



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Explore Academy		Phone: 505 437 3800
Address: 5100 Mastehead Street NE		Email:
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Consensus Planning		Phone: 505 764 9801
Address: 302 8th St NW		Email: Frank@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site:		List all owners: Aretz 6600 Gulton LLC.

BRIEF DESCRIPTION OF REQUEST

Increase total building size by 5.5% from the existing approved DRB-Site Plan.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 3-C A Replat of Lot 3 Interstate Industrial Tract	Block:	Unit: III
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101706211825520115
Zone Atlas Page(s): E17	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 10

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 66000 Gulton Court NE	Between: Gulton Court NE	and: Osuna Road NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 12/8/2022
Printed Name: Jackie Fishman	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		

December 2, 2022

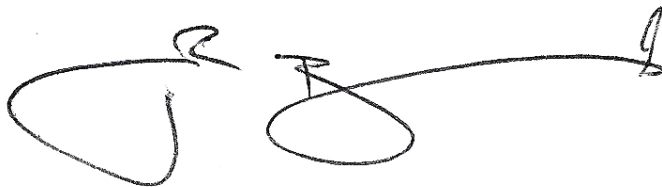
City of Albuquerque
Planning Department
600 2nd St NW,
Albuquerque, NM 87102

Re: Property Owner Letter of Authorization

To Whom It May Concern:

Explore Academy hereby authorizes Consensus Planning, Inc. to obtain information, submit and process applications and all processes associated with the approval of a Minor Amendment – Administrative for the subject property located at 6600 Gulton Court NE. Legally described as, 3-C Replat of Lot 3 Interstate Industrial Tract Unit II.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'J' followed by a series of loops and a long horizontal stroke ending in a small hook.

Justin Baiardo, Executive Director
Explore Academy

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☒ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
 - ☒ The approved Site Plan being amended
 - ☒ Copy of the Official Notice of Decision associated with the prior approval
 - ☒ The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) **SBDC Form is no longer in use.**
Section 5-2(D) is archaeological considerations. The site has already been cleared for archaeological relevancy.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
 - ☐ The approved Site Development Plan being amended
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☐ The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

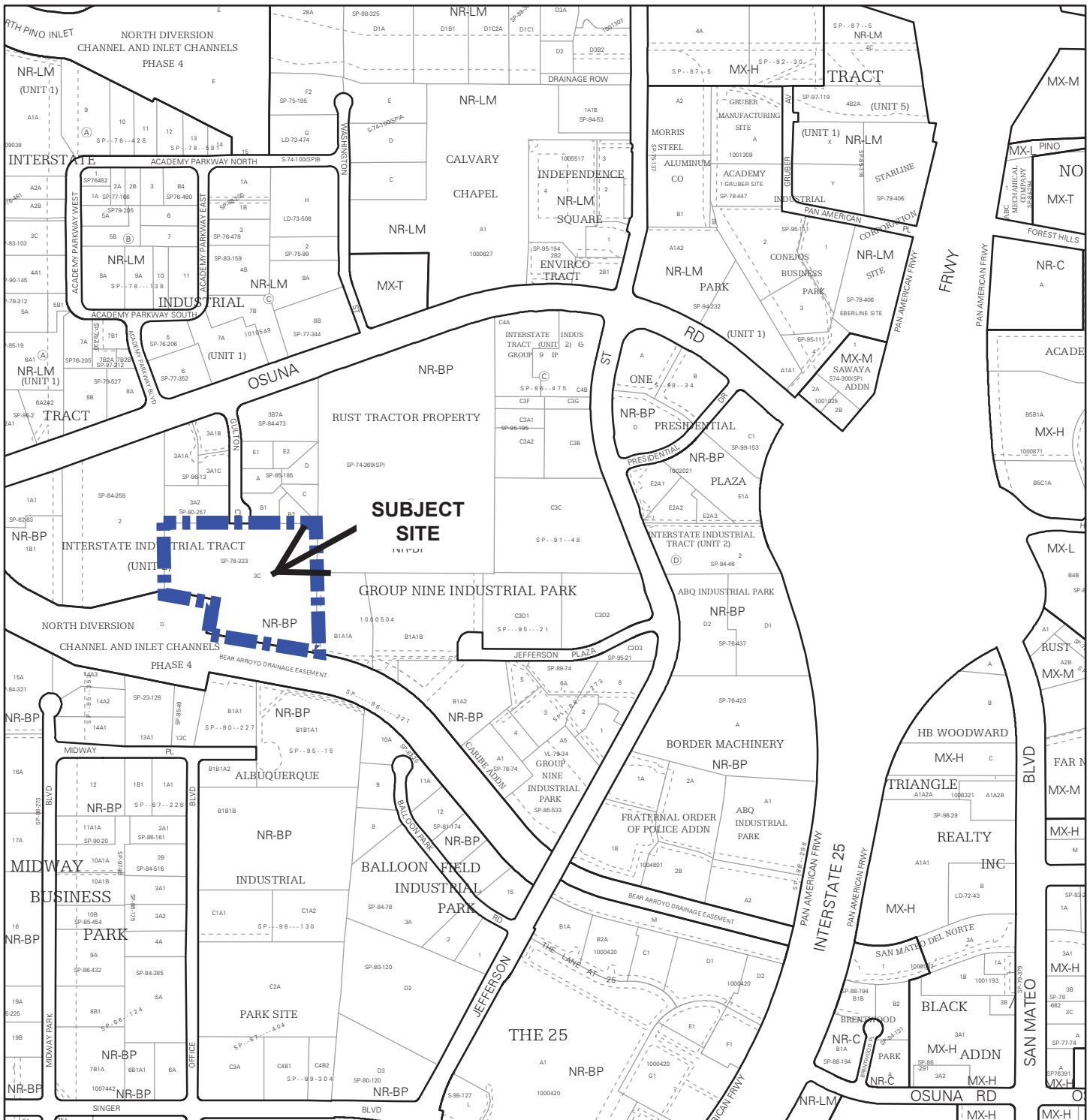
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

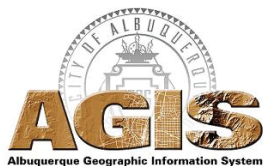
☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

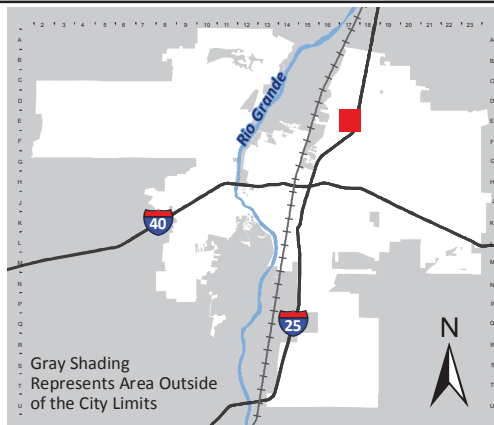


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
E-17-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



DATE, 2022

James M. Aranda, Deputy Director/ZEO
Albuquerque Planning Department
600 North 2nd Street NW
Albuquerque, NM 87102
jmaranda@cabq.gov

Dear Mr. Aranda:

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to request the approval of a Minor Amendment to the approved Site Plan at 6600 Gulton Court NE (PR-2020-004708) for the Explore Academy Charter School. The approved Site Plan features a gymnasium/classroom addition 16,450 square feet in size. The proposed Minor Amendment shows the addition at 21,779 square feet increasing the overall building's square footage by 5,329 square feet (5.5%). Additionally, the requested amendment is seeking to redesign a small sport court located near the southeast corner of the gym/classroom addition into a large chessboard. The sport court is displayed as keynote 33 on the approved Site Plan.

This request meets the criteria to be considered a Minor Amendment under Section 14-16-6-4 (Y)(2)(a) of the IDO based on the following:

6-4(Y)(2) Minor Amendments

6-4(Y)(2)(a) A minor amendment must meet all of the following criteria:

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

Applicant Response: The 5.5% increase to the overall building square footage along with a redesign of a small sport court is being requested in response to conditions that were unknown to the school at the time of the original approval. The Explore Academy Campus has been designed to be constructed in phases occurring over the span of several years. The proposed gymnasium/classroom addition is scheduled as part of phase 4 of the construction and expansion of the campus. Currently, there exists a need for a slight increase in the size of the proposed gymnasium/classroom addition to accommodate the growing campus.

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments) and does not affect density, parking, or drive aisles.

Applicant Response: This request does not increase or decrease the dimension of any standard beyond the allowable threshold for a Minor Amendment pursuant to Table 6-4-4. The approved Site Plan indicated the gymnasium/classroom addition would be 16,450 square feet and the requested amendment is seeking to increase the square footage by 5,456 square feet for a total of 21,906 square feet. The previously approved

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

total building square footage was 96,952 square feet and the new proposed total building square footage is 102,086 square feet, 5.5% increase in square feet.

Table 6-4-4 indicates building square footage may only increase by a maximum of 10% to maintain its applicability as a Minor Amendment. This request is within the threshold for a Minor Amendment. This increase will not affect density, parking, or drive aisles. The required total parking for the development is 188 spaces and the Site Plan provides 198 spaces thereby exceeding the requirement. There is a proposed drive aisle to the east of the gymnasium/ classroom addition that will help with vehicular circulation.

The increase in the size of the gym does not impact the number of students or school employees. The increase is based on providing a better-equipped facility to serve the students. The proposed redesign of the sport court to create a chess board will not affect any standards in Table 6-4-4.

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

Applicant Response: The proposed 5.5% increase in the size of the gym/classroom addition along with the redesign of the sport court does not decrease the total amount of open space or affect any open space abutting a residential lot because there are no residential lots near the site. The approved Site Plan indicates an existing parking area on the southeast side of the main building as the future site of the gym/classroom addition. The parking area is to remain during phase 3B after which it will be replaced with the proposed gym/classroom addition. The addition is part of the phased construction process for the charter school campus and will not affect any of the open space areas.

4. The amendment does not reduce any building setback adjacent to development containing residential uses.

Applicant Response: The subject site is surrounded by NR-BP (Non-residential Business Park) zone district; therefore, this criterion does not apply.

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

Applicant Response: The previously approved site plan is for a charter school and does not feature any residential dwelling units; therefore, this criterion does not apply.

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

Applicant Response: *The requested amendment does not adjust any building design standards rather it is seeking to increase the total building square footage by 5.5% and redesign a small sport court. All building design elements are to remain the same.*

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

Applicant Response: *This request does not reduce or change the total amount of required landscaping for the project. The total amount of required landscaped area is 78,767 square feet; the prior approved landscape plan produces 79,100 square feet and the proposed amended landscape plan produces 79,100 square feet of landscaped area. The 5.5% increase in the gymnasium/classroom building's square footage will not reduce the landscape totals for the charter school or bring it out of compliance with the IDO regulations.*

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

Applicant Response: *This request does not increase traffic accessing the subject property from the local street and does not affect the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting abutting properties. The proposed 5.5% square foot increase for the gym/classroom along with the sport court redesign will not have an effect on traffic accessing the site. The Site Plan provides a drive lane around the building helping traffic to circulate on campus. There are no trail systems on-site or systems that connect to trails off-site.*

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

Applicant Response: *The requested amendment does not require major public infrastructure or any changes to access or circulation patterns.*

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

Applicant Response: *This request does not affect any of the conditions that are associated with the original Notice of Decision (see attached), which were met as evidenced by the final sign-off by DRB.*



11. The amendment does not affect a property in an Overlay zone as regulated per O, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

Applicant Response: *The subject site is not part of an Overlay zone; therefore, this criterion does not apply.*

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

Applicant Response: *This amendment does not change the land use for this property.*

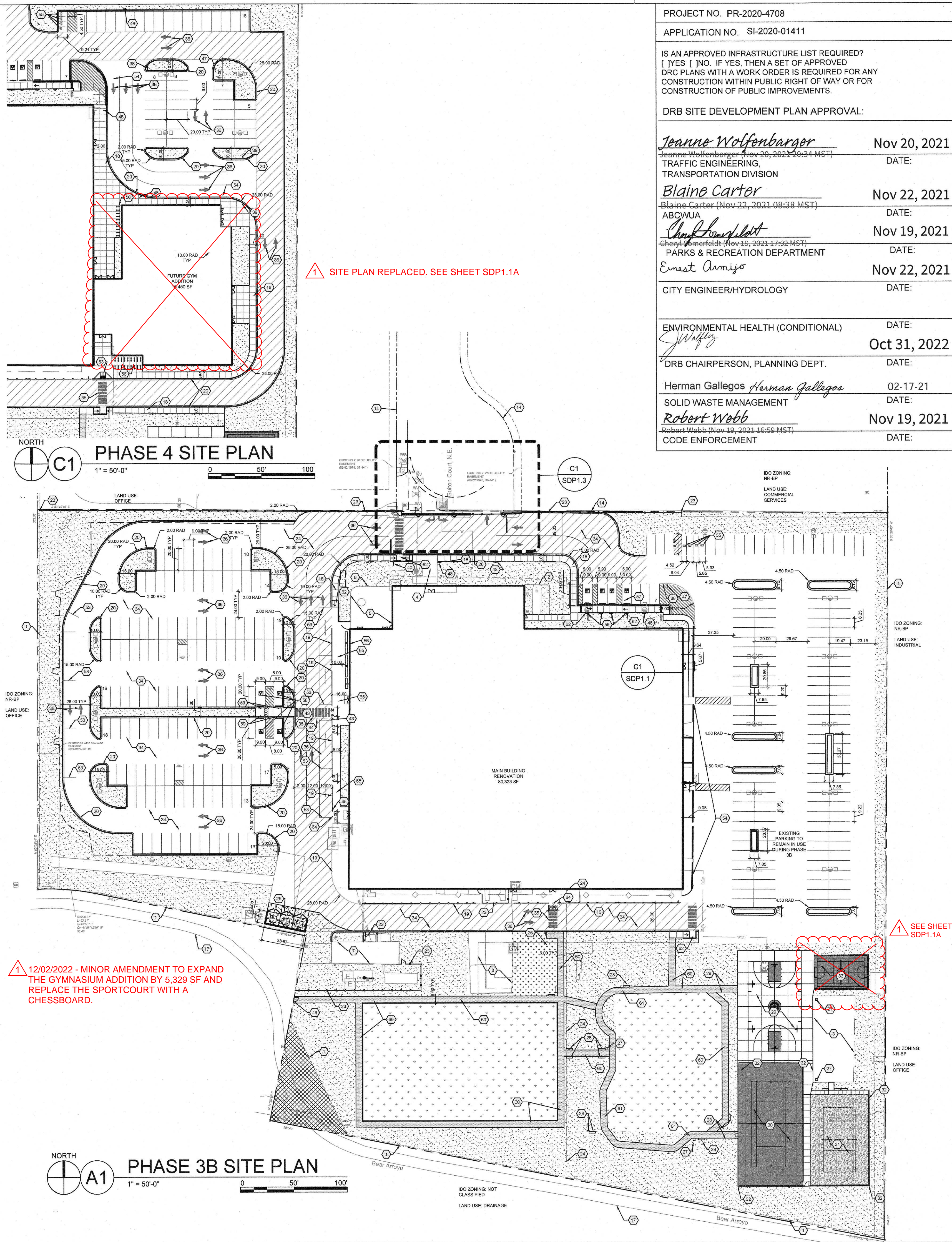
13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

Applicant Response: *There are no nonconformities on the subject site; therefore, this criterion does not apply.*

Based on the IDO Criteria and responses provided above, we respectfully request approval of the attached Minor Amendment as provided for in the IDO. Please do not hesitate to contact us if you have any questions or require any additional information.

Sincerely,


Jacqueline Fishman, AICP
Principal



PROJECT NO. PR-2020-4708	
APPLICATION NO. SI-2020-01411	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<u>Jeannette Wolfenbarger</u> Jeannette Wolfenbarger (Nov 20, 2021 10:34 MST) TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Nov 20, 2021
<u>Blaine Carter</u> Blaine Carter (Nov 22, 2021 08:38 MST) ABCWUA	Nov 22, 2021
<u>Cheryl Hensley</u> Cheryl Hensley (Nov 19, 2021 17:02 MST) PARKS & RECREATION DEPARTMENT	Nov 19, 2021
<u>Ernest Armijo</u> Ernest Armijo (Nov 22, 2021 16:59 MST) CITY ENGINEER/HYDROLOGY	Nov 22, 2021
ENVIRONMENTAL HEALTH (CONDITIONAL)	
<u>Wally</u> Wally (Oct 31, 2022 10:34 MST) DRB CHAIRPERSON, PLANNING DEPT.	Oct 31, 2022
<u>Herman Gallegos</u> Herman Gallegos (02-17-21) SOLID WASTE MANAGEMENT	02-17-21
<u>Robert Webb</u> Robert Webb (Nov 19, 2021 16:59 MST) CODE ENFORCEMENT	Nov 19, 2021

SHEET KEYED NOTES	
CODE	DESCRIPTION
1	EXISTING CHAIN LINK FENCE TO REMAIN
2	EXISTING 7" CMU BLOCK SCREEN WALL TO REMAIN
3	EXISTING SHADE STRUCTURE TO REMAIN
4	EXISTING CONCRETE SIDEWALK TO REMAIN
5	EXISTING PATIO TO REMAIN
6	EXISTING 6" BLOCK WALL TO REMAIN
7	EXISTING MECHANICAL BUILDING TO REMAIN
8	EXISTING STORAGE BUILDING TO REMAIN
9	EXISTING OFFSITE SIDEWALK
10	EXISTING DRIVE PAD FOR ADJACENT PROPERTY
11	EXISTING FIRE HYDRANT TO REMAIN
12	EXISTING CONCRETE VALLEY GUTTER TO REMAIN
13	EXISTING STAMPED CONCRETE
14	PROPERTY BOUNDARY
15	EXISTING UTILITY VAULT TO BE RESET FLUSH WITH DRIVE
16	NEW ASPHALT PAVING
17	BEAR ARROYO MULTI-USE TRAIL
18	CONCRETE SIDEWALK, SEE A1/SDP1.2
19	WALKWAY SEPARATION FENCE, SEE D1/SDP1.2
20	6" HEIGHT CONCRETE CURB AND GUTTER, SEE A2/SDP1.2
21	CONCRETE MOUNTABLE CURB, SEE A5/SDP1.2
22	CONCRETE HEADER CURB, SEE C2/SDP1.2
23	8" FENCE, AMERISTAR WIREWORKS ANTI-CLIMB AS BASIS OF DESIGN
24	REMOVE FENCE
25	REFUSE ENCLOSURE, SEE B1/SDP1.2
26	GREENHOUSE, TBD
27	LITTER RECEPTACLE
28	6" BENCH
29	84' X 50' BASKETBALL COURT
30	84' X 50' BASKETBALL COURT WITH REMOVABLE NET FOR TENNIS, ANTI-CLIMB PERIMETER FENCE AND GATE
31	SAND VOLLEY BALL COURT
32	BALL NETTING
33	30' X 50' SPORT COURT, 30' X 50' CONCRETE COURT WITH 27' X 27' CHESS BOARD, SEE SHEET SDP1.1A
34	ASPHALT TO BE REPAIRED, RESURFACED AND RESTRIPTED
35	PAINTED CROSSWALK
36	DIRECTIONAL PAVEMENT ARROW
37	TRAFFIC STRIPING, 4" WIDE REFLECTIVE PAINT
38	ONE-WAY TRAFFIC SIGN, SEE C1/SDP1.2
39	DO NOT ENTER SIGN, SEE C1/SDP1.2
40	STOP SIGN, SEE C1/SDP1.2
41	PAINTED STOP LINE
42	WAYFINDING SIGNAGE
43	PEDESTRIAN CROSSING SIGN, SEE C1/SDP1.2
44	PAINTED LETTERING "DO NOT BLOCK CROSSWALK"
45	BUS LOADING ZONE SIGN, SEE C1/SDP1.2
46	VISITOR PARKING SIGN, SEE C1/SDP1.2
47	STAFF PARKING SIGN, SEE C1/SDP1.2
48	STUDENT DROP-OFF AND PICK-UP SIGN, SEE C1/SDP1.2
49	KEYED ACCESS TO BEAR CANYON TRAIL
50	OUTDOOR DINING TABLES AND CHAIRS PER OWNER
51	AUTOMATIC SLIDING GATE
52	REMOVE ASPHALT
53	BUS DROP OFF STRIPING FOR QUEUING
54	PARENT DROP OFF LOADING ZONE
55	MOTORCYCLE PARKING
56	BICYCLE PARKING, SEE C3/SDP1.2 FOR BASIS OF DESIGN
57	ACCESSIBLE PARKING, SEE B2/SDP1.2
58	VAN ACCESSIBLE PARKING, SEE B2/SDP1.2
59	ACCESSIBLE PARKING SIGNAGE, SEE C1/SDP1.2
60	6" WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH
61	EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES
62	CONCRETE CURB RAMP, SEE A3/SDP1.2
63	ACCESSIBLE RAMP, SEE A4/SDP1.2
64	4" PIPE BOLLARD, SEE D2/SDP1.2
65	EXISTING ASPHALT TO REMAIN, PEDESTRIAN ONLY ZONE

GENERAL SHEET NOTES

A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
E. STANDARD PARKING SPACES 9'-0" X 20'-0".
F. ACCESSIBLE PARKING SPACES 9'-0" X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 28' TO 32' WIDE.
H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
I. 28' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.
L. NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE.
M. VEHICULAR GATES AT GULTON CT WILL BE OPEN DURING BUSINESS HOURS.
N. THE SITE IS DESIGN TO ACCOMMODATE QUEUING AND DROP-OFF FOR 8 SCHOOL BUSES.

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING TO THE EXISTING TO THE EXISTING TO THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: 13-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
ZONE ATLAS NUMBER: E17
SITE AREA: 10 ACRES
EXISTING ZONING: NR-BP
BUILDING AREA
RENOVATION: 80,142 SF
FUTURE GYM EXPANSION: 16,450 SF
TOTAL: 96,592 SF
CONSTRUCTION TYPE: IIB
BUILDING HEIGHT
RENOVATION: 20'-5"
FUTURE GYM EXPANSION: 32'-0"
SPRINKLED: YES
FIRE FLOW: 3,000 GPM
FLOW DURATION: 4HR
HYDRANTS REQUIRED: 3
PARKING CALCULATION
PHASE 3 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 150
(2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 30 HIGH SCHOOL CLASSROOMS = 90) = 150
PHASE 4 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 157
(2 X 32 MIDDLE SCHOOL CLASSROOMS = 64) + (3 X 31 HIGH SCHOOL CLASSROOMS = 93) = 157
PHASE 4 REQUIRED NUMBER OF PARKING SPACES BASED ON AUDITORIUM SEATS: 188*
1 PARKING SPACE PER 4 SEATS
750 PROPOSED AUDITORIUM SEATS = 188*
*GREATER NUMBER OF THE TWO CALCULATION METHODS WILL BE USED
TOTAL PARKING SPACES PROVIDED
PHASE 3B: 290
PHASE 4: 198
MOTORCYCLE PARKING REQUIRED: 4
MOTORCYCLE PARKING PROVIDED: 4
BICYCLE PARKING REQUIRED: 89
BICYCLE PARKING PROVIDED: 100

LEGEND

PROPERTY LINE
HEAVY DUTY ASPHALT FOR FIRE ACCESS
LANDSCAPE AREA, SEE PLANTING PLAN
PERMANENT AMAFCA AND CITY OF ALBUQUERQUE PUBLIC TRAIL EASEMENT, NO WORK WILL OCCUR IN THIS EASEMENT AND WILL NOT BE ENCROACHED UPON DURING OR AFTER CONSTRUCTION
SITE LIGHTING, SEE SITE LIGHTING PLAN

VICINITY MAP

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASES 3B AND 4
6600 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS
8/19/2021 AA-001
△
△
△
△

DRAWN BY DS

REVIEWED BY MB

DATE 2/5/21

PROJECT NO. 19-0099.003

DRAWING NAME

SITE PLAN

SHEET NO.

SDP1.1

OF

PLANT SCHEDULE

TREES	COMMON NAME	SHRUBS	COMMON NAME	SHRUBS	COMMON NAME
	EXISTING TREE TO REMAIN		LARGE DECIDUOUS SHRUB		LOW GROUND COVER
	LARGE DECIDUOUS TREE		CHAMISA		GRO-LOW SUMAC
	EMERALD SUNSHINE ELM		APACHE PLUME		ARCADIA JUNIPER
	FRONTIER ELM		FERNBUSH		PRAIRIE SAGE
	SHADE MASTER HONEY LOCUST		GAMBEL OAK		LARGE VINE
	SHUMARD OAK		WINDBREAKER SACATON		TRUMPET VINE
	CHINESE PISTACHE				SILVER LACE VINE
	JAPANESE PAGODA TREE				CROSS VINE
	LARGE EVERGREEN TREE		MEDIUM DECIDUOUS SHRUB		
	AUSTRIAN PINE		LINDHEIMER MUHLY GRASS		
	AFGHAN PINE		BLUE MIST SPIREA		
	ARIZONA CYPRESS		PAWNEE BUTTES WESTERN SAND CHERRY		
	SMALL EVERGREEN TREE		BUTTERFLY BUSH		
	ESCAPMENT LIVE OAK		SMALL DECIDUOUS SHRUB		
	ROCKY MOUNTAIN JUNIPER		AUTUMN SAGE		
			BLONDE AMBITION BLUE GRAMA		
			EL TORO MUHLY GRASS		
			MEDIUM EVERGREEN SHRUB		
			THOMPSON BROOM		
			TURPENTINE BUSH		
			BEARGRASS		
			RED YUCCA		

LANDSCAPE CALCULATIONS

LANDSCAPE CALCULATIONS REFLECT COMPLETION OF PHASE 4

TOTAL SITE AREA = 9.98 AC = 435,117 SF
AREA OF LOT COVERED BY BUILDINGS = 96,592 SF (INCLUDING GYM)
NET LOT AREA = 338,525 SF

REQUIRED LANDSCAPE
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 50,779 SF
PROVIDED LANDSCAPE AREA = 105,023 SF = 31% 104,604 SF = 30.9%

REQUIRED TREES
TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
TOTAL NUMBER OF PARKING = 199 SPACES
REQUIRED NUMBER OF PARKING LOT TREES = 20 TREES
PROVIDED NUMBER OF PARKING LOT TREES = 26 TREES
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = NA
PROVIDED STREET TREES = NA

REQUIRED VEGETATIVE COVERAGE
REQUIRED VEGETATIVE COVERAGE = 78,787 SF = 75% OF PROVIDED LANDSCAPE AREA
A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
PROVIDED TOTAL VEGETATIVE COVERAGE = 79,100 SF = 75% OF TOTAL PROVIDED LANDSCAPE AREA
TREE CANOPY COVERAGE = 59,140 SF
GROUND PLANT COVERAGE = 19,959 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

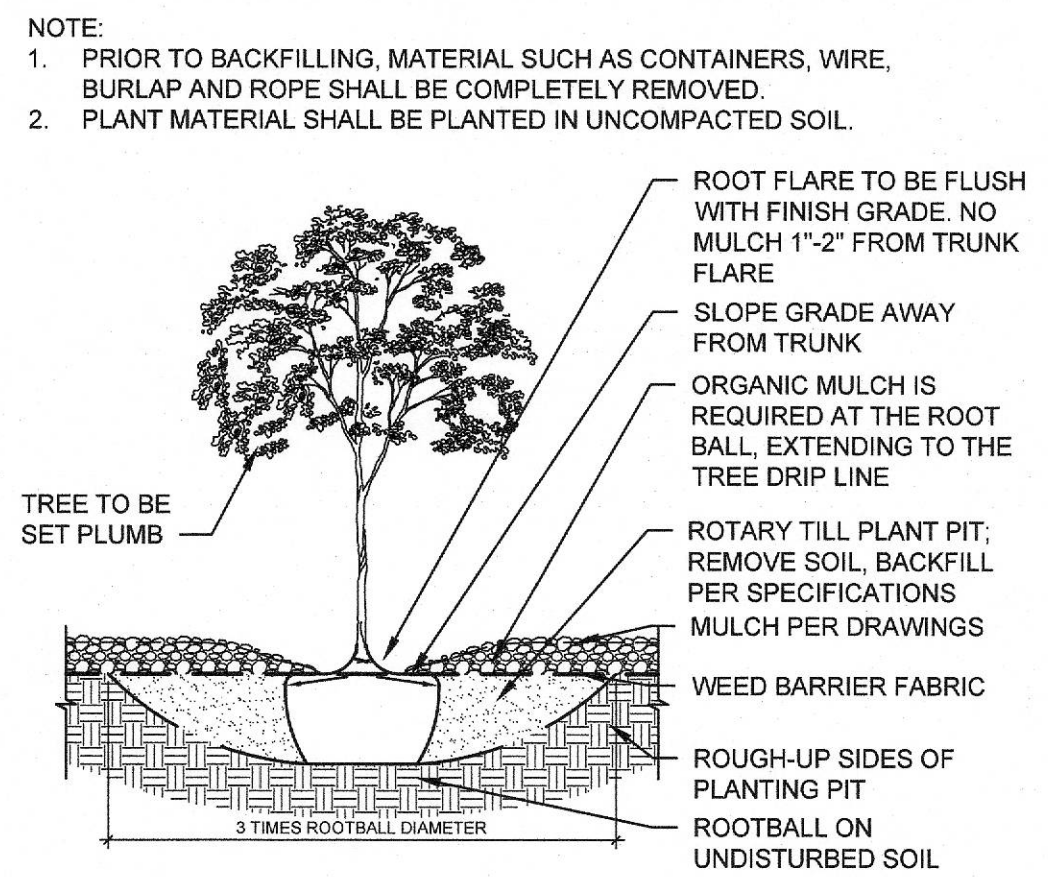
PARKING LOT AREA = 154,500 SF
PARKING LOT LANDSCAPING PROVIDED = 27,100 SF = 17%
MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
TOTAL ROCK MULCH GROUND COVER = 34,231 SF = 53%
TOTAL ORGANIC MULCH GROUND COVER = 29,925 SF = 47%
A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIP LINE.
- E. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 8" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- F. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- G. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- H. IRRIGATED NATIVE SEEDING IS USED TO STABILIZE PERIMETER AREAS OF THE SITE WITH NATIVE GRASSES AND SHRUBS AND NATIVE DENSITIES. REGULAR AUTOMATED IRRIGATION WILL BE TURNED OFF AFTER TWO GROWING SEASONS. SEEDING WILL NOT ENCRoACH UPON THE BEAR ARROYO TRAIL TO THE SOUTH DURING OR AFTER CONSTRUCTION.

TREE PLANTING DETAIL



SHEET KEYED NOTES

CODE	DESCRIPTION
1	RETENTION POND
2	PLANTING TO SCREEN PARKING LOT FROM ARROYO
3	EXISTING MULTIPURPOSE FIELD TO REMAIN
4	MULTIPURPOSE FIELD

LEGEND

SYMBOL	NOTES
	4"Ø ANGULAR GRAVEL AT 8" DEPTH OVER WEED BARRIER FABRIC
	3/4"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC
	SHREDDED SCREENED BARK/WOOD MULCH 3" DEPTH OVER FILTER FABRIC
	EXISTING TURF AREA TO REMAIN
	IRRIGATED NATIVE SEED MIX BASIS OF DESIGN: GRAVELLY UPLANDS AND SLOPES SEED MIX LISTED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
	SCHOOL GARDEN
	PROPERTY LINE

VICINITY MAP



DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASES 3B AND 4
6600 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS

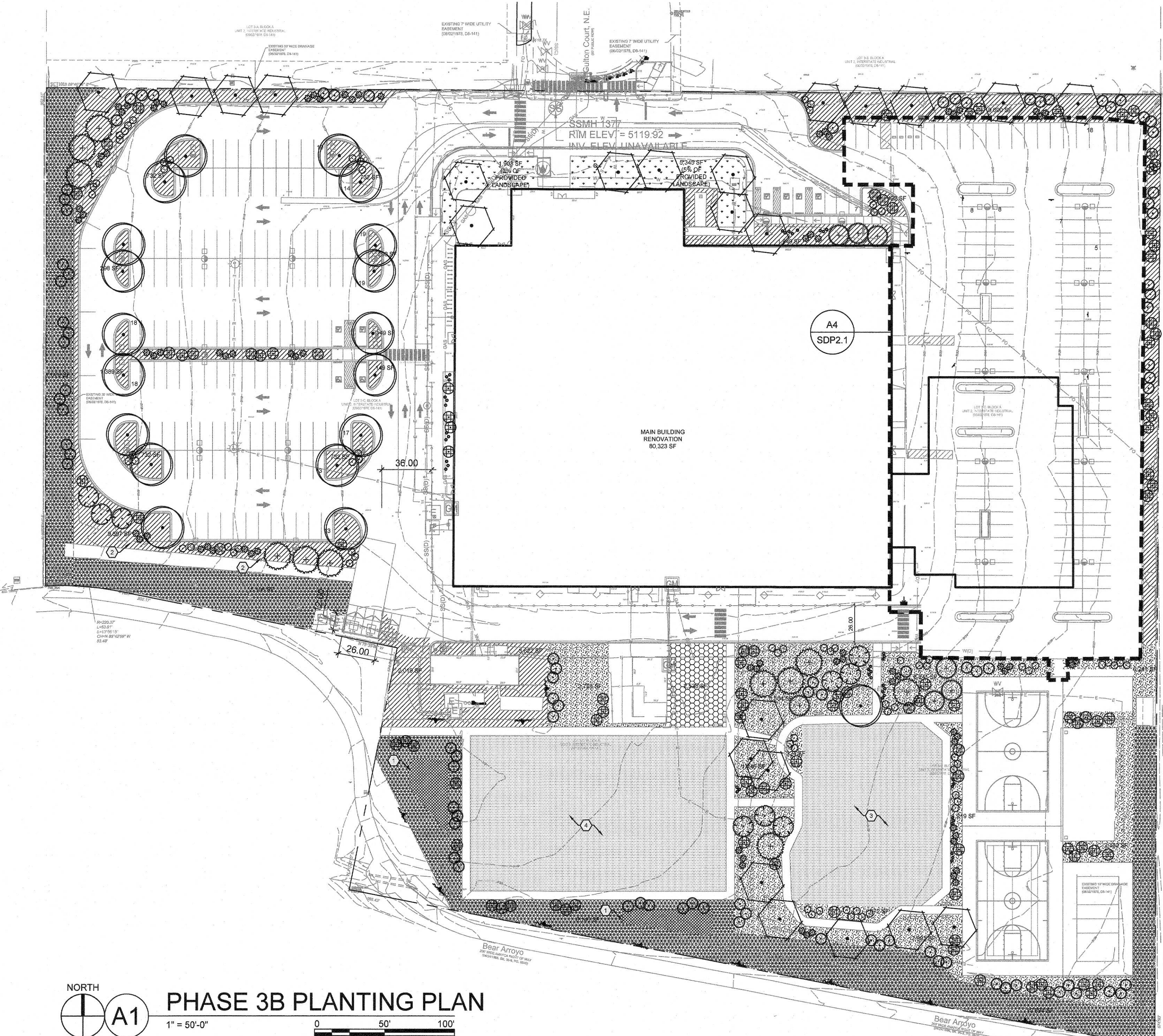


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REVIEWED BY MB
DATE 2/5/21
PROJECT NO. 19-0099.003
DRAWING NAME

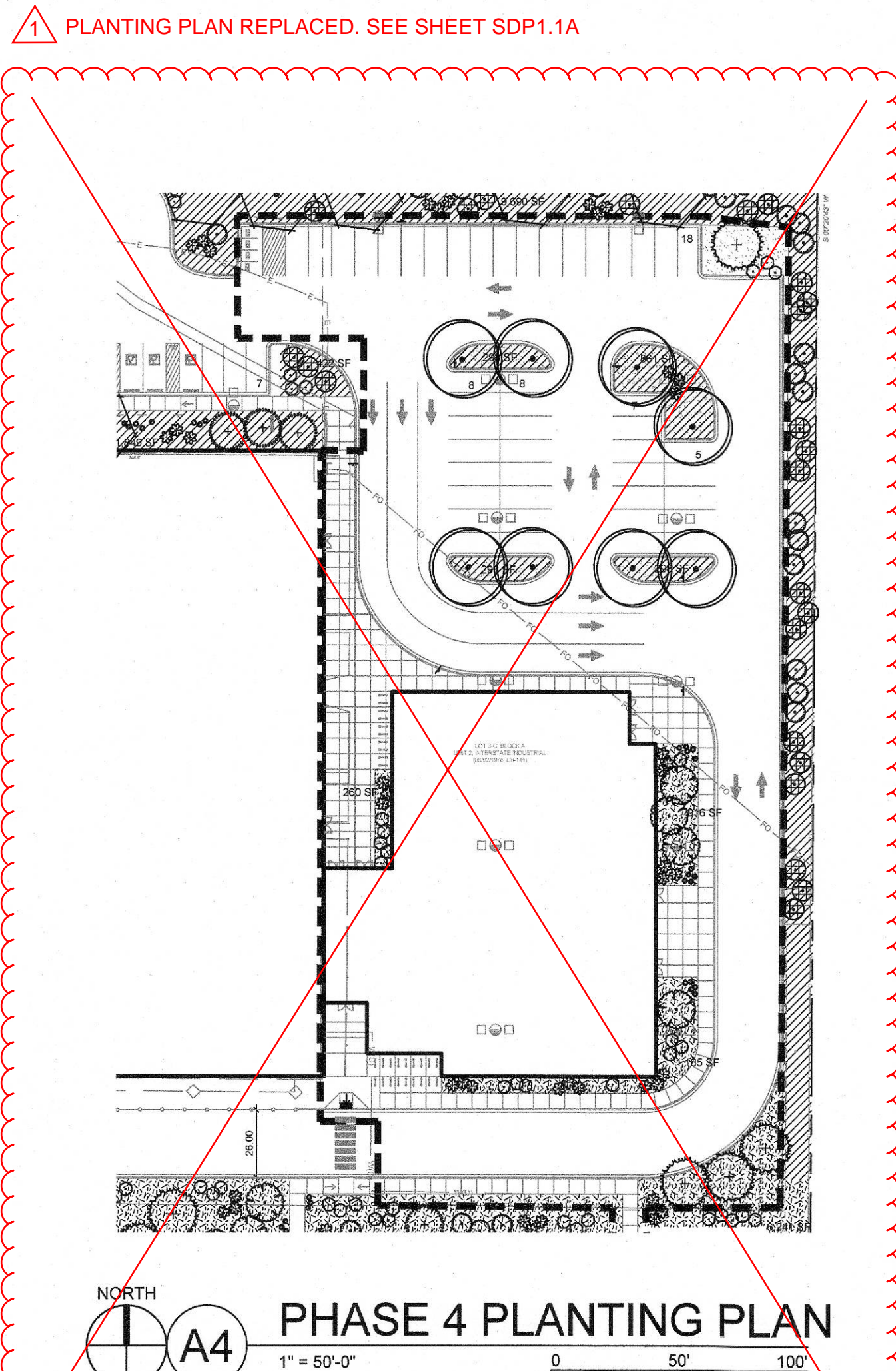
PLANTING
PLAN

SHEET NO.

SDP2.1
OF



NORTH
A1
PHASE 3B PLANTING PLAN
1" = 50'-0"
0 50' 100'



NORTH
A4
PHASE 4 PLANTING PLAN
1" = 50'-0"
0 50' 100'

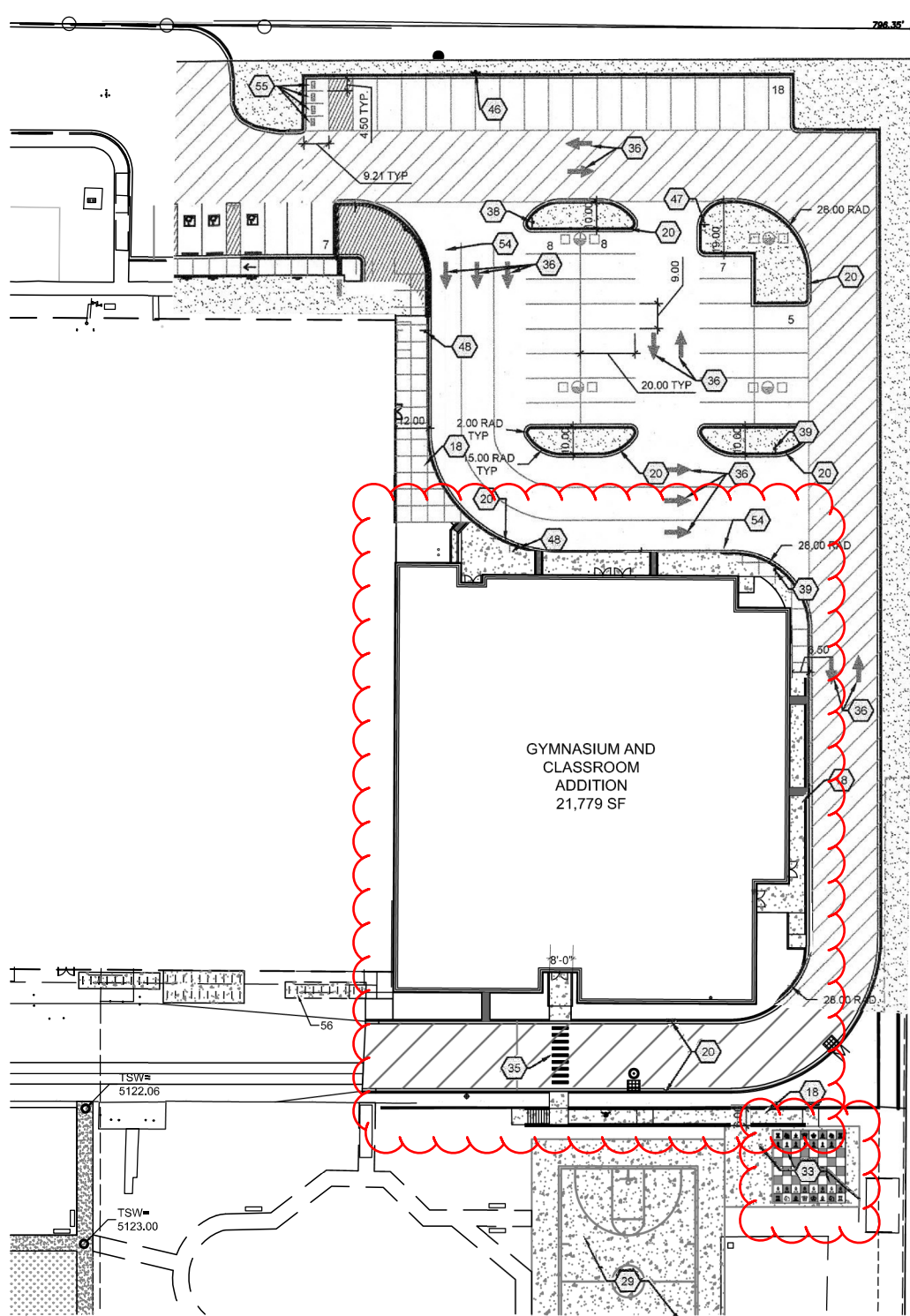
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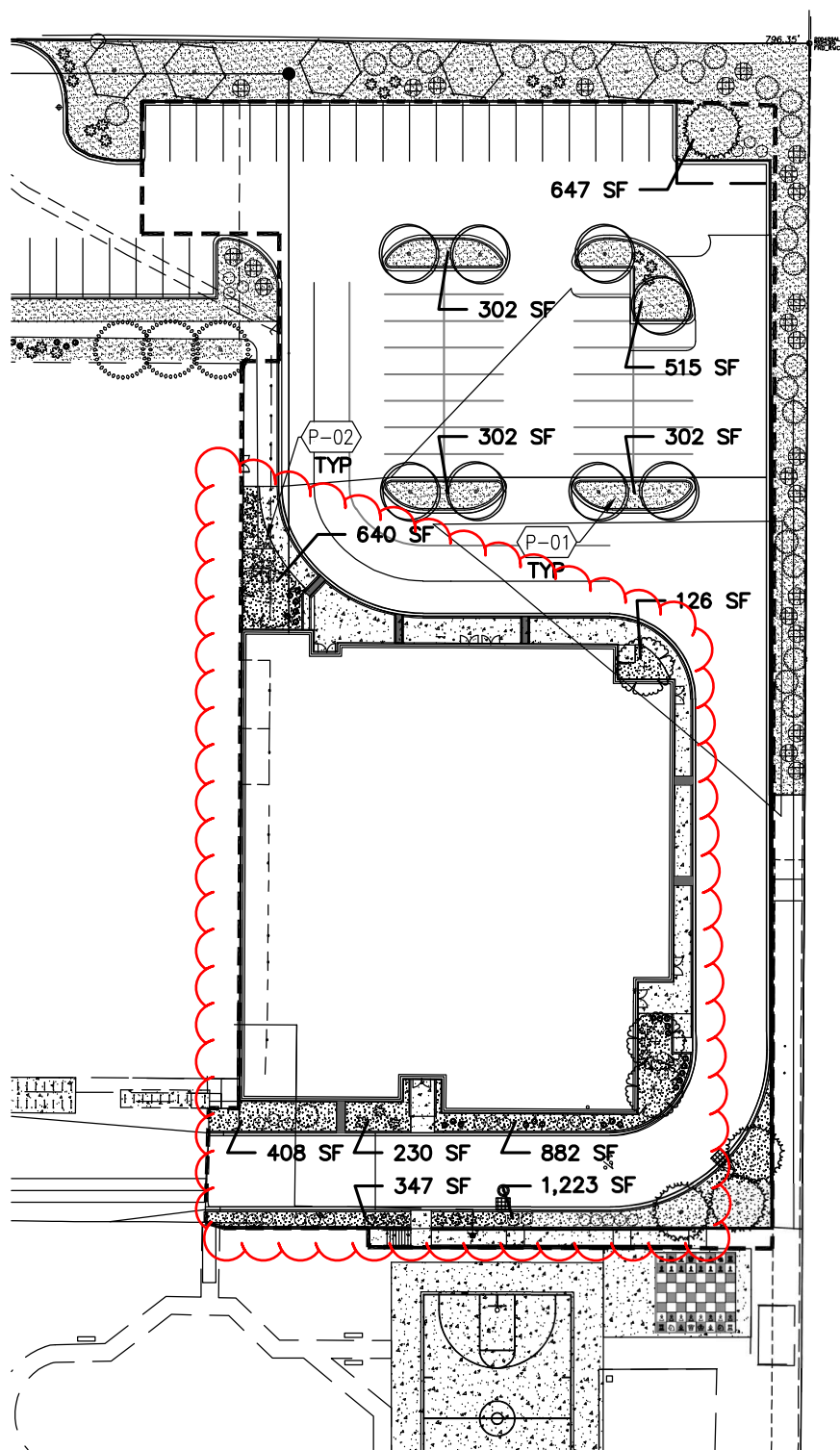
PROJECT NAME
**EXPLORE ACADEMY
GYMNASIUM ADDITION**

6600 GULTON COURT NE
ALBUQUERQUE, NEW MEXICO 87109

EXPLORE ACADEMY



A1 PHASE 4 SITE PLAN
1" = 50'-0"



A1 PHASE 4 PLANTING PLAN
1" = 50'-0"

PLANT SCHEDULE

- LARGE DECIDUOUS TREE**
EMERALD SUNSHINE ELM
FRONTIER ELM
SHADE MASTER HONEY LOCUST
SHUMARD OAK
CHINESE PISTACHE
JAPANESE PAGODA TREE
- LARGE EVERGREEN TREE**
AUSTRIAN PINE
AFGHAN PINE
ARIZONA CYPRESS
- SMALL EVERGREEN TREE**
ESCARPMENT LIVE OAK
ROCKY MOUNTAIN JUNIPER
- SMALL DECIDUOUS TREE**
DESERT WILLOW
NEW MEXICO OLIVE
VITEX
- EXISTING TREE**
- LARGE DECIDUOUS SHRUB**
CHAMISA
APACHE PLUME
FERNBUSH
GAMBEL OAK
WINDBREAKER SAGATON
- MEDIUM DECIDUOUS SHRUB**
LINDBERGER MUHLY GRASS
BLUE MIST SPIREA
PAWNEE BUTTES WESTERN SAND CHERRY
BUTTERFLY BUSH
- SMALL DECIDUOUS SHRUB**
AUTUMN SAGE
BLONDE AMBITION BLUE GRAMA
EL TORO MUHLY GRASS

CITY LANDSCAPE ORDINANCE COMPLIANCE

LANDSCAPE CALCULATIONS REFLECT COMPLETION OF PHASE 4

APPROVED LANDSCAPE AREA = 105,023 SF = 31%
REVISED LANDSCAPE AREA = 104,979 SF = 31%

REQUIRED VEGETATIVE COVERAGE
REQUIRED VEGETATIVE COVERAGE = 78,767 SF = 75% OF PROVIDED LANDSCAPE AREA
"A MINIMUM 25% REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS"
REVISED TOTAL VEGETATIVE COVERAGE = 79,100 SF = 75.5% OF REVISED LANDSCAPE AREA
REVISED TREE CANOPY COVERAGE = 59,140 SF
REVISED GROUND PLANT COVERAGE = 19,959 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

GROUND COVER MATERIAL
TOTAL ROCK MULCH GROUND COVER = 33,897 SF = 52%
TOTAL ORGANIC MULCH GROUND COVER = 30,690 SF = 48%

PLANTING KEYED NOTES

CODE	DESCRIPTION
P-01	3/4" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC.
P-02	SHREDDED SCREENED BARK/WOOD MULCH 3" DEPTH OVER FILTER FABRIC.

REVISIONS

NO.	DATE	DESCRIPTION

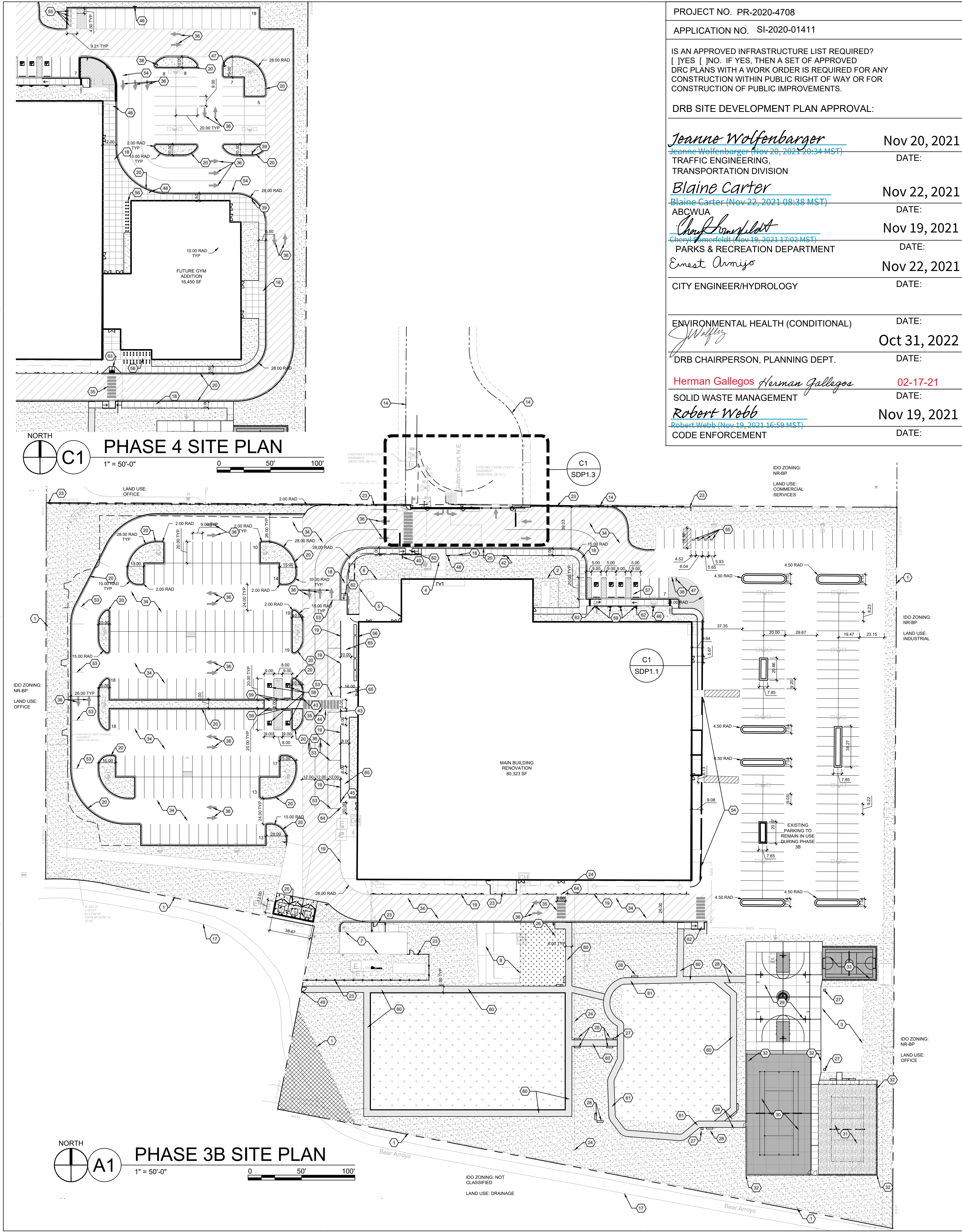
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Drawn by: GM / WESC
Checked by: GM / WESC
Date: DECEMBER 02, 2022
Project number: 3055

SHEET TITLE

SITE PLAN
SHEET NUMBER

SDP1.1A



PROJECT NO. PR-2020-4708	
APPLICATION NO. SI-2020-01411	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<u>Jeanne Wolfenbarger</u> Jeanne Wolfenbarger (Nov 20, 2021 20:34 MST) TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Nov 20, 2021
<u>Blaine Carter</u> Blaine Carter (Nov 22, 2021 08:38 MST) ABCWUA	Nov 22, 2021
<u>Cheryl Somerfeldt</u> Cheryl Somerfeldt (Nov 19, 2021 17:02 MST) PARKS & RECREATION DEPARTMENT	Nov 19, 2021
<u>Ernest Amijo</u>	Nov 22, 2021
CITY ENGINEER/HYDROLOGY	
ENVIRONMENTAL HEALTH (CONDITIONAL)	
<u>Jeffrey</u>	Oct 31, 2022
DRB CHAIRPERSON, PLANNING DEPT.	
<u>Herman Gallegos</u> Herman Gallegos	02-17-21
SOLID WASTE MANAGEMENT	
<u>Robert Webb</u> Robert Webb (Nov 19, 2021 16:59 MST)	Nov 19, 2021
CODE ENFORCEMENT	

SHEET KEYED NOTES

CODE	DESCRIPTION
1	EXISTING CHAIN LINK FENCE TO REMAIN
2	EXISTING 7' CMU BLOCK SCREEN WALL TO REMAIN
3	EXISTING SHADE STRUCTURE TO REMAIN
4	EXISTING CONCRETE SIDEWALK TO REMAIN
5	EXISTING PATIO TO REMAIN
6	EXISTING 6' BLOCK WALL TO REMAIN
7	EXISTING MECHANICAL BUILDING TO REMAIN
8	EXISTING STORAGE BUILDING TO REMAIN
9	EXISTING OFFSITE SIDEWALK
10	EXISTING DRIVE PAD FOR ADJACENT PROPERTY
11	EXISTING FIRE HYDRANT TO REMAIN
12	EXISTING CONCRETE VALLEY GUTTER TO REMAIN
13	EXISTING STAMPED CONCRETE
14	PROPERTY BOUNDARY
15	EXISTING UTILITY VAULT TO BE RESET FLUSH WITH DRIVE
16	NEW ASPHALT PAVING
17	BEAR ARROYO MULTI-USE TRAIL
18	CONCRETE SIDEWALK, SEE A1/SDP1.2
19	WALKWAY SEPARATION FENCE, SEE D1/SDP1.2
20	6' HEIGHT CONCRETE CURB AND GUTTER, SEE A2/SDP1.2
21	CONCRETE MOUNTABLE CURB, SEE A5/SDP1.2
22	CONCRETE HEADER CURB, SEE C2/SDP1.2
23	8' FENCE, AMERISTAR WIREWORKS ANTI-CLIMB AS BASIS OF DESIGN
24	REMOVE FENCE
25	REFUSE ENCLOSURE, SEE B1/SDP1.2
26	GREENHOUSE, TBD
27	LITTER RECEPTACLE
28	6' BENCH
29	84' X 50' BASKETBALL COURT
30	84' X 50' BASKETBALL COURT WITH REMOVABLE NET FOR TENNIS, ANTI-CLIMB PERIMETER FENCE AND GATE
31	SAND VOLLEY BALL COURT
32	BALL NETTING
33	30' X 50' SPORT COURT
34	ASPHALT TO BE REPAIRED, RESURFACED AND RESTRIPED
35	PAINTED CROSSWALK
36	DIRECTIONAL PAVEMENT ARROW
37	TRAFFIC STRIPING, 4" WIDE REFLECTIVE PAINT
38	ONE-WAY TRAFFIC SIGN, SEE C1/SDP1.2
39	DO NOT ENTER SIGN, SEE C1/SDP1.2
40	STOP SIGN, SEE C1/SDP1.2
41	PAINTED STOP LINE
42	WAYFINDING SIGNAGE
43	PEDESTRIAN CROSSING SIGN, SEE C1/SDP1.2
44	PAINTED LETTERING 'DO NOT BLOCK CROSSWALK'
45	BUS LOADING ZONE SIGN, SEE C1/SDP1.2
46	VISITOR PARKING SIGN, SEE C1/SDP1.2
47	STAFF PARKING SIGN, SEE C1/SDP1.2
48	STUDENT DROP-OFF AND PICK-UP SIGN, SEE C1/SDP1.2
49	KEYED ACCESS TO BEAR CANYON TRAIL
50	OUTDOOR DINING TABLES AND CHAIRS PER OWNER
51	AUTOMATIC SLIDING GATE
52	REMOVE ASPHALT
53	BUS DROP OFF STRIPING FOR QUEUING
54	PARENT DROP OFF LOADING ZONE
55	MOTORCYCLE PARKING
56	BICYCLE PARKING, SEE C3/SDP1.2 FOR BASIS OF DESIGN
57	ACCESSIBLE PARKING, SEE B2/SDP1.2
58	VAN ACCESSIBLE PARKING, SEE B2/SDP1.2
59	ACCESSIBLE PARKING SIGNAGE, SEE C1/SDP1.2
60	6' WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH
61	EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES
62	CONCRETE CURB RAMP, SEE A3/SDP1.2
63	ACCESSIBLE RAMP, SEE A4/SDP1.2
64	4" PIPE BOLLARD, SEE D2/SDP1.2
65	EXISTING ASPHALT TO REMAIN, PEDESTRIAN ONLY ZONE

GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
- STANDARD PARKING SPACES 9'-0" X 20'-0"
- ACCESSIBLE PARKING SPACES 9'-0 X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
- FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.
- FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
- 20' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
- SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.
- NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE.
- VEHICULAR GATES AT GULTON CT WILL BE OPEN DURING BUSINESS HOURS.
- THE SITE IS DESIGN TO ACCOMMODATE QUEUING AND DROP-OFF FOR 8 SCHOOL BUSES.

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: "3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
ZONE ATLAS NUMBER: E17
SITE AREA: 10 ACRES
EXISTING ZONING: NR-BP
BUILDING AREA
RENOVATION: 80,142 SF
FUTURE GYM EXPANSION: 16,450 SF
TOTAL: 96,592 SF
CONSTRUCTION TYPE: IIB
BUILDING HEIGHT
RENOVATION: 20'-5"
FUTURE GYM EXPANSION: 32'-0"
SPRINKLED: YES
FIRE FLOW: 3,000 GPM
FLOW DURATION: 4HR
HYDRANTS REQUIRED: 3
PARKING CALCULATION
PHASE 3 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 150
(2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 30 HIGH SCHOOL CLASSROOMS = 90)
= 150
PHASE 4 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 157
(2 X 32 MIDDLE SCHOOL CLASSROOMS = 64) + (3 X 31 HIGH SCHOOL CLASSROOMS = 93)
= 157
PHASE 4 REQUIRED NUMBER OF PARKING SPACES BASED ON AUDITORIUM SEATS: 188*
1 PARKING SPACE PER 4 SEATS
750 PROPOSED AUDITORIUM SEATS = 188*
*GREATER NUMBER OF THE TWO CALCULATION METHODS WILL BE USED
TOTAL PARKING SPACES PROVIDED
PHASE 3B: 290
PHASE 4: 198
MOTORCYCLE PARKING REQUIRED: 4
MOTORCYCLE PARKING PROVIDED: 4
BICYCLE PARKING REQUIRED: 89
BICYCLE PARKING PROVIDED: 100

LEGEND

---	PROPERTY LINE
	HEAVY DUTY ASPHALT FOR FIRE ACCESS
	LANDSCAPE AREA, SEE PLANTING PLAN
	PERMANENT AMAFCA AND CITY OF ALBUQUERQUE PUBLIC TRAIL EASEMENT. NO WORK WILL OCCUR IN THIS EASEMENT AND WILL NOT BE ENCROACHED UPON DURING OR AFTER CONSTRUCTION
	SITE LIGHTING, SEE SITE LIGHTING PLAN

VICINITY MAP



DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASES 3B AND 4
6600 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS

	8/19/2021	AA-001

DRAWN BY DS

REVIEWED BY MB

DATE 2/5/21

PROJECT NO. 19-0099.003

DRAWING NAME

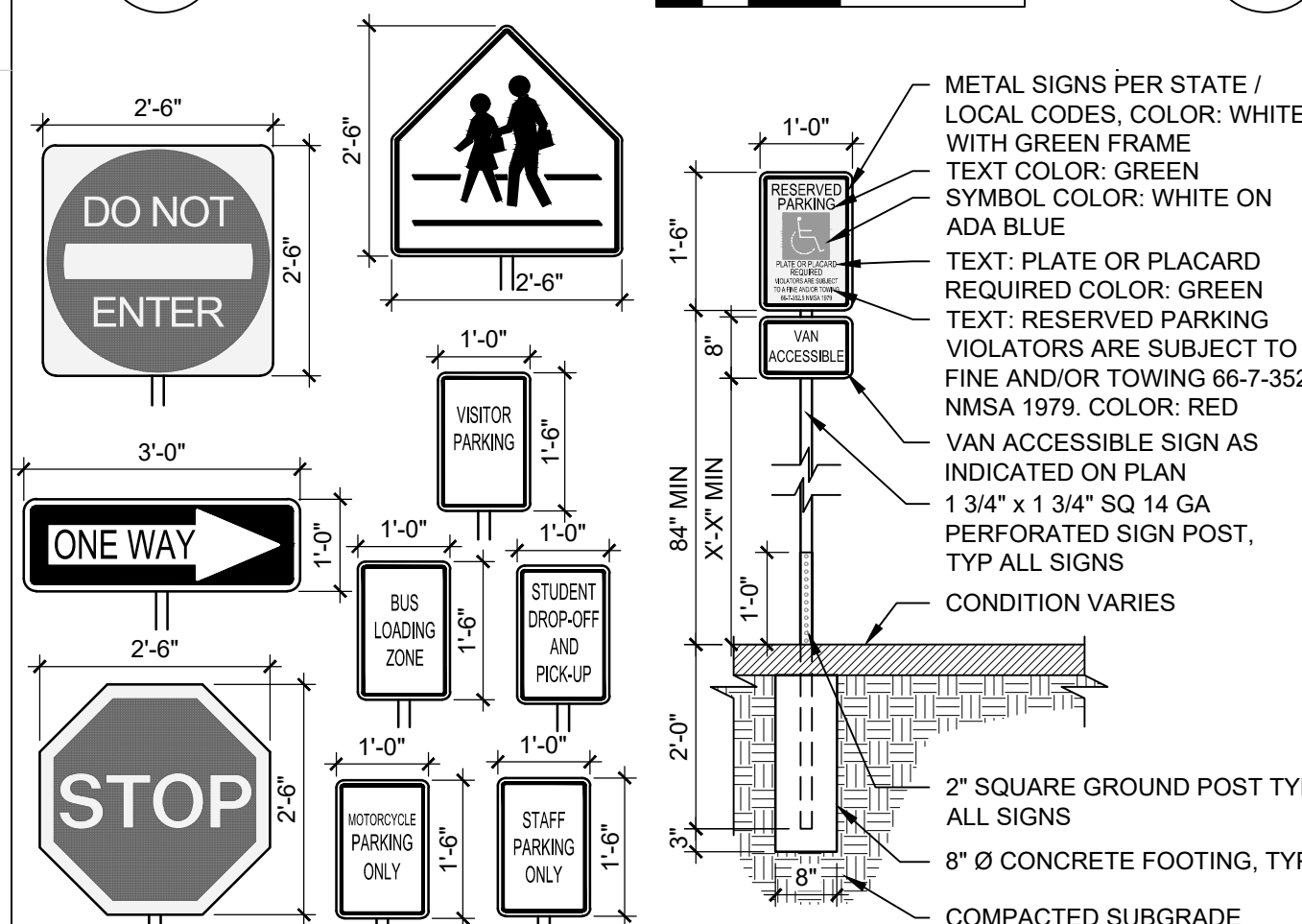
SITE PLAN

SHEET NO.

SDP1.1
OF

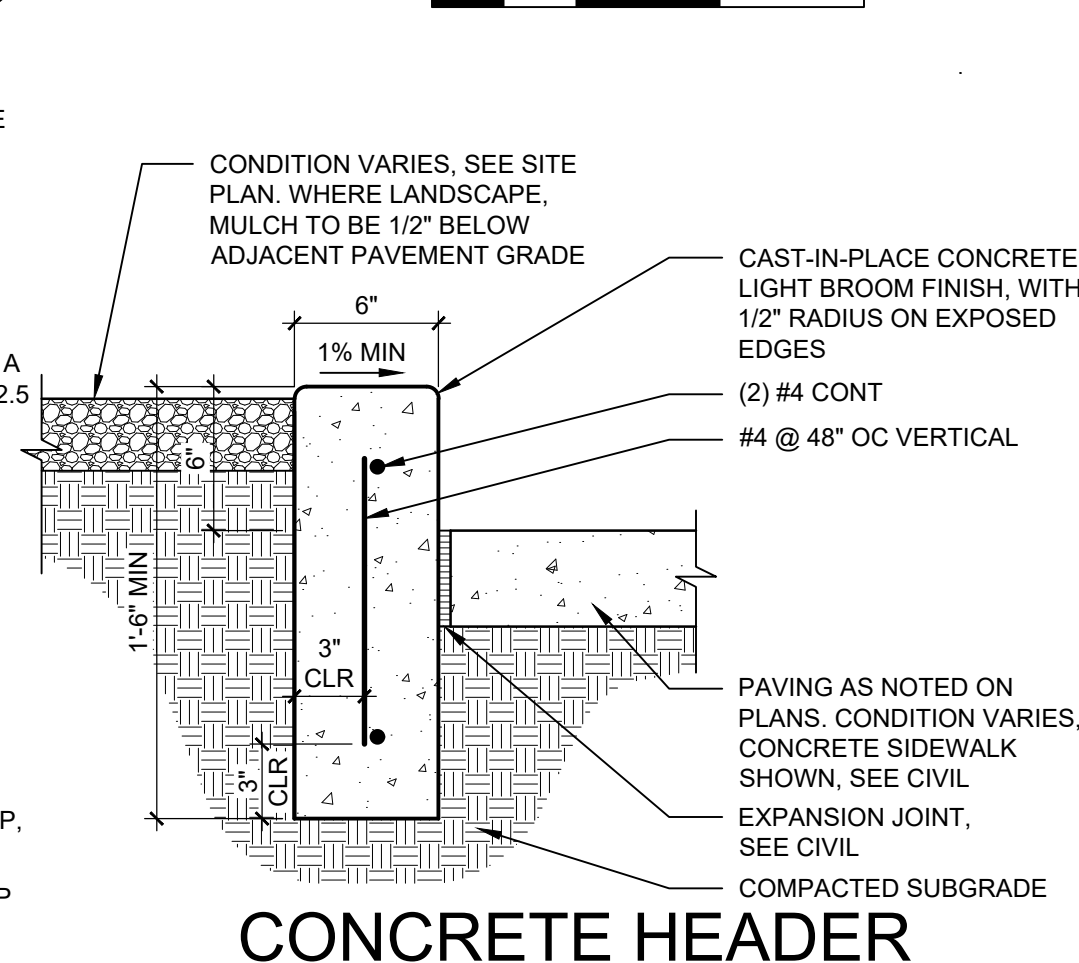
WALKWAY SEPARATION FENCE

D1 1/2" = 1'-0"

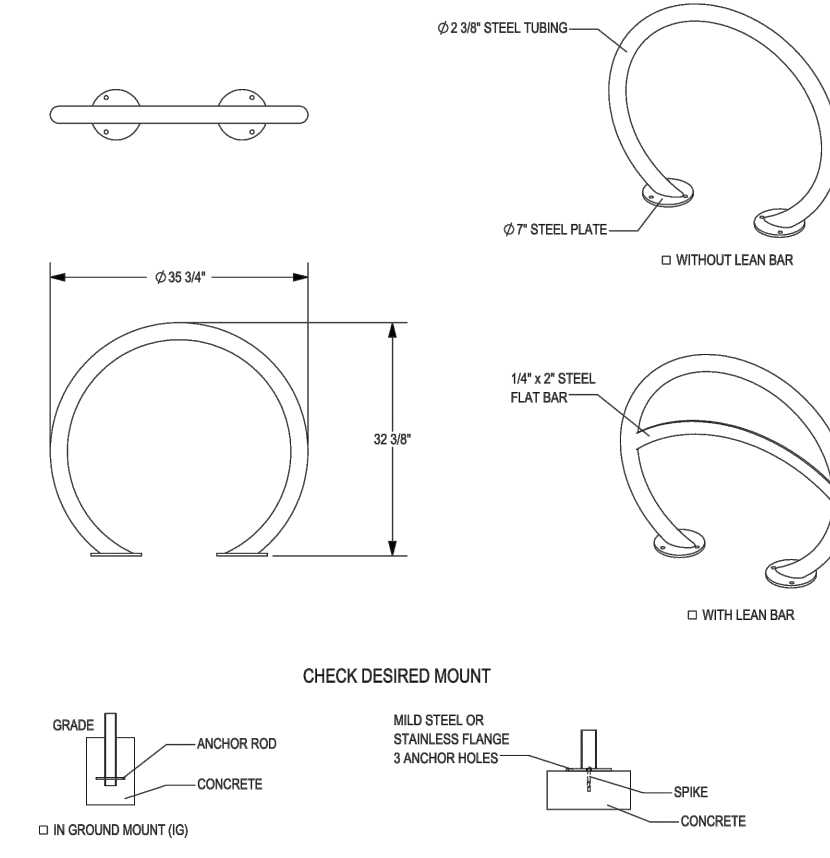


PIPE BOLLARD

D2 3/4" = 1'-0"

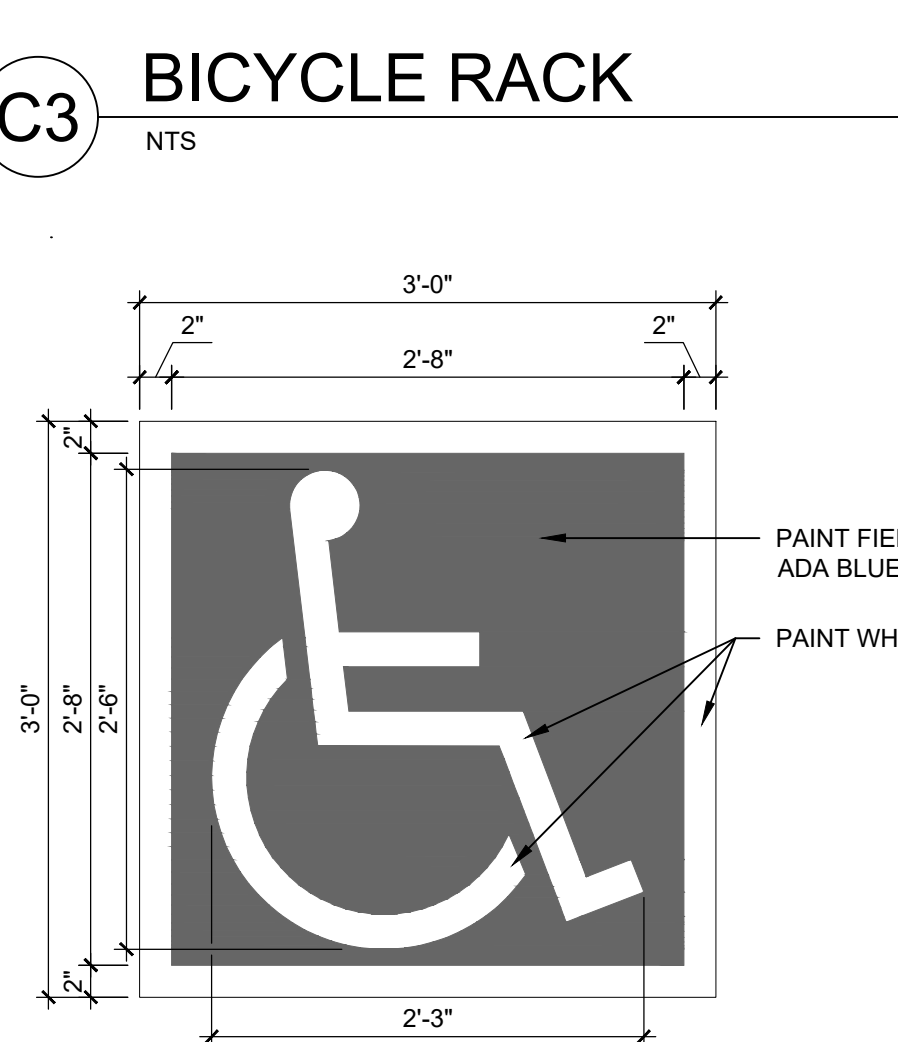


MADRAX



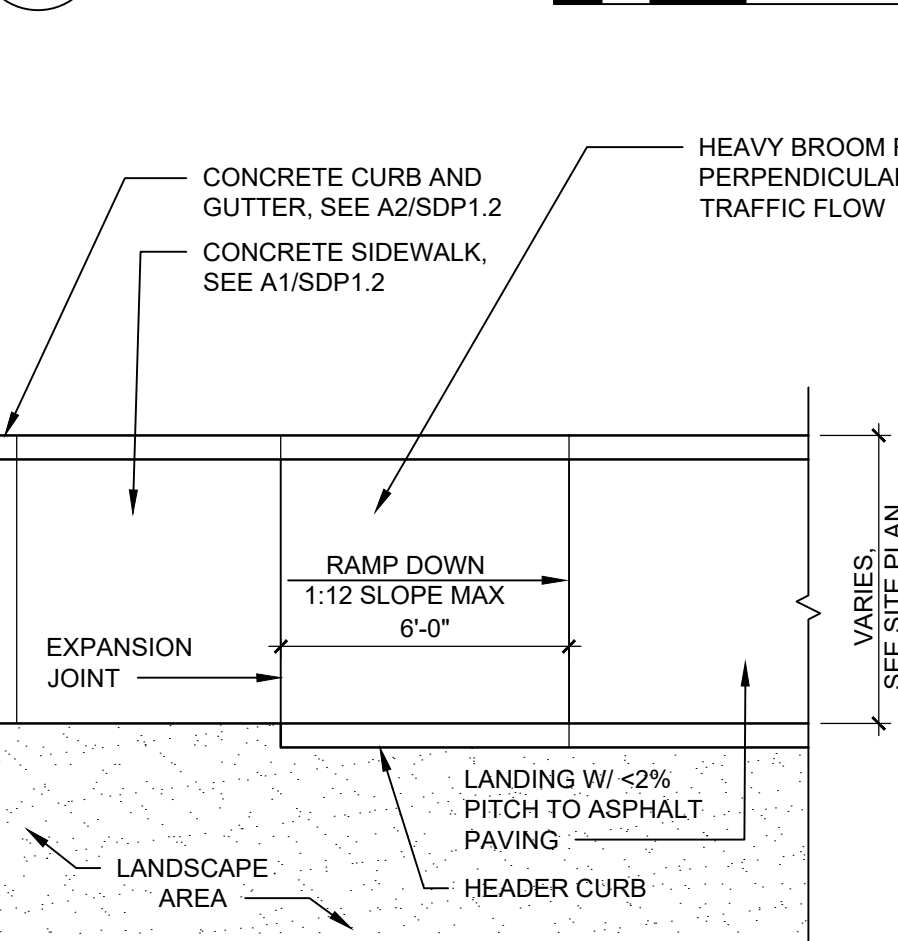
BICYCLE RACK

C3 NTS



ACCESSIBLE PAVEMENT MARKING

B3 1" = 1'-0"



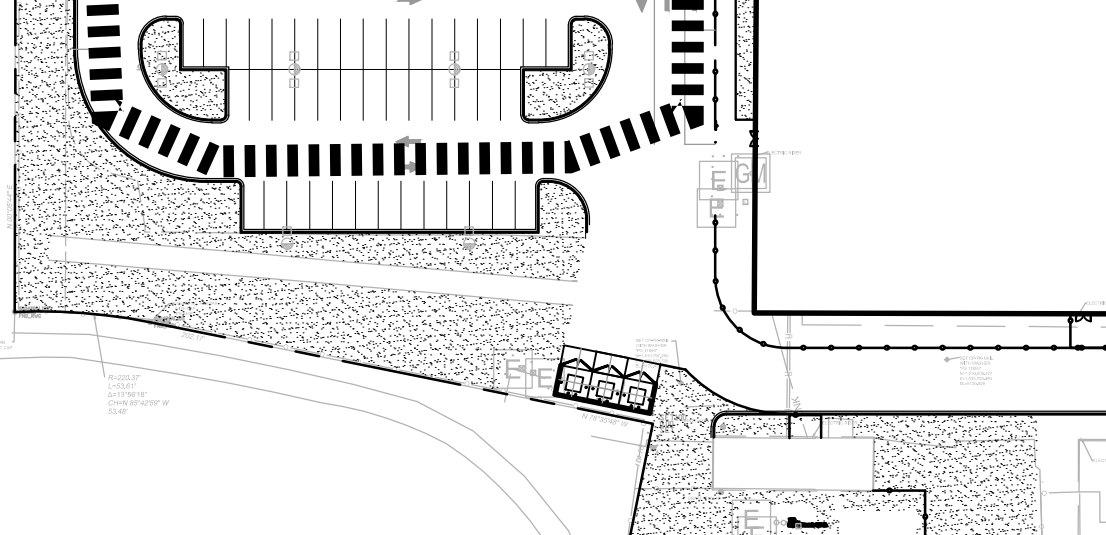
CONCRETE CURB RAMP

A3 1/4" = 1'-0"



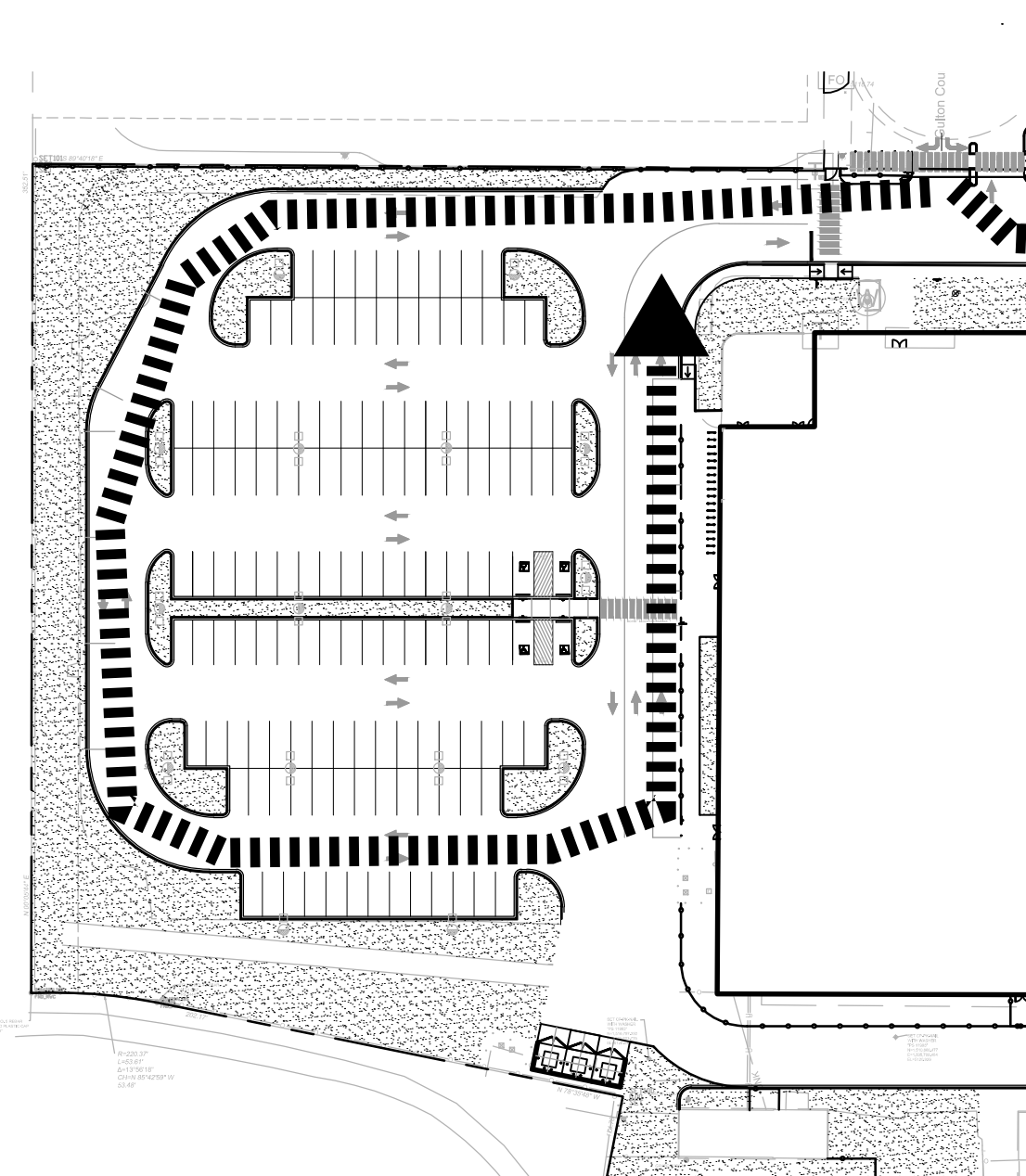
PH4 CIRCULATION DIAGRAM

C4 NTS



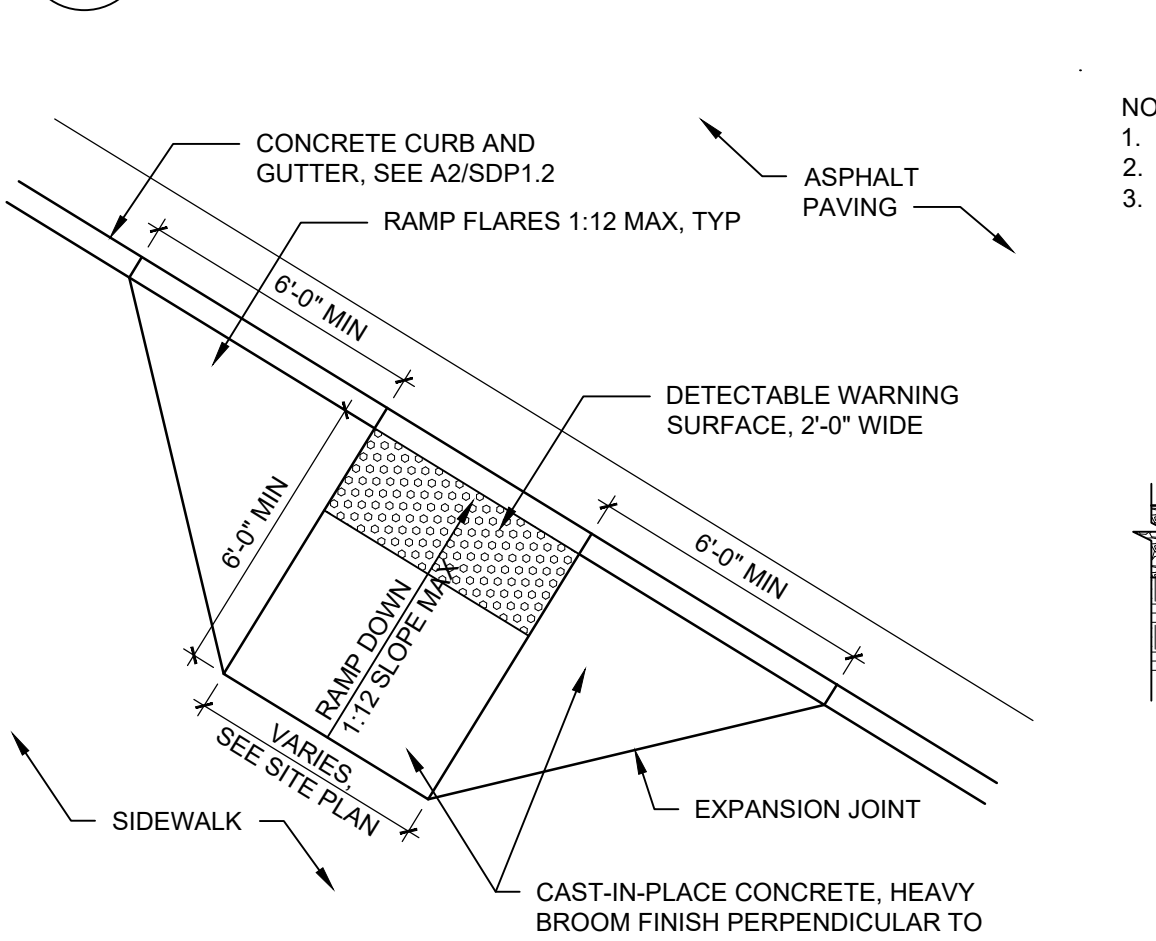
PH3B CIRCULATION DIAGRAM

B4 NTS



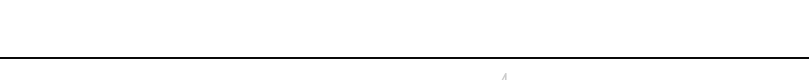
ACCESSIBLE RAMP

A4 1/4" = 1'-0"



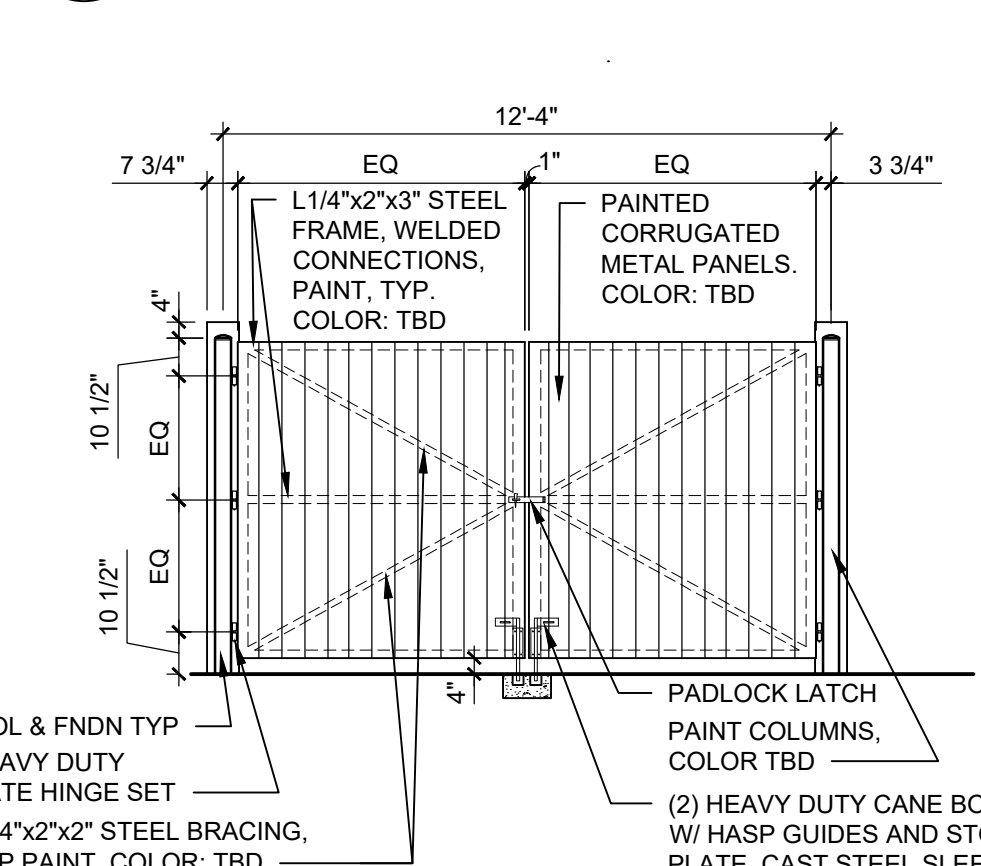
CONCRETE MOUNTABLE CURB

A5 1 1/2" = 1'-0"



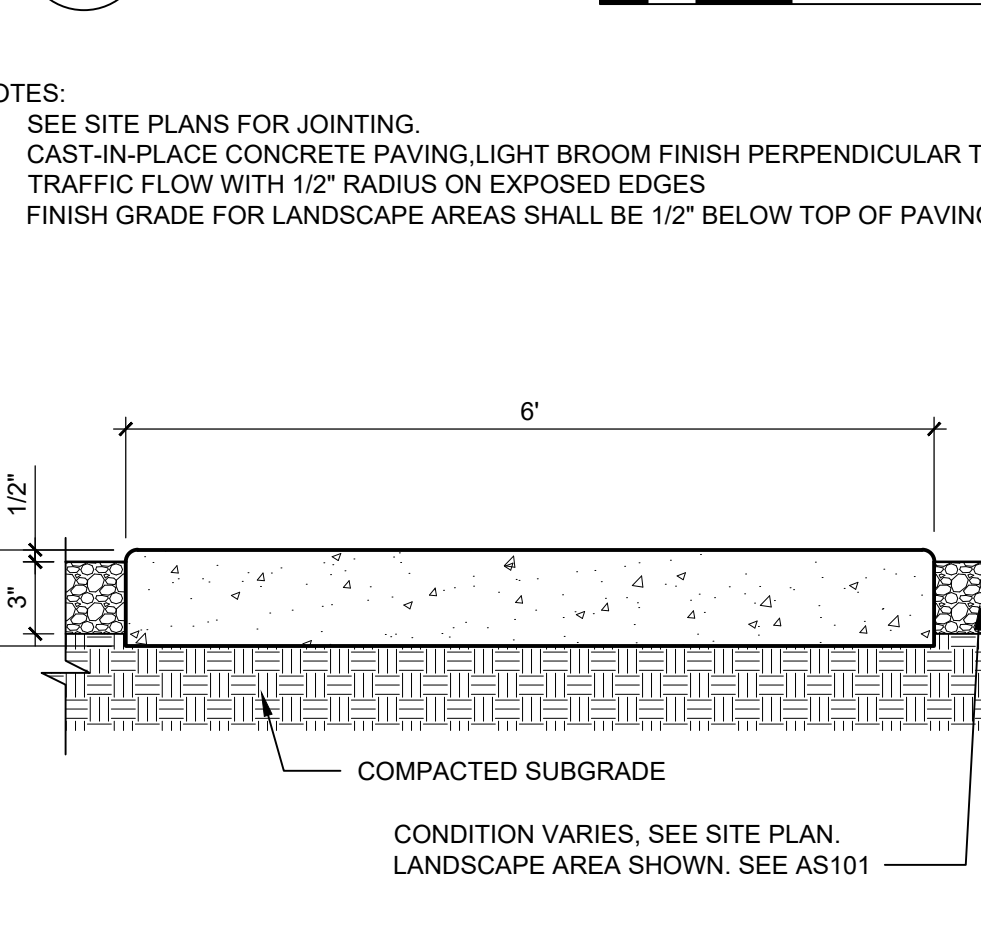
SITE SIGNS

C1 1/2" = 1'-0"



REFUSE ENCLOSURE GATE

B1 1/4" = 1'-0"



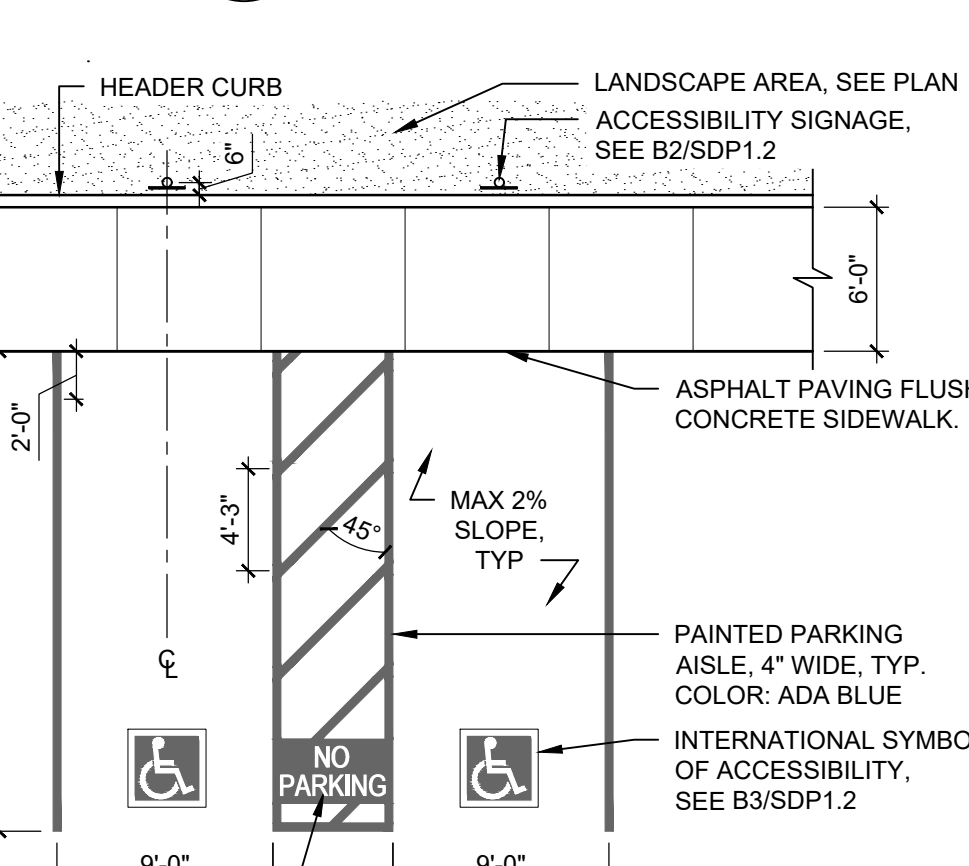
CONCRETE SIDEWALK

A1 1 1/2" = 1'-0"



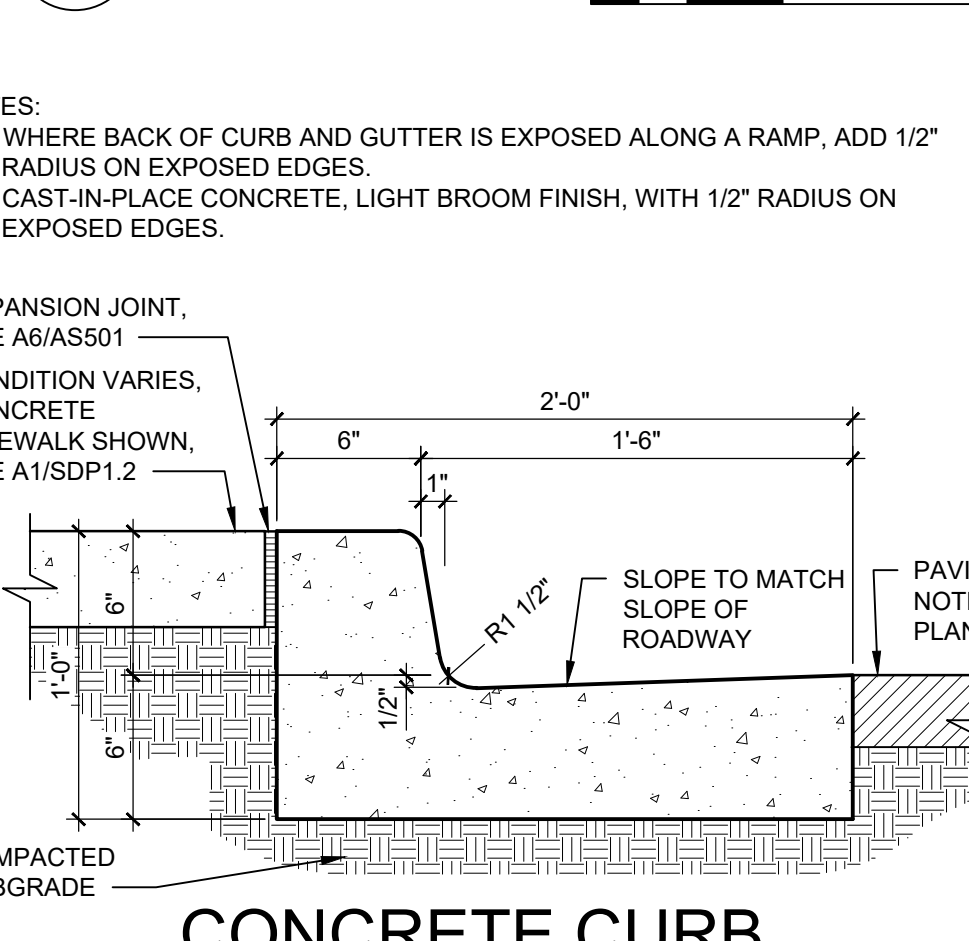
CONCRETE HEADER CURB

C2 1 1/2" = 1'-0"



ACCESSIBLE PARKING

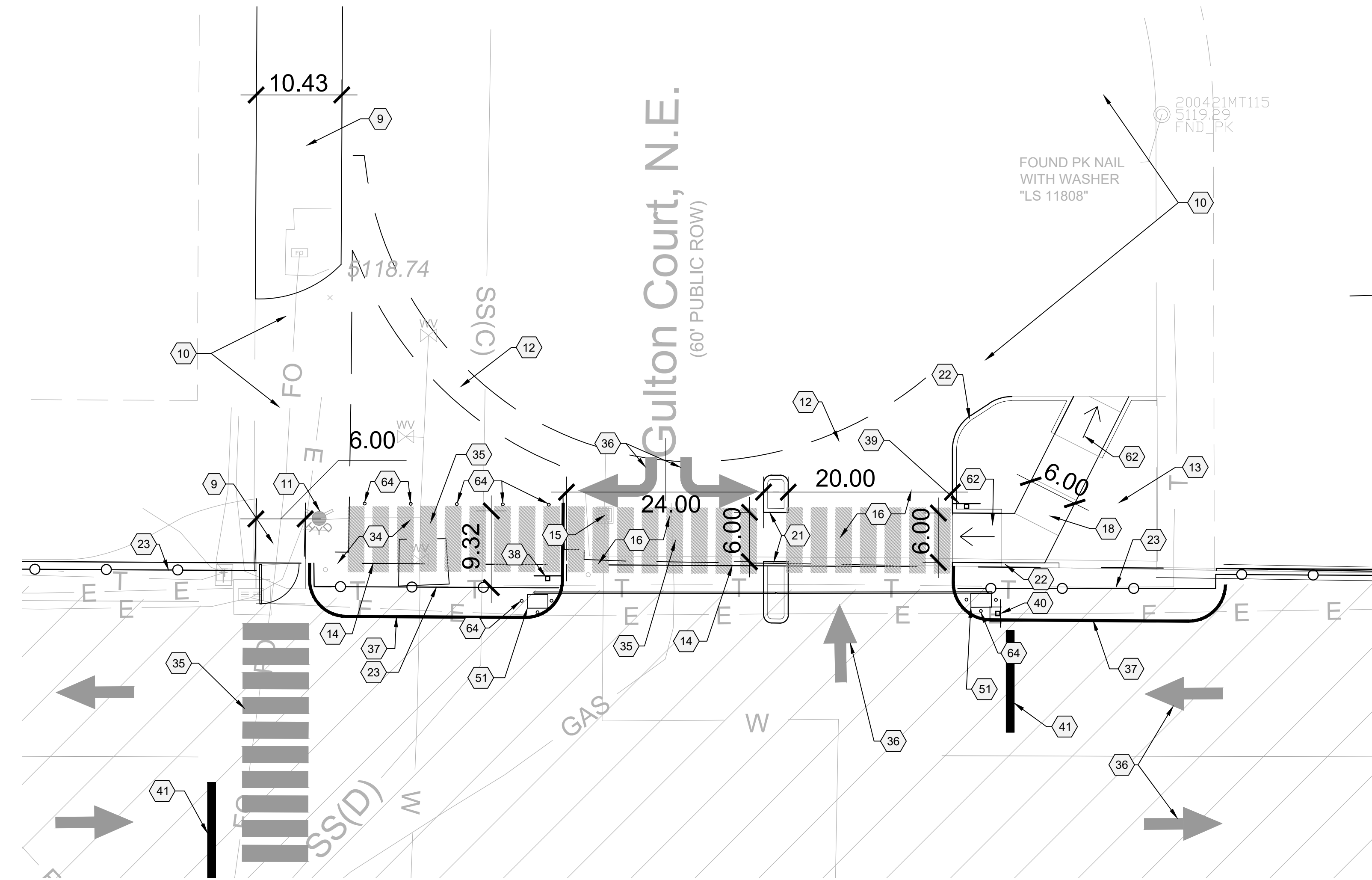
B2 1/8" = 1'-0"



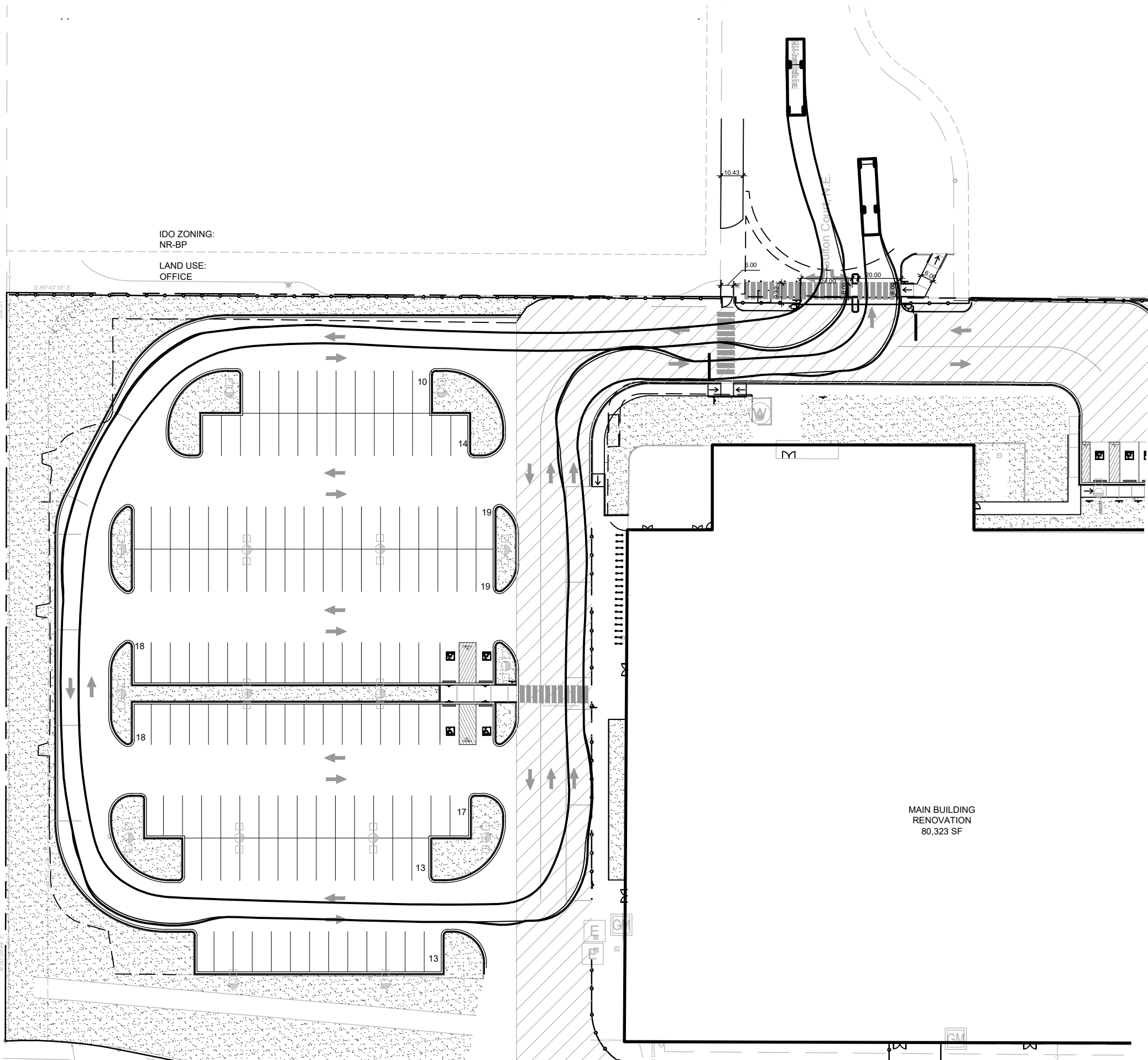
CONCRETE CURB & GUTTER

A2 1 1/2" = 1'-0"





C1 SITE ENLARGEMENT
1" = 10'-0"



A1 BUS ROUTE ANALYSIS
1" = 50'-0"

SHEET KEYED NOTES

CODE	DESCRIPTION
1	EXISTING CHAIN LINK FENCE TO REMAIN
2	EXISTING 7' CMU BLOCK SCREEN WALL TO REMAIN
3	EXISTING SHADE STRUCTURE TO REMAIN
4	EXISTING CONCRETE SIDEWALK TO REMAIN
5	EXISTING PATIO TO REMAIN
6	EXISTING 6' BLOCK WALL TO REMAIN
7	EXISTING MECHANICAL BUILDING TO REMAIN
8	EXISTING STORAGE BUILDING TO REMAIN
9	EXISTING OFFSITE SIDEWALK
10	EXISTING DRIVE PAD FOR ADJACENT PROPERTY
11	EXISTING FIRE HYDRANT TO REMAIN
12	EXISTING CONCRETE VALLEY GUTTER TO REMAIN
13	EXISTING STAMPED CONCRETE
14	PROPERTY BOUNDARY
15	EXISTING UTILITY VAULT TO BE RESET FLUSH WITH DRIVE
16	NEW ASPHALT PAVING
17	BEAR ARROYO MULTI-USE TRAIL
18	CONCRETE SIDEWALK, SEE A1/SDP1.2
19	WALKWAY SEPARATION FENCE, SEE D1/SDP1.2
20	6" HEIGHT CONCRETE CURB AND GUTTER, SEE A2/SDP1.2
21	CONCRETE MOUNTABLE CURB, SEE A5/SDP1.2
22	CONCRETE HEADER CURB, SEE C2/SDP1.2
23	8' FENCE, AMERISTAR WIREWORKS ANTI-CLIMB AS BASIS OF DESIGN
24	REMOVE FENCE
25	REFUSE ENCLOSURE, SEE B1/SDP1.2
26	GREENHOUSE, TBD
27	LITTER RECEPTACLE
28	6' BENCH
29	84' X 50' BASKETBALL COURT
30	84' X 50' BASKETBALL COURT WITH REMOVABLE NET FOR TENNIS, ANTI-CLIMB PERIMETER FENCE AND GATE
31	SAND VOLLEY BALL COURT
32	BALL NETTING
33	30' X 50' SPORT COURT
34	ASPHALT TO BE REPAIRED, RESURFACED AND RESTRIPED
35	PAINTED CROSSWALK
36	DIRECTIONAL PAVEMENT ARROW
37	TRAFFIC STRIPING, 4" WIDE REFLECTIVE PAINT
38	ONE-WAY TRAFFIC SIGN, SEE C1/SDP1.2
39	DO NOT ENTER SIGN, SEE C1/SDP1.2
40	STOP SIGN, SEE C1/SDP1.2
41	PAINTED STOP LINE
42	WAYFINDING SIGNAGE
43	PEDESTRIAN CROSSING SIGN, SEE C1/SDP1.2
44	PAINTED LETTERING 'DO NOT BLOCK CROSSWALK'
45	BUS LOADING ZONE SIGN, SEE C1/SDP1.2
46	VISITOR PARKING SIGN, SEE C1/SDP1.2
47	STAFF PARKING SIGN, SEE C1/SDP1.2
48	STUDENT DROP-OFF AND PICK-UP SIGN, SEE C1/SDP1.2
49	KEYED ACCESS TO BEAR CANYON TRAIL
50	OUTDOOR DINING TABLES AND CHAIRS PER OWNER
51	AUTOMATIC SLIDING GATE
52	REMOVE ASPHALT
53	BUS DROP OFF STRIPING FOR QUEUING
54	PARENT DROP OFF LOADING ZONE
55	MOTORCYCLE PARKING
56	BICYCLE PARKING, SEE C3/SDP1.2 FOR BASIS OF DESIGN
57	ACCESSIBLE PARKING, SEE B2/SDP1.2
58	VAN ACCESSIBLE PARKING, SEE B2/SDP1.2
59	ACCESSIBLE PARKING SIGNAGE, SEE C1/SDP1.2
60	6" WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH
61	EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES
62	CONCRETE CURB RAMP, SEE A3/SDP1.2
63	ACCESSIBLE RAMP, SEE A4/SDP1.2
64	4" PIPE BOLLARD, SEE D2/SDP1.2
65	EXISTING ASPHALT TO REMAIN, PEDESTRIAN ONLY ZONE

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
E. STANDARD PARKING SPACES 9'-0" X 20'-0"
F. ACCESSIBLE PARKING SPACES 9'-0 X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.
H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
I. 20' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.
L. NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE.
M. VEHICULAR GATES AT GULTON CT WILL BE OPEN DURING BUSINESS HOURS.

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: "3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
ZONE ATLAS NUMBER: E17
SITE AREA: 10 ACRES
EXISTING ZONING: NR-BP
BUILDING AREA
RENOVATION: 80,142 SF
FUTURE GYM EXPANSION: 16,450 SF
TOTAL: 96,592 SF
CONSTRUCTION TYPE: IIB
BUILDING HEIGHT
RENOVATION: 20'-5"
FUTURE GYM EXPANSION: 32'-0"
SPRINKLED: YES
FIRE FLOW: 3,000 GPM
FLOW DURATION: 4HR
HYDRANTS REQUIRED: 3
PARKING CALCULATION
PHASE 3 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 150
(2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 30 HIGH SCHOOL CLASSROOMS = 90)
= 150
PHASE 4 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 157
(2 X 32 MIDDLE SCHOOL CLASSROOMS = 64) + (3 X 31 HIGH SCHOOL CLASSROOMS = 93)
= 157
PHASE 4 REQUIRED NUMBER OF PARKING SPACES BASED ON AUDITORIUM SEATS: 188*
1 PARKING SPACE PER 4 SEATS
750 PROPOSED AUDITORIUM SEATS = 188*
*GREATER NUMBER OF THE TWO CALCULATION METHODS WILL BE USED
TOTAL PARKING SPACES PROVIDED
PHASE 3B: 290
PHASE 4: 198
MOTORCYCLE PARKING REQUIRED: 4
MOTORCYCLE PARKING PROVIDED: 4
BICYCLE PARKING REQUIRED: 89
BICYCLE PARKING PROVIDED: 100

LEGEND

- PROPERTY LINE
HEAVY DUTY ASPHALT FOR FIRE ACCESS
LANDSCAPE AREA, SEE PLANTING PLAN
SITE LIGHTING, SEE SITE LIGHTING PLAN

VICINITY MAP



DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASES 3B AND 4
6600 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS

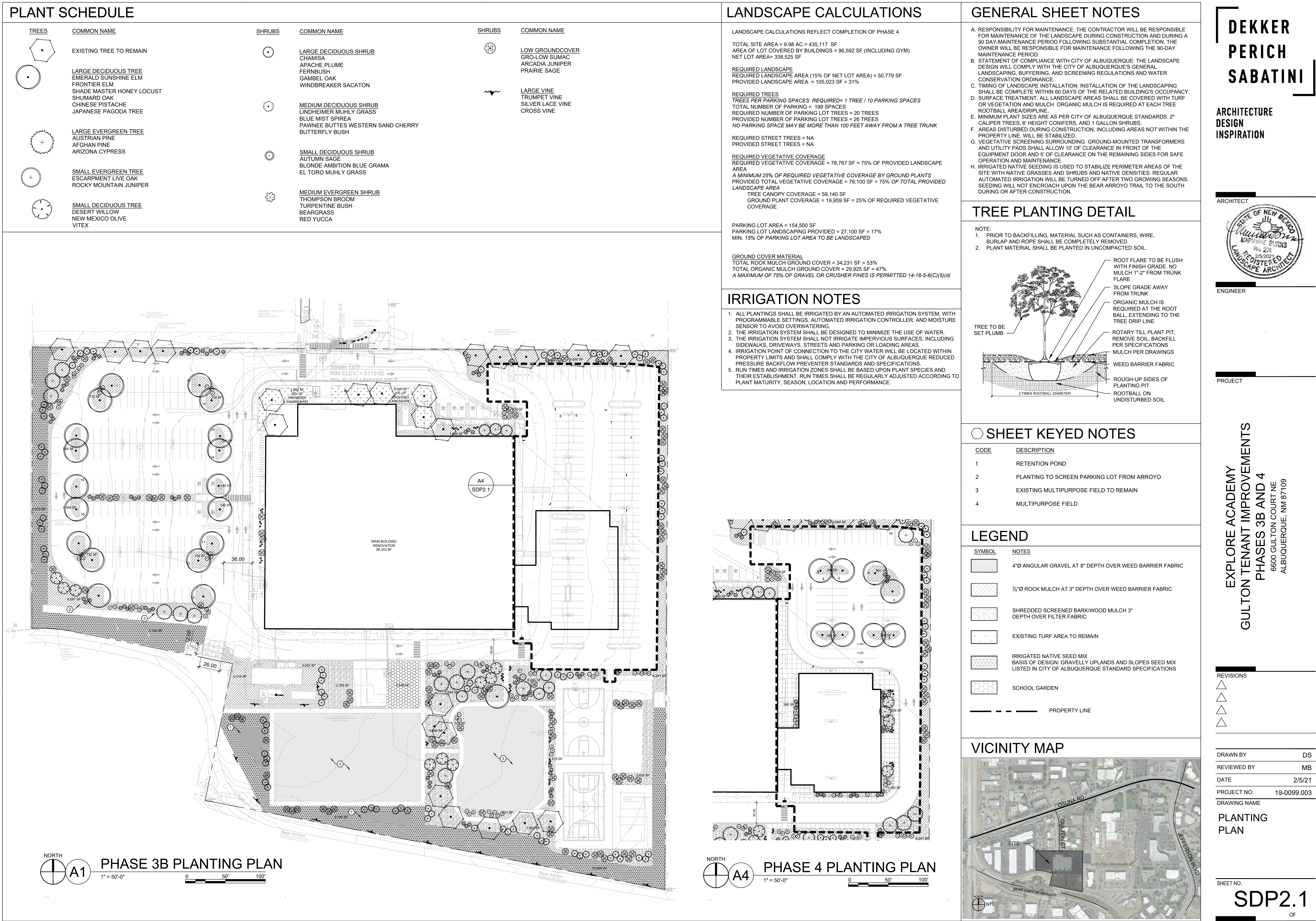
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DRAWN BY	DS
REVIEWED BY	MB
DATE	2/5/21
PROJECT NO.	19-0099.003
DRAWING NAME	

SITE DETAILS
AND
SITE ENLARGEMENT

SHEET NO.

SDP1.3
OF





GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
E. STANDARD PARKING SPACES 9'-0" X 20'-0".
F. ACCESSIBLE PARKING SPACES 9'-0" X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.8.
G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.
H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
I. 26' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: -3-G A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

SITE AREA: 10 ACRES

EXISTING ZONING: NR-BP

BUILDING AREA
RENOVATION: 80,142 SF
FUTURE GYM EXPANSION: 16,450 SF
TOTAL: 96,592 SF
CONSTRUCTION TYPE: IIB
BUILDING HEIGHT
RENOVATION: 20'-5"
FUTURE GYM EXPANSION: 32'-0"
SPRINKLED: YES
FIRE FLOW: 3,000 GPM
FLOW DURATION: 4HR
HYDRANTS REQUIRED: 3

EXCEPTION TO D104.2: PROJECTS HAVING A GROSS BUILDING AREA OF UP TO 124,000 SQUARE FEET THAT HAVE A SINGLE APPROVED FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS.

SHEET KEYED NOTES

CODE	DESCRIPTION
1	FIRE LANE, 26' WIDTH STANDARD
2	EXISTING FIRE HYDRANT TO BE USED FOR PROJECT
3	EXISTING OFF SITE FIRE HYDRANT
4	EXISTING FIRE DEPARTMENT CONNECTION (FDC)
5	EXISTING POST INDICATOR VALVE (PIV)
6	PREMISE ID TO BE LEGIBLE AND VISIBLE FROM GULTON CT
7	EXISTING WALL INDICATOR VALVE (WIV)
8	KNOX BOX
9	FIRE LANE STRIPING
10	BUS DROP OFF LOADING ZONE
11	PARENT DROP OFF LOADING ZONE
12	2 HOUR FIRE SEPARATION WALL
13	EXISTING OVERHEAD UTILITY RUN, 13'-6" MINIMUM VERTICAL CLEARANCE WILL BE MAINTAINED
14	SECURITY GATES WILL INCLUDE AN APPROVED MEANS OF OPERATION TO ALLOW FIRE DEPARTMENT ACCESS
15	10" FIRELINE
16	10" WATER LINE FROM WEST OF PROPERTY
17	8" WATERLINE
18	6" WATERLINE

LEGEND

---	PROPERTY LINE
[Hatched Box]	HEAVY DUTY ASPHALT FOR FIRE ACCESS

VICINITY MAP



REVISIONS



DRAWN BY DS

REVIEWED BY

DATE 11/12/2020

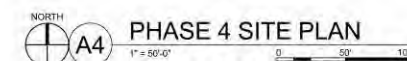
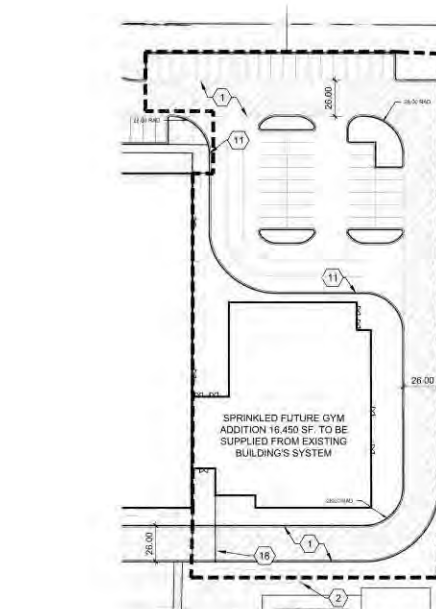
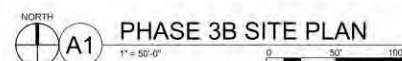
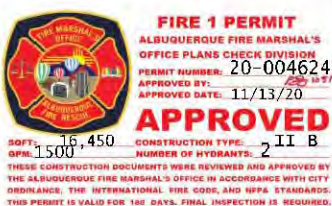
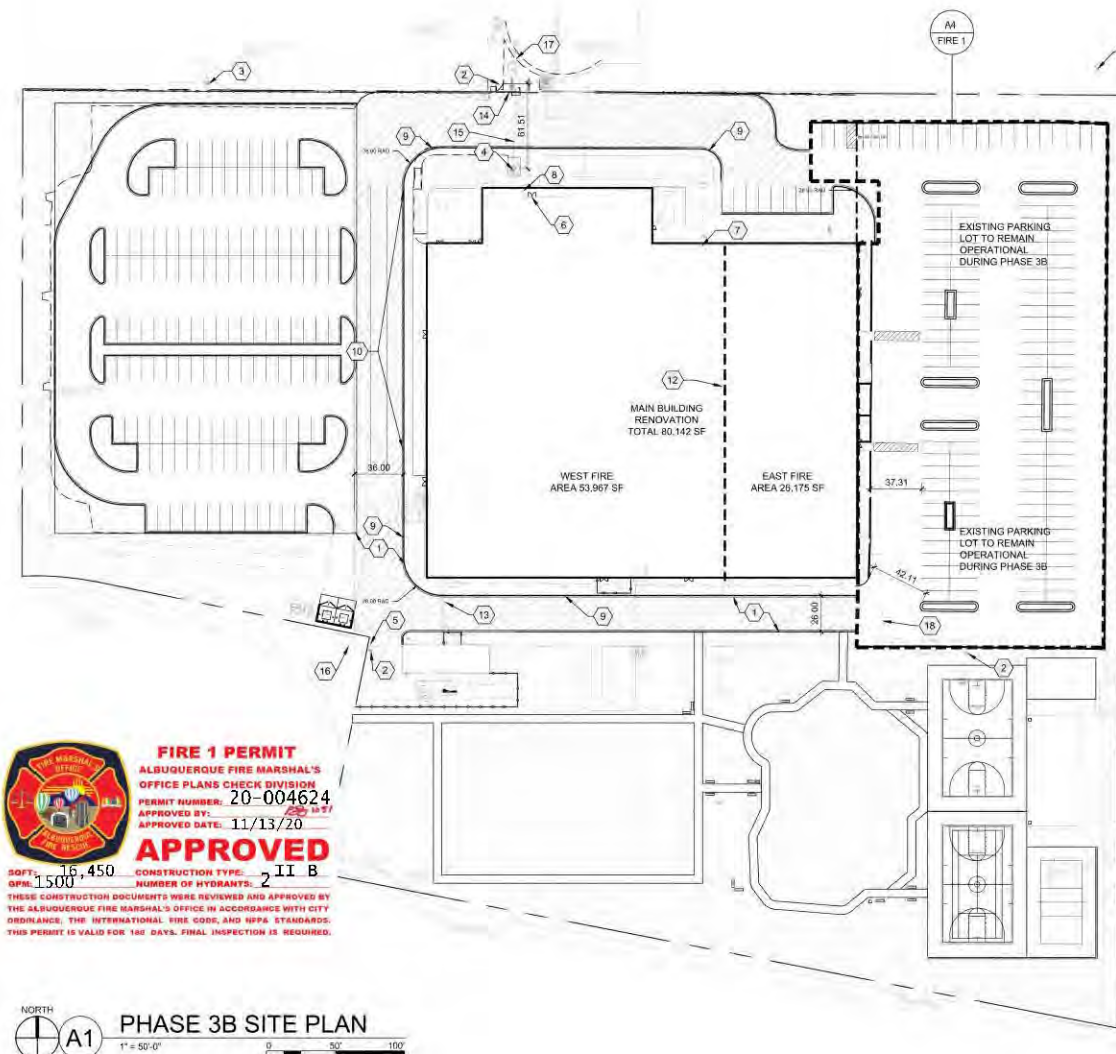
PROJECT NO. 19-0099

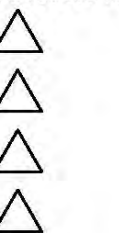
DRAWING NAME

SITE PLAN

SHEET NO.

FIRE 1
OF





DRAWN BY	JSK
REVIEWED BY	SMM
DATE	11/20/20
PROJECT NO.	19-0099.003
DRAWING NAME	



VICINITY MAP

LEGEND

	EXISTING CONSTRUCTION
	NEW CONTOUR
	PROPOSED BUILDING FINISH FLOOR ELEV
	NEW SPOT ELEVATION
	NEW CONSTRUCTION
	TOP OF CURB
	FLOWLINE
	NEW RETAINING WALL

DRAINAGE ANALYSIS

LEGAL DESCRIPTION: 3-C A REPLAT OF LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

AREA: 10.0 acres (Project Area: 0.93 Acre = 40,500 SF)

SURVEYOR: Topographic survey by Precision Surveys, Inc. July, 2020

BENCHMARK: AGRS
Monument "ZAB_B" ELEVATION = 5195.09 (NAVD 1988)

FLOOD HAZARD: From FEMA Map Panel 35001C0138H (effective 8/16/12), this site is within Zone "X"; areas determined to be subject to the 0.2% annual chance flood.

EXISTING CONDITIONS: The site is developed with a 1-story 80,000 SF building, paved parking, and landscaping. An outdoor recreation and grass field area are located at the south side of the site. All site runoff surface flows to the west on both the north and south sides of the building and then collects in an onsite detention pond which ultimately discharges to the Bear Arroyo to the south.

OFFSITE FLOW: No offsite flows enter the project site.

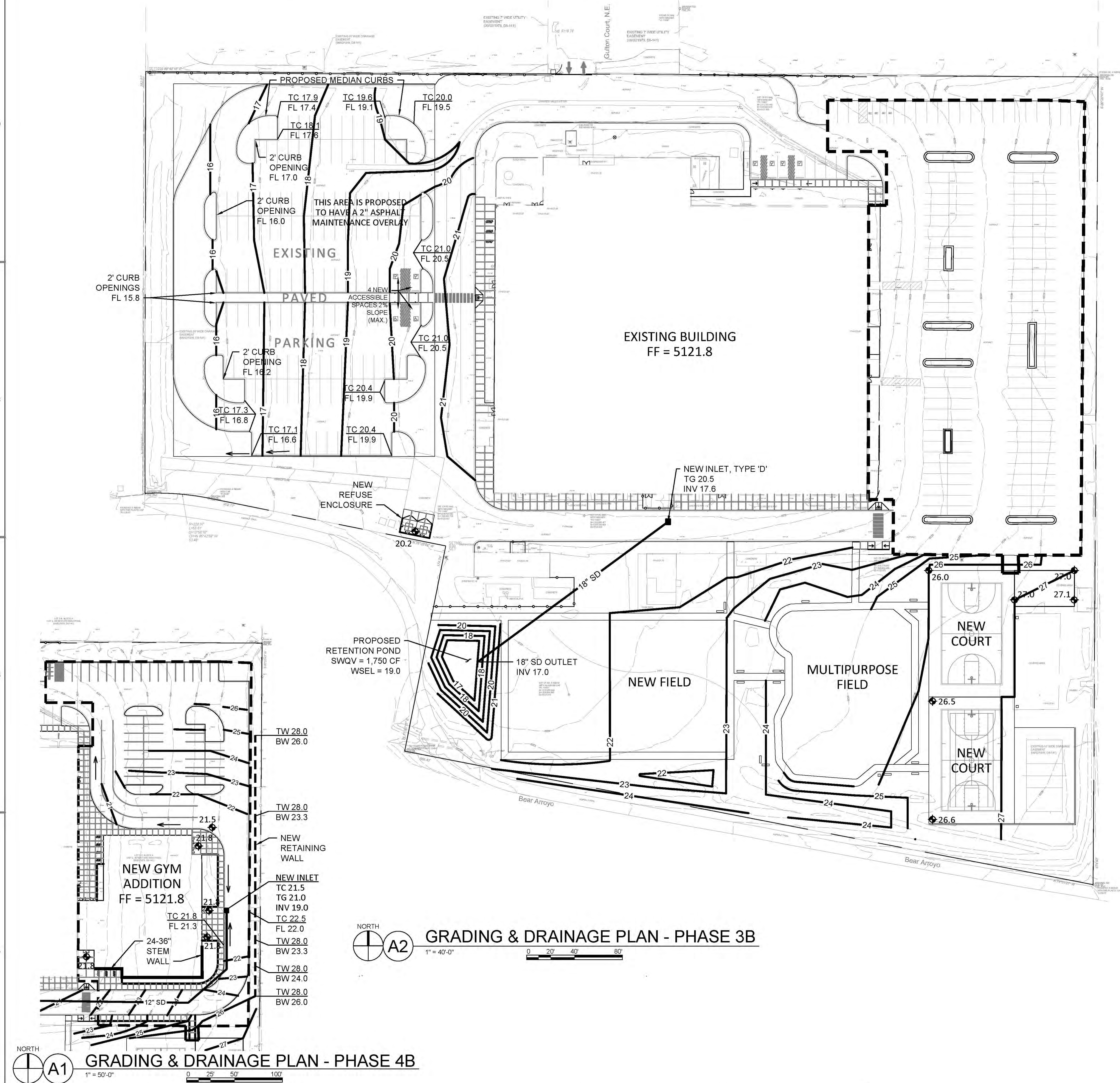
PROPOSED IMPROVEMENTS: The project includes 2 new sports courts (Phase 3B) and a new 16,500 SF gym addition (Phase 4B) on the east side of the building. The building addition replaces existing paved parking.

DRAINAGE APPROACH: The drainage concept honors historic flow patterns. The east addition roof runoff will be directed to the south where it will be collected by 2 new inlets and a private storm drain which discharges to the new onsite retention area shown southwest of the existing building. Runoff from the sports courts will be carried via surface and storm drain west to the retention pond.

RUNOFF: Precipitation Zone 2 (based on the Project Area)
Existing Q = $[(.13)(2.28) + (.12)(3.14) + (.75)(4.70)](0.93 \text{ acre}) = 3.9 \text{ CFS}$
Proposed Q = $[(.05)(2.28) + (.06)(3.14) + (.85)(4.70)](0.93 \text{ acre}) = 4.0 \text{ CFS}$

There is a very minor increase in site runoff which is mitigated by the onsite retention volume which is based on redevelopment.

For the proposed redevelopment area:
 $SWQ V = (15,400 + 19,000 \text{ SF})(0.26"/12") = 745 \text{ CF}$
VOLUME PROVIDED = 1,750 CF (@ 2' DEPTH)



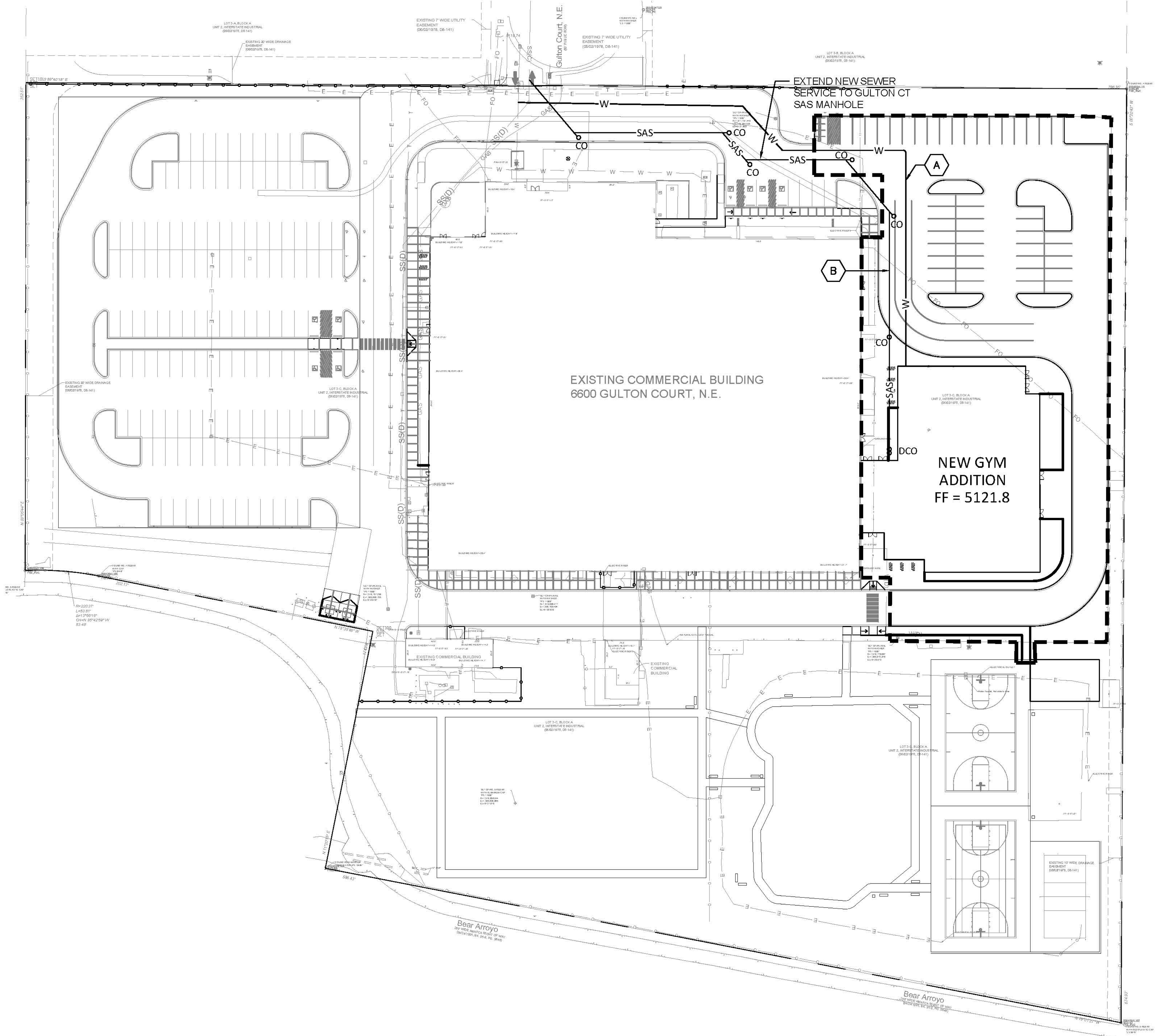


LEGEND

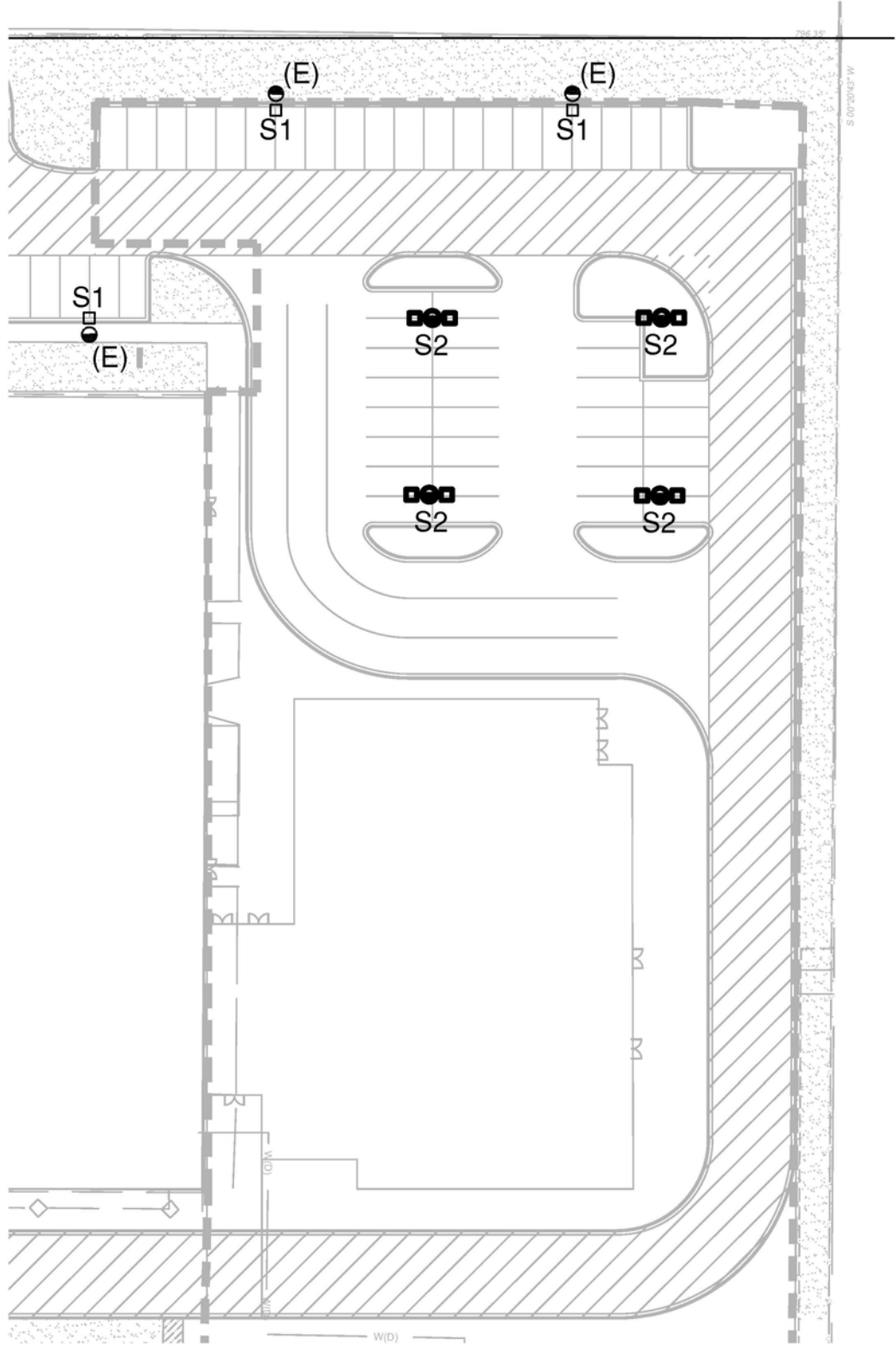
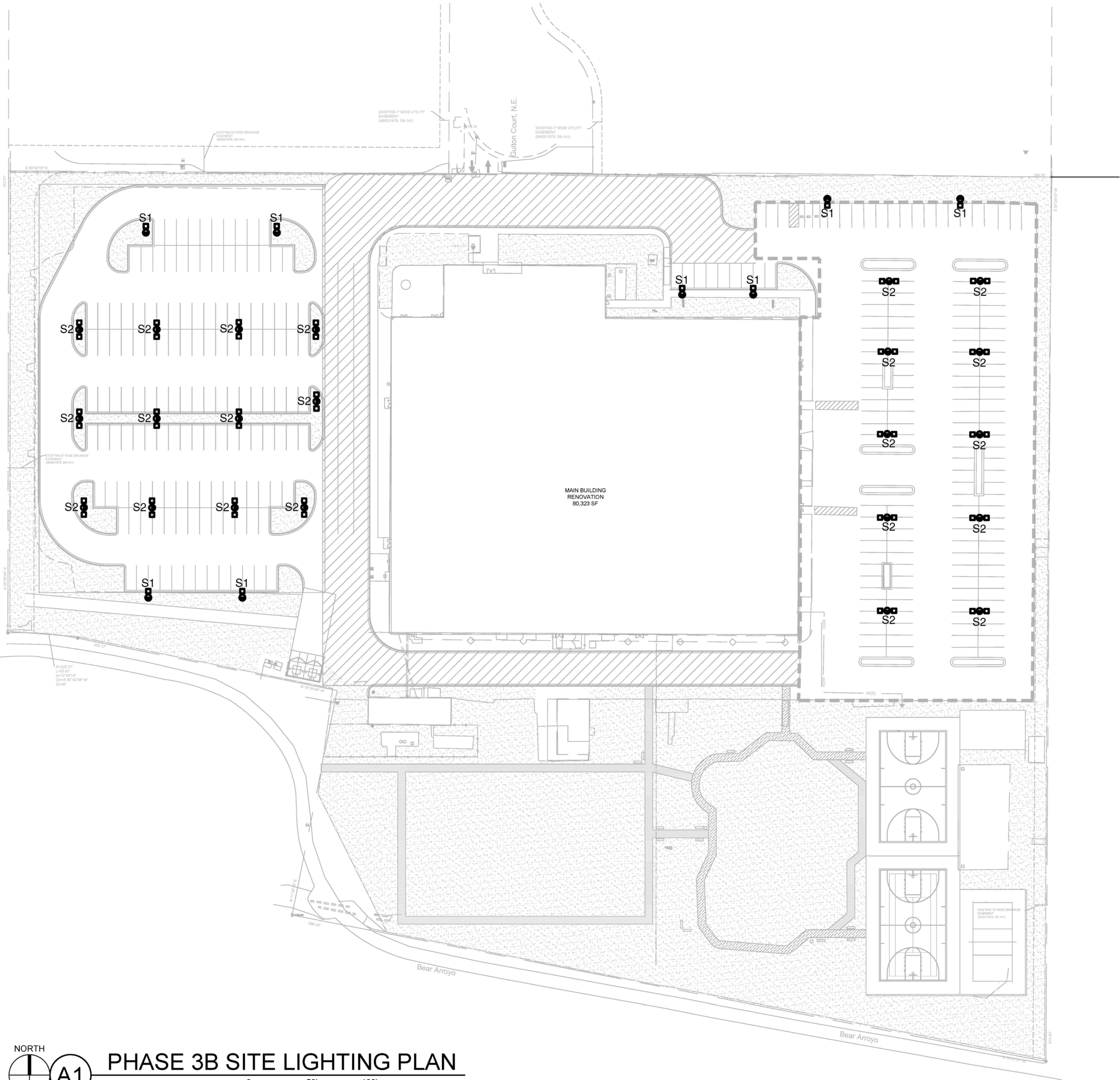
- OVERHEAD ELECTRICAL
GAS LINE
CLEAN OUT
EXISTING WATER LINE
EXISTING GAS LINE
EXISTING SEWER LINE
ELECTRIC LINE
NEW WATER LINE
NEW SEWER LINE
NEW GAS LINE
FIRE HYDRANT

KEYED NOTES

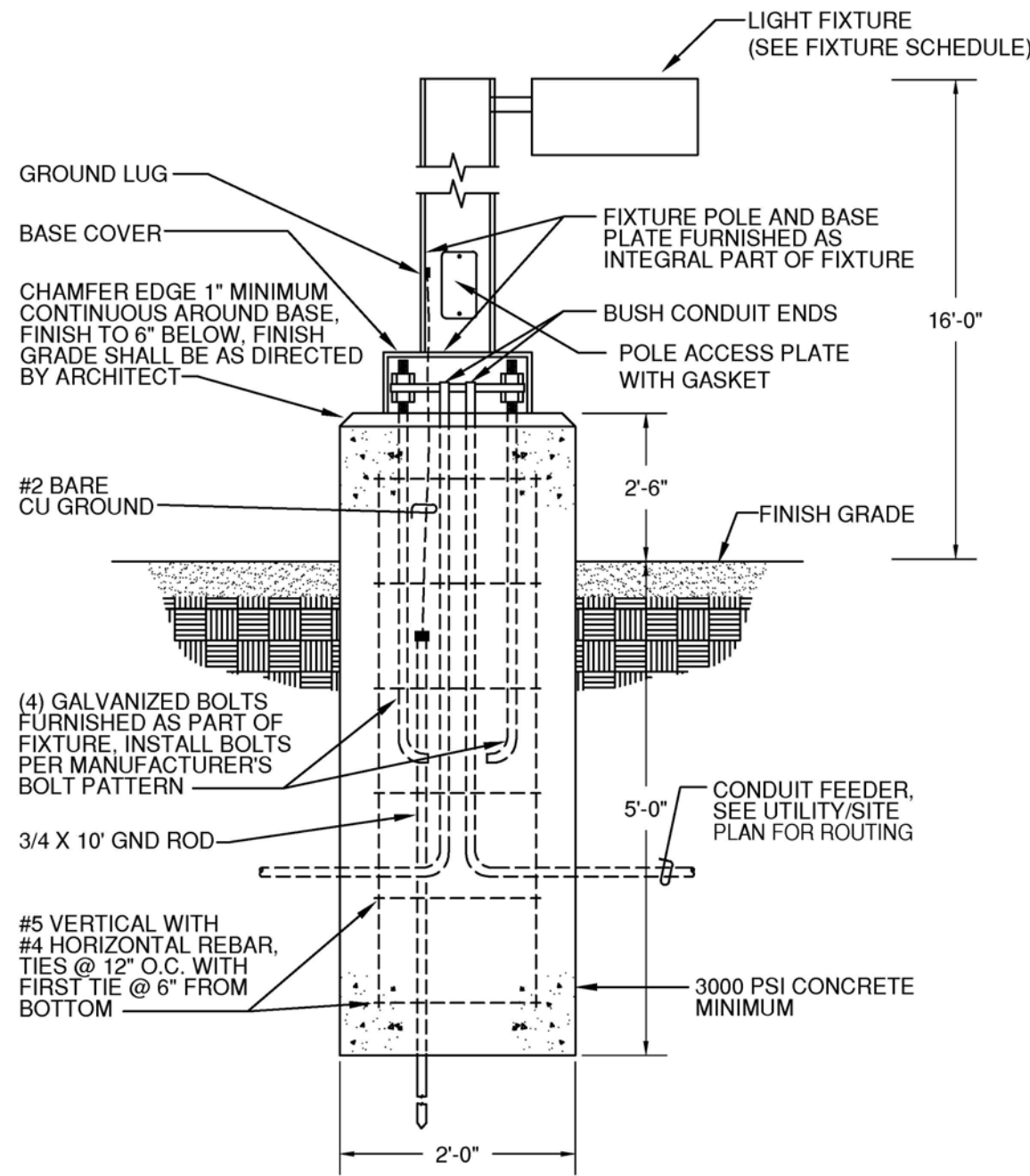
- A. INSTALL NEW 2" DOMESTIC WATER LINE (WITH 2" ISOLATION VALVE AT CONNECTION POINT) FROM EXISTING WATER SERVICE TO BUILDING--SEE PLUMBING PLAN FOR CONTINUATION.
- B. INSTALL NEW SEWER SERVICE FROM BUILDING TO EXISTING 6" PRIVATE SEWER SERVICE NORTH OF THE EXISTING BUILDING.



NORTH
A1
UTILITY PLAN - PHASE 4B
1" = 40'-0"
0 20' 40' 80'



PHASE 4 SITE LIGHTING PLAN
1" = 50'-0"



POLE BASE DETAIL FOR PARKING LUMINAIRES
NO SCALE

FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION/ LOCATION	LAMPS			MOUNTING INSTRUCTIONS	REMARKS
				TYPE	WATTS	LUMENS		
S1	LITHONIA	#DSXO LED P3 40K T4M MVOLT HS	SITE POLE LIGHT & LUMINAIRE	LED	71.0	6417		POLE - SEE DETAIL
S2	LITHONIA	#DSXO LED P3 40K T5M MVOLT HS	SITE POLE LIGHT & DOUBLE LUMINAIRE	LED	142.0	8770		POLE - SEE DETAIL

**A C ENGINEERING
ENTERPRISES, LLC**
120 Aliso Drive, SE
Albuquerque, New Mexico 87108
Phone 505.842.5787
Facsimile 505.842.5797

**DEKKER
PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER



PROJECT

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASE III
6600 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS



DRAWN BY ACE

REVIEWED BY FJT

DATE 10/30/20

PROJECT NO. 19-0099.003

DRAWING NAME

SITE LIGHTING
PLAN

SHEET NO.

OF

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Justin Bairardo Executive Director
Explore Academy
5100 Masthead Street NE
ABQ, NM 87109

Project# PR-2020-004708
Application#
SI-2020-01411 SITE PLAN – DRB

LEGAL DESCRIPTION:

For all or a portion of: **3-C REPLAT LOT 3**
INTERSTATE INDUSTRIAL TRACT UNIT II
zoned NR-BP located at 6600 **GULTON CT**
NE, containing approximately 10.0 acre(s).
(E-17)

On February 10, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to Transportation and Planning, based on the following Findings:

1. This is a request to construct a 16,450 square foot gym addition onto an existing 80,323 square foot building, as well as construct parking lot and landscape improvements, new outdoor sports courts and turf fields, and outdoor seating spaces.
 1. Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(G)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The parking and landscaping meet the IDO and site plan requirements: For Phase 3 of the development, 290 parking spaces are provided where 150 parking spaces are required, for Phase 4 of the development 198 parking spaces are provided where 188 parking spaces are required; and 105,023 square feet of landscaping is proposed where 50,779 square feet is required.

- b. 6-6(G)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A traffic impact study dated January 22, 2021 was performed to assess traffic operations associated with traffic generated by the proposed development, and demonstrated that significant detrimental traffic impacts associated with the proposed development are not expected to occur on the adjacent transportation system.

- c. 6-6(G)(3)(c) *The Site Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.*

The applicant will provide screening through landscaping to shield the entirety of the proposed development.

- 2. An Infrastructure List (IL) was approved with the Site Plan, and was revised at the meeting as follows:
 - a. A note was added to the IL regarding striping on Gulton Court to be further defined by the indication of length of right and left turn bays.
- 3. The applicant provided the required notice as outlined in the IDO Table 6-1-1.
- 4. The proposed use is allowed within the NR-BP zone district.

Conditions:

- 1. This Site Plan is valid 5 years from DRB approval (2/10/2021). An extension may be requested prior to the expiration date.
- 2. Final sign-off is delegated to Transportation to review bus turning movements, signage for bus drop-off and parent and employee parking, to indicate additional dimensioning regarding sidewalks and motorcycle parking, and to indicate the number of serving buses.
- 3. Final sign-off is delegated to Planning for completion of the recording of an easement, for a non-encroachment note regarding the PRD trail, for a note regarding protection of existing trees, for finalization of parking lot species, for the Solid Waste signature, and for the recorded Infrastructure Improvements Agreement (IIA).
- 4. The applicant will obtain final sign-off from Transportation and Planning by May 10, 2021 or the case may be scheduled for the next DRB hearing and could be denied her the DRB Rules of Procedure.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **FEBRUARY 25, 2021**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). Files larger than 9MB can be sent to PLNDRS@CABQ.GOV using <https://wettransfer.com>. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Wolfley', written in a cursive style.

Jolene Wolfley
DRB Chair

JW/jr

Jessica Lawlis, Dekker/Perich/Sabatini, 7601 Jefferson Street SE, Albuquerque, NM 87109