

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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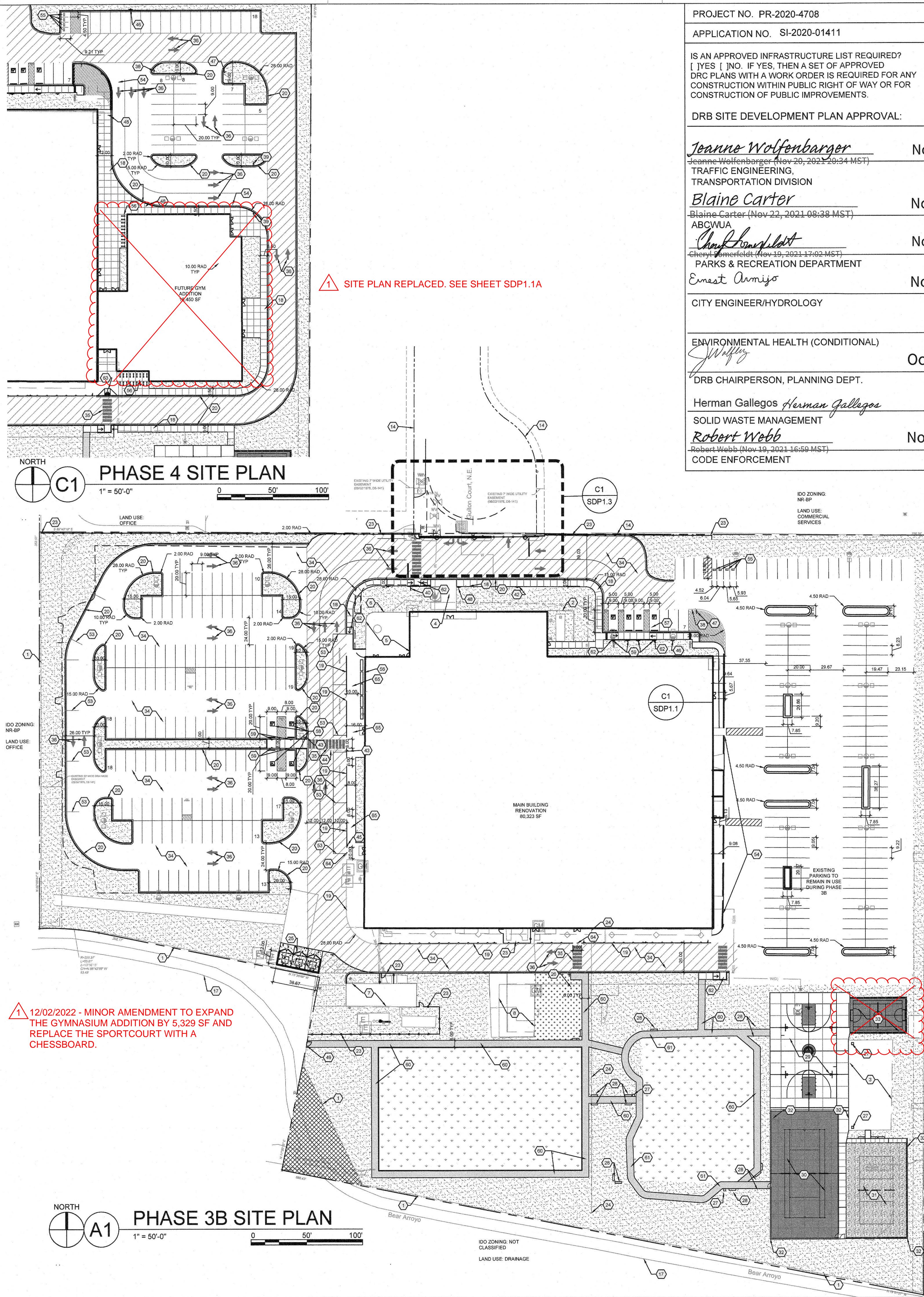
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APPROVED BY

\_\_\_\_\_  
DATE



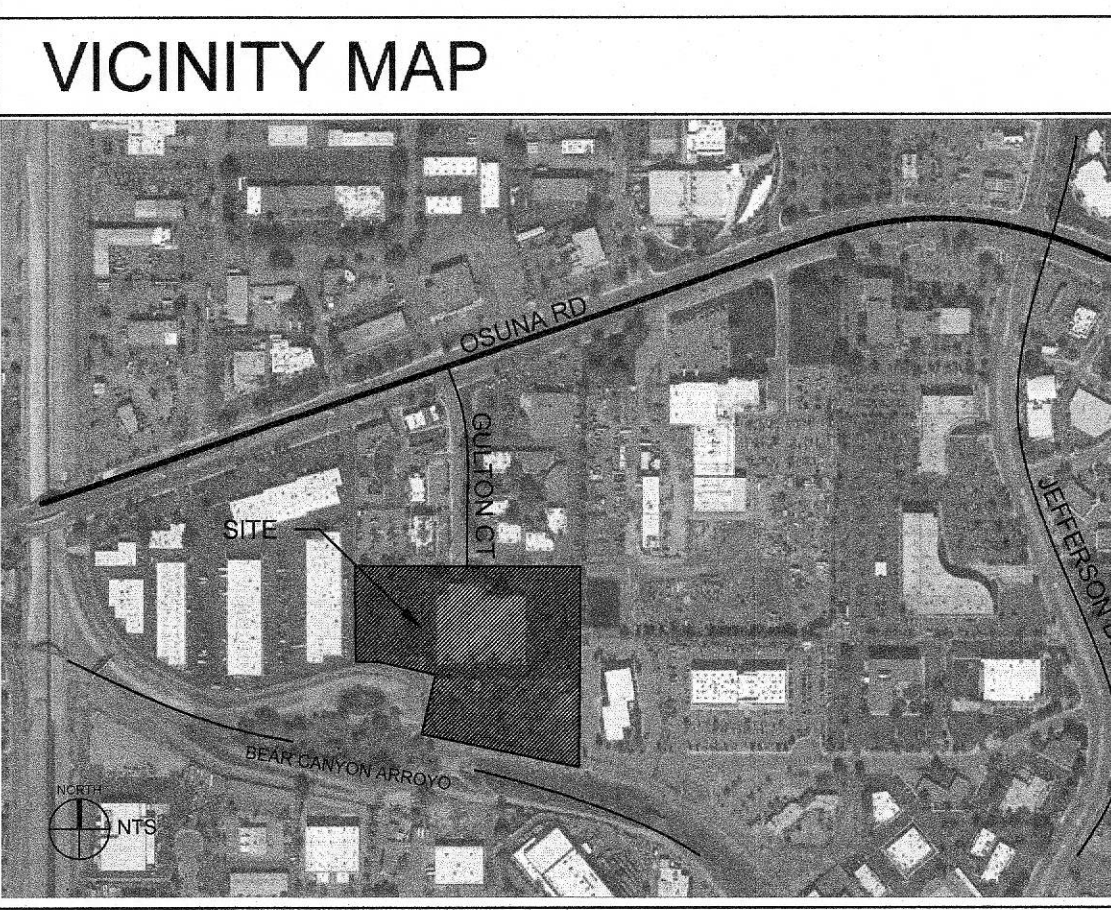


PROJECT NO. PR-2020-4708	
APPLICATION NO. SI-2020-01411	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<u>Jeannette Wolfenbarger</u> Jeannette Wolfenbarger (Nov 20, 2021 10:34 MST) TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Nov 20, 2021
<u>Blaine Carter</u> Blaine Carter (Nov 22, 2021 08:38 MST) ABCWUA	Nov 22, 2021
<u>Cheryl Hensley</u> Cheryl Hensley (Nov 19, 2021 17:02 MST) PARKS & RECREATION DEPARTMENT	Nov 19, 2021
<u>Ernest Armijo</u> Ernest Armijo (Nov 22, 2021 16:59 MST) CITY ENGINEER/HYDROLOGY	Nov 22, 2021
ENVIRONMENTAL HEALTH (CONDITIONAL)	
<u>Wally</u> Wally (Oct 31, 2022 10:34 MST) DRB CHAIRPERSON, PLANNING DEPT.	Oct 31, 2022
<u>Herman Gallegos</u> Herman Gallegos (02-17-21) SOLID WASTE MANAGEMENT	02-17-21
<u>Robert Webb</u> Robert Webb (Nov 19, 2021 16:59 MST) CODE ENFORCEMENT	Nov 19, 2021

SHEET KEYED NOTES	
CODE	DESCRIPTION
1	EXISTING CHAIN LINK FENCE TO REMAIN
2	EXISTING 7" CMU BLOCK SCREEN WALL TO REMAIN
3	EXISTING SHADE STRUCTURE TO REMAIN
4	EXISTING CONCRETE SIDEWALK TO REMAIN
5	EXISTING PATIO TO REMAIN
6	EXISTING 6" BLOCK WALL TO REMAIN
7	EXISTING MECHANICAL BUILDING TO REMAIN
8	EXISTING STORAGE BUILDING TO REMAIN
9	EXISTING OFFSITE SIDEWALK
10	EXISTING DRIVE PAD FOR ADJACENT PROPERTY
11	EXISTING FIRE HYDRANT TO REMAIN
12	EXISTING CONCRETE VALLEY GUTTER TO REMAIN
13	EXISTING STAMPED CONCRETE
14	PROPERTY BOUNDARY
15	EXISTING UTILITY VAULT TO BE RESET FLUSH WITH DRIVE
16	NEW ASPHALT PAVING
17	BEAR ARROYO MULTI-USE TRAIL
18	CONCRETE SIDEWALK, SEE A1/SDP1.2
19	WALKWAY SEPARATION FENCE, SEE D1/SDP1.2
20	6" HEIGHT CONCRETE CURB AND GUTTER, SEE A2/SDP1.2
21	CONCRETE MOUNTABLE CURB, SEE A5/SDP1.2
22	CONCRETE HEADER CURB, SEE C2/SDP1.2
23	8" FENCE, AMERISTAR WIREWORKS ANTI-CLIMB AS BASIS OF DESIGN
24	REMOVE FENCE
25	REFUSE ENCLOSURE, SEE B1/SDP1.2
26	GREENHOUSE, TBD
27	LITTER RECEPTACLE
28	6" BENCH
29	84' X 50' BASKETBALL COURT
30	84' X 50' BASKETBALL COURT WITH REMOVABLE NET FOR TENNIS, ANTI-CLIMB PERIMETER FENCE AND GATE
31	SAND VOLLEY BALL COURT
32	BALL NETTING
33	30' X 50' SPORT COURT, 30' X 50' CONCRETE COURT WITH 27' X 27' CHESS BOARD. SEE SHEET SDP1.1A
34	ASPHALT TO BE REPAIRED, RESURFACED AND RESTRIPTED
35	PAINTED CROSSWALK
36	DIRECTIONAL PAVEMENT ARROW
37	TRAFFIC STRIPING, 4" WIDE REFLECTIVE PAINT
38	ONE-WAY TRAFFIC SIGN, SEE C1/SDP1.2
39	DO NOT ENTER SIGN, SEE C1/SDP1.2
40	STOP SIGN, SEE C1/SDP1.2
41	PAINTED STOP LINE
42	WAYFINDING SIGNAGE
43	PEDESTRIAN CROSSING SIGN, SEE C1/SDP1.2
44	PAINTED LETTERING "DO NOT BLOCK CROSSWALK"
45	BUS LOADING ZONE SIGN, SEE C1/SDP1.2
46	VISITOR PARKING SIGN, SEE C1/SDP1.2
47	STAFF PARKING SIGN, SEE C1/SDP1.2
48	STUDENT DROP-OFF AND PICK-UP SIGN, SEE C1/SDP1.2
49	KEYED ACCESS TO BEAR CANYON TRAIL
50	OUTDOOR DINING TABLES AND CHAIRS PER OWNER
51	AUTOMATIC SLIDING GATE
52	REMOVE ASPHALT
53	BUS DROP OFF STRIPING FOR QUEUING
54	PARENT DROP OFF LOADING ZONE
55	MOTORCYCLE PARKING
56	BICYCLE PARKING, SEE C3/SDP1.2 FOR BASIS OF DESIGN
57	ACCESSIBLE PARKING, SEE B2/SDP1.2
58	VAN ACCESSIBLE PARKING, SEE B2/SDP1.2
59	ACCESSIBLE PARKING SIGNAGE, SEE C1/SDP1.2
60	6" WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH
61	EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES
62	CONCRETE CURB RAMP, SEE A3/SDP1.2
63	ACCESSIBLE RAMP, SEE A4/SDP1.2
64	4" PIPE BOLLARD, SEE D2/SDP1.2
65	EXISTING ASPHALT TO REMAIN, PEDESTRIAN ONLY ZONE
66	DIRECTIONAL PAVEMENT MESSAGE

GENERAL SHEET NOTES	
A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS. C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED. D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES. E. STANDARD PARKING SPACES 9'-0" X 20'-0". F. ACCESSIBLE PARKING SPACES 9'-0" X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6. G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 28' TO 32' WIDE. H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT. I. 28' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS. J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS. K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D. L. NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE. M. VEHICULAR GATES AT GULTON CT WILL BE OPEN DURING BUSINESS HOURS. N. THE SITE IS DESIGN TO ACCOMMODATE QUEUING AND DROP-OFF FOR 8 SCHOOL BUSES.	
PROJECT DESCRIPTION	
THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING TO THE EXISTING TO THE EXISTING TO THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.	
PROJECT DATA	
SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109 LEGAL DESCRIPTION: 13-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II ZONE ATLAS NUMBER: E17 SITE AREA: 10 ACRES EXISTING ZONING: NR-8P BUILDING AREA RENOVATION: 80,142 SF FUTURE GYM EXPANSION: 16,450 SF TOTAL: 96,592 SF CONSTRUCTION TYPE: IIB BUILDING HEIGHT RENOVATION: 20'-5" FUTURE GYM EXPANSION: 32'-0" SPRINKLED: YES FIRE FLOW: 3,000 GPM FLOW DURATION: 4HR HYDRANTS REQUIRED: 3 PARKING CALCULATION PHASE 3 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 150 (2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 30 HIGH SCHOOL CLASSROOMS = 90) = 150 PHASE 4 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 157 (2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 31 HIGH SCHOOL CLASSROOMS = 93) = 153 PHASE 4 TOTAL REQUIRED PARKING SPACES = 153 PHASE 4 REQUIRED NUMBER OF PARKING SPACES BASED ON AUDITORIUM SEATS: 188 1 PARKING SPACE PER 4 SEATS 750 PROPOSED AUDITORIUM SEATS = 188 *GREATER NUMBER OF THE TWO CALCULATION METHODS WILL BE USED TOTAL PARKING SPACES PROVIDED PHASE 3B: 290 PHASE 4: 198 MOTORCYCLE PARKING REQUIRED: 4 MOTORCYCLE PARKING PROVIDED: 4 BICYCLE PARKING REQUIRED: 89 BICYCLE PARKING PROVIDED: 100	

LEGEND	
	PROPERTY LINE
	HEAVY DUTY ASPHALT FOR FIRE ACCESS
	LANDSCAPE AREA, SEE PLANTING PLAN
	PERMANENT AMAFCA AND CITY OF ALBUQUERQUE PUBLIC TRAIL EASEMENT. NO WORK WILL OCCUR IN THIS EASEMENT AND WILL NOT BE ENCROACHED UPON DURING OR AFTER CONSTRUCTION
	SITE LIGHTING, SEE SITE LIGHTING PLAN



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ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER

EXPLORE ACADEMY  
GULTON TENANT IMPROVEMENTS  
PHASES 3B AND 4  
6600 GULTON COURT NE  
ALBUQUERQUE, NM 87109

REVISIONS  
8/19/2021 AA-001  
12/02/2022 AA-002  
01/10/2023 AA-002  
01/25/2023 AA-002

DRAWN BY DS  
REVIEWED BY MB  
DATE 2/5/21  
PROJECT NO. 19-0099.003  
DRAWING NAME  
SITE PLAN

SHEET NO.  
SDP1.1  
OF



STAMP



PROJECT NAME  
**EXPLORE ACADEMY  
GYMNASIUM ADDITION**

6600 GULTON COURT NE  
ALBUQUERQUE, NEW MEXICO 87109

EXPLORE ACADEMY

REVISIONS

1	8/19/2021	AA-001
2	12/02/2022	AA-002
3	01/10/2023	AA-002
4	01/25/2023	AA-002

REVISIONS

NO.	DATE	DESCRIPTION

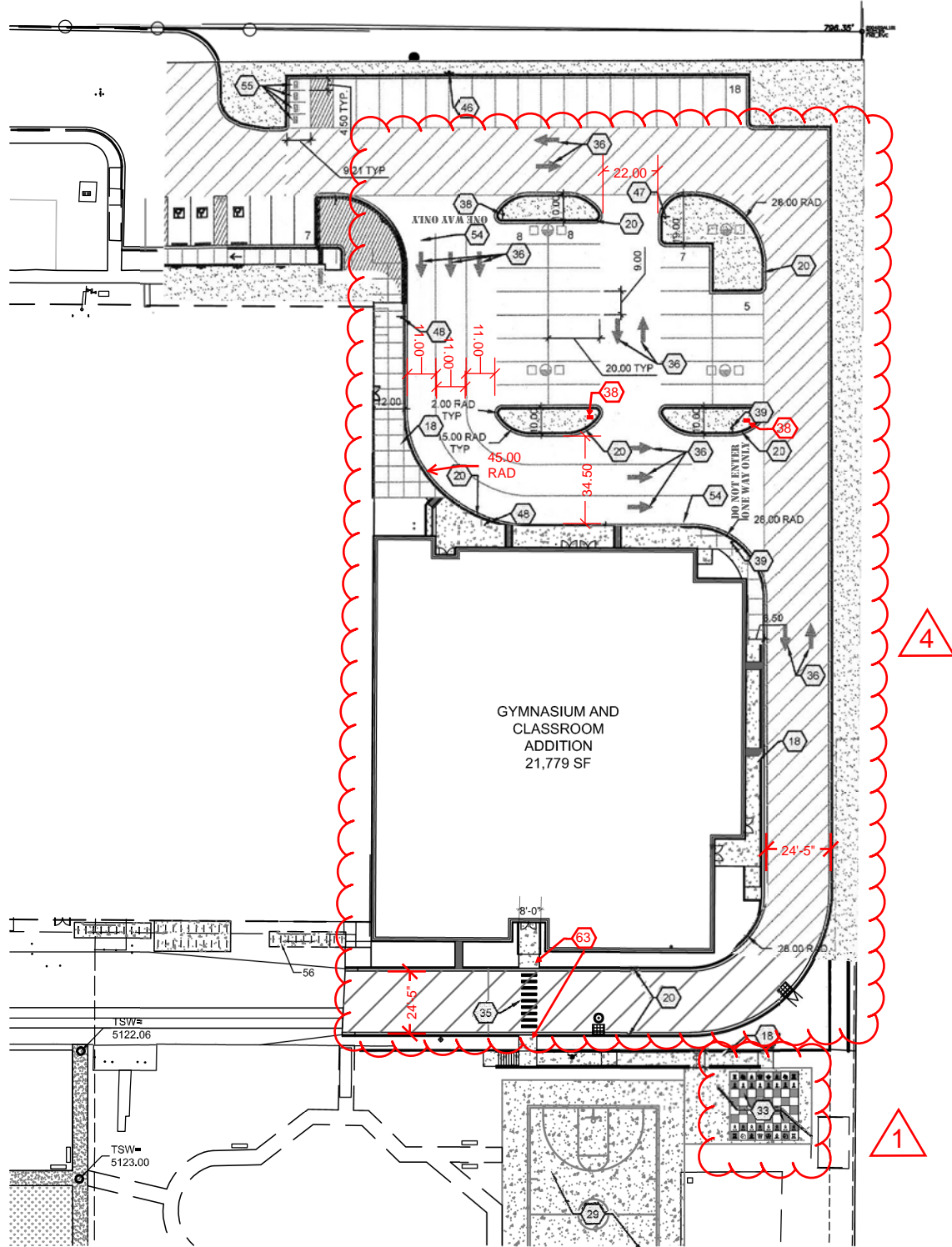
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Drawn by	GM / WESC
Checked by	GM/WESC
Date	DECEMBER 02, 2022
Project number	3055

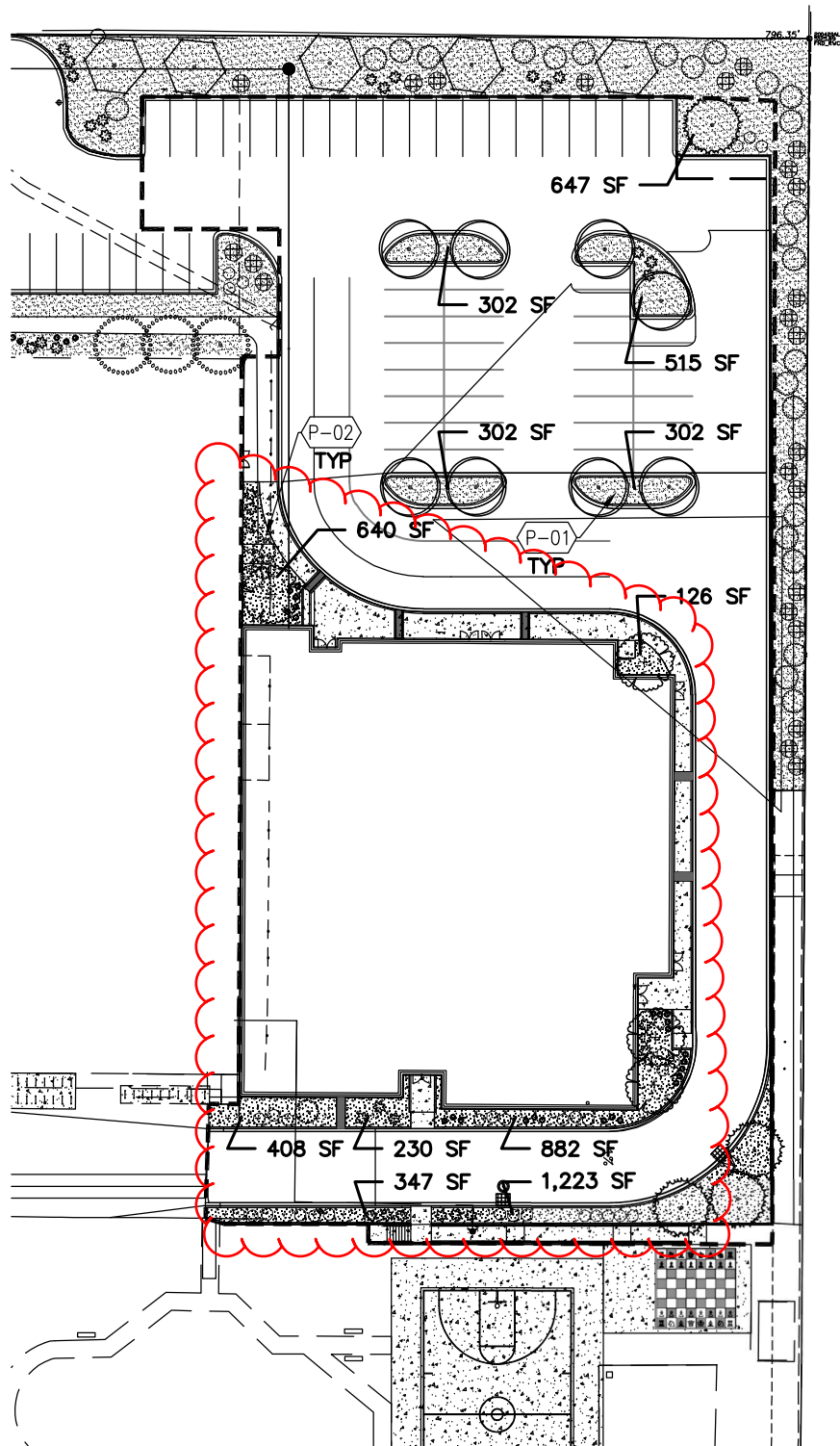
SHEET TITLE

**SITE PLAN**  
SHEET NUMBER

**SDP1.1A**



A1 PHASE 4 SITE PLAN  
1" = 50'-0"



A1 PHASE 4 PLANTING PLAN  
1" = 50'-0"

PLANT SCHEDULE

- LARGE DECIDUOUS TREE**  
EMERALD SUNSHINE ELM  
FRONTIER ELM  
SHADE MASTER HONEY LOCUST  
SHUMARD OAK  
CHINESE PISTACHE  
JAPANESE PAGODA TREE
- LARGE EVERGREEN TREE**  
AUSTRIAN PINE  
AFGHAN PINE  
ARIZONA CYPRESS
- SMALL EVERGREEN TREE**  
ESCARPMENT LIVE OAK  
ROCKY MOUNTAIN JUNIPER
- SMALL DECIDUOUS TREE**  
DESERT WILLOW  
NEW MEXICO OLIVE  
VITEX
- EXISTING TREE**
- LARGE DECIDUOUS SHRUB**  
CHAMISA  
APACHE PLUME  
FERNBUSH  
GAMBEL OAK  
WINDBREAKER SAGATON
- MEDIUM DECIDUOUS SHRUB**  
LINDBERGER MUHLY GRASS  
BLUE MIST SPIREA  
PAWNEE BUTTES WESTERN SAND CHERRY  
BUTTERFLY BUSH
- SMALL DECIDUOUS SHRUB**  
AUTUMN SAGE  
BLONDE AMBITION BLUE GRAMA  
EL TORO MUHLY GRASS

CITY LANDSCAPE ORDINANCE COMPLIANCE

LANDSCAPE CALCULATIONS REFLECT COMPLETION OF PHASE 4

APPROVED LANDSCAPE AREA = 105,023 SF = 31%  
REVISED LANDSCAPE AREA = 104,979 SF = 31%

REQUIRED VEGETATIVE COVERAGE  
REQUIRED VEGETATIVE COVERAGE = 78,767 SF = 75% OF PROVIDED LANDSCAPE AREA  
"A MINIMUM 25% REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS"  
REVISED TOTAL VEGETATIVE COVERAGE = 79,100 SF = 75.5% OF REVISED LANDSCAPE AREA  
REVISED TREE CANOPY COVERAGE = 59,140 SF  
REVISED GROUND PLANT COVERAGE = 19,959 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

GROUND COVER MATERIAL  
TOTAL ROCK MULCH GROUND COVER = 33,897 SF = 52%  
TOTAL ORGANIC MULCH GROUND COVER = 30,690 SF = 48%

PLANTING KEYED NOTES

CODE	DESCRIPTION
P-01	3/4" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC.
P-02	SHREDDED SCREENED BARK/WOOD MULCH 3" DEPTH OVER FILTER FABRIC.





PLANT SCHEDULE

TREES	COMMON NAME	SHRUBS	COMMON NAME	SHRUBS	COMMON NAME
	EXISTING TREE TO REMAIN		LARGE DECIDUOUS SHRUB		LOW GROUND COVER
	LARGE DECIDUOUS TREE		CHAMISA		GRO-LOW SUMAC
	EMERALD SUNSHINE ELM		APACHE PLUME		ARCADIA JUNIPER
	FRONTIER ELM		FERNBUSH		PRAIRIE SAGE
	SHADE MASTER HONEY LOCUST		GAMBEL OAK		LARGE VINE
	SHUMARD OAK		WINDBREAKER SACATON		TRUMPET VINE
	CHINESE PISTACHE				SILVER LACE VINE
	JAPANESE PAGODA TREE				CROSS VINE
	LARGE EVERGREEN TREE		MEDIUM DECIDUOUS SHRUB		
	AUSTRIAN PINE		LINDHEIMER MUHLY GRASS		
	AFGHAN PINE		BLUE MIST SPIREA		
	ARIZONA CYPRESS		PAWNEE BUTTES WESTERN SAND CHERRY		
	SMALL EVERGREEN TREE		BUTTERFLY BUSH		
	ESCAPMENT LIVE OAK		SMALL DECIDUOUS SHRUB		
	ROCKY MOUNTAIN JUNIPER		AUTUMN SAGE		
			BLONDE AMBITION BLUE GRAMA		
			EL TORO MUHLY GRASS		
			MEDIUM EVERGREEN SHRUB		
			THOMPSON BROOM		
			TURPENTINE BUSH		
			BEARGRASS		
			RED YUCCA		

LANDSCAPE CALCULATIONS

LANDSCAPE CALCULATIONS REFLECT COMPLETION OF PHASE 4

TOTAL SITE AREA = 9.98 AC = 435,117 SF  
AREA OF LOT COVERED BY BUILDINGS = 96,592 SF (INCLUDING GYM)  
NET LOT AREA = 338,525 SF

**REQUIRED LANDSCAPE**  
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 50,779 SF  
PROVIDED LANDSCAPE AREA = 105,023 SF = 31% 104,604 SF = 30.9%

**REQUIRED TREES**  
TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES  
TOTAL NUMBER OF PARKING = 199 SPACES  
REQUIRED NUMBER OF PARKING LOT TREES = 20 TREES  
PROVIDED NUMBER OF PARKING LOT TREES = 26 TREES  
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

**REQUIRED STREET TREES** = NA  
PROVIDED STREET TREES = NA

**REQUIRED VEGETATIVE COVERAGE**  
REQUIRED VEGETATIVE COVERAGE = 78,787 SF = 75% OF PROVIDED LANDSCAPE AREA  
A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS  
PROVIDED TOTAL VEGETATIVE COVERAGE = 79,100 SF = 75% OF TOTAL PROVIDED LANDSCAPE AREA  
TREE CANOPY COVERAGE = 59,140 SF  
GROUND PLANT COVERAGE = 19,959 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

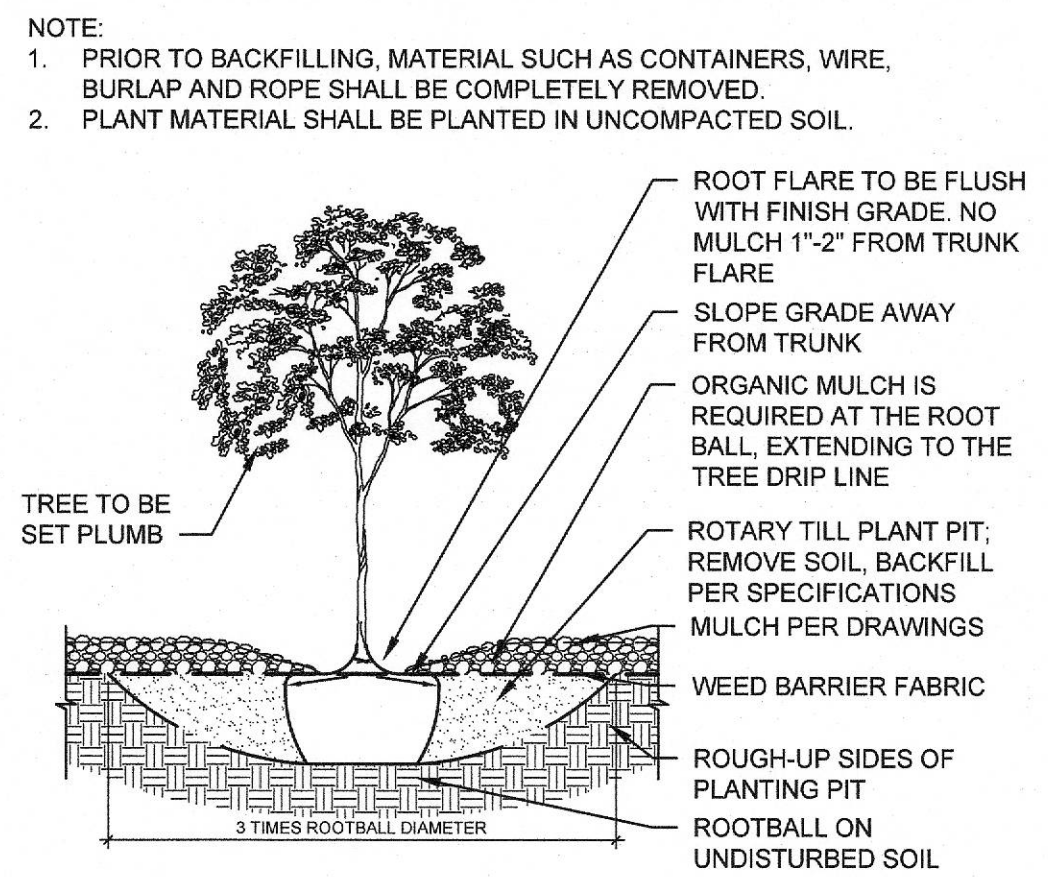
PARKING LOT AREA = 154,500 SF  
PARKING LOT LANDSCAPING PROVIDED = 27,100 SF = 17%  
MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL  
TOTAL ROCK MULCH GROUND COVER = 34,231 SF = 53%  
TOTAL ORGANIC MULCH GROUND COVER = 29,925 SF = 47%  
A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIFLINE.
- E. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 8" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- F. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- G. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- H. IRRIGATED NATIVE SEEDING IS USED TO STABILIZE PERIMETER AREAS OF THE SITE WITH NATIVE GRASSES AND SHRUBS AND NATIVE DENSITIES. REGULAR AUTOMATED IRRIGATION WILL BE TURNED OFF AFTER TWO GROWING SEASONS. SEEDING WILL NOT ENCRoACH UPON THE BEAR ARROYO TRAIL TO THE SOUTH DURING OR AFTER CONSTRUCTION.

TREE PLANTING DETAIL



SHEET KEYED NOTES

CODE	DESCRIPTION
1	RETENTION POND
2	PLANTING TO SCREEN PARKING LOT FROM ARROYO
3	EXISTING MULTIPURPOSE FIELD TO REMAIN
4	MULTIPURPOSE FIELD

LEGEND

SYMBOL	NOTES
	4"Ø ANGULAR GRAVEL AT 8" DEPTH OVER WEED BARRIER FABRIC
	3/4"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC
	SHREDDED SCREENED BARK/WOOD MULCH 3" DEPTH OVER FILTER FABRIC
	EXISTING TURF AREA TO REMAIN
	IRRIGATED NATIVE SEED MIX BASIS OF DESIGN: GRAVELLY UPLANDS AND SLOPES SEED MIX LISTED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
	SCHOOL GARDEN
	PROPERTY LINE

VICINITY MAP



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ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

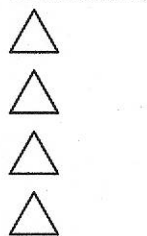


ENGINEER

PROJECT

EXPLORE ACADEMY  
GULTON TENANT IMPROVEMENTS  
PHASES 3B AND 4  
6600 GULTON COURT NE  
ALBUQUERQUE, NM 87109

REVISIONS

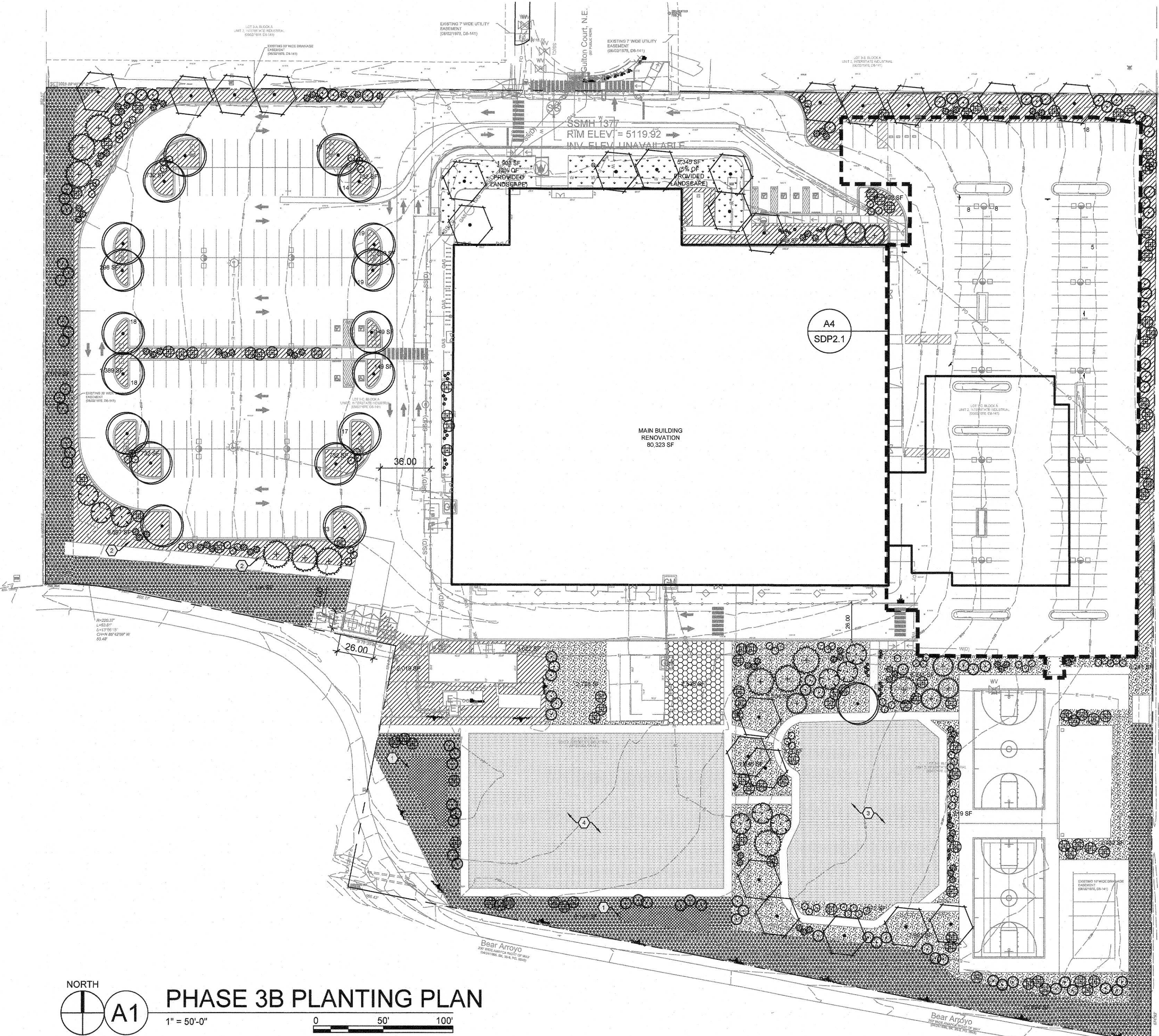


DRAWN BY DS  
REVIEWED BY MB  
DATE 2/5/21  
PROJECT NO. 19-0099.003  
DRAWING NAME

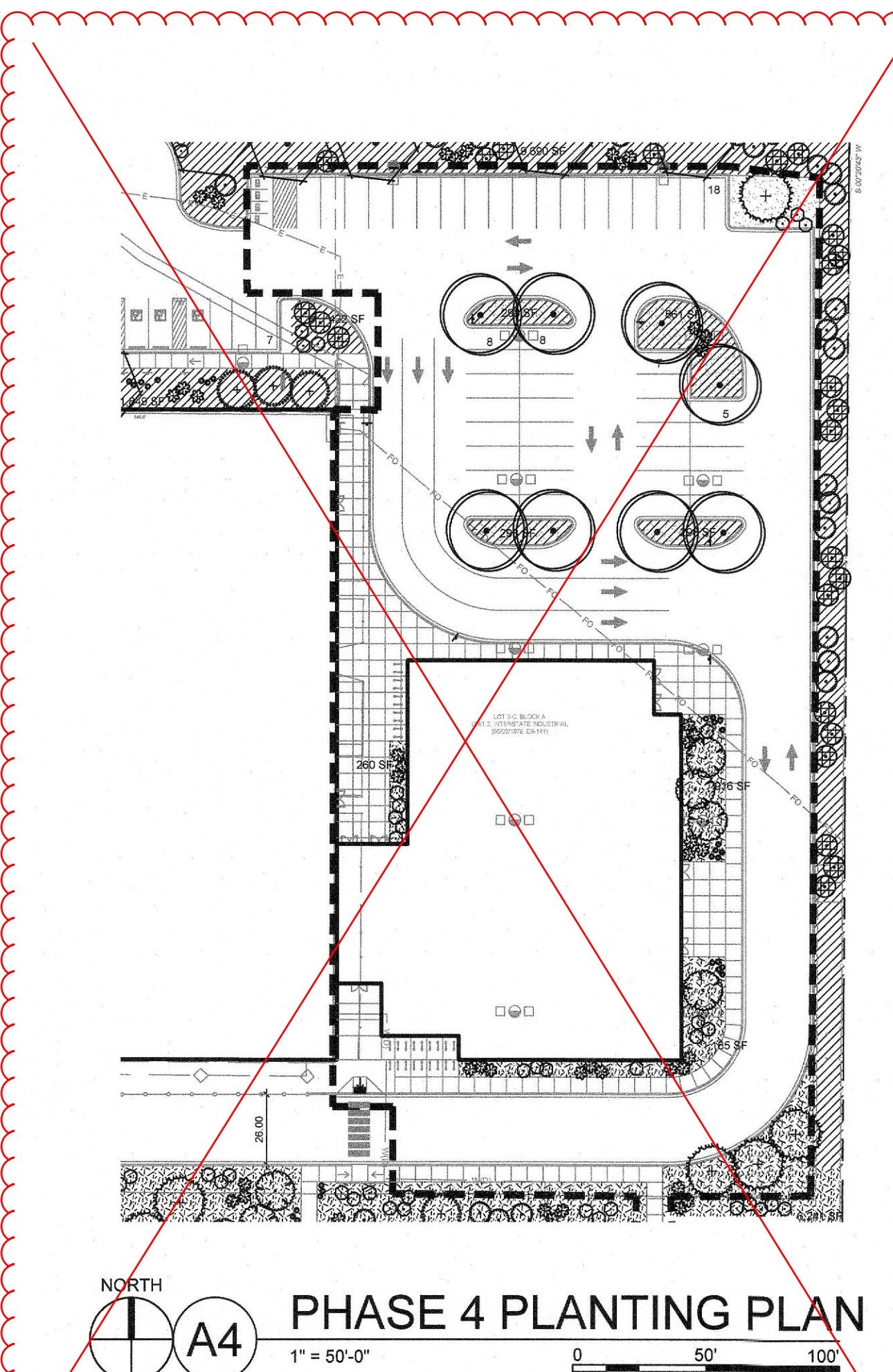
PLANTING  
PLAN

SHEET NO.

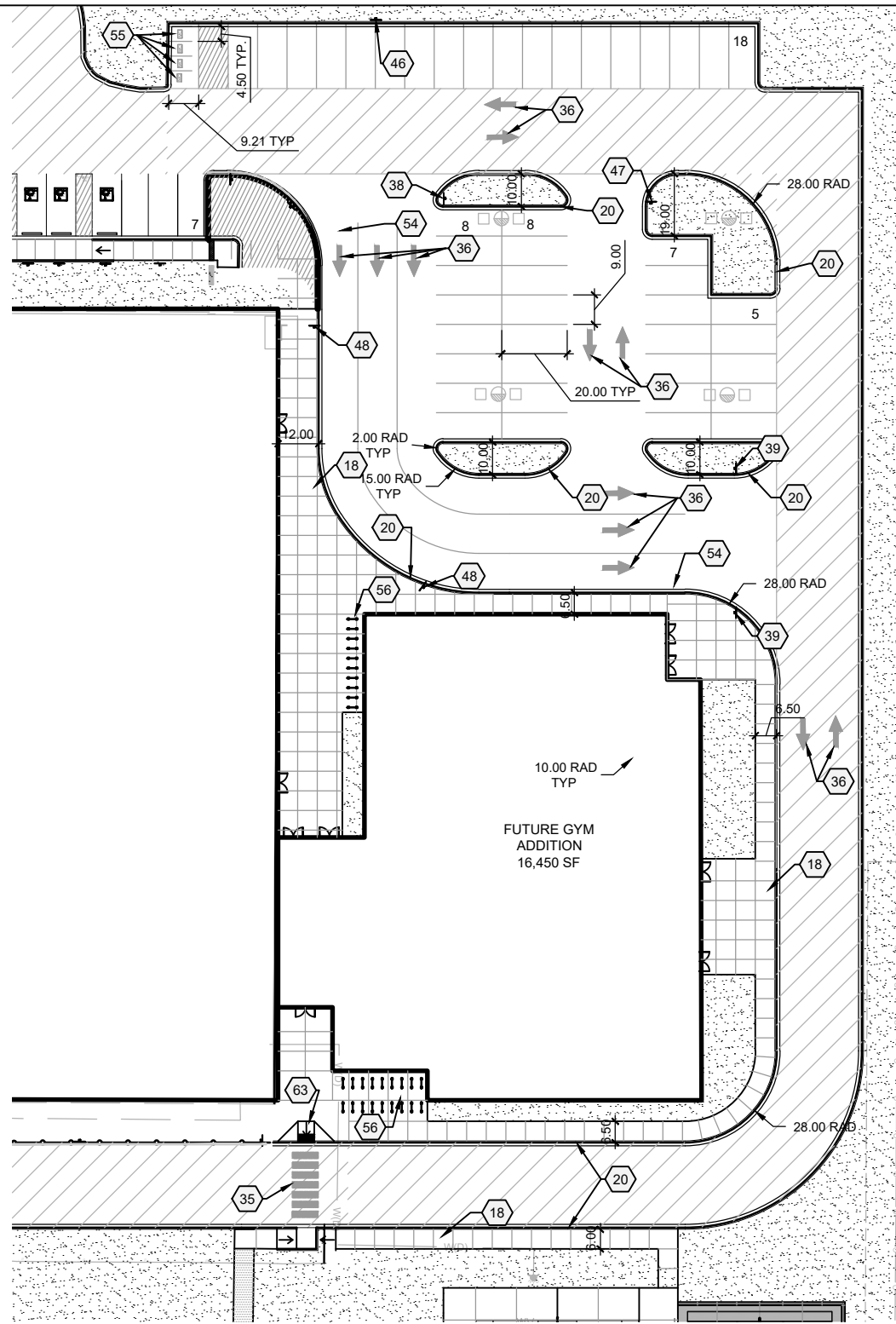
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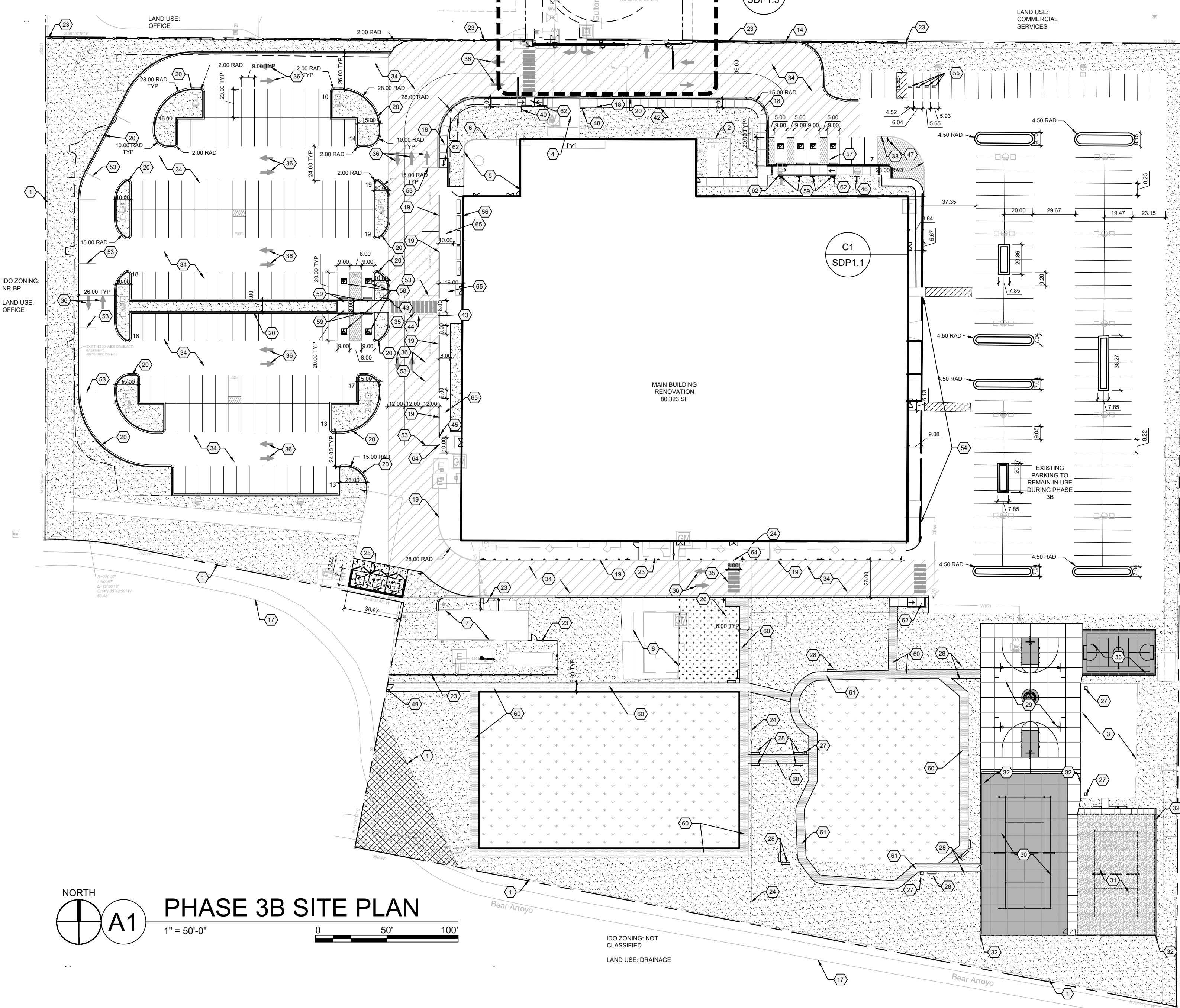
⚠️ PLANTING PLAN REPLACED. SEE SHEET SDP1.1A







**PHASE 4 SITE PLAN**  
1" = 50'-0"



**PHASE 3B SITE PLAN**  
1" = 50'-0"

PROJECT NO. PR-2020-4708

APPLICATION NO. SI-2020-01411

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED  
DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY  
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR  
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger Nov 20, 2021

Jeanne Wolfenbarger (Nov 20, 2021 10:34 MST)  
TRAFFIC ENGINEERING,  
TRANSPORTATION DIVISION

Blaine Carter Nov 22, 2021

Blaine Carter (Nov 22, 2021 08:38 MST)  
ABCWUA

Cheryl Somerfeldt Nov 19, 2021

Cheryl Somerfeldt (Nov 19, 2021 17:02 MST)  
PARKS & RECREATION DEPARTMENT

Ernest Amijo Nov 22, 2021

CITY ENGINEER/HYDROLOGY

ENVIRONMENTAL HEALTH (CONDITIONAL) Oct 31, 2022

DRB CHAIRPERSON, PLANNING DEPT.

Herman Gallegos Herman Gallegos 02-17-21

SOLID WASTE MANAGEMENT

Robert Webb Nov 19, 2021

Robert Webb (Nov 19, 2021 16:59 MST)  
CODE ENFORCEMENT

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17	BEAR ARROYO MULTI-USE TRAIL
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19	WALKWAY SEPARATION FENCE, SEE D1/SDP1.2
20	6' HEIGHT CONCRETE CURB AND GUTTER, SEE A2/SDP1.2
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22	CONCRETE HEADER CURB, SEE C2/SDP1.2
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24	REMOVE FENCE
25	REFUSE ENCLOSURE, SEE B1/SDP1.2
26	GREENHOUSE, TBD
27	LITTER RECEPTACLE
28	6' BENCH
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40	STOP SIGN, SEE C1/SDP1.2
41	PAINTED STOP LINE
42	WAYFINDING SIGNAGE
43	PEDESTRIAN CROSSING SIGN, SEE C1/SDP1.2
44	PAINTED LETTERING 'DO NOT BLOCK CROSSWALK'
45	BUS LOADING ZONE SIGN, SEE C1/SDP1.2
46	VISITOR PARKING SIGN, SEE C1/SDP1.2
47	STAFF PARKING SIGN, SEE C1/SDP1.2
48	STUDENT DROP-OFF AND PICK-UP SIGN, SEE C1/SDP1.2
49	KEYED ACCESS TO BEAR CANYON TRAIL
50	OUTDOOR DINING TABLES AND CHAIRS PER OWNER
51	AUTOMATIC SLIDING GATE
52	REMOVE ASPHALT
53	BUS DROP OFF STRIPING FOR QUEUING
54	PARENT DROP OFF LOADING ZONE
55	MOTORCYCLE PARKING
56	BICYCLE PARKING, SEE C3/SDP1.2 FOR BASIS OF DESIGN
57	ACCESSIBLE PARKING, SEE B2/SDP1.2
58	VAN ACCESSIBLE PARKING, SEE B2/SDP1.2
59	ACCESSIBLE PARKING SIGNAGE, SEE C1/SDP1.2
60	6' WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH
61	EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES
62	CONCRETE CURB RAMP, SEE A3/SDP1.2
63	ACCESSIBLE RAMP, SEE A4/SDP1.2
64	4" PIPE BOLLARD, SEE D2/SDP1.2
65	EXISTING ASPHALT TO REMAIN, PEDESTRIAN ONLY ZONE

## GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
- STANDARD PARKING SPACES 9'-0" X 20'-0"
- ACCESSIBLE PARKING SPACES 9'-0 X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
- FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.
- FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
- 20' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
- SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.
- NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE.
- VEHICULAR GATES AT GULTON CT WILL BE OPEN DURING BUSINESS HOURS.
- THE SITE IS DESIGN TO ACCOMMODATE QUEUING AND DROP-OFF FOR 8 SCHOOL BUSES.

## PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

## PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109  
LEGAL DESCRIPTION: "3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

ZONE ATLAS NUMBER: E17

SITE AREA: 10 ACRES

EXISTING ZONING: NR-BP

BUILDING AREA  
RENOVATION: 80,142 SF  
FUTURE GYM EXPANSION: 16,450 SF  
TOTAL: 96,592 SF  
CONSTRUCTION TYPE: IIB  
BUILDING HEIGHT  
RENOVATION: 20'-5"  
FUTURE GYM EXPANSION: 32'-0"  
SPRINKLED: YES  
FIRE FLOW: 3,000 GPM  
FLOW DURATION: 4HR  
HYDRANTS REQUIRED: 3

PARKING CALCULATION  
PHASE 3 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 150  
(2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 30 HIGH SCHOOL CLASSROOMS = 90)  
= 150

PHASE 4 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 157  
(2 X 32 MIDDLE SCHOOL CLASSROOMS = 64) + (3 X 31 HIGH SCHOOL CLASSROOMS = 93)  
= 157

PHASE 4 REQUIRED NUMBER OF PARKING SPACES BASED ON AUDITORIUM SEATS: 188\*  
1 PARKING SPACE PER 4 SEATS  
750 PROPOSED AUDITORIUM SEATS = 188\*

\*GREATER NUMBER OF THE TWO CALCULATION METHODS WILL BE USED

TOTAL PARKING SPACES PROVIDED  
PHASE 3B: 290  
PHASE 4: 198

MOTORCYCLE PARKING REQUIRED: 4  
MOTORCYCLE PARKING PROVIDED: 4  
BICYCLE PARKING REQUIRED: 89  
BICYCLE PARKING PROVIDED: 100

## LEGEND

---	PROPERTY LINE
	HEAVY DUTY ASPHALT FOR FIRE ACCESS
	LANDSCAPE AREA, SEE PLANTING PLAN
	PERMANENT AMAFCA AND CITY OF ALBUQUERQUE PUBLIC TRAIL EASEMENT. NO WORK WILL OCCUR IN THIS EASEMENT AND WILL NOT BE ENCROACHED UPON DURING OR AFTER CONSTRUCTION
	SITE LIGHTING, SEE SITE LIGHTING PLAN

## VICINITY MAP



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

EXPLORE ACADEMY  
GULTON TENANT IMPROVEMENTS  
PHASES 3B AND 4  
6600 GULTON COURT NE  
ALBUQUERQUE, NM 87109

REVISIONS

	8/19/2021	AA-001
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DRAWN BY DS

REVIEWED BY MB

DATE 2/5/21

PROJECT NO. 19-0099.003

DRAWING NAME

SITE PLAN

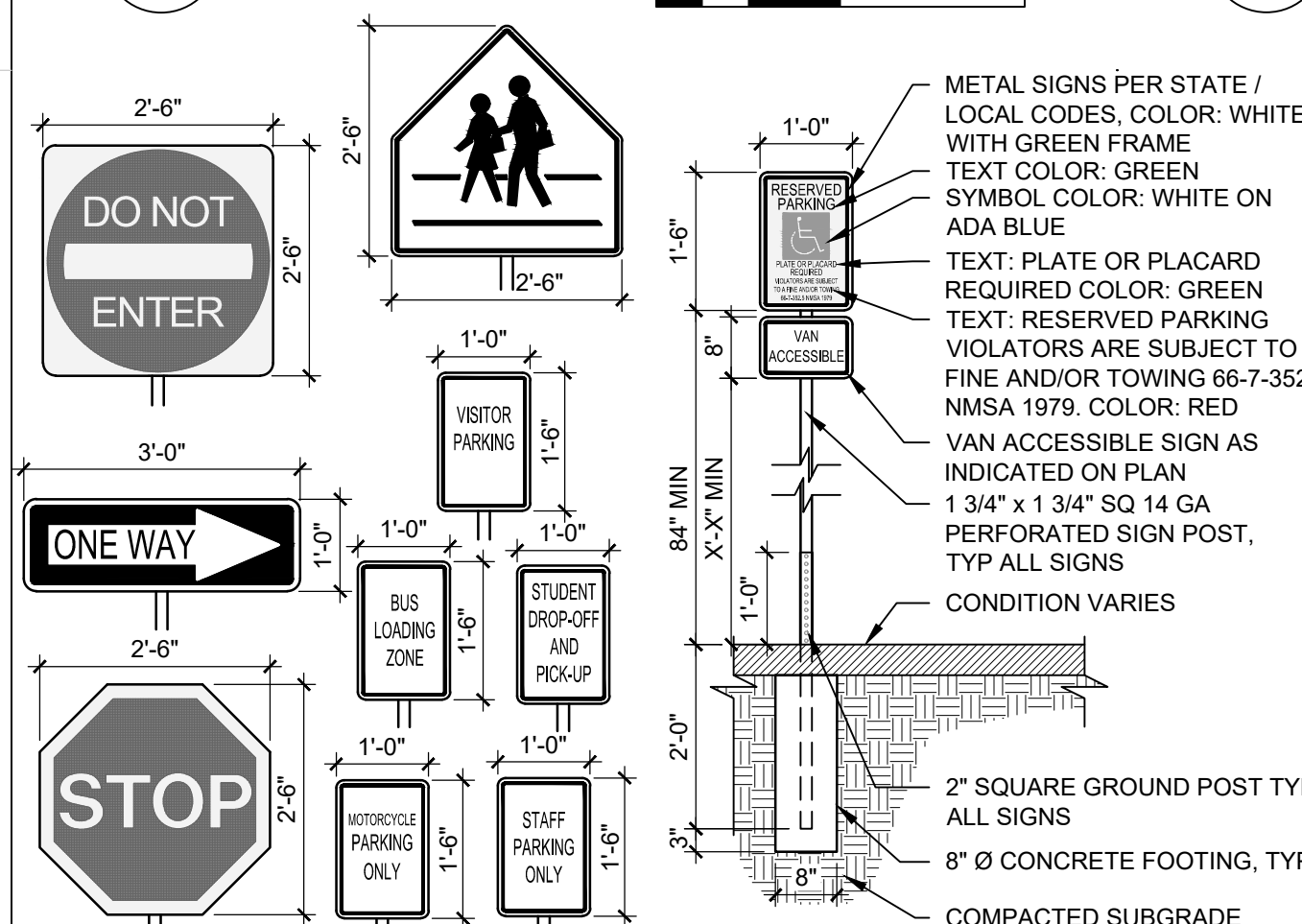
SHEET NO.

**SDP1.1**  
OF



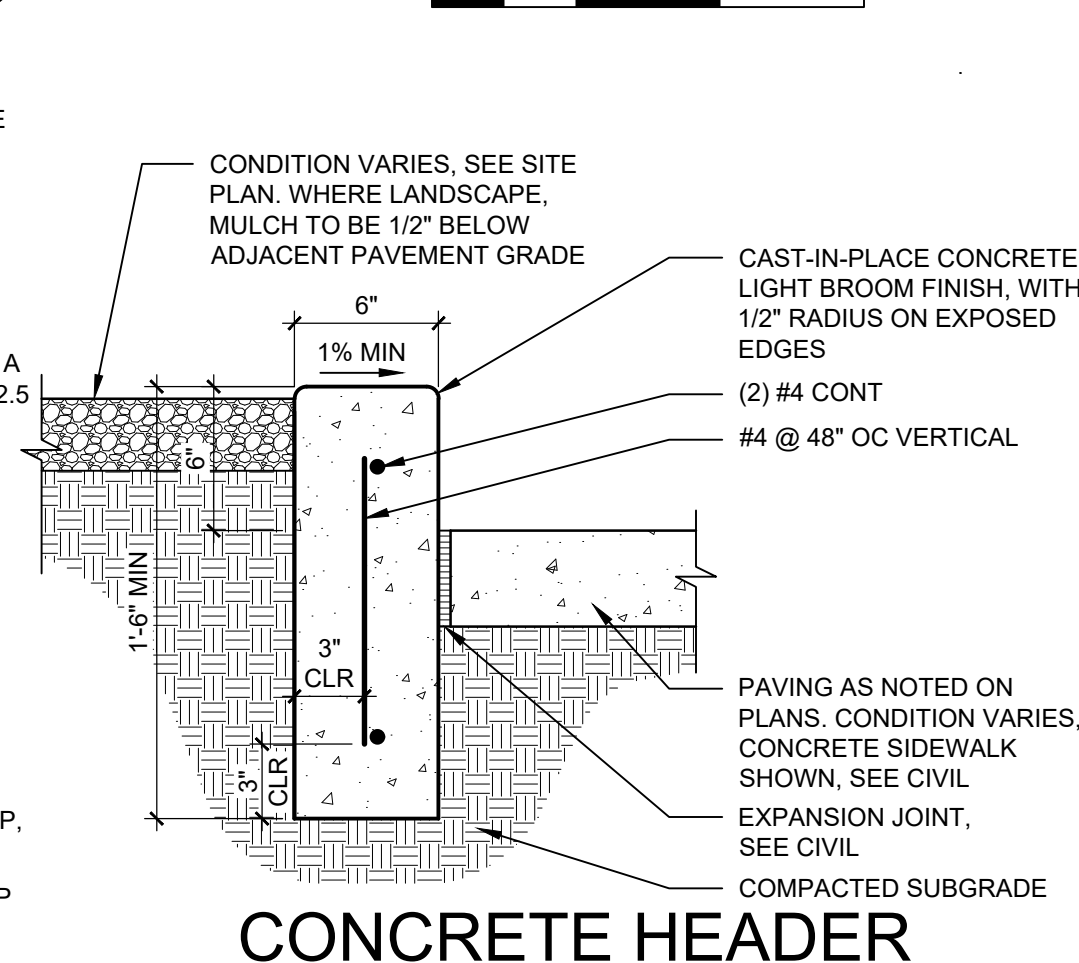
## WALKWAY SEPARATION FENCE

D1 1/2" = 1'-0"

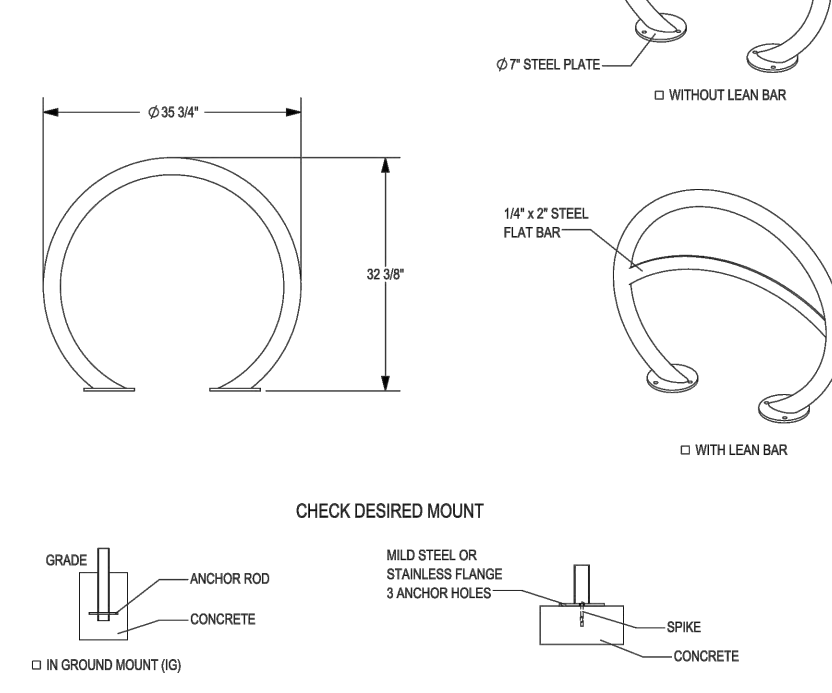


## PIPE BOLLARD

D2 3/4" = 1'-0"



3/4" = 1'-0"

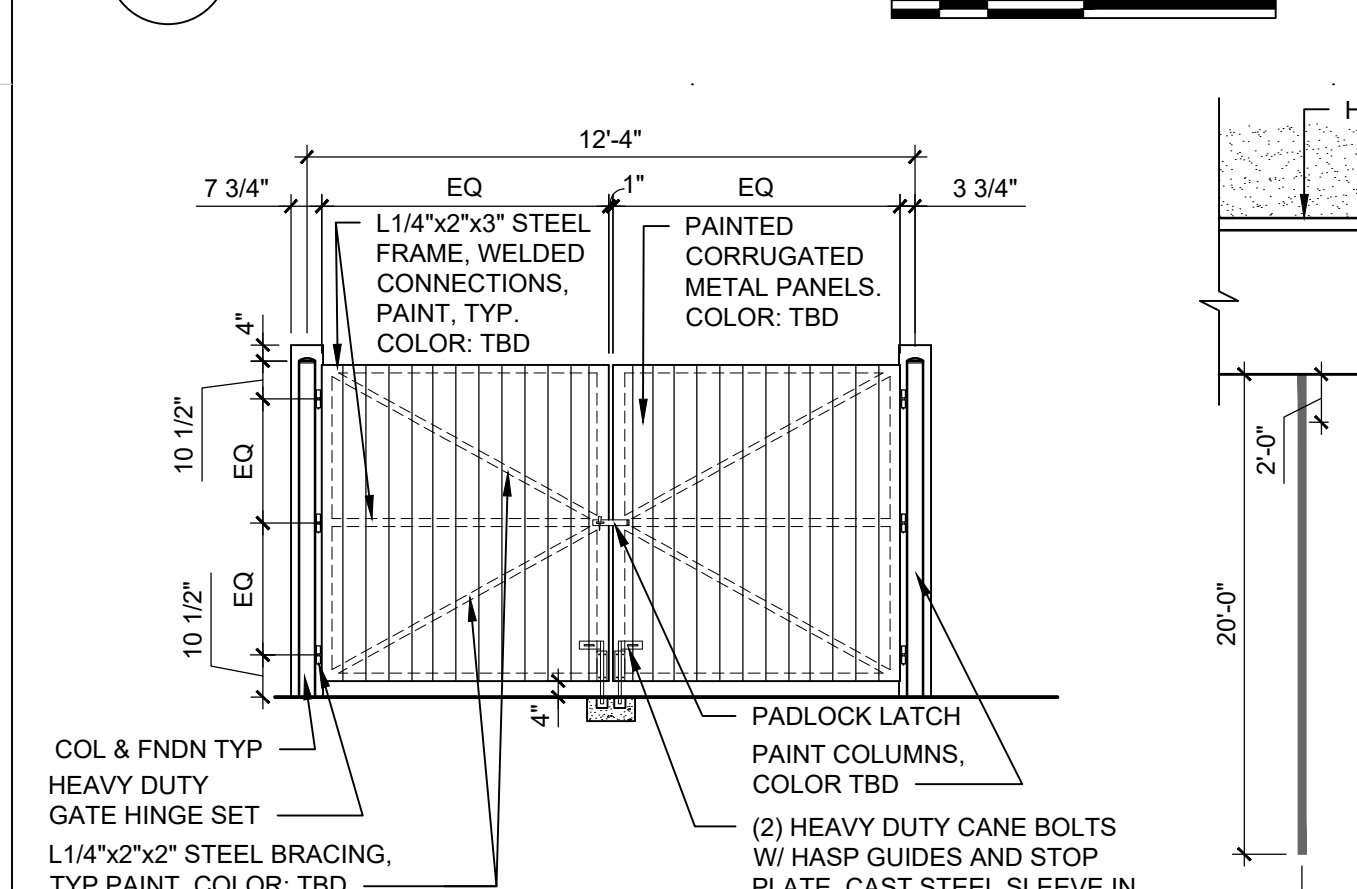


PRODUCT: CONCRETE BOLLARD  
DESCRIPTION: CONCRETE BOLLARD  
2 INCH SURFACE OR IN GROUND MOUNT  
WITH OR WITHOUT LEAN BAR  
DATE: 11-14-18  
COMMENTS: DRAWING AND INFORMATION IS NOT TO BE COPIED OR REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF DEKKER PERICH SABATINI, INC.  
SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.  
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NOTES:  
1. INSTALL BOLLARD ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. SEE SITE PLAN FOR LOCATION OF BOLLARD OWNER.

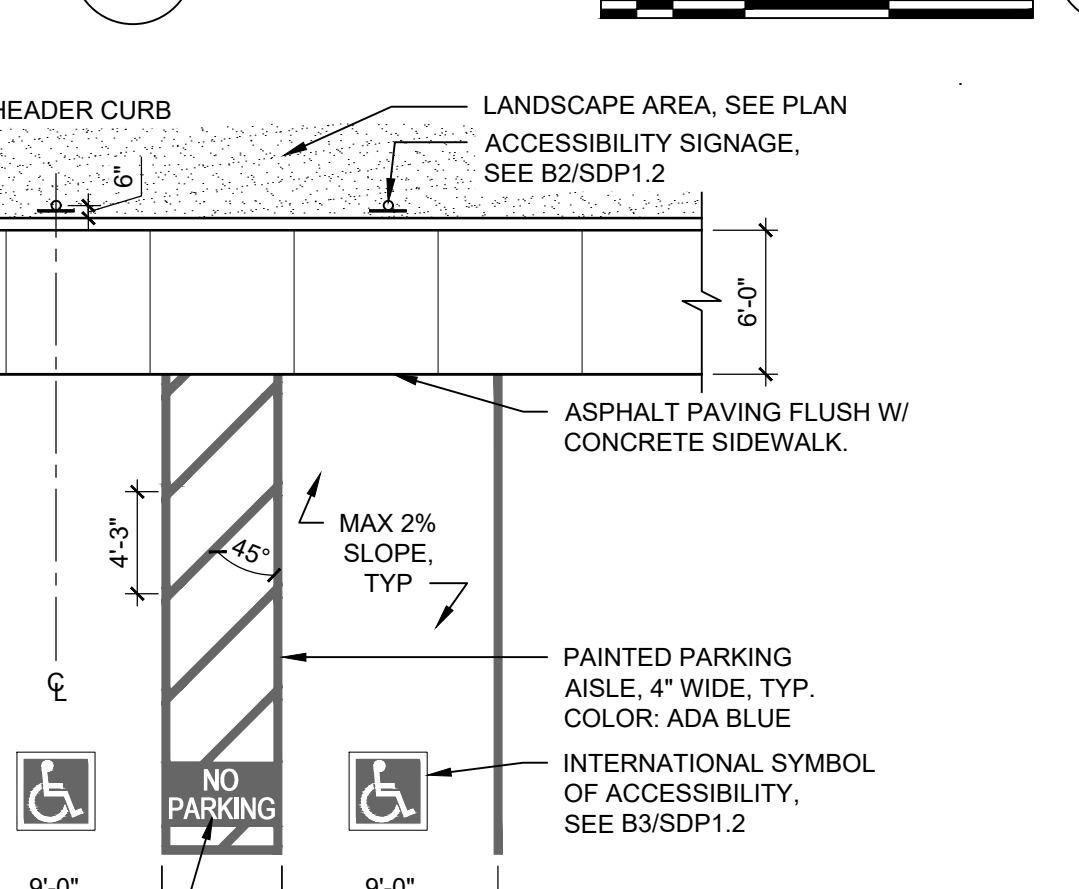
## SITE SIGNS

C1 1/2" = 1'-0"



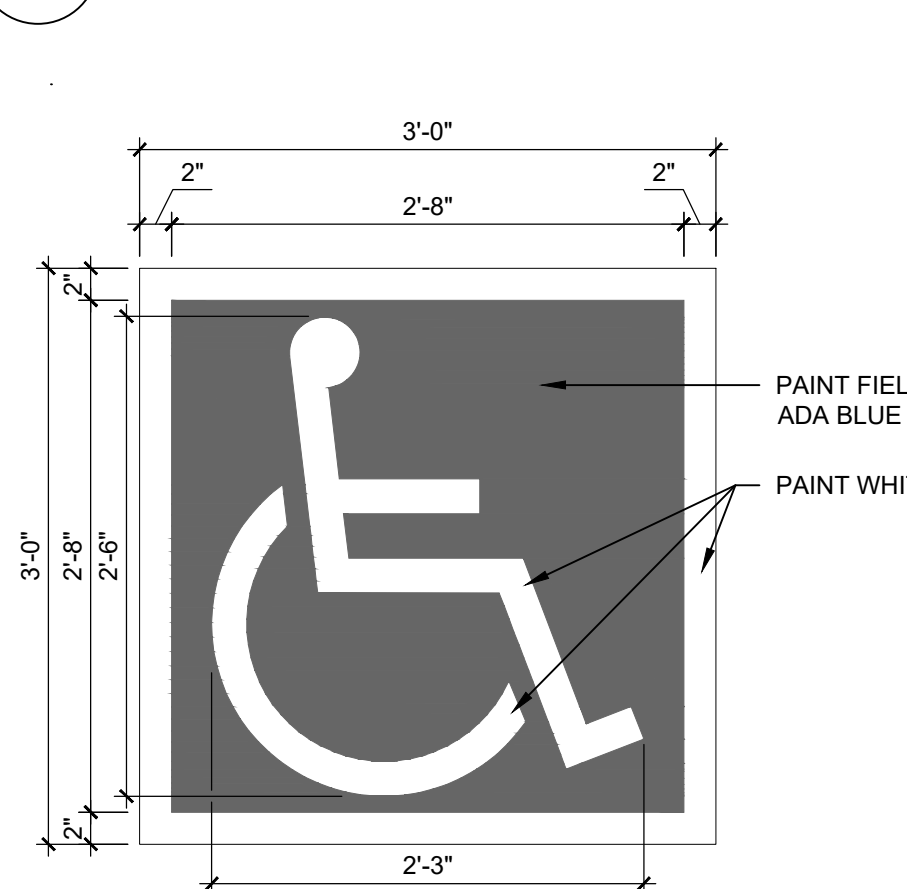
## CONCRETE HEADER CURB

C2 1 1/2" = 1'-0"



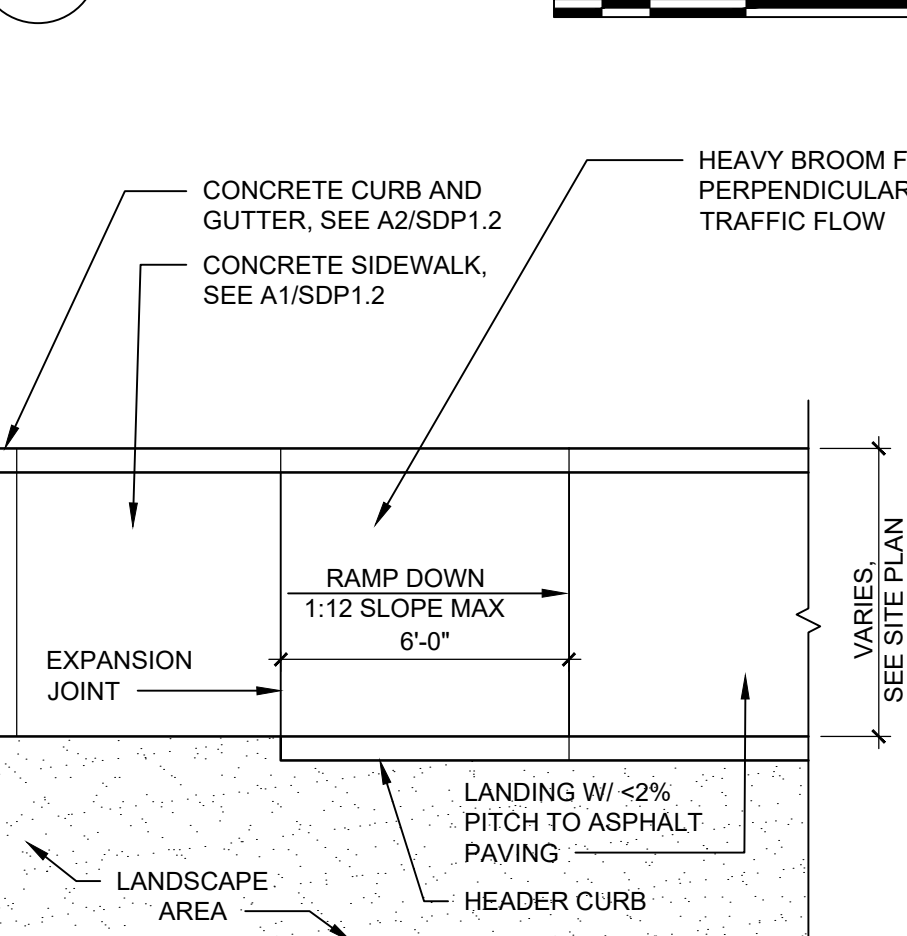
## BICYCLE RACK

C3 NTS



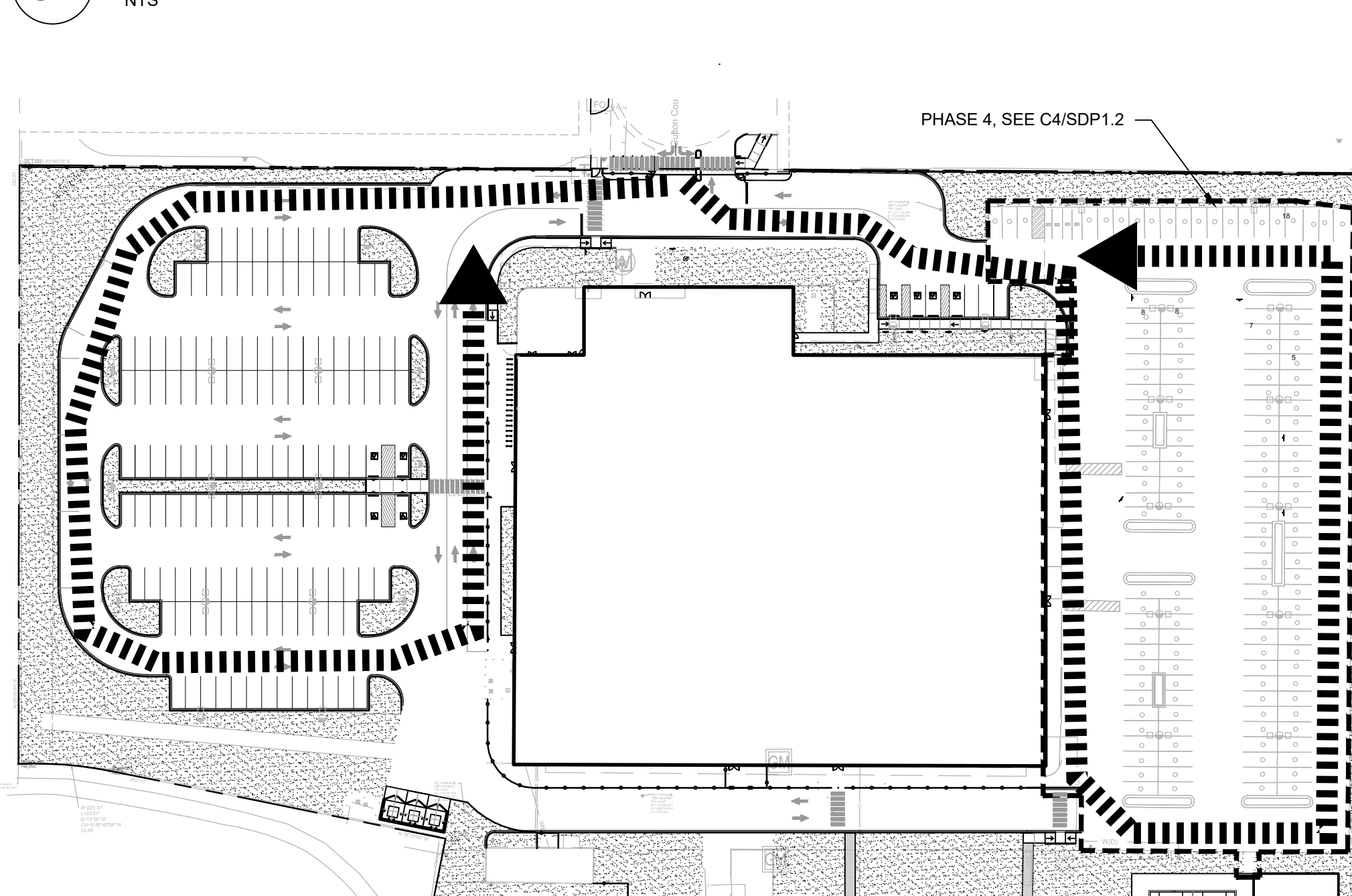
## ACCESSIBLE PAVEMENT MARKING

B3 1" = 1'-0"



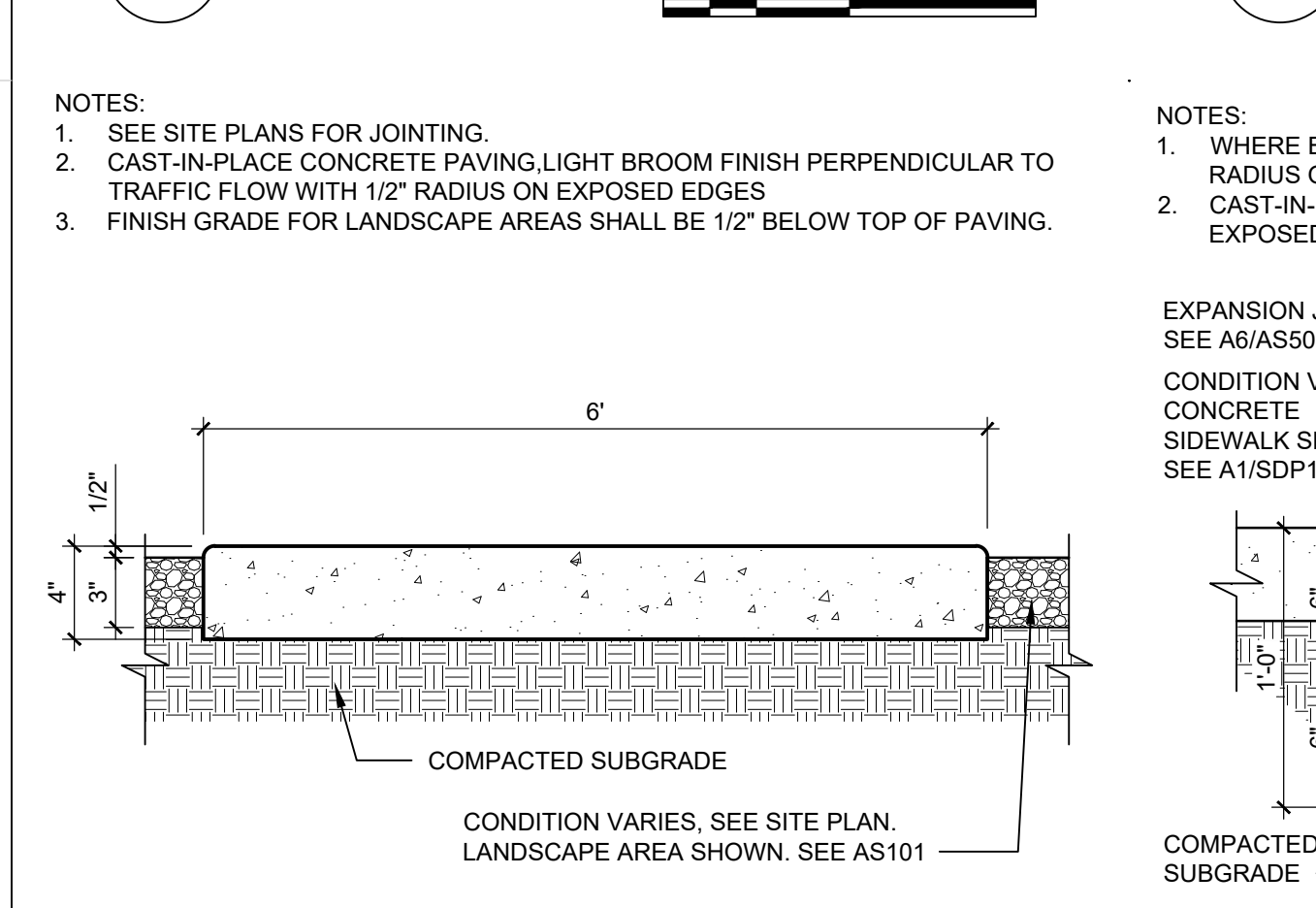
## PH4 CIRCULATION DIAGRAM

NTS



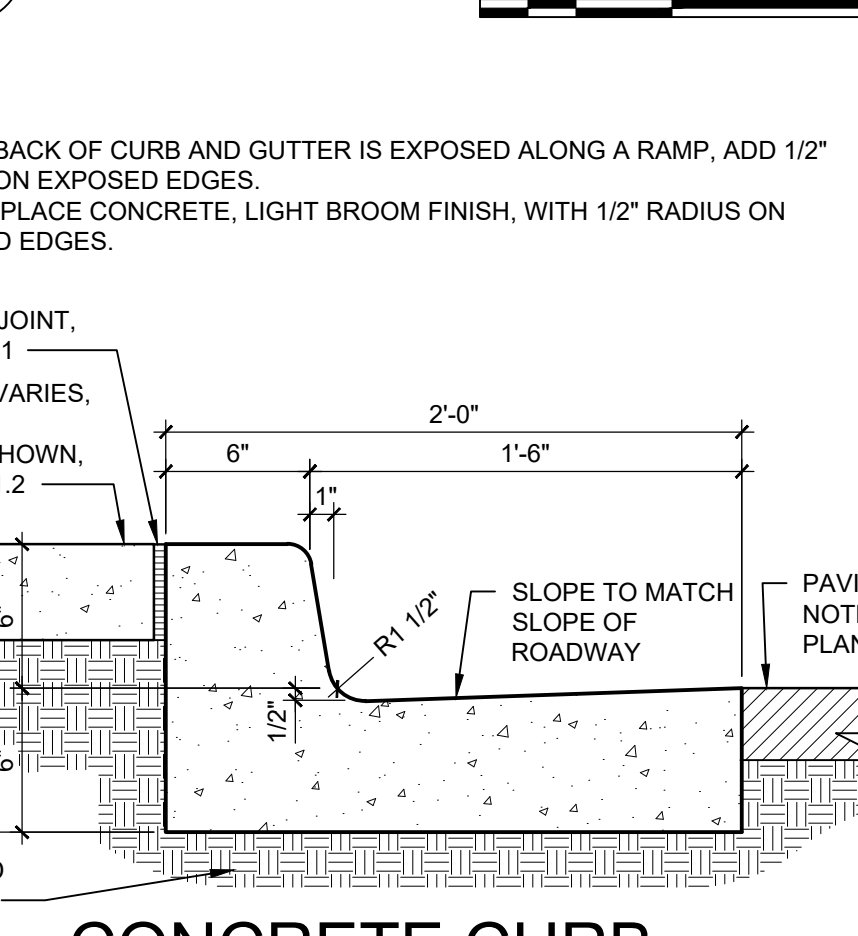
## REFUSE ENCLOSURE GATE

B1 1/4" = 1'-0"



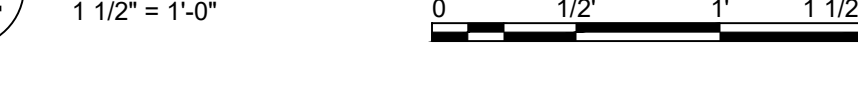
## ACCESSIBLE PARKING

B2 1/8" = 1'-0"



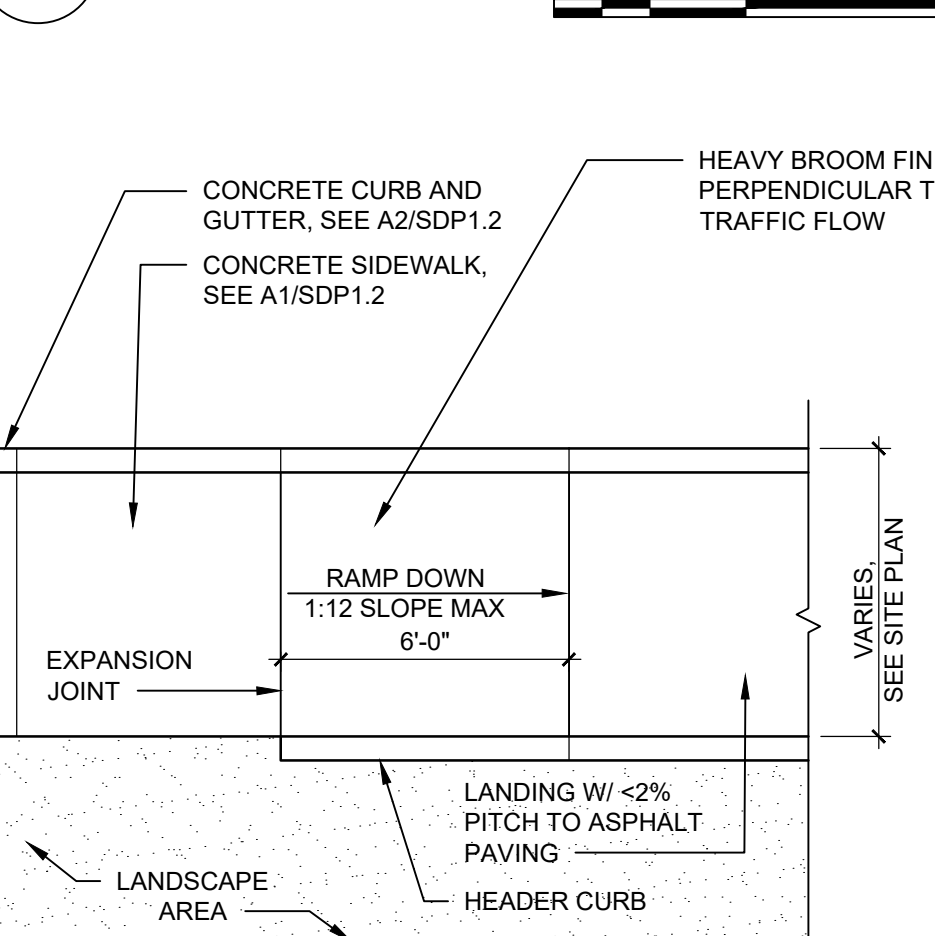
## CONCRETE CURB & GUTTER

A2 1 1/2" = 1'-0"



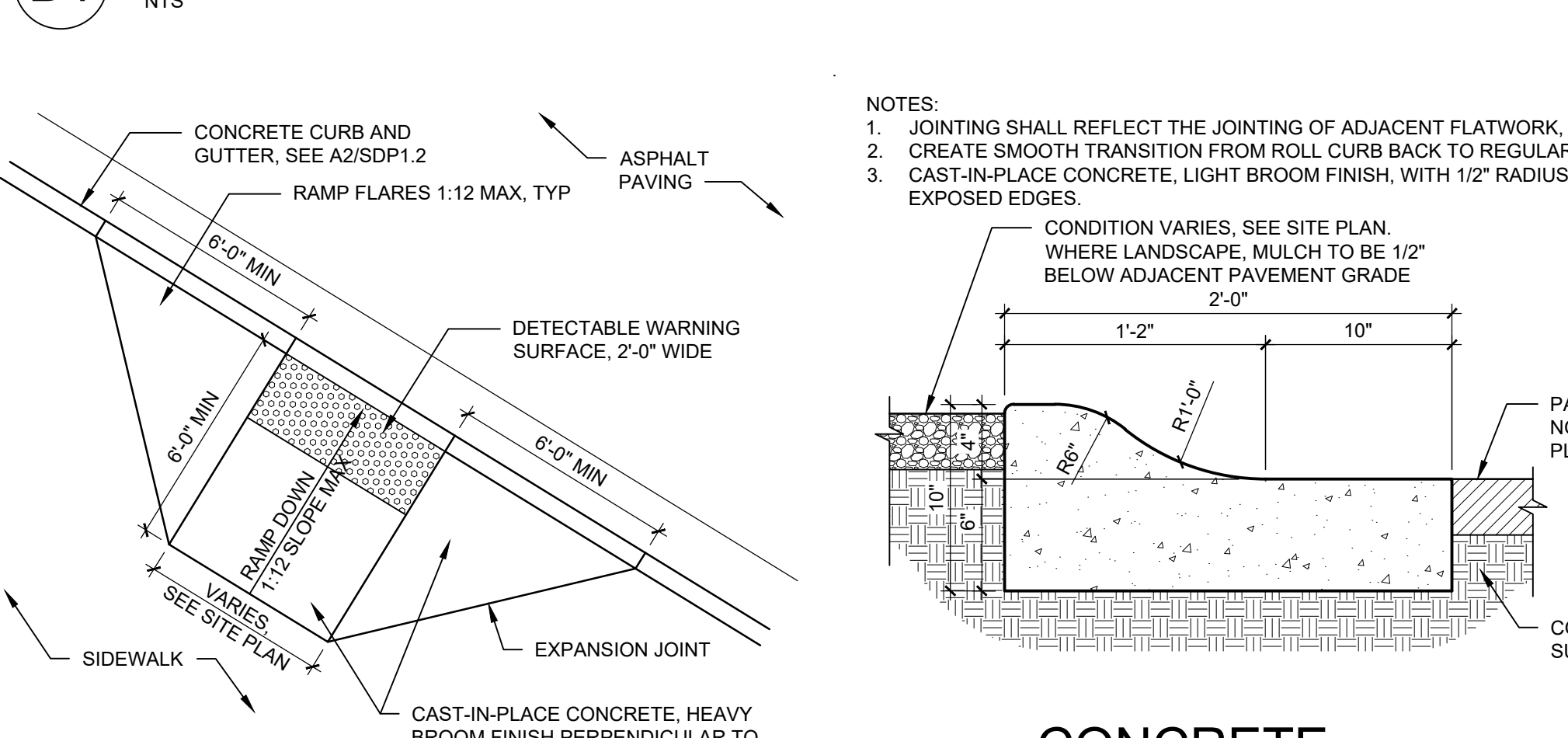
## CONCRETE CURB RAMP

A3 1/4" = 1'-0"



## PH3B CIRCULATION DIAGRAM

NTS



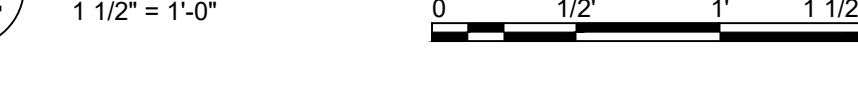
## CONCRETE SIDEWALK

A1 1 1/2" = 1'-0"



## CONCRETE MOUNTABLE CURB

A5 1 1/2" = 1'-0"



## ACCESSIBLE RAMP

A4 1/4" = 1'-0"



## CONCRETE MOUNTABLE CURB

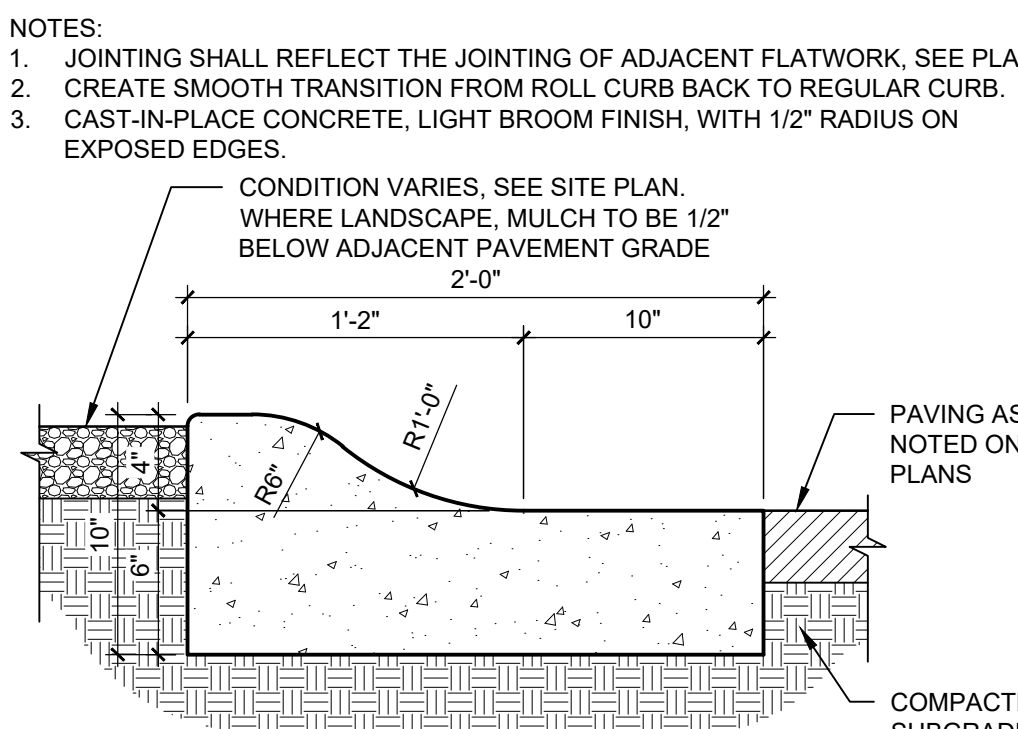
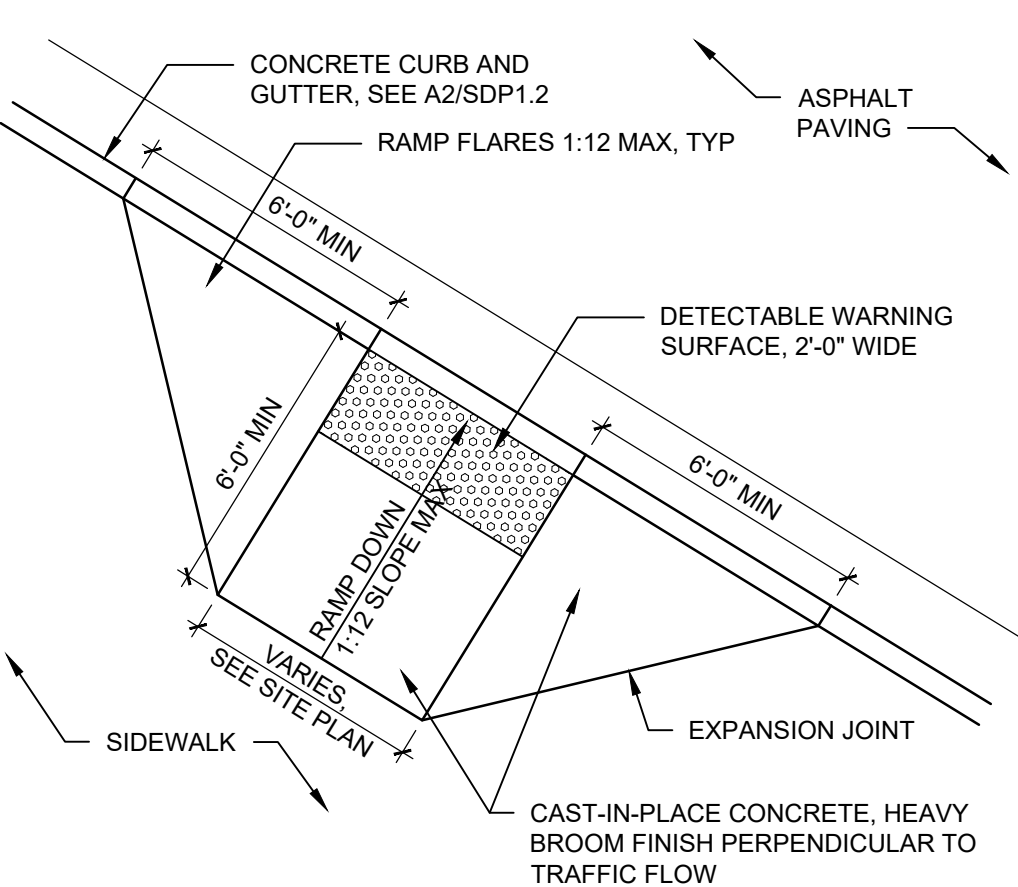
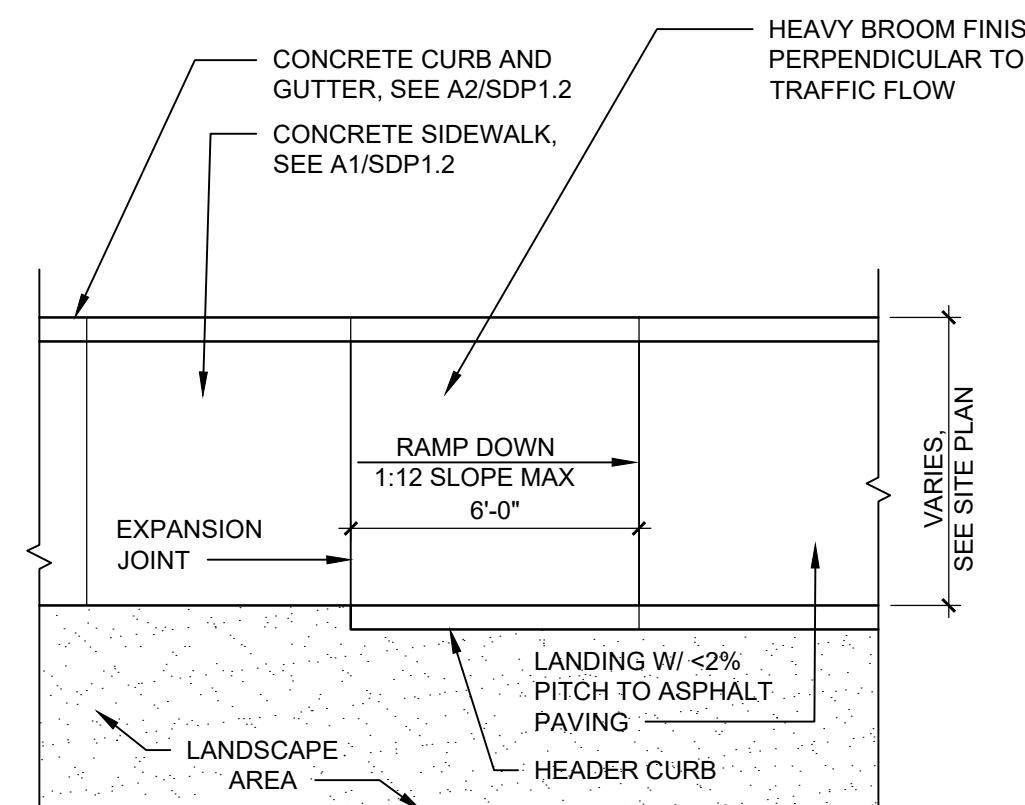
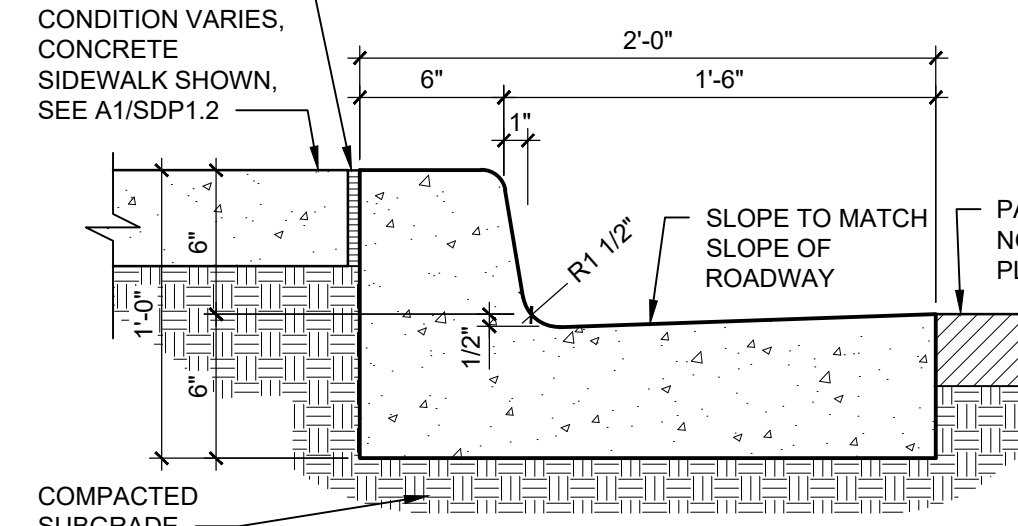
A5 1 1/2" = 1'-0"



NOTES:  
1. SEE SITE PLANS FOR JOINTING.  
2. CAST-IN-PLACE CONCRETE PAVING LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES.  
3. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.

NOTES:  
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.  
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.

EXPANSION JOINT, SEE A6/AS501  
CONDITION VARIES, SEE SITE PLAN, LANDSCAPE AREA SHOWN, SEE A5101







SDP1.3 OF





## GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.  
B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.  
C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.  
D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.  
E. STANDARD PARKING SPACES 9'-0" X 20'-0".  
F. ACCESSIBLE PARKING SPACES 9'-0" X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.8.  
G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.  
H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.  
I. 26' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.  
J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.  
K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.

## PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

## PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109  
LEGAL DESCRIPTION: -3-G A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

SITE AREA: 10 ACRES

EXISTING ZONING: NR-BP

BUILDING AREA  
RENOVATION: 80,142 SF  
FUTURE GYM EXPANSION: 16,450 SF  
TOTAL: 96,592 SF  
CONSTRUCTION TYPE: IIB  
BUILDING HEIGHT  
RENOVATION: 20'-5"  
FUTURE GYM EXPANSION: 32'-0"  
SPRINKLED: YES  
FIRE FLOW: 3,000 GPM  
FLOW DURATION: 4HR  
HYDRANTS REQUIRED: 3

EXCEPTION TO D104.2: PROJECTS HAVING A GROSS BUILDING AREA OF UP TO 124,000 SQUARE FEET THAT HAVE A SINGLE APPROVED FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS.

## SHEET KEYED NOTES

CODE	DESCRIPTION
1	FIRE LANE, 26' WIDTH STANDARD
2	EXISTING FIRE HYDRANT TO BE USED FOR PROJECT
3	EXISTING OFF SITE FIRE HYDRANT
4	EXISTING FIRE DEPARTMENT CONNECTION (FDC)
5	EXISTING POST INDICATOR VALVE (PIV)
6	PREMISE ID TO BE LEGIBLE AND VISIBLE FROM GULTON CT
7	EXISTING WALL INDICATOR VALVE (WIV)
8	KNOX BOX
9	FIRE LANE STRIPING
10	BUS DROP OFF LOADING ZONE
11	PARENT DROP OFF LOADING ZONE
12	2 HOUR FIRE SEPARATION WALL
13	EXISTING OVERHEAD UTILITY RUN, 13'-6" MINIMUM VERTICAL CLEARANCE WILL BE MAINTAINED
14	SECURITY GATES WILL INCLUDE AN APPROVED MEANS OF OPERATION TO ALLOW FIRE DEPARTMENT ACCESS
15	10" FIRELINE
16	10" WATER LINE FROM WEST OF PROPERTY
17	8" WATERLINE
18	6" WATERLINE

## LEGEND

---	PROPERTY LINE
[Hatched Box]	HEAVY DUTY ASPHALT FOR FIRE ACCESS

## VICINITY MAP



## REVISIONS



DRAWN BY DS

REVIEWED BY

DATE 11/12/2020

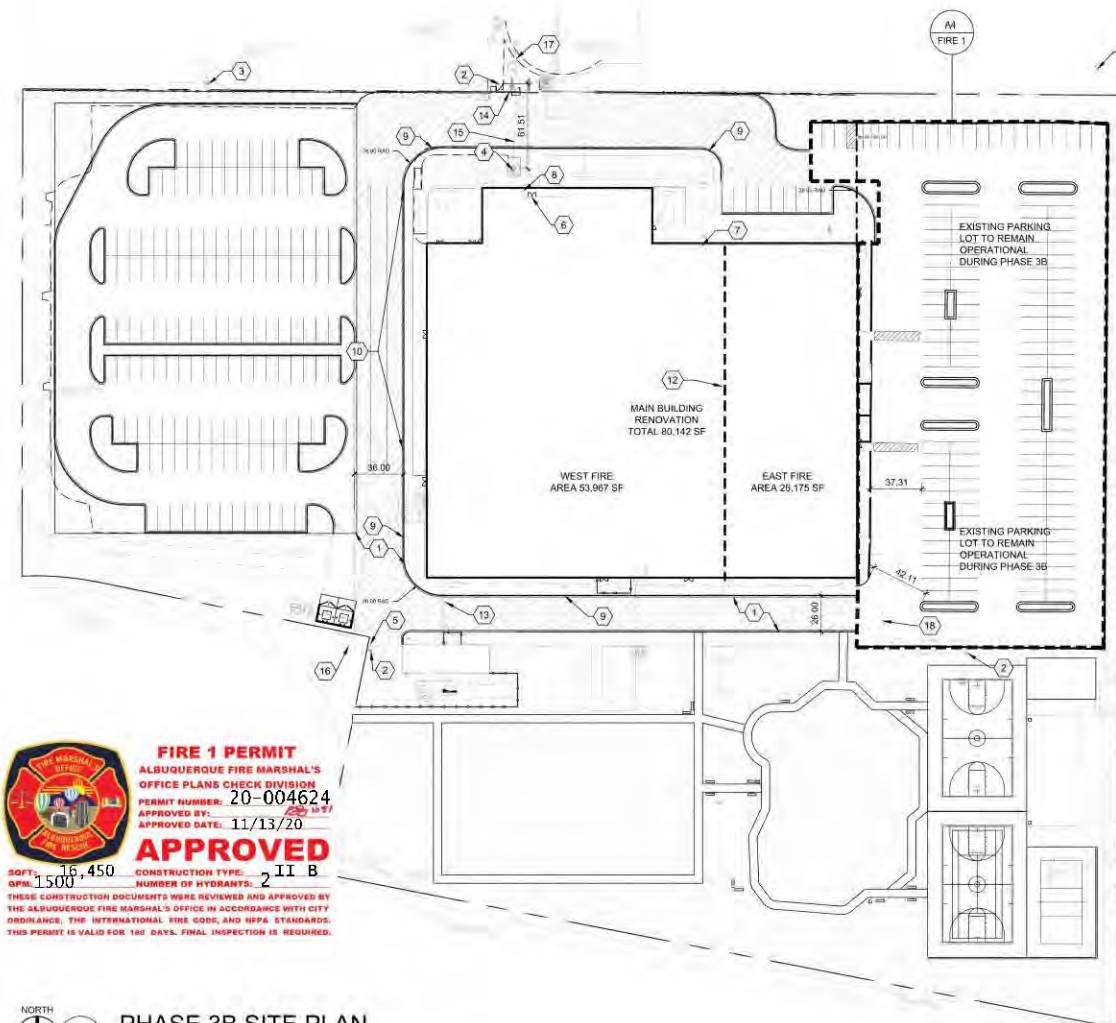
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DRAWING NAME

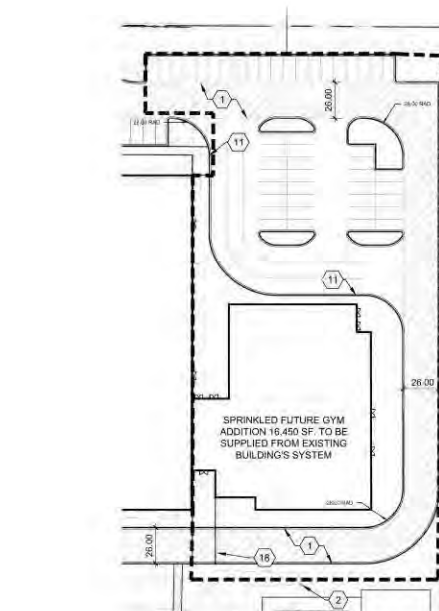
SITE PLAN

SHEET NO.

FIRE 1  
OF



NORTH  
A1  
1" = 50'-0"  
0 50' 100'



NORTH  
A4  
1" = 50'-0"  
0 50' 100'