



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: WALMART R.E. BUS. TRUST		Phone: 479-277-8735
Address: 2608 SE J STREET		Email: Crystal.Kelly@walmart.com
City: BENTONVILLE	State: AR	Zip: 72716
Professional/Agent (if any): JENNIFER COBBS C/O CYNTERGY		Phone: 918-877-6000 EXT 248
Address: 810 S. CINCINNATI, 2ND FLOOR		Email: jcobbs@cyntergy.com
City: TULSA	State: OK	Zip: 74119
Proprietary Interest in Site: ARCHITECT FOR WALMART		List <u>all</u> owners: WALMART R.E. BUS. TRUST

BRIEF DESCRIPTION OF REQUEST

MINOR SITE AMENDMENT FOR EXTERIOR PAINT, EXTERIOR SIGN, AND ONLINE GROCERY PICKUP (OGP) DESIGNATED PARKING STALL CHANGES

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: H-6A1A-1 & H-6A1A-2 RIVERVIEW	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): C-12-Z	Existing Zoning: NR-BP	Proposed Zoning: NR-BP (EXISTING TO REMAIN)
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 5.2

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 8511 GOLF COURSE ROAD NW Between: PASEO DEL NORTE BLVD NE and: SHELLY ROSE ROAD NW

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000646 AA, DRB-94-547, DRB-95-361, DRB-96-235, Z-95-17, Z-97-74, Z-98-45

Signature: <i>Jennifer Cobbs C/O Cyntergy</i>	Date: 06-06-2022
Printed Name: JENNIFER COBBS C/O CYNTERGY	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

(ELECTRONIC SUBMITTAL)

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- N/A Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- N/A Copy of the Official Notice of Decision associated with the prior approval (NOT PROVIDED BY CITY)
- N/A Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

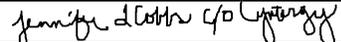
ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 06-06-2022
Printed Name: JENNIFER L. COBBS	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



702 SW 8th Street, Bentonville, AR 72716

June 6, 2022

City of Albuquerque Planning Department
600 2nd NW
Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

As the Design Manager with Walmart (Owner & Landlord), please receive this as authorization for Cyntergy, on behalf Walmart, to submit this letter of intent and supporting documentation to the City of Albuquerque. The indicated submittal will be for review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) for property Walmart #8511 Golf Course Road NW. We anticipate the submittal will be reviewed by the City of Albuquerque Planning Department staff as part of the process. We authorize Cyntergy to represent ourselves and Walmart in regards to responding to the City of Albuquerque recommendations as well as participating in any public Committee meetings as necessary.

Sincerely,

A handwritten signature in black ink that reads "Crystal Kelly". The signature is written in a cursive, flowing style.

Crystal Kelly
Walmart
2608 SE J Street
Bentonville, AR 72716

May 25, 2022

City of Albuquerque Planning Department
600 2nd NW
Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

We are requesting a review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) of a Pre-IDO Site Development Plan for property Walmart #3317 located at 8511 Golf Course Road NW. The requested Minor Amendment scope of work includes pavement striping, Online Grocery Pickup (OGP) designated parking (with stall designation signs), directional signs within parking lot, exterior paint updates, and exterior wall sign updates. Please review the Justification per line item listed below.

Per 14-16-6-4 (Z) (1) Minor Amendments

14-16-6-4 (Z) (1) (a)

1) The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.

The changes included in the request for minor amendment are for updates to the exterior paint, wall attached signs, re-facing site signs, and converting existing parking stalls to become designated Online Grocery Pickup (OGP). There are specific requirements for colors for this area per the IDO, Colors include the yellow ochres, browns, dull reds, and grey-greens existing on the Northwest Mesa and escarpment, exclusive of basalt and Trim materials on the facades constituting less than 20 percent of the façade' opaque surface may be any color. The updated paint colors are existing to remain with exception to blue accent color that account for less than 20% of the opaque surface. The exterior signs meet the Sign Ordinance for Zoning NR-BP and they still meet the original "approved plan" on file.

(2) The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.

The requested change is within the Site Plan-Administrative and Sign Permit approval thresholds,

a) There is zero (0) % change to the building gross floor area, front setback minimum, side setback minimum, rear setback minimum, and building height maximum.

- b) *There is zero (0) % change to the wall and fence height.*
- c) *The original approved total of building sign square footage was 297.68 S.F. in 2004. The approved total of building sign square footage was changed in 2017 to be 316.44 S.F. The current updated sign square footage will be 215.00 S.F. (A decrease from 2004 and 2017). The signs fall within the existing sign code applicable to the zoning of the site. The signs also fall within the property lines of the property.*
- d) *There are no rooftop installations and ground mounted installation of solar or wind energy.*
- e) *There are no additions or modifications of battery storage and the site is larger than 5 acres.*
- f) *There are zero (0) changes to the site layout of an electric facility.*
- g) *The Fair Housing act does not apply to this property as it is a commercial property with a mercantile/retail use.*

(3) The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.

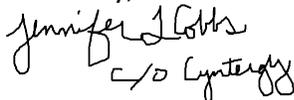
The requested amendment does not affect major public infrastructure or change access or circulation patterns on the property.

(4) No deviations, Variance, or Waivers shall be granted for minor amendments.

There are no requests for deviations, variances, or waivers to ordinances within this request.

We appreciate your consideration for the Minor Site Amendment.

Sincerely,

Handwritten signature of Jennifer Cobbs in black ink, with the initials 'C/O Cyntergy' written below it.

Jennifer Cobbs

C/O Cyntergy

810 S. Cincinnati, 2nd Floor

Tulsa, OK 74119

OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
P.O. BOX 1293, ALBUQUERQUE NEW MEXICO 87103

11. S-94-66 Garcia/Kraemer & Associates, agents for Projewel
DRB-94-547 Partnership, request a Bulk Land Variance and Preliminary
and Final Plat approval for certain unplatted land and
Parcel H-6, Riverview Subdivision, zoned R-1 and SU-1/IP
(City) and located in the northwest corner of the
intersection of Paseo Del Norte NW and Golf Course Rd NW,
containing approximately 11.9 acres. (C-12) [DEFERRED FROM
11/1/94]

At the November 8, 1994, Development Review Board meeting, the Bulk Land Variance was approved subject to the following findings and conditions:

BULK LAND VARIANCE:

1. The variance will not be injurious to the public safety, health or welfare, or to adjacent property, the neighborhood or the community.
2. The variance will not conflict significantly with the goals and provisions of any City, County or AMAFCA adopted plan or policy, the applicable zoning ordinance, or any other City code or ordinance.
3. The variance will not permit, encourage or make possible undesired development in the 100-year floodplain.
4. The variance will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

With the granting of the Bulk Land Variance the Preliminary Plat was approved with the following conditions:

CONDITIONS:

1. Proposed parcel H-6B shall be eliminated as a separate parcel.
2. Dedication of right-of-way for Paseo Del Norte shall be to the satisfaction of the Transportation Development Division.

Final Sign Off was delgated to Tranportation Development, City Engineering and Planning.

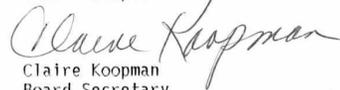
If you wish to appeal this decision, you must do so by November 23, 1994, in the manner described below. A nonrefundable fee of \$135 is required at the time the appeal is filed.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal; if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 45 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that Preliminary Plat approval is effective one year from the date of the Development Review Board decision. A request for an additional one year extension may be granted by the Board if requested. Requests for the additional one year extension must be submitted prior to the expiration date of the first year.

(REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Claire Koopman
Board Secretary

cc:Projewel Partnership, 2945 Wyoming NE, 87110
Garcia/Kraemer & Associates, 200 Lomas NW, Suite 1020C, 87102

City of Albuquerque
Planning Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: March 24, 1987

NOTIFICATION OF DECISION

Projewell Partnership
2945 Wyoming, N.E.
Albuquerque, NM 87110

File: Z-87-32
Location: Two unplatted 2 acre parcels within Section 13, T-11-N, R-2-E NMPM, located adjacent to parcel H-6 of the Riverview Sector Development Plan, north of Paseo Del Norte right-of-way, between the Drainage Easement located within Paradise Valley Subdivision and right-of-way of Golf Course Road, N.W. and containing approximately 4 acres. (C-12)

On March 19, 1987, the Environmental Planning Commission voted to approve your request for a change of zone from R-1 to SU-1 for IP uses as amended to delete the southerly 78 feet of the southern parcel, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is consistent with Resolution 270-1980, Policies for Zone Map Amendment. The existing zoning is inappropriate because the neighborhood conditions have changed.
2. The size, configurations, and limited access of the sites is not conducive to R-1 zoning.

Conditions:

1. The Sites be replatted as part of parcel H-6, subject to all applicable ordinances and policies with the city of Albuquerque.
2. The developer is responsible for following the design guidelines of the Riverview Sector Development Plan.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY APRIL 3, 1987, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$40 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE THE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,


For Phil Garcia
City Planner

PG/MJL/vb
(67701-23)
cc: Bill Karmer, P.O. Box 2001, 87103

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: July 18, 1997

OFFICIAL NOTIFICATION OF DECISION

Projewell Partnership
3504 LaSala Redondo NE
Albuq.

FILE: Z-97-74
LEGAL DESCRIPTION: For Parcels H6A5,
H6A6, and H6A7, Riverview Subdivision, zoned
SU-1/ IP Uses with Exceptions, located in the
northwest quadrant of the intersection of Paseo
del Norte NW and Golf Course Road NW,
containing approximately 3.78 acres. (C-12)
[BOB PAULSEN, STAFF PLANNER]

On July 17, 1997, the Environmental Planning Commission voted to approve Z-97-17, a request to amend a site development plan for subdivision purposes, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request to amend an approved site development plan for subdivision purposes for a 12.9-acre site located at the northwest corner of Golf Course Road and Paseo del Norte NW.
2. This request is in conformance with the Comprehensive Plan and related City policies concerning site design, subdivision and zoning.
3. Necessary information and requirements indicated by the City Public Works Department can be addressed prior to DRB approval.

CONDITIONS

1. Reciprocal access and utility easements between parcels is required.
2. A conceptual grading and drainage plan is required prior to final DRB sign-off.
3. Requirements pertaining to TIS negotiations must be completed prior to final DRB sign-off as noted by the Transportation Development comments.
4. Concerns of the Utility Development section concerning service availability from New Mexico Utilities, financial guarantees for required infrastructure and design standards for new infrastructure are required prior to final DRB sign-off.
5. The approved site plan for building permit for the northwestern pad site along Golf Course Road shall be voided.
6. The supplementary document "Z-95-17 PAD ARCHITECTURE DESIGN STANDARDS" shall be attached to the amended site plan to ensure future compliance with these adopted requirements.

OFFICIAL NOTIFICATION OF DECISION

Z-97-74

PAGE 2

7. Amend building area and parking calculations to coincide with the amended site plan. Overall building area shall not exceed original approval.
8. Pedestrian access shall be provided between all pads with shade trees provided at a regular interval of not more than 30 feet.
9. Buildings shall be grouped and related to each other with a common pedestrian plaza for pedestrian amenities as per the Westside Strategic Plan recommendations.
10. Parking shall be located as per the Westside Strategic Plan, distributed around the buildings so as to discourage strip-like development.

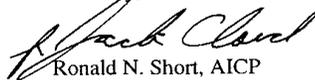
IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY AUGUST 1, 1997 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

FINAL APPROVAL OF A SITE DEVELOPMENT PLAN REQUIRES FINAL SIGN-OFF BY THE DEVELOPMENT REVIEW BOARD (DRB). THE APPLICANT IS RESPONSIBLE FOR APPLYING FOR THIS ACTION. BUILDING PERMITS CANNOT BE ISSUED UNTIL FINAL SIGN-OFF HAS OCCURRED. APPLICATIONS FOR DRB ARE AVAILABLE FROM AND ARE TO BE SUBMITTED TO THE PLANNING DEPARTMENT, 3RD FLOOR, PLAZA DEL SOL BUILDING.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,



Ronald N. Short, AICP
Planning Director

RNS/BP/ac

CC: George Rainhart Architect & Assoc., 2325 San Pedro NE, Suite 2-B, Albuquerque, NM 87110
Don Cordova, Paradise Hills Neigh. Assoc., 10534 Steward NW, Albuquerque, NM 87114
Lynn Southard-Vargas, Paradise Hills Neigh. Assoc., 4604 Benton NW, Albuquerque, NM 87114
Gary Warthen, Piedras Marcadas Neigh. Assoc., 9232 Jill Patricia NW, Albuquerque, NM 87114
Debbie Jamison, Piedras Marcadas Neigh. Assoc., 9315 Jill Patricia NW, Albuquerque, NM 87114

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: March 17, 1995

OFFICIAL NOTIFICATION OF DECISION

Projewell Partnership
3504 La Sala Redondo NE
Albuq., NM; 87111

FILE: Z-95-17
LEGAL DESCRIPTION: Tract A, Las Marcadas II
Subdivision and Parcel H-6A, Riverview Subdivision,
located at the northwest corner of Paseo Del Norte, NW
and Golf Course Road, NW, containing approximately
12.9 acres (C-12). DAVE CARLSON, STAFF PLANNER

On March 16, 1995 the Environmental Planning Commission voted to approve SD-85-10-7, an amendment to the Riverview Sector Development Plan, to allow gasoline sales and auto washing based on the following Finding:

Findings - Sector Plan:

1. The proposed amendment to the Riverview Sector Plan to allow gasoline sales and auto washing is consistent with the action taken to rezone most of the land in the sector plan to residential use.

On March 16, 1995 the Environmental Planning Commission voted to approve Z-95-17, a change to SU-1 for IP Uses zoning, based on the following Findings:

Findings - Zone Change:

1. The proposed zone change covers an isolated area adjacent to existing SU-1 IP zoning.
2. The approval of the Las Marcadas II Subdivision which isolated the area of the proposed zone change is a changed condition. Approval is, therefore, consistent with Resolution 270-1980 policies.
3. The zone change lies in the Impact Area of the Northwest Mesa Escarpment Plan which contains standards that may limit development of the use allowed in this zone.

On March 16, 1995 the Environmental Planning Commission voted to approve Z-95-17, a site development plan for subdivision, based on the following Findings and subject to the following Conditions:

Findings - Site Development Plan for Subdivision:

1. The proposed revised plan with conditions can meet the basic requirements for development of the site.
2. Given the unspecified nature of future uses on the pad sites and their relationship to adjacent residential development, plan review is not delegated to staff.
3. This 12.9 acre commercial site is located in a highly visible area near the Petroglyph National Monument. Special design treatment for the site is required to reduce the impact on the monument.

Conditions:

1. All notes presented on separate 8 1/2 by 11 sheets shall be incorporated into the plan documents except that color number one is changed to Benjamin Moore color #1121 or equivalent.
2. The minimum landscaping buffer along all public rights-of-way is 15 feet. The utility easements must be removed from the landscaped buffer area.

3. Freestanding signage shall be limited to two 50 square foot monument signs not to exceed 8 1/2 feet in height above the average grade for pads one and six and to two monument signs not to exceed 100 square feet and 12 feet in height for the supermarket.
4. The conditions of Traffic Engineering shall be met except for the following: Modify Bullet number two to read "Reservation for future dedication of 78 feet of right-of-way for Paseo Del Norte from centerline.
5. The next two pad sites to be developed will require review by the Environmental Planning Commission. If these pad designs comply with the intent of the EPC, future pad site review will be delegated to the Development Review Board.
6. The boundaries of the Petroglyph National Monument will be noted both on the site plan for subdivision and on hydrology plans.
7. Pedestrian ways shall be designed with intermittent heavily landscaped rest areas.
8. Pad architectural design standards shall include the following elements to provide a uniform standard for all pads.
 - Seventy percent of the area of vertical walls and landscaping walls shall be four or eight inch split face CMU.
 - Four or eight inch split face or accent block to a maximum 30% of color one.
 - CMU column enclosures.
 - CMU or stucco fascias (stucco shall be minimal)
 - CMU shall be designed in interlocking horizontal banding mixing colors one and two.
9. The applicant shall substitute xeric landscaping for the majority of sod indicated on the site.

On March 16, 1995 the Environmental Planning Commission voted to approve Z-95-17, a site development plan for building purposes, based on the following Findings and subject to the following Condition:

Findings - Site Development Plan for Building Purposes:

1. The proposed site development plan for the grocery store and service station meet the basic requirements and policies of the City for such developments.
2. Site development plan approval for the pad at the front of the grocery store is not a part of this action.

Condition:

1. The building footprint and parking area on the pad in front of the grocery store shall be eliminated from the plan.

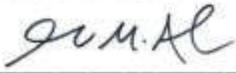
FINAL APPROVAL OF A SITE DEVELOPMENT PLAN REQUIRES FINAL SIGN-OFF BY THE DEVELOPMENT REVIEW BOARD (DRB). THE APPLICANT IS RESPONSIBLE FOR APPLYING FOR THIS ACTION. BUILDING PERMITS CANNOT BE ISSUED UNTIL FINAL SIGN-OFF HAS OCCURRED. APPLICATIONS FOR DRB ARE AVAILABLE FROM AND ARE TO BE SUBMITTED TO THE PLANNING DEPARTMENT, 4TH FLOOR, CITY/COUNTY BUILDING.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY MARCH 31, 1995, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 7-14-45.B.2.c of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

City of Albuquerque Planning Department
600 2nd NW
Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,
Please note, this is a photo of the signed Administrative Amendment coversheet. It was signed digitally (as can be seen below). Our PDF combining software removes the digital signature when we combine the document to include in our submittal, hence the blank Administrative Amendment page immediately following this page. Thank you, Cyntergy.

ADMINISTRATIVE AMENDMENT	
FILE #: <u>SI-2022-00239</u>	PROJECT #: <u>PR-2020-003905</u>
Update to exterior building paint, exterior sign; Pavement striping for Online Grocery	
Pickup (OGP) designated parking stall.	
<hr/> <hr/> <hr/> <hr/>	
 APPROVED BY	<small>Digitally signed by James M. Aranda DN: cn=James M. Aranda, o=City of Albuquerque, ou=Planning Department, email=jmaranda@cabq.gov, c=US Date: 2022.03.14 11:24:42 -0600</small> DATE

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

IMAGE SOURCE: GOOGLE EARTH
 IMAGE DATE: 10/4/2020

**WALMART
 NEIGHBORHOOD
 MARKET
 #03317-221**

CONTRACTOR SHALL REFER TO
 PICKUP PLAN SET FOR
 ADDITIONAL IMPROVEMENT
 DETAILS AT PICKUP AREA

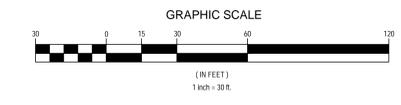
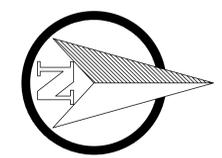
CONTRACTOR SHALL REFER TO
 SHEET SECP-1 FOR ADDITIONAL
 IMPROVEMENT DETAILS AT BFR

SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
 - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
 - (H) EXISTING SITE LIGHT TO REMAIN.
 - (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
 - (J) EXISTING STOP SIGN TO REMAIN.
 - (K) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS TO REMAIN.
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 - (M) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (N) EXISTING FIRE LANE STRIPING TO REMAIN.
 - (O) EXISTING ARROW PAVEMENT MARKINGS TO REMAIN.
 - (P) NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN.
 - (Q) NEW 30"x30" STOP SIGN.
 - (R) NEW 36"x36" STOP SIGN.
 - (S) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (T) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
 - (U) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
 - (V) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPING PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - (W) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (X) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
 - (Y) NEW OPEN ARROW PAVEMENT MARKINGS.
 - (Z) NEW SOLID ARROW PAVEMENT MARKINGS.
 - (AA) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (AB) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (AC) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
 - (AD) NEW FIRE LANE STRIPING.
 - (AE) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
 - (AF) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
 - (AG) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
 - (AH) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
 - (AI) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
 - (AJ) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
 - (AK) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
 - (AL) EXISTING ISLAND STRIPING TO BE REMOVED.
 - (AM) NEW OSP CROSSWALK MARKINGS.
 - (AN) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.
 - (AO) EXISTING DO NOT ENTER SIGNAGE TO REMAIN.

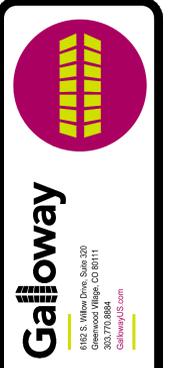
NOTES TO CONTRACTOR

1. BFR (BUILDING FRONTAGE ROAD)
 OCR (OUTER CIRCULATION ROAD)
2. CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
3. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.

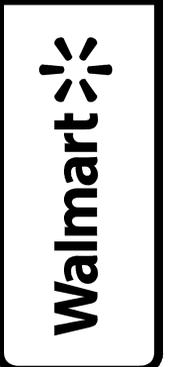


STOP SIGNS AND MARKINGS PLAN

REVISIONS	BY

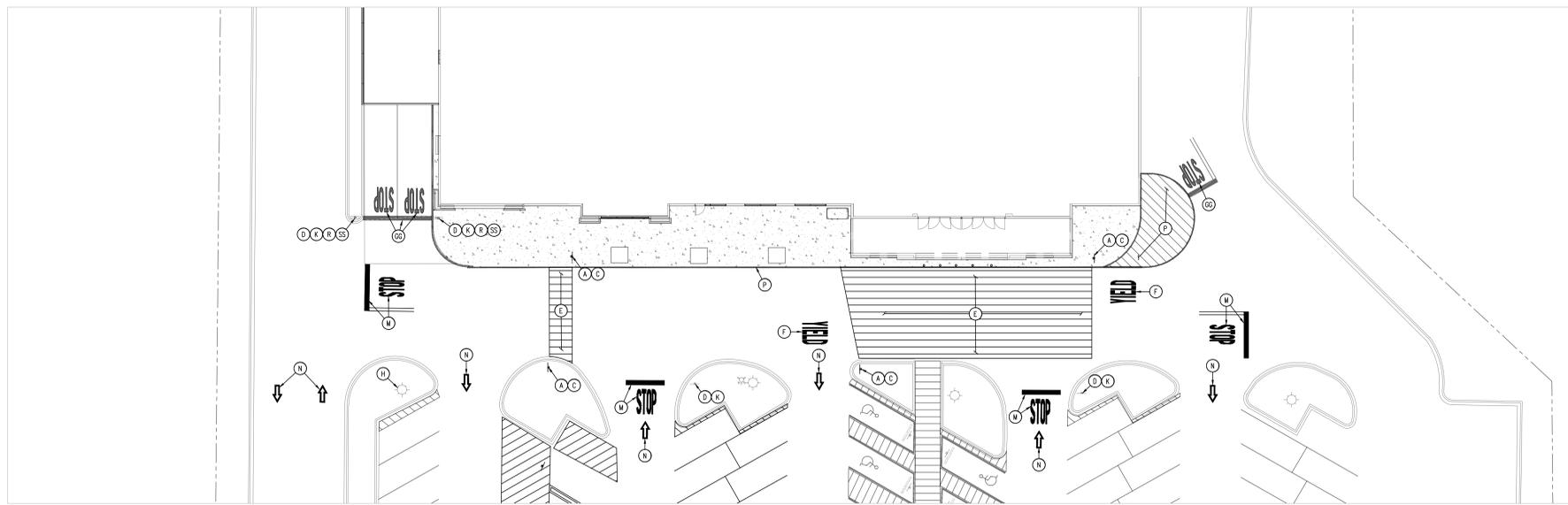


NEIGHBORHOOD MARKET #03317-221
 8511 GOLF COURSE RD NW
 ALBUQUERQUE, BERNALILLO, NEW MEXICO
 WAL-MART STORES, INC.
 BENTONVILLE, AR

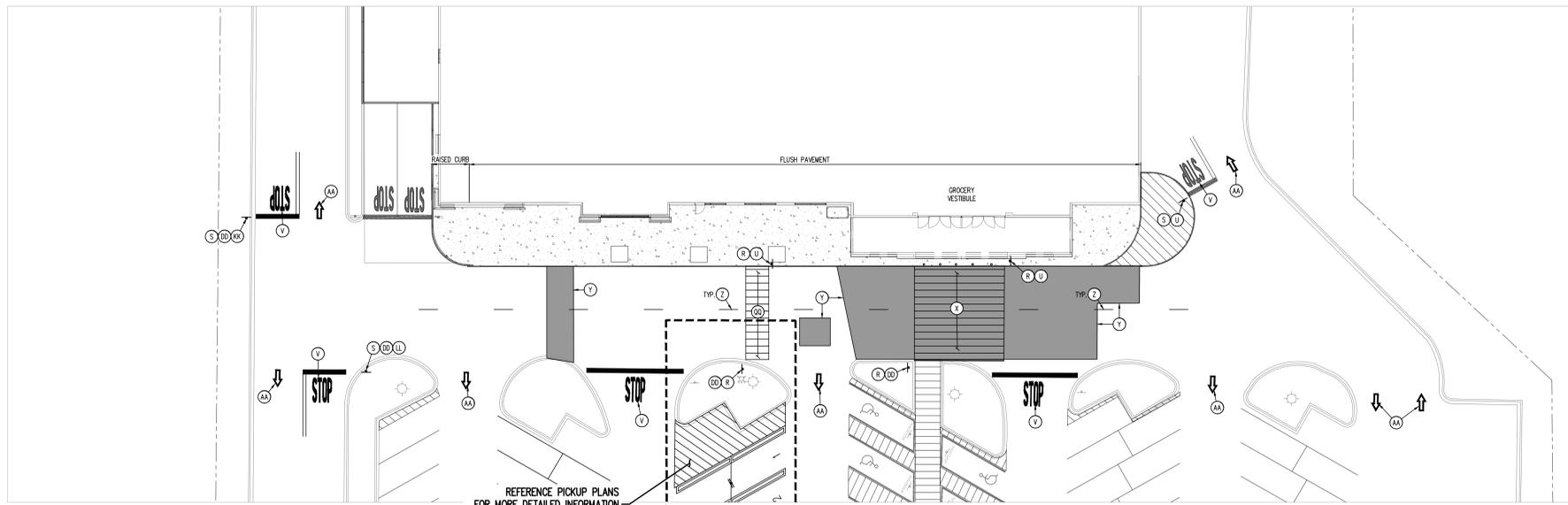


DRAWN	MM/C
CHECKED	BDA
DATE	01/10/22
SCALE	AS SHOWN ON SHEET
JOB No.	CYN003317.20
SHEET	

C001



DEMOLITION PLAN



SITE CONSTRUCTION PLAN

REFERENCE PICKUP PLANS FOR MORE DETAILED INFORMATION ASSOCIATED WITH PICKUP LAYOUT

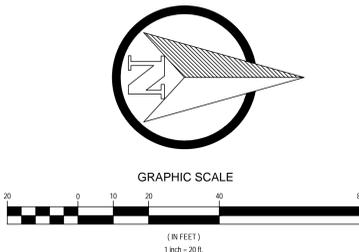
NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

- | | |
|--|---|
| <ul style="list-style-type: none"> (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED. (B) EXISTING STOP SIGN TO BE REMOVED. (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED. (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED. (E) EXISTING CROSSWALK STRIPING TO BE REMOVED. (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED. (G) EXISTING CENTERLINE STRIPING TO BE REMOVED. (H) EXISTING SITE LIGHT TO REMAIN. (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED. (J) EXISTING STOP SIGN TO REMAIN. (K) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS TO REMAIN. (L) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS TO BE REMOVED. (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS TO BE REMOVED. (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED. (O) EXISTING FIRE LANE STRIPING TO REMAIN. (P) EXISTING ARROW PAVEMENT MARKINGS TO REMAIN. (Q) NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN. (R) NEW 30"x30" STOP SIGN. (S) NEW 36"x36" STOP SIGN. (T) NEW SIGN MOUNTING AND BASE WITH BOLLARD. (U) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS. (V) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C. (W) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WIDE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED. | <ul style="list-style-type: none"> (1) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. (2) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS. (3) NEW OPEN ARROW PAVEMENT MARKINGS. (4) NEW SOLID ARROW PAVEMENT MARKINGS. (5) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE. (6) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST. (7) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS. (8) NEW FIRE LANE STRIPING. (9) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/ORDINANCES. (10) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE. (11) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE. (12) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE. (13) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE. (14) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE. (15) EXISTING "TRUCK-UP" PAVEMENT MARKINGS TO BE REMOVED. (16) EXISTING ISLAND STRIPING TO BE REMOVED. (17) NEW OSP CROSSWALK MARKINGS. (18) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL. (19) EXISTING DO NOT ENTER SIGNAGE TO REMAIN. |
|--|---|



DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY

Galloway
 6002 S. Willow Drive, Suite 300
 Albuquerque, NM 87111
 505.770.8884
 GallowayUS.com

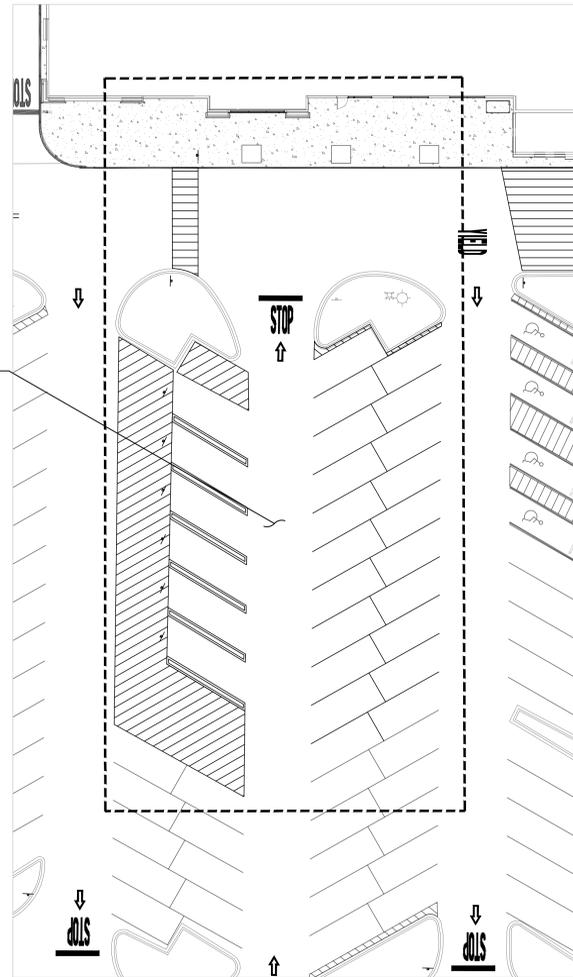
BRANDON ALSET
 NEW MEXICO
 25037
 PROFESSIONAL ENGINEER
 01/12/2022

NEIGHBORHOOD MARKET #03317-221
 8511 GOLF COURSE RD NW
 ALBUQUERQUE, BERNALILLO, NEW MEXICO
 WAL-MART STORES, INC.
 BENTONVILLE, AR

DRAWN	MM/C
CHECKED	BDA
DATE	01/10/22
SCALE	AS SHOWN ON SHEET
JOB NO.	CYN003317.20
SHEET	

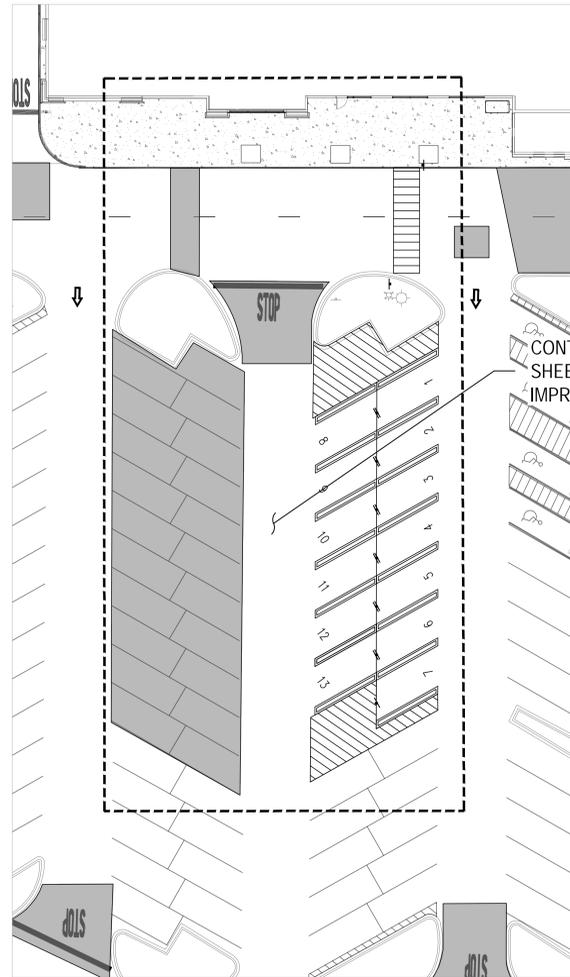
C002

CONTRACTOR SHALL REFER TO SHEET C008 FOR ADDITIONAL IMPROVEMENT DETAILS AT PICKUP



DEMOLITION PLAN

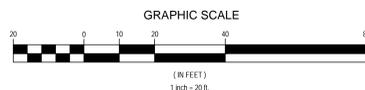
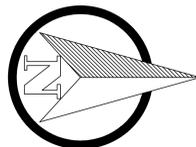
CONTRACTOR SHALL REFER SHEET C008 FOR ADDITIONAL IMPROVEMENT DETAILS AT PICKUP



SITE CONSTRUCTION PLAN

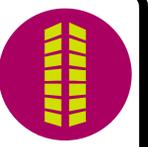
NOTES TO CONTRACTOR:

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4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY



Galloway
 6002 S. Wilbur Drive, Suite 300
 Albuquerque, NM 87111
 505.770.8884
 GallowayUS.com

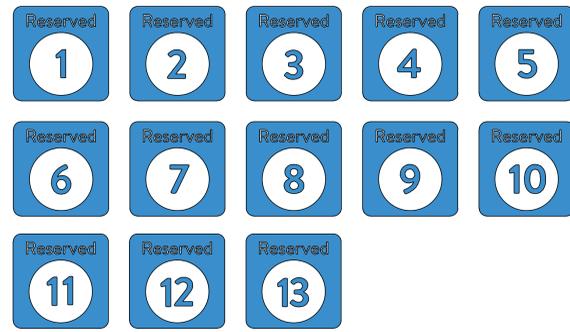


NEIGHBORHOOD MARKET #03317 -221
 8511 GOLF COURSE RD NW
 ALBUQUERQUE, BERNALILLO, NEW MEXICO
 WAL-MART STORES, INC.
 BENTONVILLE, AR



DRAWN	MM/C
CHECKED	BDA
DATE	01/10/22
SCALE	AS SHOWN ON SHEET
JOB NO.	CYN003317.20
SHEET	

C003



Stall Designation Signs
18" x 18" 2.25 SF



Logo Signs (Large)
Also Pickup Hours sign size
36" x 18"



Logo Signs (Small)
18" x 8" 1.00 SF



Call In Sign
18" x 8" 1.00 SF

SIGNS FURNISHED BY WALMART. ATTACHMENT TO WALL OR BOLLARD BY G.C.



Reserved
1
For pickup, please call: 555-555-5555

Parking Stall Placard

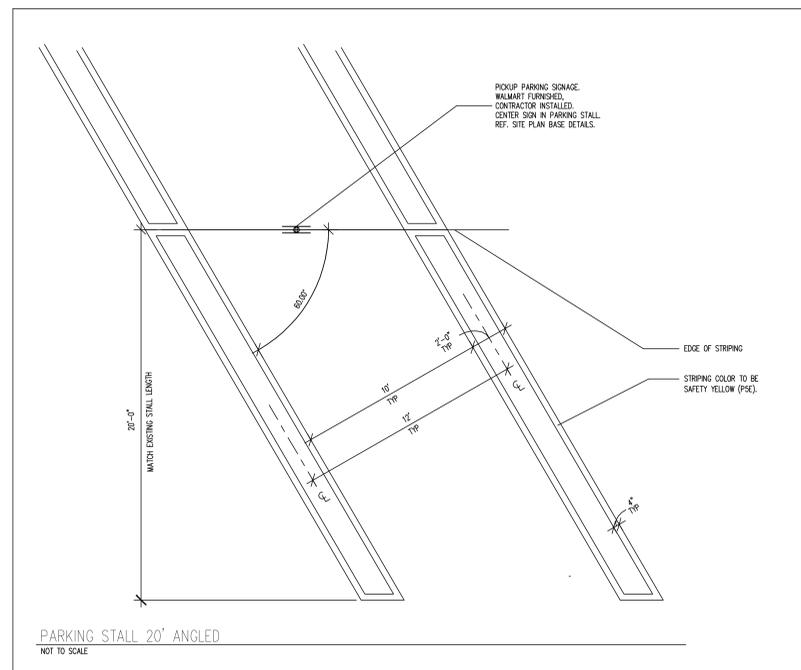
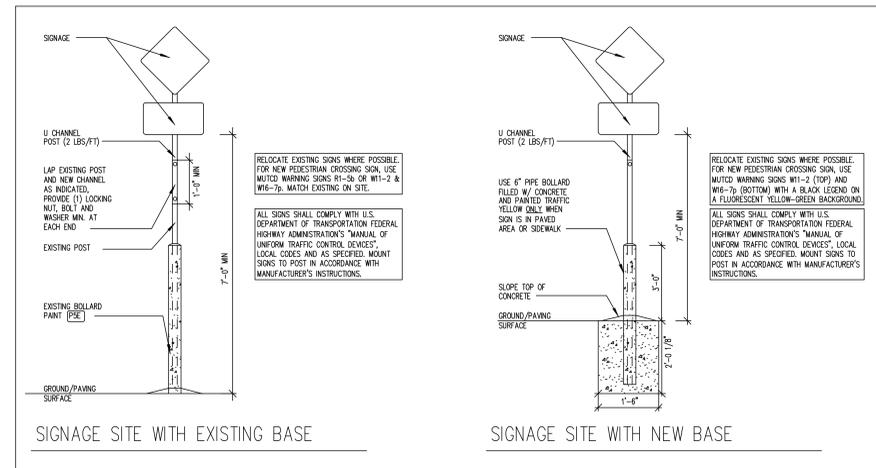
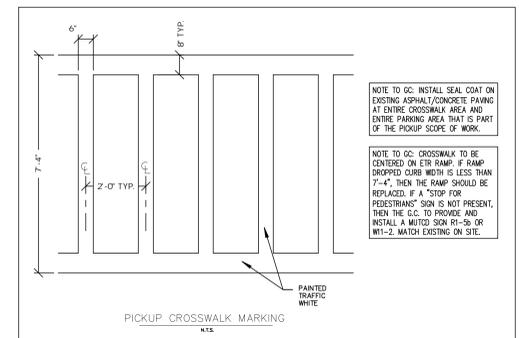
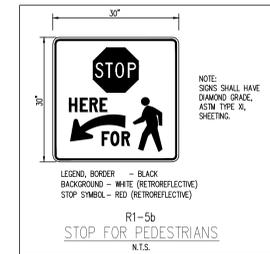
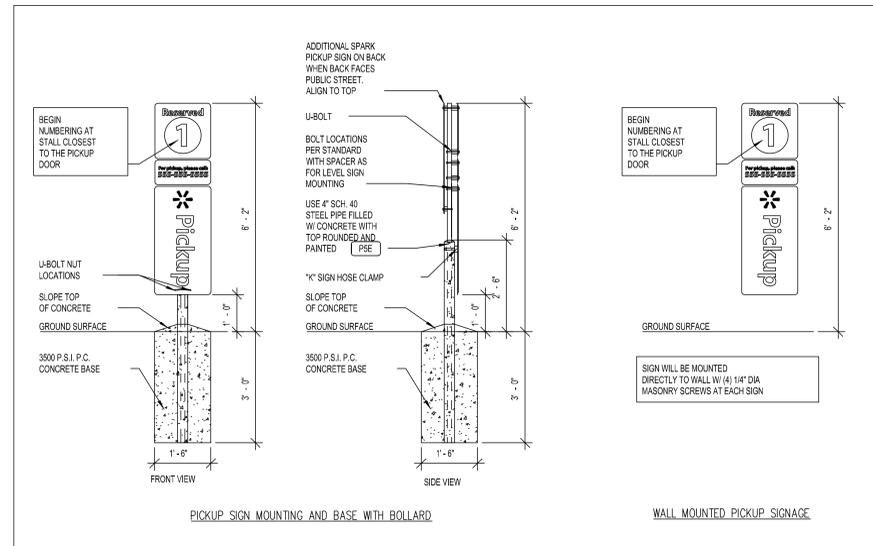
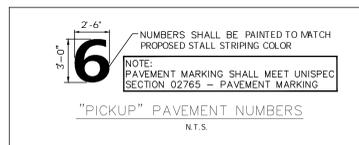


Directional Signs (Straight / Right)
18" x 24" 3.00 SF



"PICKUP" SIGNAGE

FINISH LEGEND	
P76	WALMART BLUE SW#076
P5E	SAFETY YELLOW



ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: BDA
DRAWN BY: MMC
PROTO CYCLE:
DOCUMENT DATE: 01/10/2022

FINISH KEY

P76U WALMART BLUE (URETHANE-LIKE)

SHEET NOTES

1. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED.
2. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
3. RESURFACE EXISTING EIFS WHERE NOTED.
4. NOT USED.
5. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT IDILOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM.
6. NOT USED.
7. NOT USED.
8. NOT USED.
9. NOT USED.
10. NOT USED.
11. NOT USED.
12. NOT USED.
13. NOT USED.
14. NOT USED.
15. DO NOT PAINT QUIK BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS
16. NOT USED.

DEMOLITION NOTES

1. NOT USED.
2. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.



STIPULATION FOR REUSE
 THIS DRAWING HAS BEEN PREPARED FOR AN EXISTING PROJECT AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND SHALL NOT BE EXTENDED TO ANY OTHER MATTER.

Walmart
 Neighborhood Market
 ALBUQUERQUE (GOLF), NM
 STORE NO: 3317-221
 USRM-000534 | PHOTO: 39 WMM

ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: RJ
 DRAWN BY: Author
 PROTO CYCLE: 09/24/2021
 DOC DATE: 01/10/2022

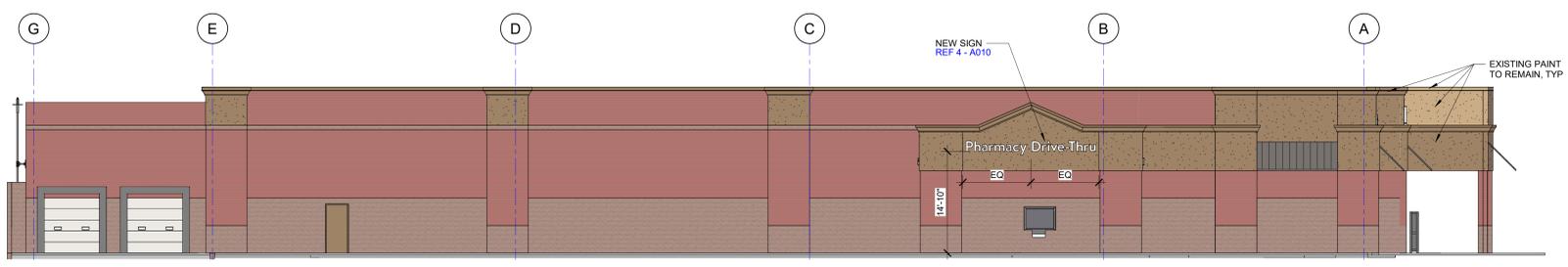
DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF ACR/EOR ARE NOT FOR CONSTRUCTION



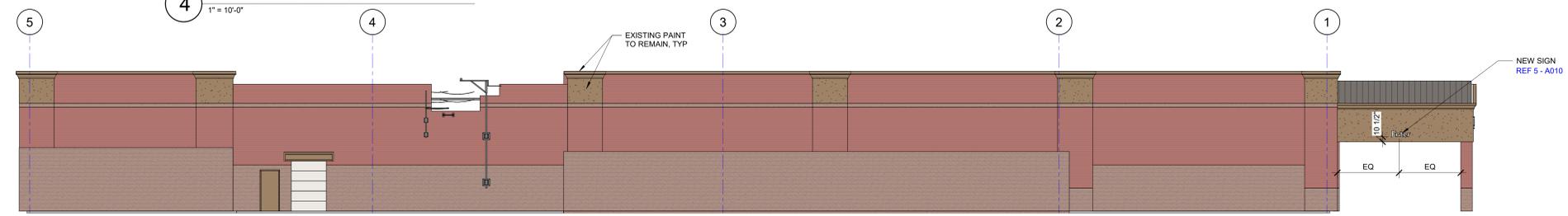
JAMES EDWARD TURNER
 ARCHITECT OF RECORD

EXT ELEVATIONS

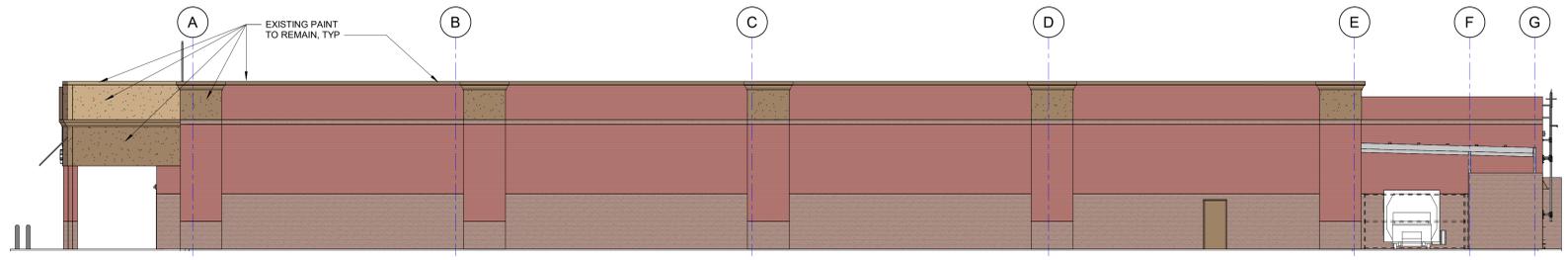
SHEET: **A009**



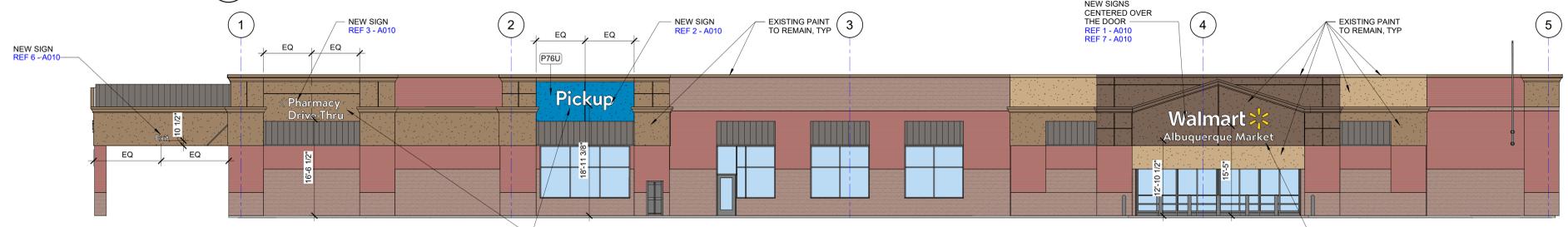
4 SIDE ELEVATION
 1" = 10'-0"



3 REAR ELEVATION
 1" = 10'-0"



2 SIDE ELEVATION
 1" = 10'-0"



1 FRONT ELEVATION
 1" = 10'-0"

1/10/2022 9:05:19 AM C:\Users\jturner\OneDrive\Documents\Walmart Albuquerque (GOLF)_01_10_22\10000000_00000000.dwg

IMAGE SOURCE: GOOGLE EARTH
 IMAGE DATE: 10/4/2020

**WALMART
 NEIGHBORHOOD
 MARKET
 #03317-221**

CONTRACTOR SHALL REFER TO
 PICKUP PLAN SET FOR
 ADDITIONAL IMPROVEMENT
 DETAILS AT PICKUP AREA

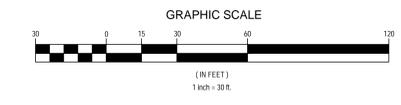
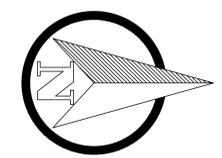
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SITE AND DEMOLITION LEGEND

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 - (P) NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN.
 - (Q) NEW 30"x30" STOP SIGN.
 - (R) NEW 36"x36" STOP SIGN.
 - (S) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (T) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
 - (U) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
 - (V) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPING PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - (W) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (X) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
 - (Y) NEW OPEN ARROW PAVEMENT MARKINGS.
 - (Z) NEW SOLID ARROW PAVEMENT MARKINGS.
 - (AA) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (AB) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (AC) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
 - (AD) NEW FIRE LANE STRIPING.
 - (AE) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
 - (AF) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
 - (AG) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
 - (AH) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
 - (AI) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
 - (AJ) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
 - (AK) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
 - (AL) EXISTING ISLAND STRIPING TO BE REMOVED.
 - (AM) NEW OSP CROSSWALK MARKINGS.
 - (AN) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.
 - (AO) EXISTING DO NOT ENTER SIGNAGE TO REMAIN.

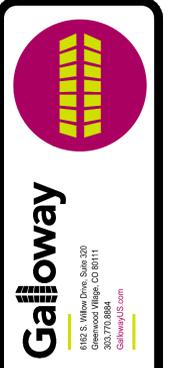
NOTES TO CONTRACTOR

1. BFR (BUILDING FRONTAGE ROAD)
 OCR (OUTER CIRCULATION ROAD)
2. CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
3. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.

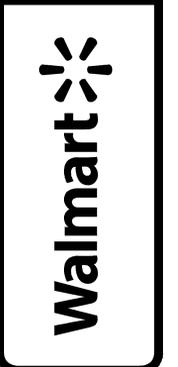


STOP SIGNS AND MARKINGS PLAN

REVISIONS	BY

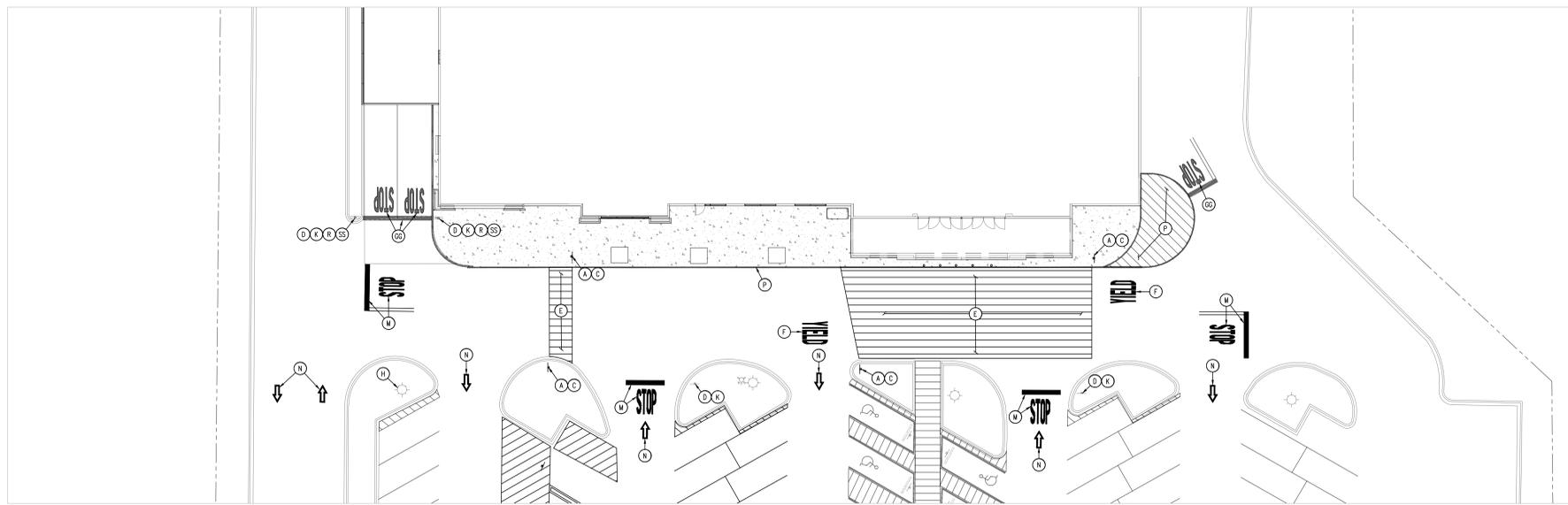


NEIGHBORHOOD MARKET #03317-221
 8511 GOLF COURSE RD NW
 ALBUQUERQUE, BERNALILLO, NEW MEXICO
 WAL-MART STORES, INC.
 BENTONVILLE, AR

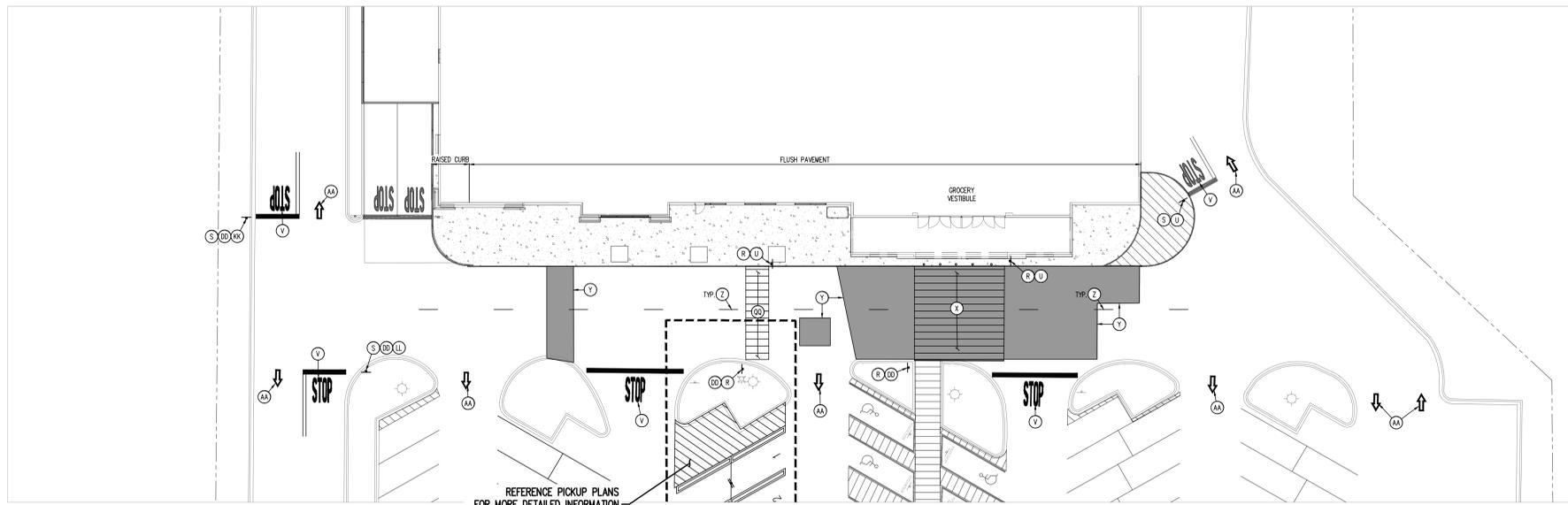


DRAWN	MM/C
CHECKED	BDA
DATE	01/10/22
SCALE	AS SHOWN ON SHEET
JOB No.	CYN003317.20
SHEET	

C001



DEMOLITION PLAN



SITE CONSTRUCTION PLAN

REFERENCE PICKUP PLANS FOR MORE DETAILED INFORMATION ASSOCIATED WITH PICKUP LAYOUT

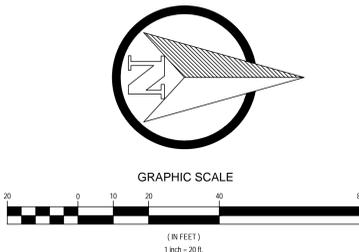
NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

- | | |
|--|---|
| <ul style="list-style-type: none"> (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED. (B) EXISTING STOP SIGN TO BE REMOVED. (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED. (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED. (E) EXISTING CROSSWALK STRIPING TO BE REMOVED. (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED. (G) EXISTING CENTERLINE STRIPING TO BE REMOVED. (H) EXISTING SITE LIGHT TO REMAIN. (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED. (K) EXISTING STOP SIGN TO REMAIN. (L) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS TO REMAIN. (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS TO BE REMOVED. (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED. (P) EXISTING FIRE LANE STRIPING TO REMAIN. (Q) EXISTING ARROW PAVEMENT MARKINGS TO REMAIN. (R) NEW "STOP HERE FOR PEDESTRIANS" (R1-SB) SIGN. (S) NEW 30"x30" STOP SIGN. (T) NEW 36"x36" STOP SIGN. (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD. (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS. (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C. (X) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WIDE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED. | <ul style="list-style-type: none"> (1) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. (2) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS. (3) NEW OPEN ARROW PAVEMENT MARKINGS. (3S) NEW SOLID ARROW PAVEMENT MARKINGS. (4) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE. (4S) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST. (5) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS. (6) NEW FIRE LANE STRIPING. (7) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/ORDINANCES. (8) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE. (9) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE. (10) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE. (11) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE. (12) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE. (13) EXISTING "TRUCK-UP" PAVEMENT MARKINGS TO BE REMOVED. (14) EXISTING ISLAND STRIPING TO BE REMOVED. (15) NEW OSP CROSSWALK MARKINGS. (16) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL. (17) EXISTING DO NOT ENTER SIGNAGE TO REMAIN. |
|--|---|



DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY

Galloway
 6002 S. Willow Drive, Suite 300
 Albuquerque, NM 87111
 505.770.8884
 GallowayUS.com

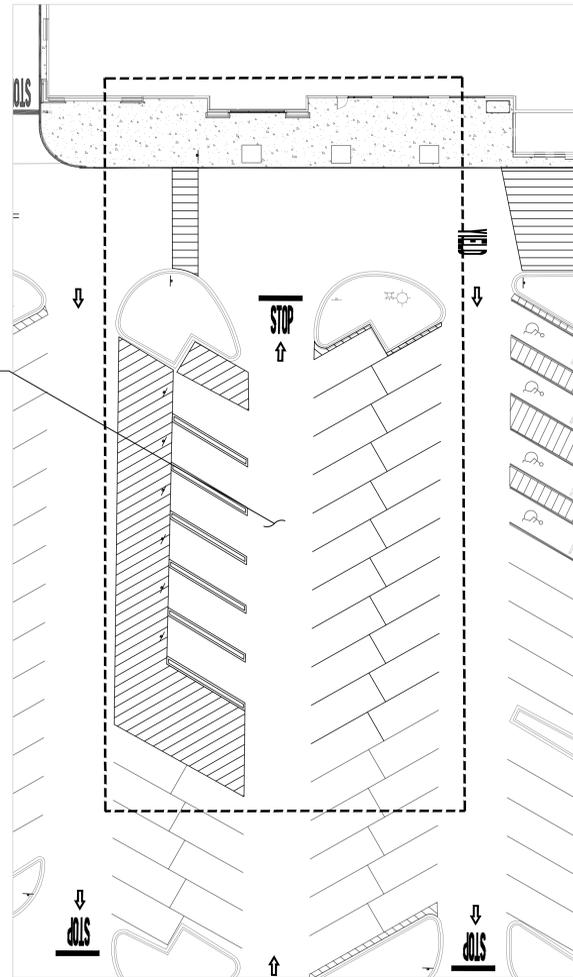
BRANDON ALSET
 NEW MEXICO
 25037
 PROFESSIONAL ENGINEER
 01/12/2022

NEIGHBORHOOD MARKET #03317-221
 8511 GOLF COURSE RD NW
 ALBUQUERQUE, BERNALILLO, NEW MEXICO
 WAL-MART STORES, INC.
 BENTONVILLE, AR

DRAWN	MM/C
CHECKED	BDA
DATE	01/10/22
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JOB NO.	CYN003317.20
SHEET	

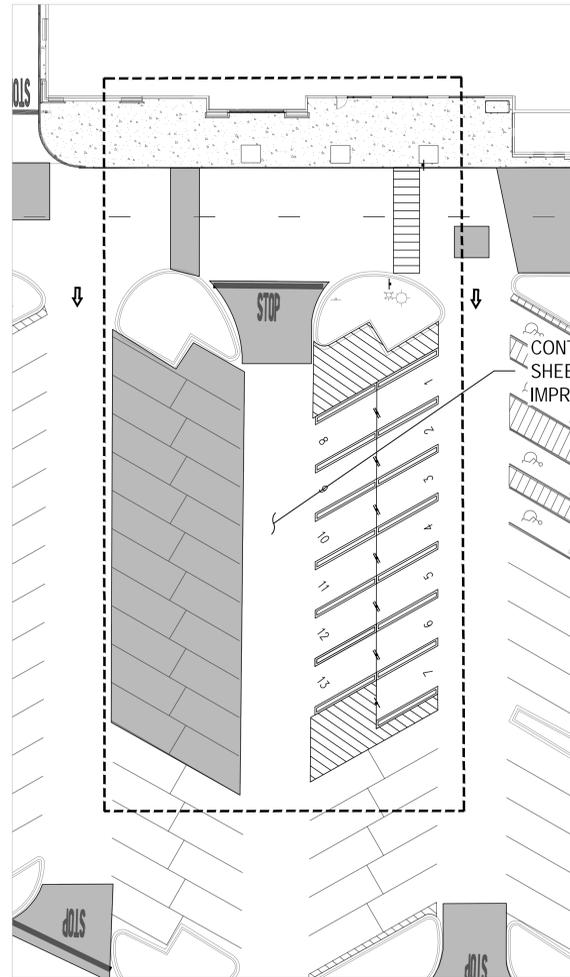
C002

CONTRACTOR SHALL REFER TO SHEET C008 FOR ADDITIONAL IMPROVEMENT DETAILS AT PICKUP



DEMOLITION PLAN

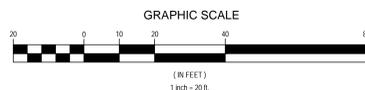
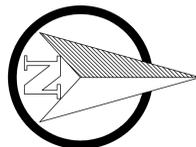
CONTRACTOR SHALL REFER SHEET C008 FOR ADDITIONAL IMPROVEMENT DETAILS AT PICKUP



SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY



Galloway
6002 S. Wilbur Drive, Suite 300
 Albuquerque, NM 87111
 505.770.8884
 GallowayUS.com



NEIGHBORHOOD MARKET #03317 -221
 8511 GOLF COURSE RD NW
 ALBUQUERQUE, BERNALILLO, NEW MEXICO
 WAL-MART STORES, INC.
 BENTONVILLE, AR



DRAWN	MM/C
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DATE	01/10/22
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SHEET	

C003

FINISH KEY	
P5E	SAFETY YELLOW
P76U	WALMART BLUE (URETHANE-LIKE)
P94E	LIGHT BROWN
P124E	MEDIUM BROWN
P214E	DARK BRONZE

- | SHEET NOTES | |
|-------------|--|
| 1. | PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED. |
| 2. | REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS. |
| 3. | RESURFACE EXISTING EIFS WHERE NOTED. |
| 4. | NOT USED. |
| 5. | PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT (ID) LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART.COM. |
| 6. | IF PAINTING ADJACENT WALLS PAINT HOLLOW METAL, STEEL DOORS, FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH ADJACENT BUILDING COLOR UNO. |
| 7. | PAINT ANY NEW ROOFTOP GAS PIPING (P5E) WHERE EXTERIOR WALL IS BEING PAINTED. GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES. |
| 8. | NOT USED. |
| 9. | NOT USED. |
| 10. | PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SURVEY. |
| 11. | NOT USED. |
| 12. | DO NOT PAINT LED WALL PACK HOUSINGS. |
| 13. | NOT USED. |
| 14. | NOT USED. |
| 15. | DO NOT PAINT QUIK-BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS. |
| 16. | NOT USED. |

- | DEMOLITION NOTES | |
|------------------|---|
| 1. | NOT USED. |
| 2. | REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS. |



STIPULATION FOR REUSE
 THE DRAWING HAS BEEN PREPARED FOR REUSE AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ORIGINAL AUTHOR. ANY REUSE OF THIS DRAWING FOR ANY PROJECT OTHER THAN THAT FOR WHICH IT WAS PREPARED IS UNAUTHORIZED AND MAY BE CONSIDERED TO BE A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT.

Walmart Neighborhood Market
 ALBUQUERQUE (GOLF), NM
 STORE NO. 3317-221
 USRNM-005534 | PHOTO: 39 WMM

ISSUE BLOCK			
2	CCD2	05/13/2022	

CHECKED BY: RJ
 DRAWN BY: ZR
 PROTO CYCLE: 09/24/2021
 DOC DATE: 01/10/2022

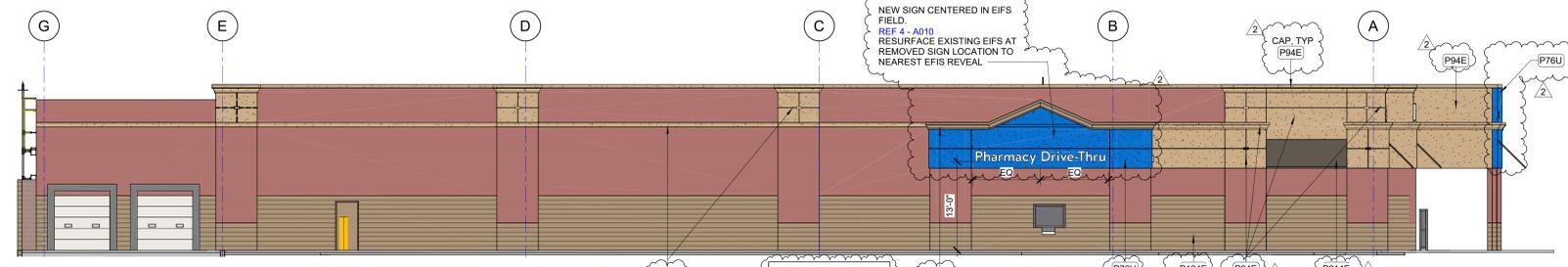
DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF ARCHITECT ARE NOT FOR CONSTRUCTION



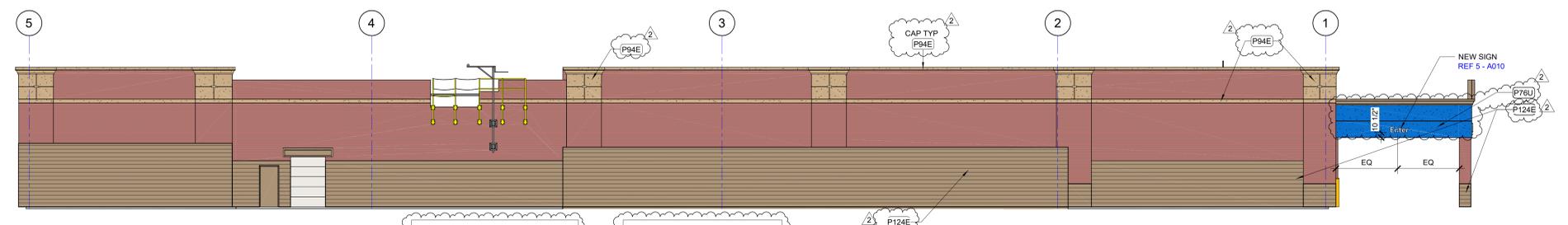
JAMES EDWARD TURNER
 ARCHITECT OF RECORD

EXT ELEVATIONS

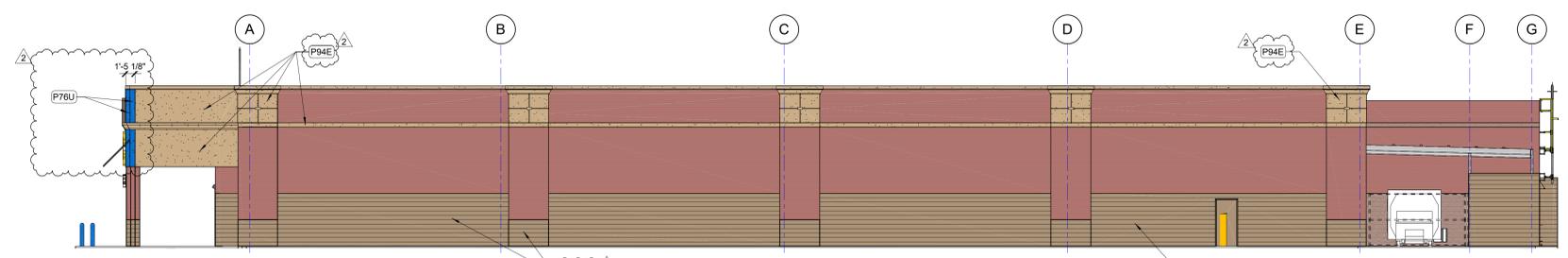
SHEET: A009



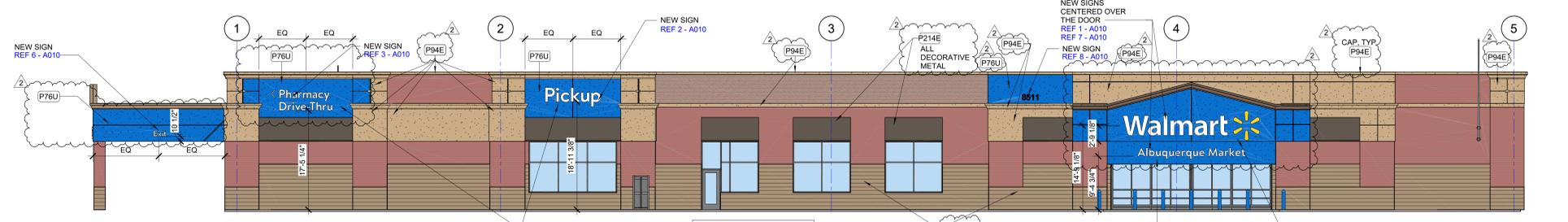
4 SIDE ELEVATION
 1" = 10'-0"



3 REAR ELEVATION
 1" = 10'-0"



2 SIDE ELEVATION
 1" = 10'-0"



1 FRONT ELEVATION
 1" = 10'-0"

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EXISTING SIGNAGE SCHEDULE						
FRONT SIGNAGE	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
Walmart	1	LED	WHITE	5'-7 3/8"	117.22 SF	117.22 SF
Neighborhood Market	1	LED	YELLOW	2'-6"	66.76 SF	66.76 SF
Pickup	1	LED	WHITE	2'-6"	66.76 SF	66.76 SF
*Spark	1	N/A	WHITE	3'-4"	24.00 SF	24.00 SF
*Pharmacy Drive Thru	1	N/A	WHITE	3'-4"	24.00 SF	24.00 SF
TOTAL FRONT SIGNAGE						207.98 SF
DRIVE-THRU PHARMACY						
Pharmacy Drive Thru	1	N/A	WHITE	2'-0"	44.00 SF	44.00 SF
Enter	1	N/A	WHITE	1'-0"	2.28 SF	2.28 SF
Exit	1	N/A	WHITE	1'-0"	1.63 SF	1.63 SF
TOTAL DRIVE THRU SIGNAGE						47.91 SF
TOTAL BUILDING SIGNAGE						255.89 SF

NEW SIGNAGE SCHEDULE						
FRONT SIGNAGE	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
Walmart *(spark)	1	LED	WHITE	3'-6"	123.73 SF	123.73 SF
Albuquerque Market	1	LED	YELLOW	1'-6"	37.45 SF	37.45 SF
Pickup	1	LED	WHITE	2'-6"	32.22 SF	32.22 SF
*Pharmacy Drive Thru	1	N/A	WHITE	3'-6"	39.42 SF	39.42 SF
Address Signage #8511	1	N/A	BLACK	1'-0"	0.00 SF	0.00 SF
TOTAL FRONT SIGNAGE						171.80 SF
DRIVE-THRU PHARMACY						
Pharmacy Drive Thru	1	N/A	WHITE	2'-0"	37.71 SF	37.71 SF
Enter	1	N/A	WHITE	1'-0"	3.20 SF	3.20 SF
Exit	1	N/A	WHITE	1'-0"	2.29 SF	2.29 SF
TOTAL DRIVE THRU SIGNAGE						43.20 SF
TOTAL BUILDING SIGNAGE						215.00 SF

- ### SIGNAGE GENERAL NOTES
- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
 - ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED, PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS. AND NEW SIGNAGE WILL BE INSTALLED PER PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED.
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 8 OF THE CONSTRUCTION SCHEDULE.
 - GENERAL CONTRACTOR RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGNS WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID LOGO SIGNS.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - NOT USED.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
 - REMOVE ALL LIT ID LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS.

CYNERGY
815 SOUTH CINCINNATI
TULSA, OK 74119
www.cynergy.com

STIPULATION FOR REUSE
THIS DRAWING HAS BEEN PREPARED FOR THE PROJECT AND SITE SPECIFIC CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF THE PROJECT BEFORE REUSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS AND REUSE OF THIS DRAWING FOR ANY OTHER PROJECT. UNAUTHORIZED REUSE OR REVISIONS ARE PROHIBITED.

Walmart
Neighborhood Market
ALBUQUERQUE (GOLF), NM
STORE NO. 3317-221
JOB NUMBER: USRM-005534 | PHOTO: 39 MM

ISSUE BLOCK			
NO.	DESCRIPTION	DATE	STATUS
2	CCD2	05/13/2022	

CHECKED BY: RJ
DRAWN BY: ZR
PROTO CYCLE: 09/24/2021
DOC DATE: 01/10/2022

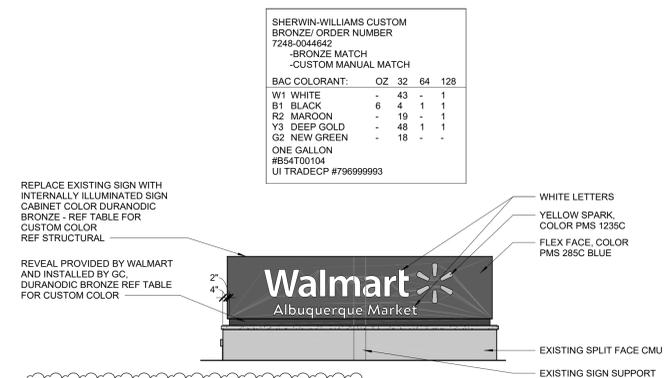
DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF ARCHITECT ARE NOT FOR CONSTRUCTION

STATE OF NEW MEXICO
JAMES EDWARD TURNER
REGISTERED ARCHITECT
5/23/2022

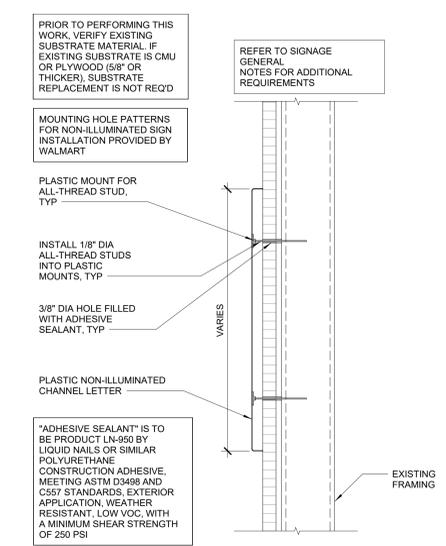
JAMES EDWARD TURNER
ARCHITECT OF RECORD

EXT DETAILS

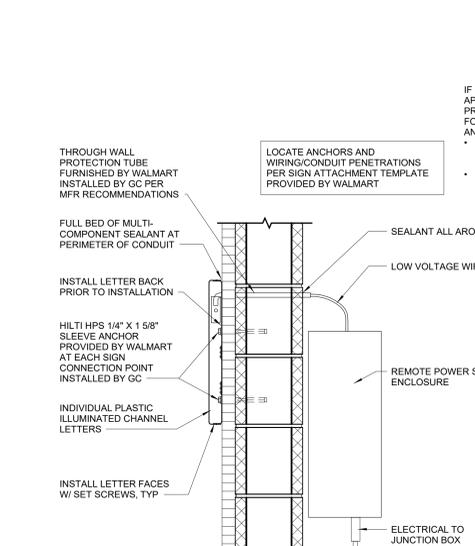
SHEET: A010



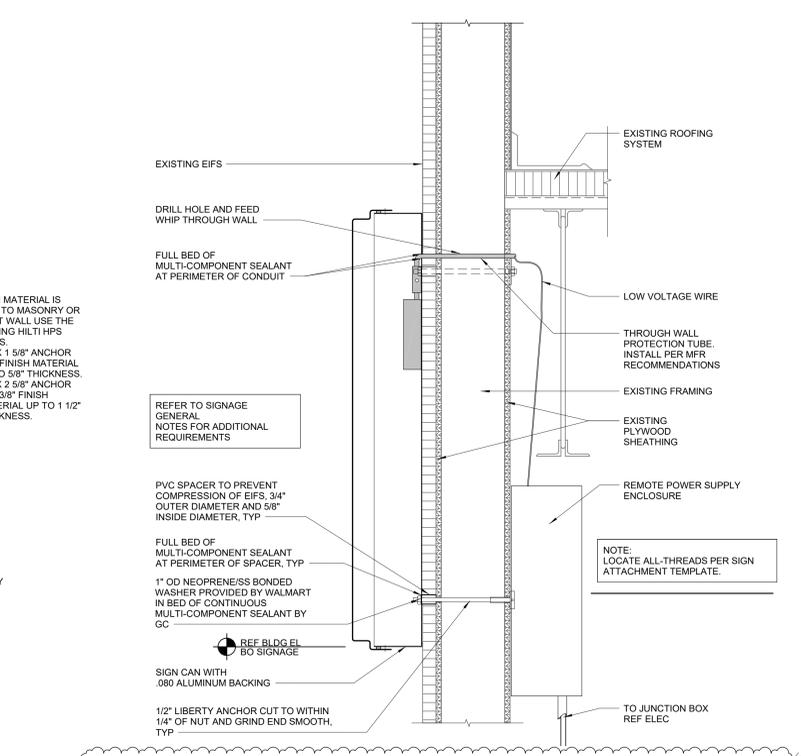
12 MONUMENT SIGN
3/16" = 1'-0"



11 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL
1 1/2" = 1'-0"



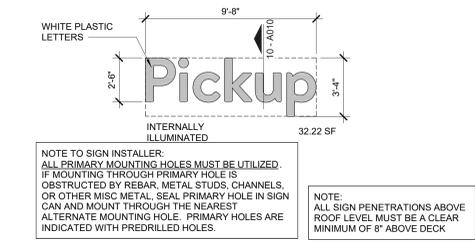
10 SIGNAGE ATTACHMENT
1 1/2" = 1'-0"



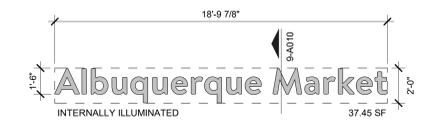
9 SIGN ATTACHMENT AT EIFS BELOW ROOF LINE
1 1/2" = 1'-0"



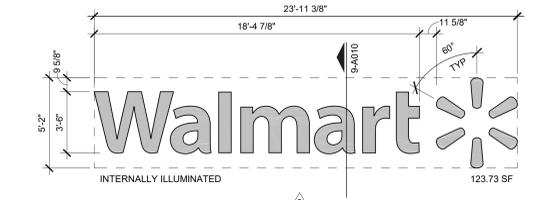
8 SIGNAGE
1/4" = 1'-0"



3 1' 6" STACKED PHARMACY
1/4" = 1'-0"



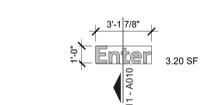
7 1' - 6" ALBUQUERQUE MARKET
1/4" = 1'-0"



1 3'-6" WALMART SIGN
1/4" = 1'-0"



6 1'-0" EXIT
1/4" = 1'-0"



5 1'-0" ENTER
1/4" = 1'-0"



4 1'-6" PHARMACY DRIVE-THRU
1/4" = 1'-0"

5/23/2022 10:58 AM
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