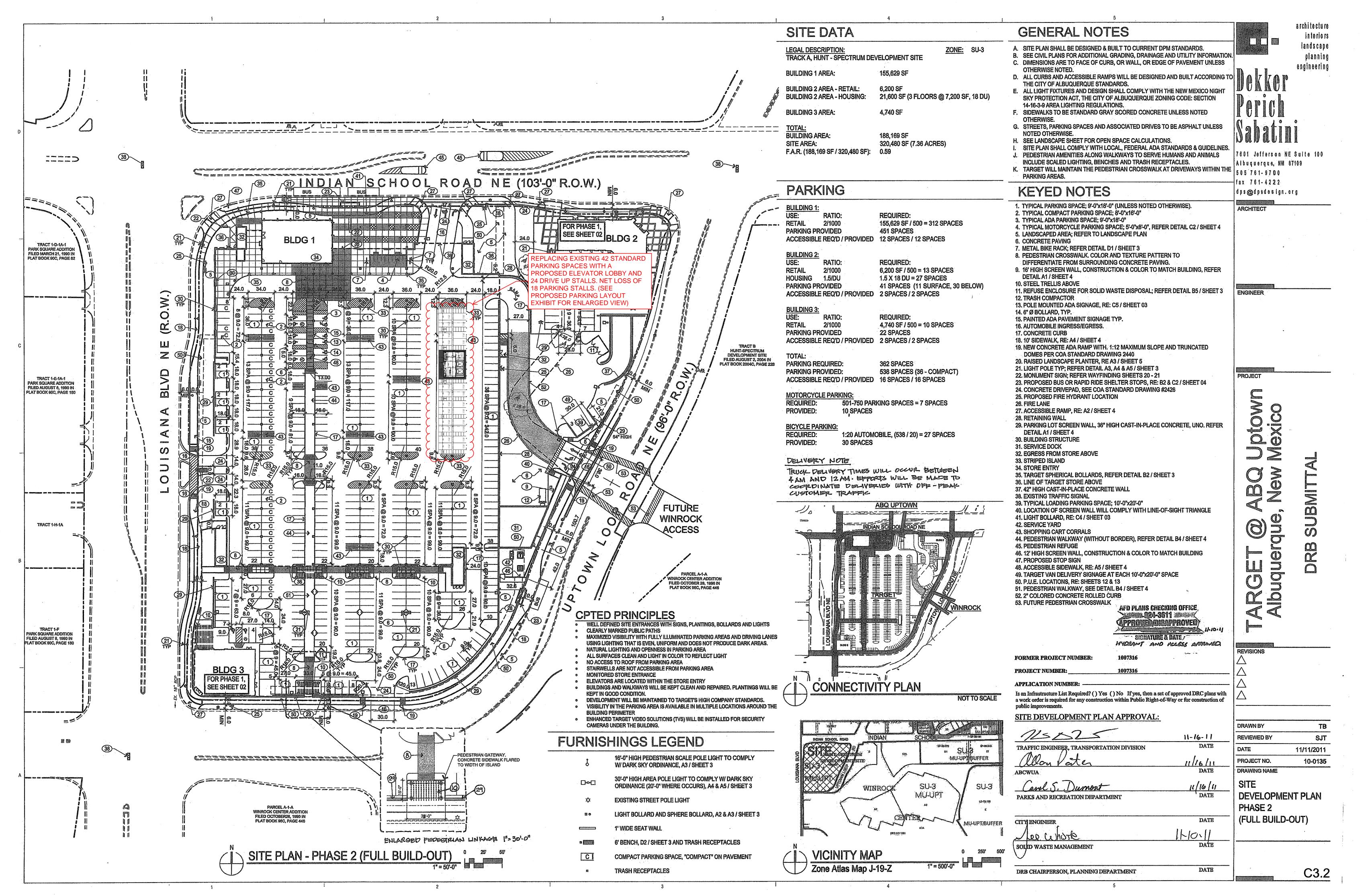
A. General Information

N/AA.	Scale
→ B.	Bar Scale Scale
C.	Detailed Building Elevations for each facade
	1. Identify facade orientation
	2. Dimensions of facade elements, including overall height and width
	3. Location, material and colors of windows, doors and framing
	4. Materials and colors of all building elements and structures
	5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

_	_ 1.	Site location(s)
	_ 2.	Sign elevations to scale
	_ 3.	Dimensions, including height and width
	_ 4.	Sign face area - dimensions and square footage clearly indicated
	_ 5.	Lighting
	_6.	Materials and colors for sign face and structural elements.
_	_7.	List the sign restrictions per the IDO







DRIVE UP EXPANSION T-2813 ALBUQUERQUE 2120 LOUISIANA BLVD NE ALBUQUERQUE, 87110 NM

SCOPE OF WORK

PARKING LOT RE-STRIPING, STALL PARKING SIGNAGE AND WAYFINDING DRIVE UP BEACONS WHERE SHOWN ON THE PLAN.

ZONING

MX-H - MIXED-USE HIGH INTENSITY

OFF-STREET PARKING LOT CODE REQUIREMENTS

- DRIVE AISLE = 24' MIN. WIDTH
- STANDARD PARKING STALL = 8.5' X 18' MIN. MAX OVERHANG = 2' • COMPACT PARKING STALL = 7.5' X 15' MIN. MAX OVERHANG = 1.5'

OWNER

TARGET CORP. **CONTACT: MATTHEW FLANSBURG** 50 SOUTH 10TH ST, SUITE 400 MINNEAPOLIS, MN, 55403 MATTHEW.FLANSBURG@TARGET.COM

CIVIL ENGINEER

KIMLEY-HORN CONTACT: JUSTIN BECKER P.E. 401 B ST, SUITE 600 SAN DIEGO, CA, 92101 619-744-0619 JUSTIN.BECKER@KIMLEY-HORN.COM



VICINITY MAP



SHEET INDEX

COVER SHEET	C0.0
OVERALL SITE PLAN	C0.1
IMPROVEMENT PLAN	C1.0
DETAILS	C2.0



DATE: XX/XX/2021

T-2813

COVER SHEET

C0.0





Kimley Horr
© 2021 KIMLEY-HORN AND ASSOCIATES, IN
3801 AUTOMATION WAY SHITE 210

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
3801 AUTOMATION WAY SUITE 210
FORT COLLINS, CO 80525
303-228-2300
WWW.KIMLEY-HORN.COM

	<u>USE</u>	RATIO	TARGET BUILDING SIZE	PARKING QUANTITY
UIRED				312 STALLS
STING	COMMERCIAL RETAIL	2 STALL/ 1000 SF	155,629 SF	451 STALLS
VIDED	1 11217112			433 STALLS

Date No Description

DATE: XX/XX/2021

-2813 ALBUQUERQUE

Project Number

Config:

Project Number T-2813

Config:

Drawn By CY

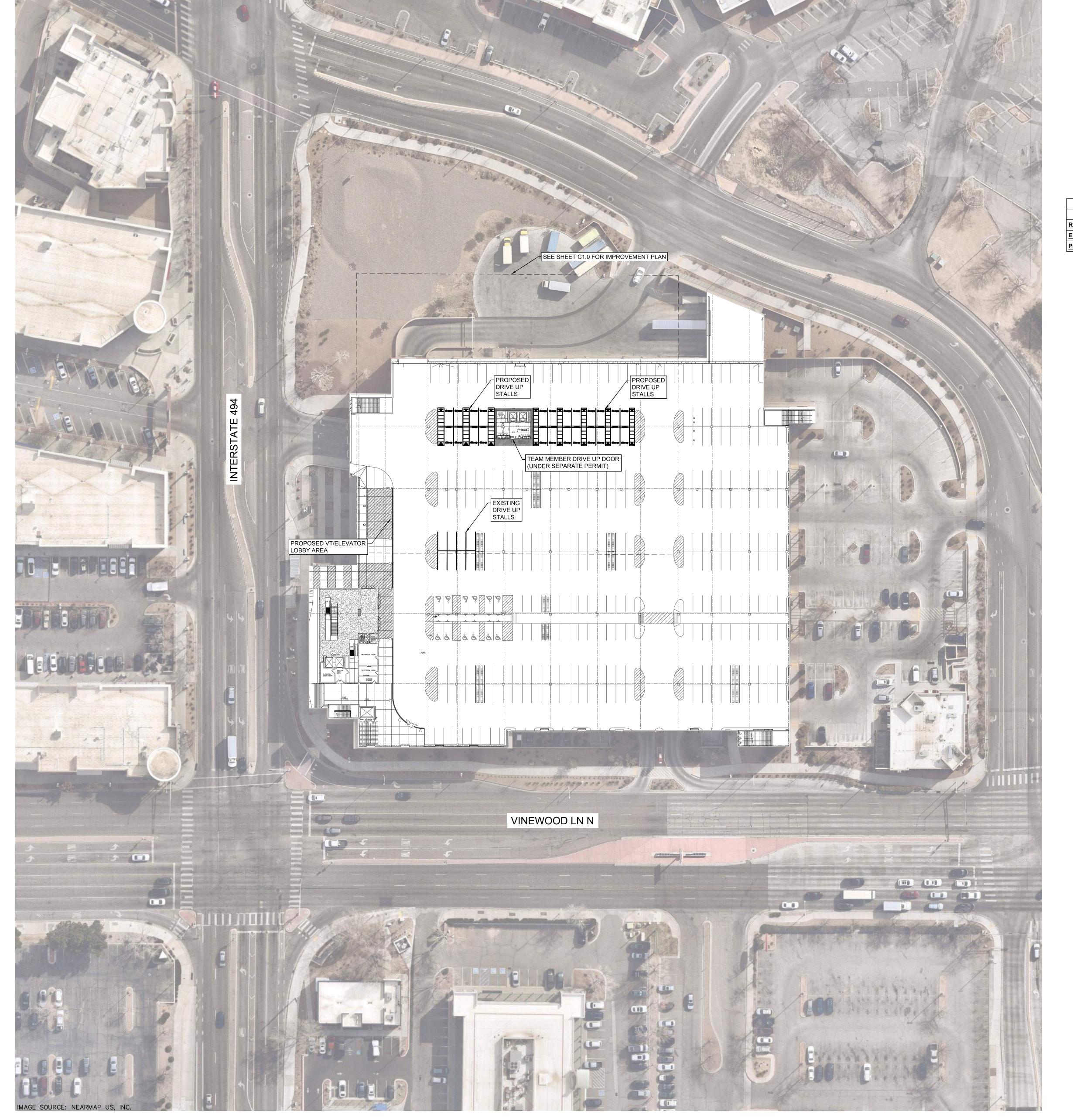
Checked By KR

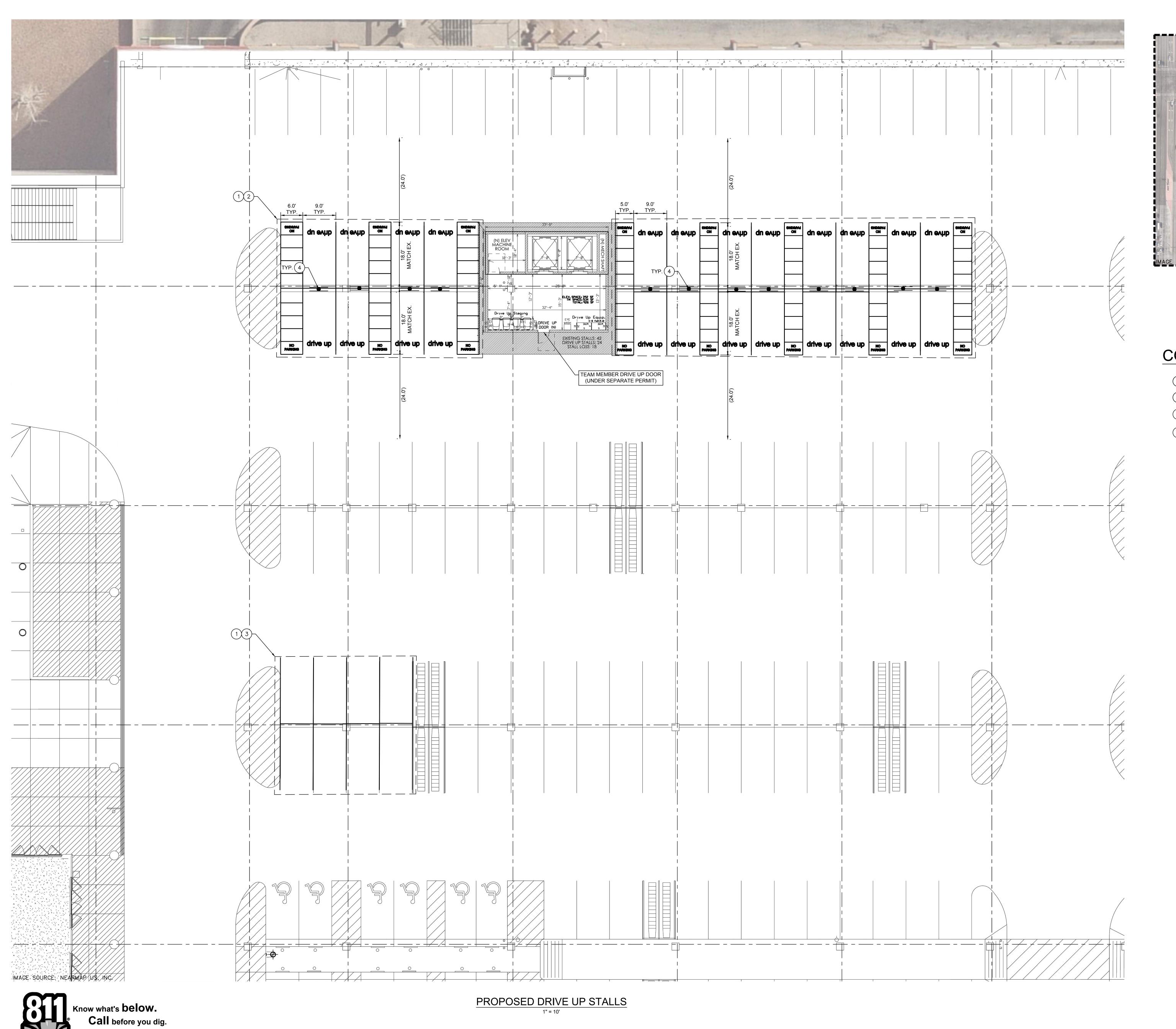
OVERALL SITE

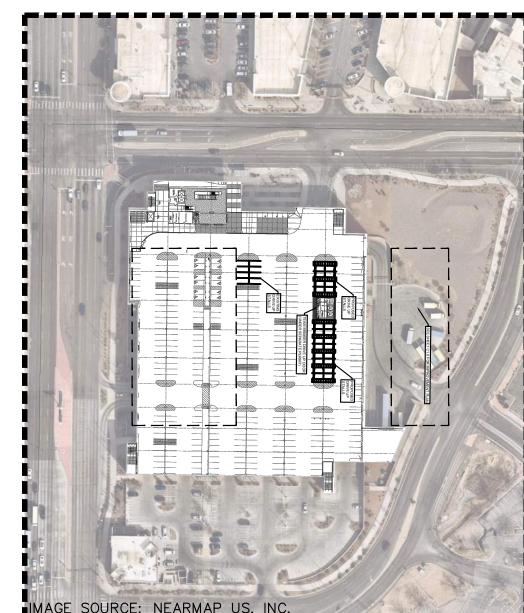
PLAN

C0.1

GRAPHIC SCALE IN FEET
0 20 40 80







KEY MAP

CONSTRUCTION NOTES

- SANDBLAST AND REMOVE EXISTING STRIPING AND DRIVE UP SIGNAGE.
- 2 INSTALL DRIVE UP STRIPING AND SIGNAGE PER DETAILS SHEET.
- RESTRIPE STANDARD PARKING STALLS USING 4" WIDE WHITE STRIPING.
- 4 INSTALL FLEXBOLLARD POST AND PANEL SIGN PER DETAILS SHEET.

DATE: XX/XX/2021

TARGET®

1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC 3801 AUTOMATION WAY SUITE 210 FORT COLLINS, CO 80525 303-228-2300 WWW.KIMLEY-HORN.COM

Date No Description

TARGET
T-2813 ALBUQUERQUE
2120 LOUISIANA BLVD NE

Project Number

Project Number T-2813

Config:
Drawn By CY
Checked By KR

IMPROVEMENT

PLAN

C1.0

TARGET 1000 NICOLLET MALL MINNEAPOLIS, MN 55403

© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 3801 AUTOMATION WAY SUITE 210 FORT COLLINS, CO 80525 303-228-2300 WWW.KIMLEY-HORN.COM

Date No Description

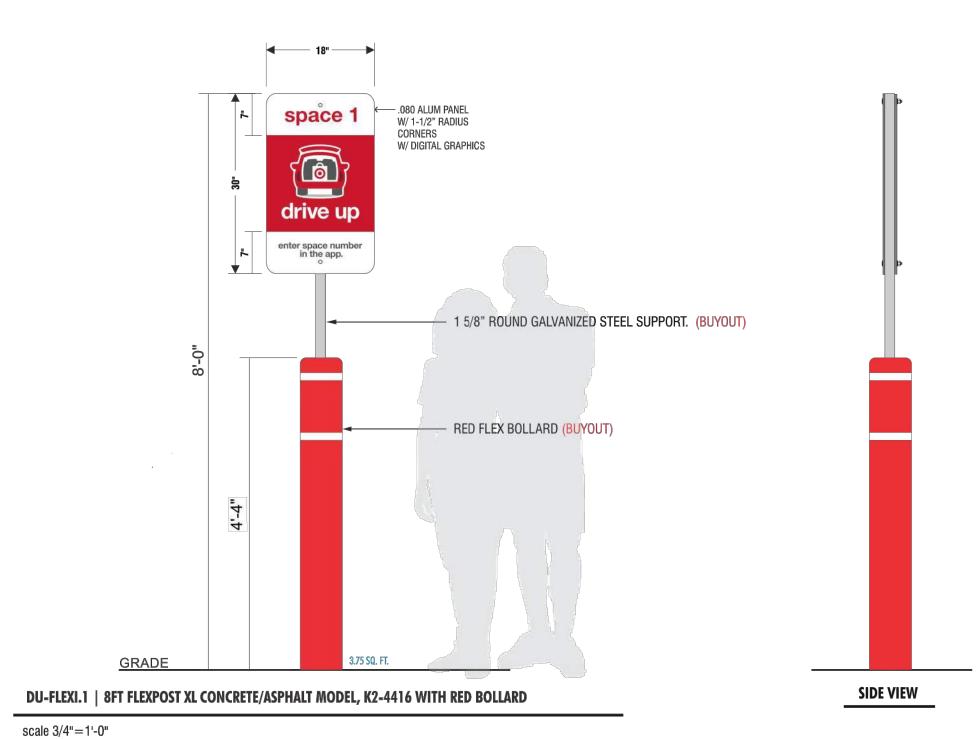
DATE: XX/XX/2021

T-2813

DETAILS

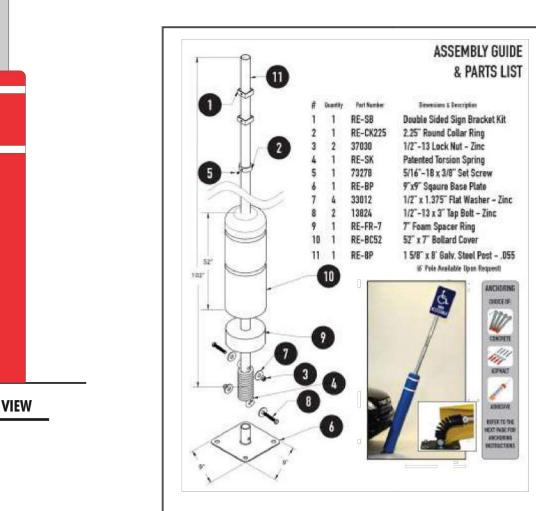
C2.0

FEDERAL HEATH VISUAL COMMUNICATIONS www.FederalHeath.com Post & Panel Flexi-Sign for Drive-Up



NOTE: ORDER CONCRETE ANCHORING KIT OR ASPHALT ANCHORING KIT AS REQUIRED.

Hex# Hex#
#CC0000 #8A181A
CMYK CMYK
4/100/85/6 28/100/100/31 Hex# #4C4C4E CMYK 0/0/0/85 PMS 425



PMS 186 PMS 188

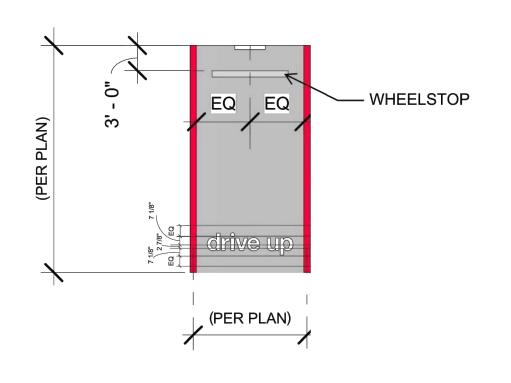
PRIMARY COLOR PALETTE

Use Target Red for savings messages.

Light Gray Dont use colors outside of this palette.

Use 100% or 85% black for headlines, subheads and body copy.

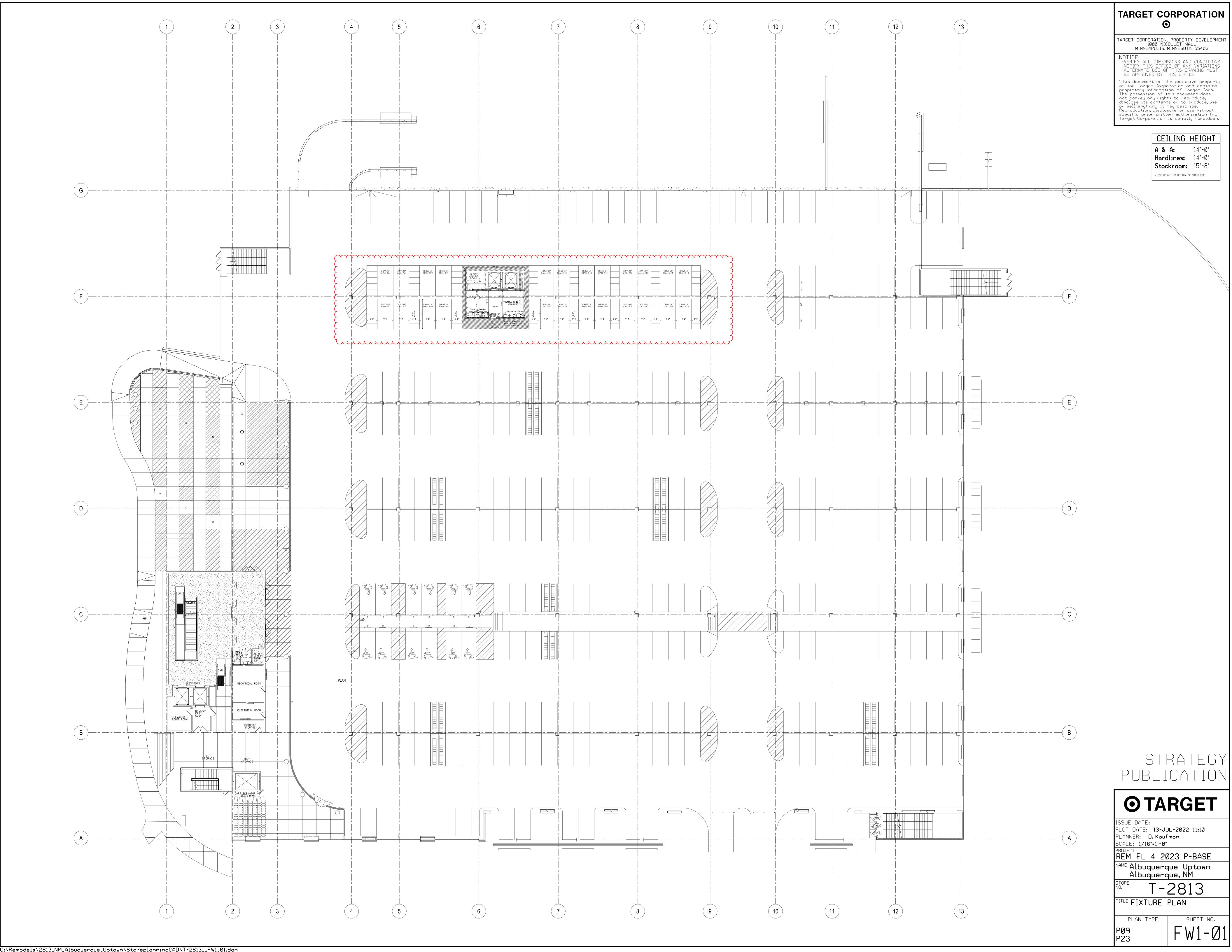
SHEET 11 of 28

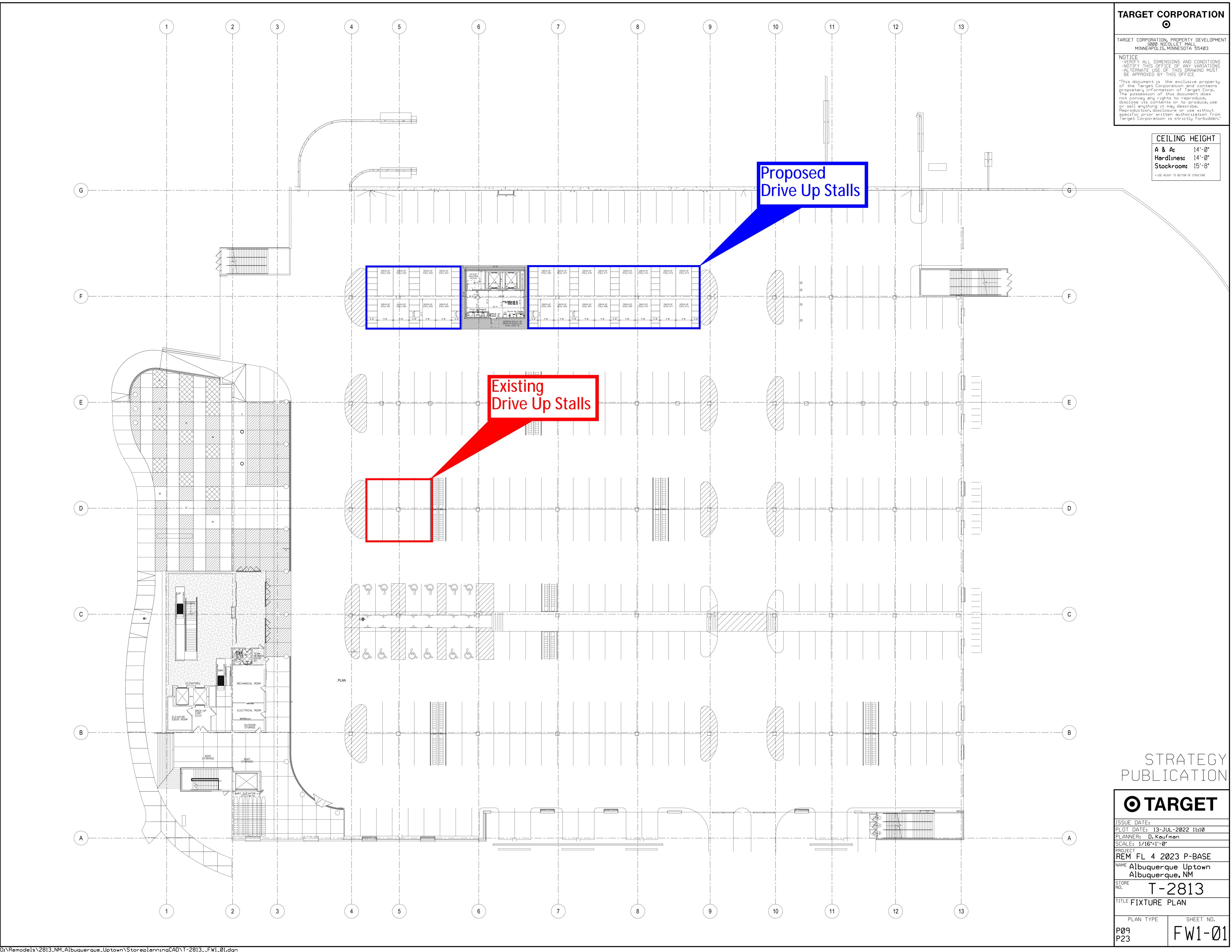


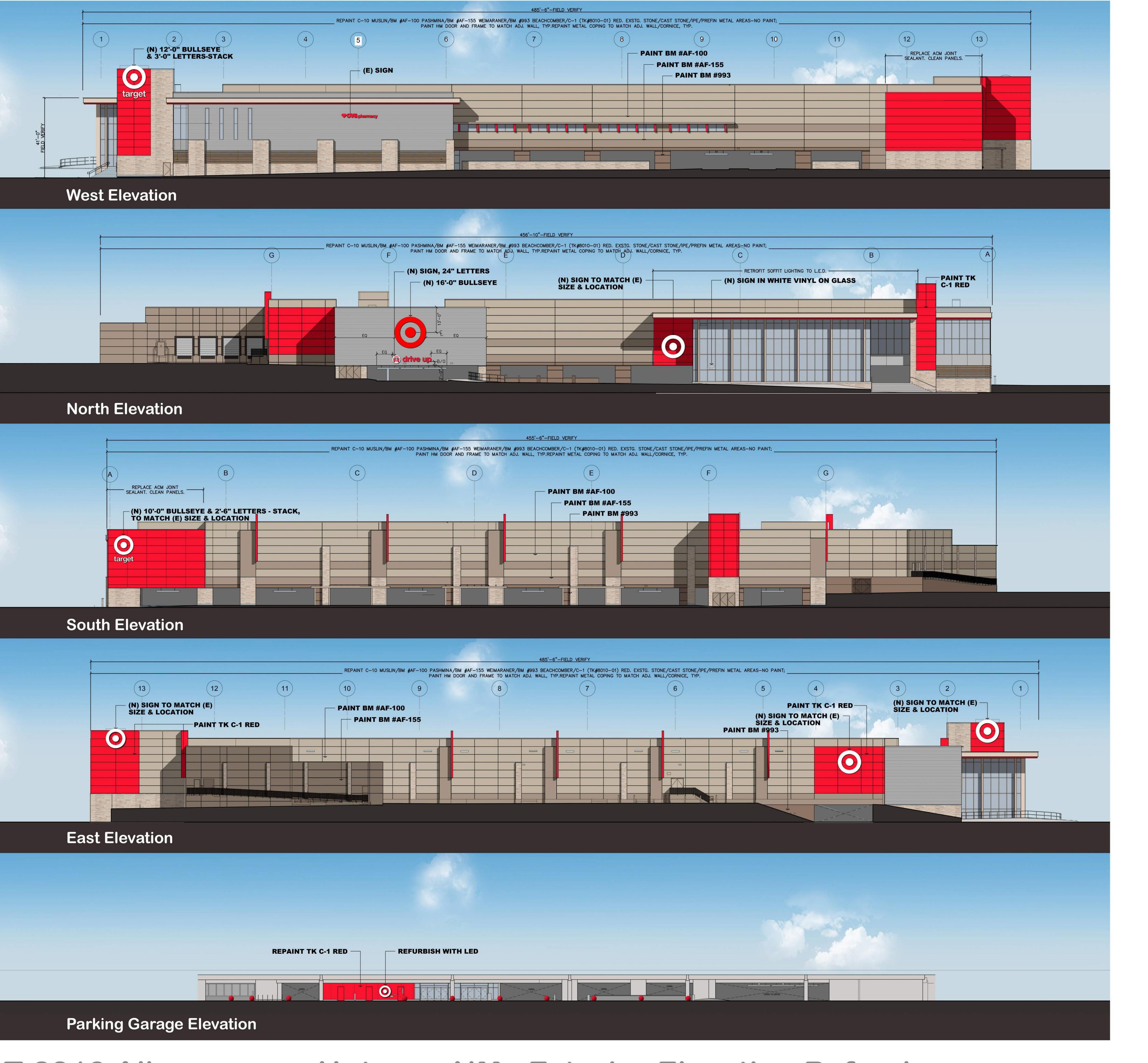
DRIVE UP STRIPING
N.T.S.

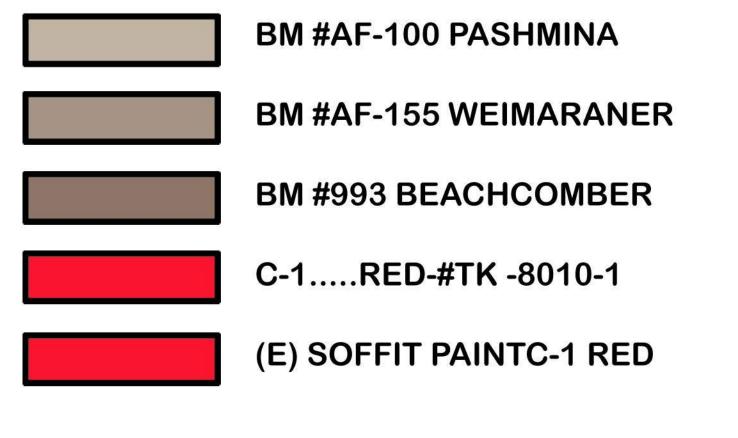
NOTES:

- ALL RED STRIPING IS 6" WIDE
 TARGET TO PROVIDE GC WITH "drive up" AND "NO
- PARKING" TEMPLATES SEE PLAN VIEW DIMENSIONS FOR EXACT
- LAYOUT OF SITE
 4. REFER TO C1.0 FOR EXACT DIMENSIONS









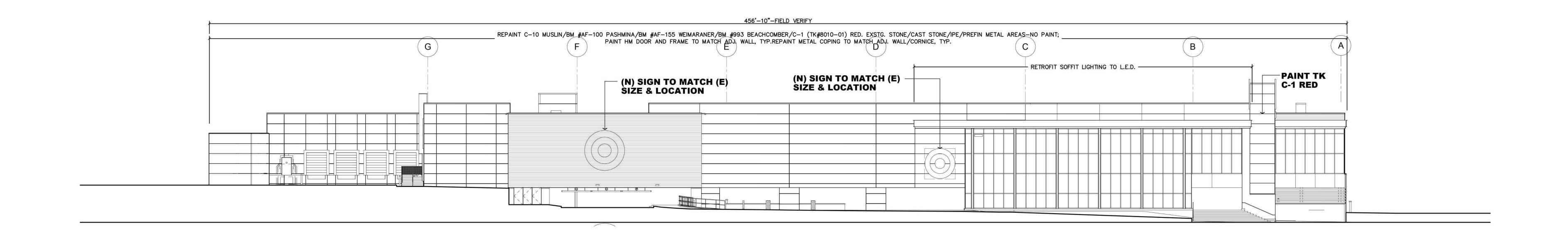
NOTE:

- * ALL COLORS ARE FOR REFERENCE ONLY.
- * EXISTING PREFINISHED METAL-NO PAINT, UNLESS **NOTED OTHERWISE**
- * EXISTING STONE, CAST STONE, IPE & PREFIN METAL AREAS-NO PAINT; PAINT HM DOOR AND FRAME TO MATCH ADJ. WALL, TYP.
- * RESEAL CAST STONE CAPS.
- *STORE EXTERIOR WALLS ARE PRIMARILY PRECAST **CONCRETE & STONE VENEER**
- *REPAINT BUS STOP C-1 RED-#TK8010-1
- *BEN-2: MODERN, COLOR......SILVER

GENERAL NOTE

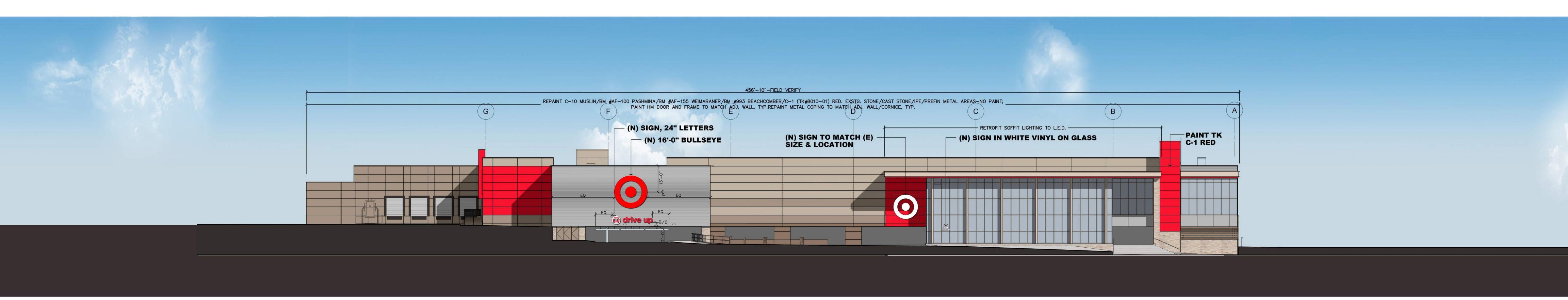
- * AREA TO BE PAINTED STARTS AT TOP OF CURB OR REVEAL AND CONTINUES TO TOP OF PARAPET/FLASHING OR REVEAL. PAINT COLOR AND FINISH TRANSITIONS OCCUR AT EXISTING VERTICAL CONTROL JOINTS OR AT INSIDE BUILDING CORNERS, U.N.O.
- * ALL EXISTING WALL-MOUNTED ITEMS TO BE PAINTED TO MATCH ADJ. WALL SURFACE, U.N.O.
- * PATCH ALL VISIBLE HOLES FROM MOUNTING OF REMOVED SIGNS WITH LIKE MATERIALS. RESTORE WALL SURFACE TO 'LIKE NEW' APPEARANCE.

Proposed Elevations





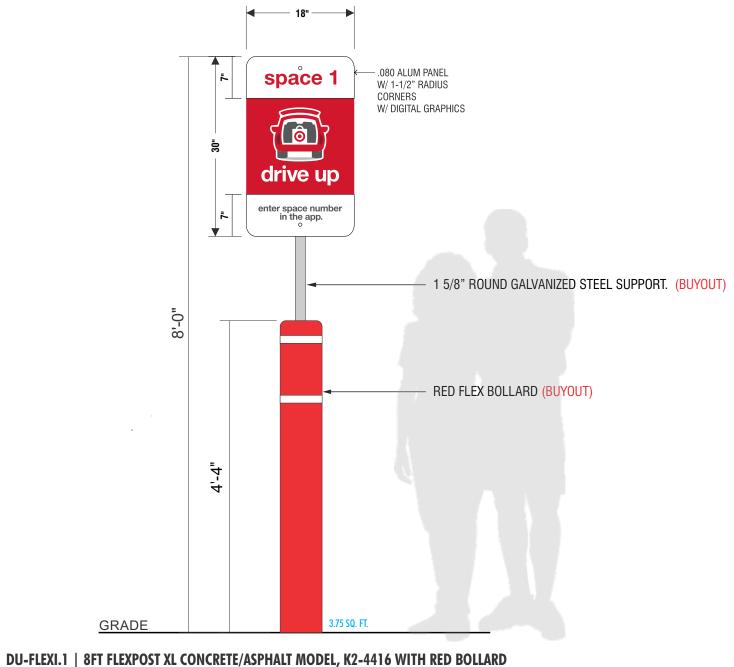
Existing Condition



Proposed Front Elevation



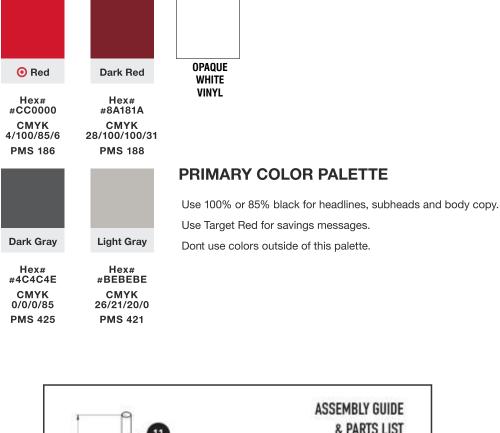
Post & Panel Flexi-Sign for Drive-Up

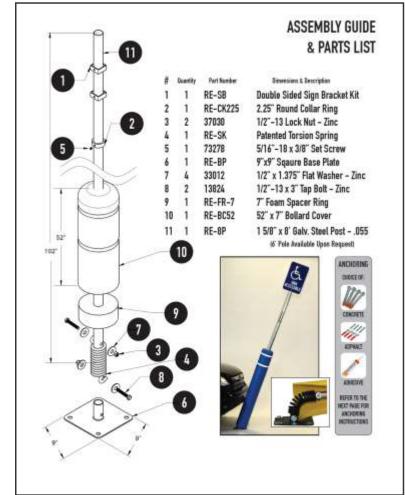


DO-FLEXI.1 | OF I FLEXFOST AL CONCRETE/ASTRIALI MODEL, R2-4410 WITH RED BOLL

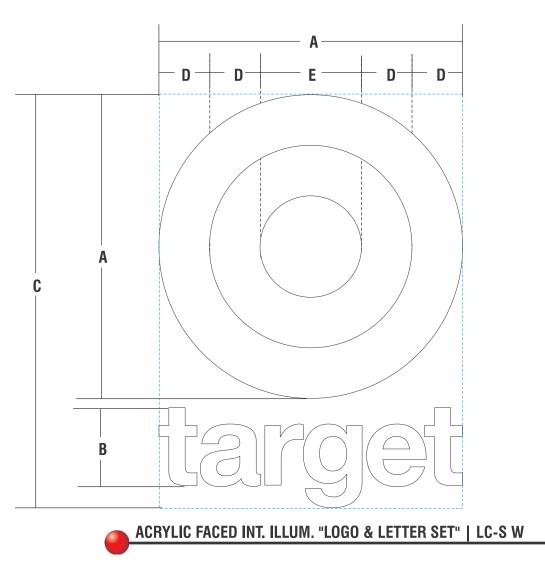
scale 3/4"=1'-0"

NOTE: ORDER CONCRETE ANCHORING KIT OR ASPHALT ANCHORING KIT AS REQUIRED.





SIDE VIEW



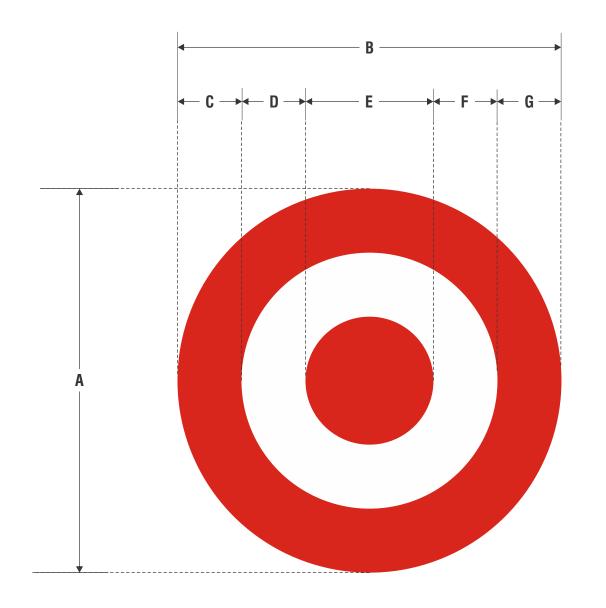
SCOPE OF WORK:

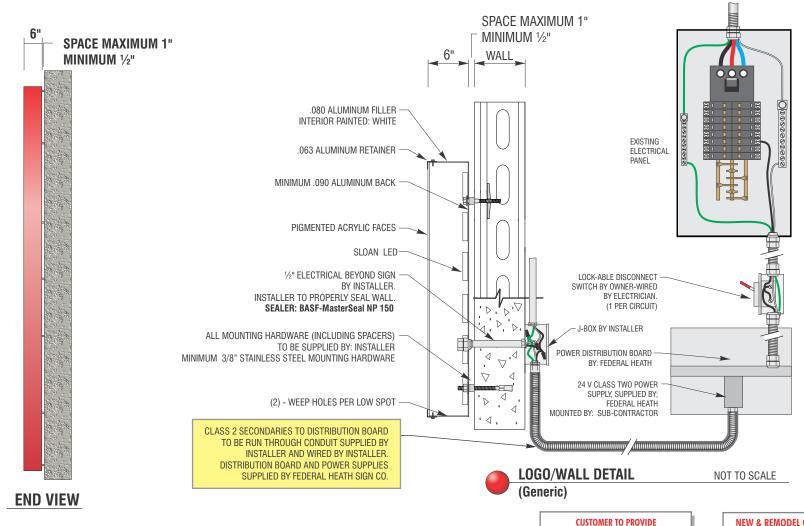
MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS



SIGN TYPE	A	В	C	D	E	RETAINER	AMPS CIRCUITS	SQ.FT.
LL144/37 LC-W	12'-0"	3'-1"	16' 3-3/4"	2'-0"	4'-0"	1 ½"		195.7
LL132/34 LC-S W	11'-0"	2'-10"	14' 11-1/2"	1'-10"	3'-8"	1 ½"		164.5
LL120/30 LC-S W	10'-0"	2'- 6-7/8"	13' 7-1/8"	1'-8"	3'-4"	1"		135.9
LL108/27 LC-S W	9'-0"	2' 3-3/4"	12' 2-7/8"	1'-6"	3'-0"	1"		110.2
LL96/24 LC-S W	8'-0"	2'-0-5/8"	10' 10-1/2"	1'-4"	2'-8"	1"		87
LL84/21 LC-S W	7'-0"	1' 9-1/2"	9' 5-1/4"	1'-2"	2'-4"	1"		66.6
LL72/18 LC-S W	6'-0"	1' 6-1/2"	8' 1-7/8"	1'-0"	2'-0"	1"		48.9
LL60/15 LC-S W	5'-0"	1' 3-3/8"	6' 9-1/2"	10"	1′-8"	1"		34
LL48/12 LC-S W	4'-0"	1′ 0-3/8"	5' 3-1/4"	8"	1'-4"	1"		21.75
LL36/9 LC-S W	3'-0"	9-1/4"	4'-1"	6"	1'-0"	1"		12.25
LL24/6 LC-S W	2'-0"	6-1/8"	2'-8 5/8"	4"	8"	1"		5.4

MATERIAL FIN	IISH COLORS		
WHITE Returns	7328 White ATUGLAS Acrylic	White Trimcap/Retainer	Sloan White LED





MANUFACTURE AND INSTALL CHANNEL LOGO AS SHOWN AND NOTED

SIGN TYPE	A	В	C	D	Ε	F	G	RETAINER	SQ.FT.	QTY
96 BULLSEYE-R	16'-0"	16'-0"	2'-8"	2'-8"	5'-4"	2'-8"	2'-8"	2"	201.0	1

ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND HELL NOT BE SHARED WITH OTHER LOADS. PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO BREAKER PANEL IS REQUIRED.

MATERIAL FINISH COLORS

Faces

Modified Acrylic (Altuglas or Equiv.)

Trimcap/Retainer

MP# 82074LVG (FULL GLOSS)

INSTALLER REQUIREMENTS

ALL MOUNTING HARDWARE, SECONDARY WIRING AND CONDUITS ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR. ALL PENETRATIONS IN THE WALL ARE TO BE SEALED WITH SILICONE AND TO BE WATERTIGHT.

ANY DEVIATION FROM FEDERAL HEATH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.

NEW & REMODEL CONSTRUCTION

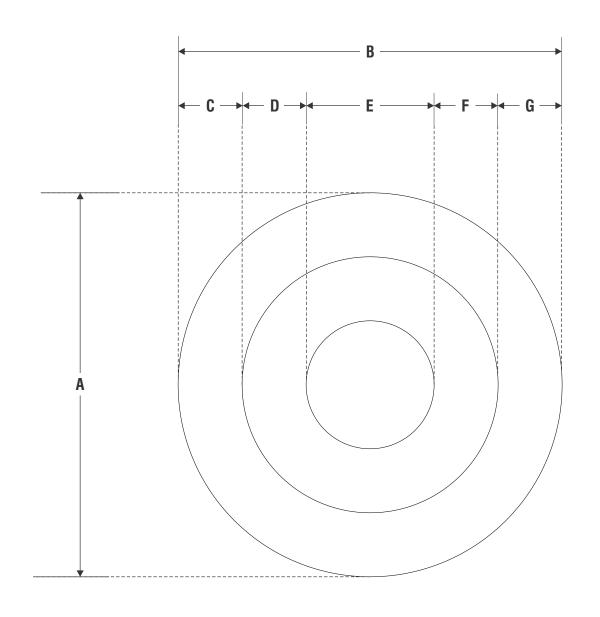
ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.

INSTALLER REQUIREMENTS FOR EIFS WALLS

IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

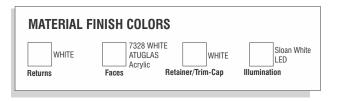
GENERAL NOTE

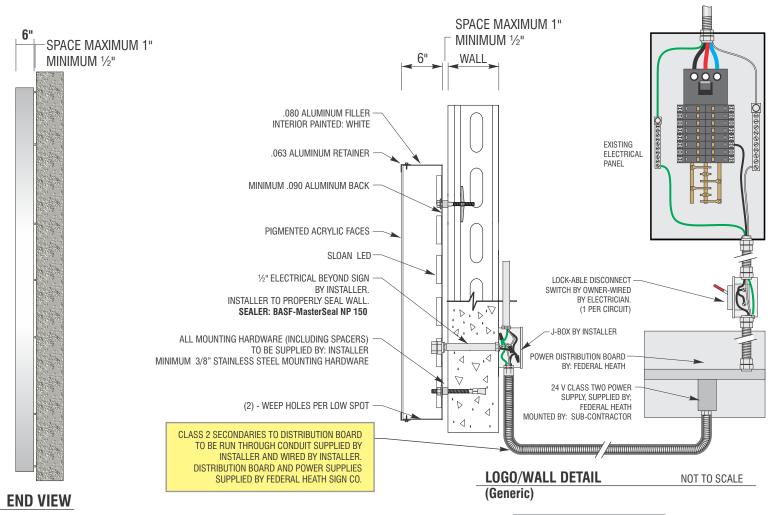
• INSTALLER SHALL VERIFY WALL CONDITION IN THE FIELD.
• TYPE, SIZE AND NUMBER OF FASTENERS TO BE DETERMINED.
• ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
• ISOLATE ALL ALUMINUM FROM STEEL.



MANUFACTURE AND INSTALL CHANNEL LOGO AS SHOWN AND NOTED

	SIGN TYPE	A	В	C	D	E	F	G	RETAINER	SQ.FT.	QTY
I	156 BULLSEYE-W	12'-0"	12'-0"	2'-0"	2'-0"	4'-0"	2'-0"	2'-0"		113.1	1





ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS. PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO BREAKER PANEL IS REQUIRED.

INSTALLER REQUIREMENTS

ALL MOUNTING HARDWARE, SECONDARY WIRING AND CONDUITS ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR. ALL PENETRATIONS IN THE WALL ARE TO BE SEALED WITH SILICONE AND TO BE WATERTIGHT.

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NEW & REMODEL CONSTRUCTION

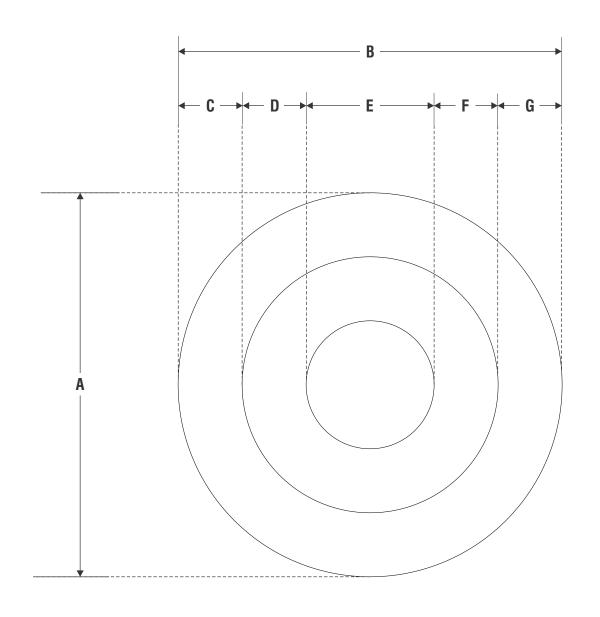
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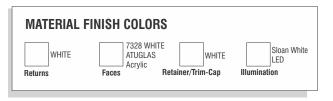
GENERAL NOTE

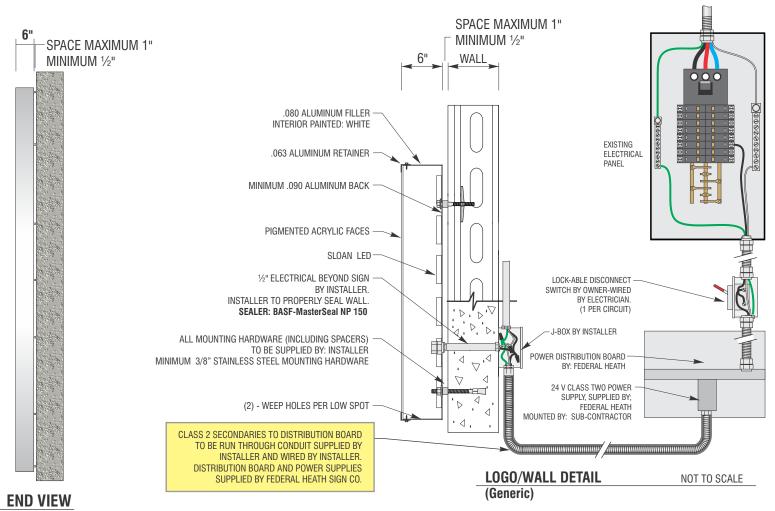
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 IS O LATE ALL ALUMINUM FROM STEEL.



MANUFACTURE AND INSTALL CHANNEL LOGO AS SHOWN AND NOTED

SIGN TYPE	A	В	C	D	E	F	G	RETAINER	SQ.FT.	QTY
156 BULLSEYE-W	10'-0"	10'-0"	1'-8"	1'-8"	3'-4"	1'-8"	1'-8"	1"	78.5	1





ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

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NEW & REMODEL CONSTRUCTION

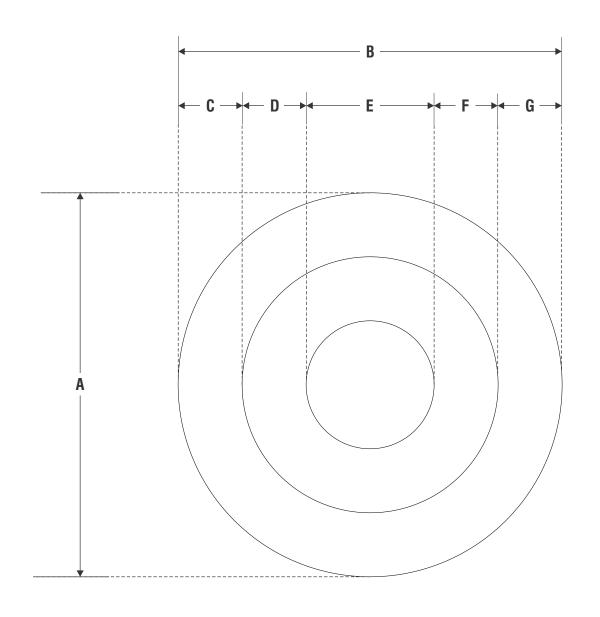
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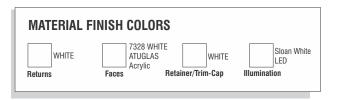
GENERAL NOTE

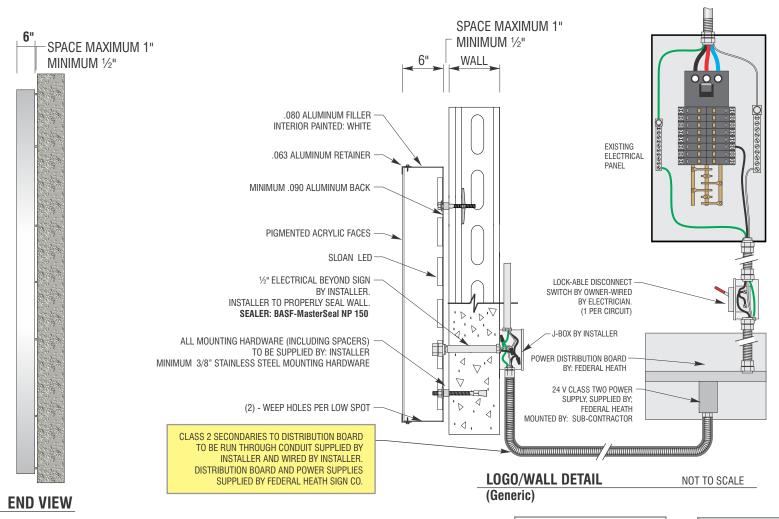
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• IS OLATE ALL ALLUMINUM FROM STEEL.



MANUFACTURE AND INSTALL CHANNEL LOGO AS SHOWN AND NOTED

SIGN TYPE	A	В	C	D	Ε	F	G	RETAINER	SQ.FT.	QTY
156 BULLSEYE-W	6'-0"	6'-0"	1'-0"	1'-0"	2'-0"	1'-0"	1'-0"	1"	28.3	1





ELECTRICAL REQUIREMENTS

Total: 0.0 Amps

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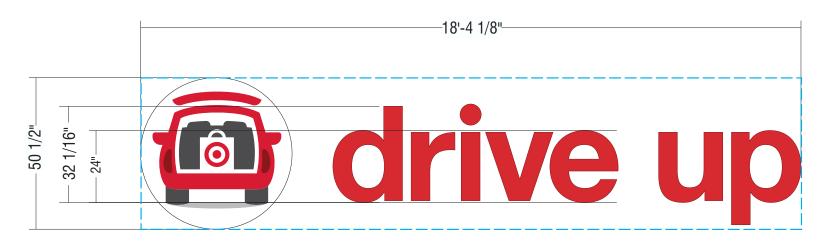
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 IS O LATE ALL ALUMINUM FROM STEEL.





DU24R-LOGO ACRYLIC FACED INT. ILLUM. "LOGO & LETTER SET"

Scale: 3/8"=1'-0" 77.1 SQ.FT.

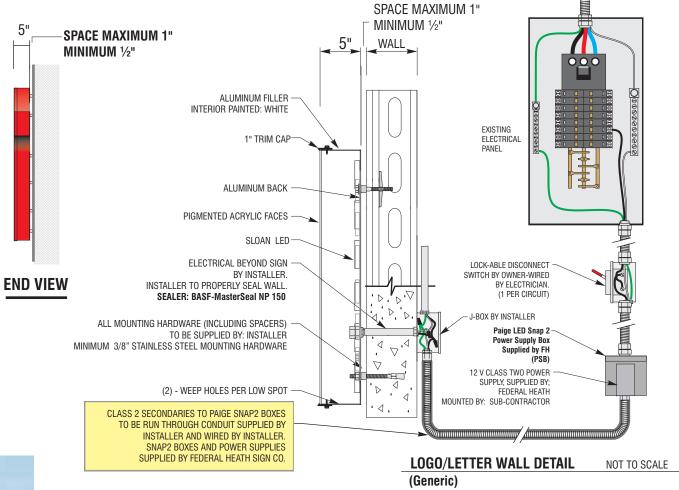
SCOPE OF WORK:

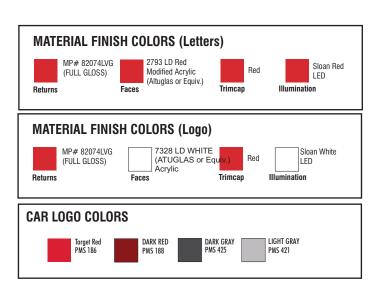
MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS



GENERIC (PARTIAL) ELEVATION NOTE: PLACEMENT CAN VARY

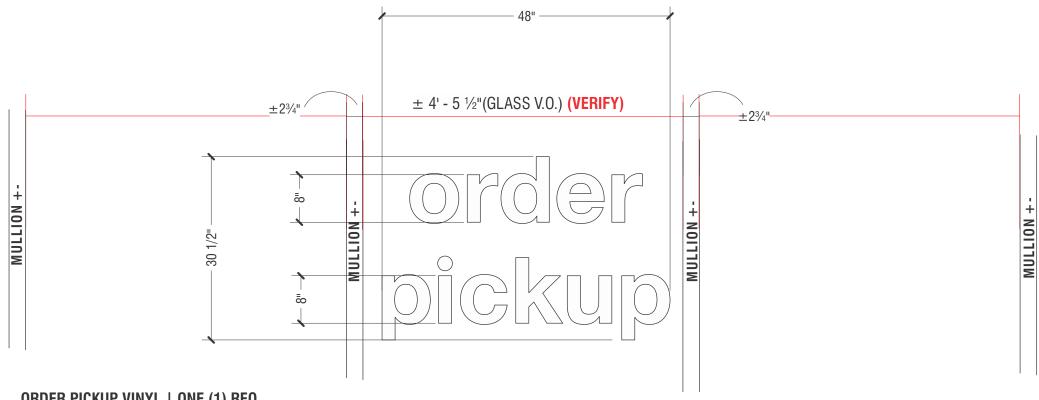
scale 3/32"=1'-0"





FIELD SURVEY REQUIRED

VERIFY GLASS V.O. & MULLION/DIVIDER SIZING PRIOR TO FABRICATION



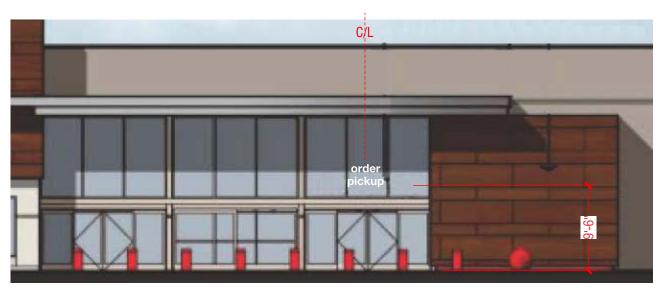
ORDER PICKUP VINYL | ONE (1) REQ.

SCALE: 3/4"=1'-0"

MANUFACTURE AND INSTALL FIRST SURFACE (*Verify IF; 1st or 2nd Surface Applied) OPAQUE WHITE VINYL LAYOUT

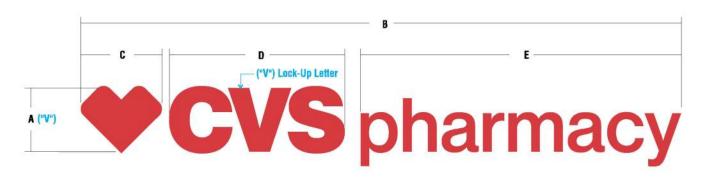
MATERIAL FINISH COLORS 3M 7725-10 WHITE OPAQUE

10.16 SQ FT



NORTH ELEVATION (Partial) STOREFRONT

scale 3/32"=1'-0"





MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS AS SHOWN AND NOTED

DESIGNATES HEIGHT OF LOGO (Heart)

SIGN TYPE	A	В	C	D	E	AMPS CIRCUITS	SQ.FT.
CVS-12-CL	11 5/8"	9'-1 1/4"	1' 2 3/4"	2'-8"	4' -10 1/2"		9.48
CVS-16-CL	12 1/2"	12'-2 1/4"	1'-7 3/4"	3'- 6 3/4"	6'-6 1/4"		16.63
CVS-18-CL	17 1/2°	13'-9"	1'-10 1/4"	4'- 0 1/4"	7'-4"		20.62
CVS-20-CL	19 1/2"	15'-3"	2'-0 3/4"	4'- 5 1/2"	8'-1 3/4"		25.41
CVS-24-CL	23 3/8"	18'-3 3/4"	2'-5 3/4"	5'-4 1/4"	9'-9 1/4"		36.62
CVS-30-CL	29 1/8"	22"-10 "	3'-1"	6'-8"	12'-2 1/4"		57.08
CVS-32-CL	31 1/8"	24'-4 3/4"	3'-3 1/2"	7'-1 1/2"	13'-0 1/4"		65.05
CVS-36-CL	34 7/8"	27'-4 3/4"	3'-8 1/4"	8'-0"	14'-7 1/2"		82.18

