



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| Administrative Decisions  | Decisions Requiring a Public Meeting or Hearing                                   | Policy Decisions   |
|---|---|--|
| <input type="checkbox"/> Archaeological Certificate (Form P3)                     | <input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)  | <input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z) |
| <input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L) | <input type="checkbox"/> Master Development Plan (Form P1)                        | <input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)                |
| <input type="checkbox"/> Alternative Signage Plan (Form P3)                       | <input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L) | <input type="checkbox"/> Amendment of IDO Text (Form Z)  |
| <input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)        | <input type="checkbox"/> Demolition Outside of HPO (Form L)                       | <input type="checkbox"/> Annexation of Land (Form Z)   |
| <input type="checkbox"/> WTF Approval (Form W1)                                   | <input type="checkbox"/> Historic Design Standards and Guidelines (Form L)        | <input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)                                |
|   | <input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)    | <input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)                            |
|   |   |  |
|   |   | <b>Appeals</b>   |
|   |   | <input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)                      |

### APPLICATION INFORMATION

|   |                  |  |
|---|------------------|--|
| Applicant:  |                  | Phone:   |
| Address:  |                  | Email:   |
| City:   | State:           | Zip:   |
| Professional/Agent (if any): <u>Rupal Engineer, Design Plus</u> |                  | Phone: <u>(505) 843-7587</u>   |
| Address: <u>2415 Princeton Drive, NE Suite E</u>                |                  | Email: <u>rupal@designplusabq.com</u>  |
| City: <u>Albuquerque</u>  | State: <u>NM</u> | Zip: <u>87107</u>  |
| Proprietary Interest in Site: <u>Architect of record</u>        |                  | List all owners: <u>Ryan Centerwall, Affordable Solar Installation, Inc.</u> |

### BRIEF DESCRIPTION OF REQUEST

Minor amendment to site plan for re-cladding of an EIFS pillar, the addition of new storefront system with a new door for a new entrance, and reworking of the sidewalk leading up to the new and existing storefront entrance double doors.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

|   |   |  |
|---|---|--|
| Lot or Tract No.: <u>6-A-1</u>                        | Block: <u>0000</u>                      | Unit:                                    |
| Subdivision/Addition: <u>Jefferson Commons Unit 2</u> | MRGCD Map No.:                          | UPC Code: <u>101706111547920213</u>      |
| Zone Atlas Page(s): <u>F-17-Z</u>                     | Existing Zoning: <u>MX-M</u>            | Proposed Zoning: <u>NR-BP, no change</u> |
| # of Existing Lots: <u>1</u>                          | # of Proposed Lots: <u>1, no change</u> | Total Area of Site (acres): <u>3.52</u>  |

### LOCATION OF PROPERTY BY STREETS

|  |                                     |                             |
|--|-------------------------------------|-----------------------------|
| Site Address/Street: <u>3900 Singer Blvd. NE</u> | Between: <u>Jefferson Street NE</u> | and: <u>Office Blvd. NE</u> |
|--|-------------------------------------|-----------------------------|

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Permit approved before IDO: 0002144 and BP-2021-52937

|  |   |
|--|---|
| Signature:                                       | Date: <u>7/14/2022</u>  |
| Printed Name: <u>Rupal Engineer, Design Plus</u> | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |

### FOR OFFICIAL USE ONLY

| Case Numbers | Action | Fees | Case Numbers | Action | Fees |
|--------------|--------|------|--------------|--------|------|
|              |        |      |              |        |      |
|              |        |      |              |        |      |
|              |        |      |              |        |      |

|                       |                 |
|-----------------------|-----------------|
| Meeting/Hearing Date: | Fee Total:      |
| Staff Signature:      | Date: Project # |

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

### ☐ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and label

### ☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

### ☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ The approved Site Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

### ☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
  - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

### ☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

July 14, 2022

*Via email to PLNDRS@cabq.gov*

RE: In addition to approved building permit BP-2021-52937, Minor Amendment to previous building permit #0002144 approved prior to the effective date of the IDO, through the site plan administrative process.

To Whom It May Concern:

This letter is to justify the minor amendment through the site plan administrative process to the Building Permit #0002144 on file with the city for the building located at 3900 Singer Blvd, Albuquerque, NM 87109. The work is proposed as part of the building permit BP-2021-52937 which has a scope of work for interior renovation only (See Attachment 'D' showing overall approved interior renovation work only).

The current owner of the building is Affordable Solar Installation, Inc. The existing building for this improvement was previously office space (See Attachment 'C'). The applicant is their acting agent; Design Plus, LLC (See Attachment 'G').

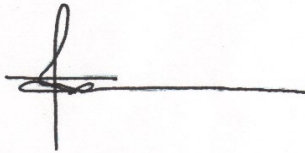
This request for amendment is for recladding of the existing EIFS covered pillar on the north side of the building, adding a storefront system with new entrance door at the inside of the curve and end of the pillar, and reworking of the concrete sidewalk up to the existing and new storefront entrance double doors (See Attachment 'B' Existing Site Plan to be modified, Attachment 'E' New Site Plan, and Attachment 'F'). Therefore, this requested amendment does not alter the site in any way (easements, landscaping, parking, drive aisles, pedestrian circulation, utilities, grading and drainage). Please refer to the Attachment 'B' for the existing site plan for approved locations of parking, drive, aisles, pedestrian circulation, utilities, and landscaped areas.

Per the IDO section 6-4(Y)(2) Minor Amendments, under the subsection 6-4(Z) heading "Amendments of Pre-IDO Approvals", the following numbered points (correlating to the numbered list in the IDO) explain why this request for amendment meets the criteria set forth in the IDO.

1. The existing site plans were approved in 2000 and therefore met the requirements at the time of approval. The existing building plans and elevations were approved in 2000 and therefore met the requirements at the time of approval (See Attachment 'A').
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4:
  - a. Building Gross Floor Area: no changes, therefore meets threshold
  - b. Front setback, minimum: no changes, therefore meets threshold
  - c. Site setback, minimum: no changes, therefore meets threshold

- d. Rear setback, minimum: no changes, therefore meets threshold
  - e. Building height, maximum: no changes, therefore meets threshold
  - f. Wall and fence height: no changes, therefore meets threshold
3. The requested changes do not require major public infrastructure or significant changes to access or circulation patterns on the site as the work area is only interior, recladding of a small portion of the exterior at the column wrap, and adding to the existing storefront entrance to the building.
4. No deviations, variances, or waivers are requested for this work area.

Respectfully Submitted



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Rupal S. Engineer

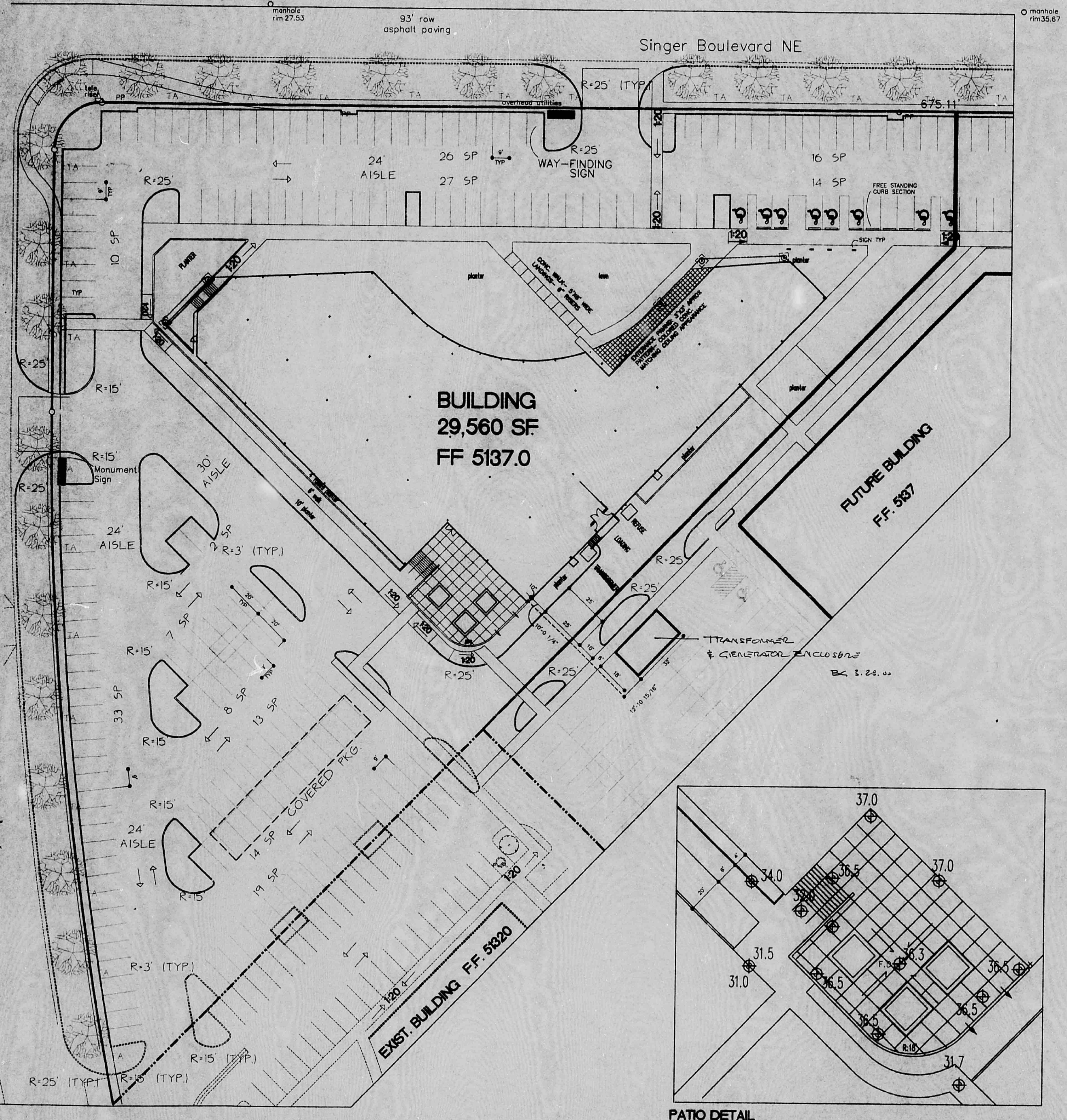
Enclosures:

- Attachment A – 0002144 Permit – Signature Cover Sheet
- Attachment B – 0002144 Permit – A1 Site Plan
- Attachment C – 0002144 Permit – A2 Tenant Improvement Floor Plan
- Attachment D – BP-2021-52937 – G-002 Approved overall code analysis plan  
Showing only interior renovation work
- Attachment E – AS-101 - New Site Plan for work related to this Site Administrative  
Minor Amendment
- Attachment F – A-201 – Exterior Elevations for work related to this Site  
Administrative Minor Amendment
- Attachment G – Agent Letter









SITE / LANDSCAPE PLAN - LOT 6, SECTION 2

SCALE: 1"=30'

**NOTES**

TRAFFIC: PROVIDE SIGNALIZATION AND LANE MARKINGS PER CITY TRANSPORTATION.

PROVIDE 6 BICYCLE SPACES.

FOR BUSINESSES WITH 50 OR MORE EMPLOYEES: PROVIDE ON-SITE SHOWER AND LOCKER. PROVIDE ON-SITE EMPLOYEE DINING AREA. PROVIDE 10 ± (7) PARKING SPACES MARKED "PREFERRED PARKING" NEAR ENTRANCES OR SHADE.

**LANDSCAPE NOTES**

ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. POP-UP SPRAY HEADS TO 100 LAMN BUDDLERS TO TREES, AND DRIP IRRIGATION TO SHRUBS.

LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPE ORDINANCE.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPE AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

SPRINKLER HEADS SHALL BE INSTALLED AT LEAST 8 INCHES AWAY FROM CURBS IN THE PUBLIC RIGHT-OF-WAY OR, IN THE ABSENCE OF CURBS, THE OUTER EDGE OF THE ROADWAY AND SHALL NOT SPRAY TOWARD THE CURB.

**BERENT GROTH ARCHITECTS**  
100 ALVARADO DR NE ALBUQUERQUE NEW MEXICO 87110  
505 266 6700  
AIA

**PROJECT DATA - 3900 SINGER BLVD NE**

NAME: 3900 SINGER BLVD NE  
ADDRESS: 3900 SINGER BLVD NE  
DESCRIPTION: OFFICE BUILDING  
LEGAL: A PORTION OF LOT 6A, SECTION 2  
COMMENTS: E

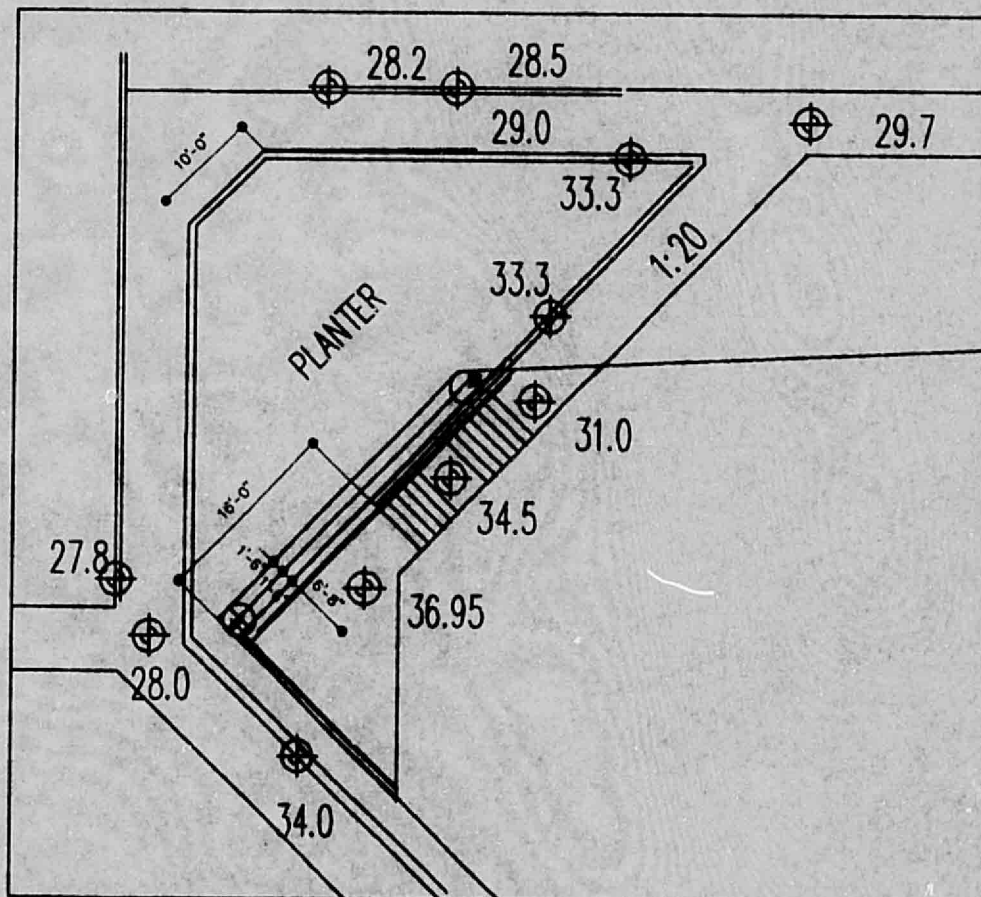
OCCUPANCY: B  
FLOOR AREA TOTAL: 40,000 SF  
GROSS LAND: 1.00 AC  
TYPE OF CONSTRUCTION: RECONSTRUCTION  
HEIGHT: 4 STORY, ONE STORY

ALLOWABLE FLOOR AREA: 40,000 SF  
BASED ALLOWABLE AREA: 40,000 SF  
MAX ALLOWABLE AREA PER SEC: 40,000 SF

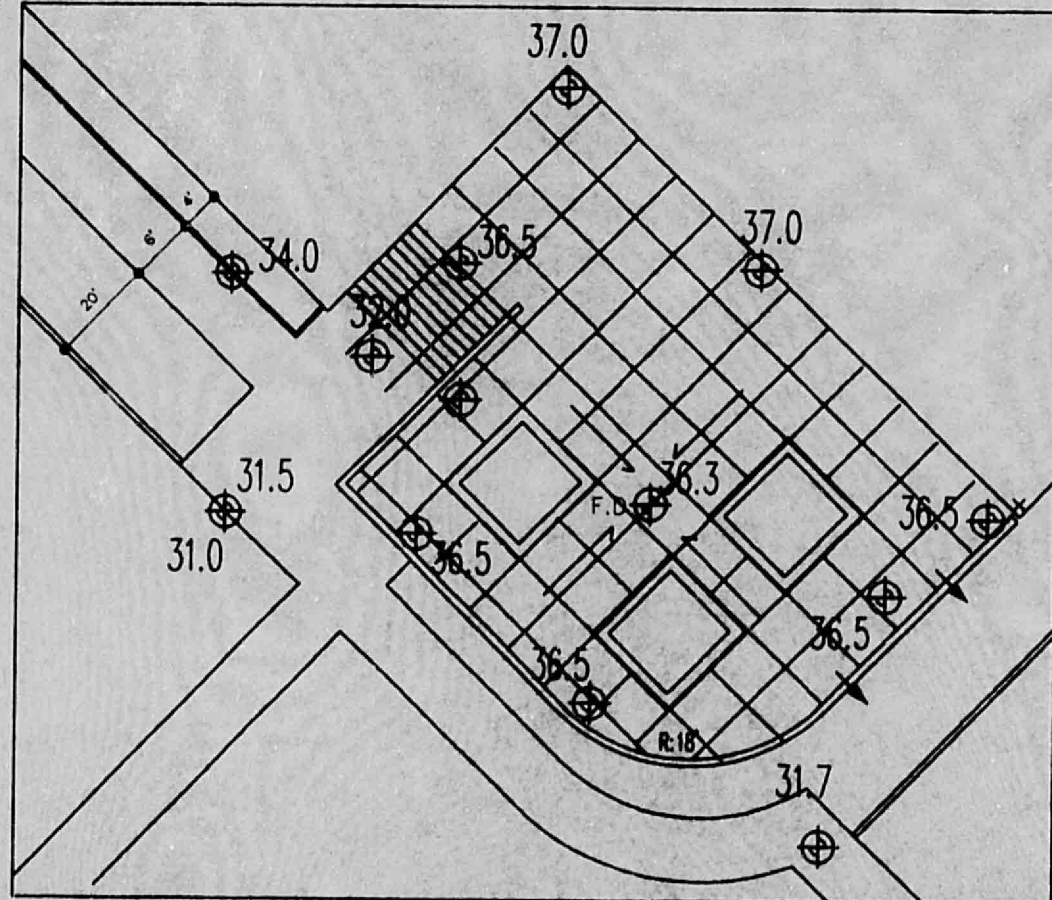
**PARKING**  
BUILDING AREA APPROVED: 40,000 SF  
BUILDING AREA PROPOSED: 29,560 SF  
81,200 SF ± 148 SPACES REQ.  
PROVIDED: 148 (INCLUDING 7 ACCESSIBLE AND 1 VAN ACCESSIBLE)

**LANDSCAPING**  
TOTAL AREA: 144,330 SF SECTION 2  
TOTAL BUILDING COVERAGE: 29,560 SF  
% OF NET: 17.2% SF  
TOTAL PLANTERS: 15,533 SF  
TOTAL LAWN: 2,758 SF LESS THAN 80  
TOTAL LA: 15,531 SF

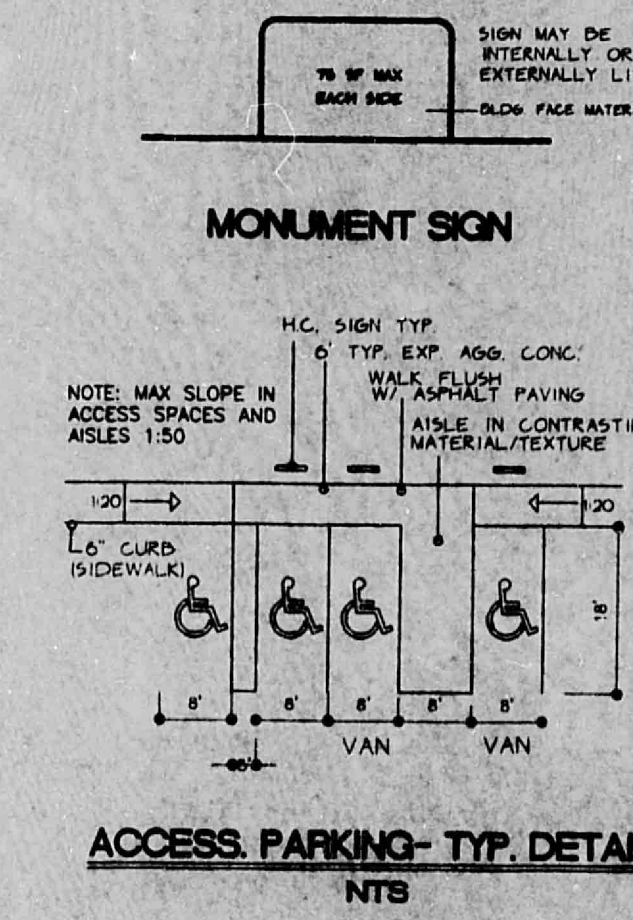
- LANDSCAPE LEGEND**
- PEDESTRIAN WALK/ACCESSIBLE ROUTE (6" MIN)
  - PARKING LOT LIGHTING - 30' HIGH
  - FESCUE TURF LAWN - MEDIUM TO HIGH WATER
  - PLANTER: DARK MULCH OR SANTA FE BROWN GRAVEL WITH 1 BALLON SHRUBS AND GROUND COVER VEGETATION AT 5' O.C.
- TYPICAL SHRUBS L-M**
- CHAMISA
  - SILVERCHERRY
  - GLYSTER
  - NYCTAGINE
  - NYCTAGINE
- TYPICAL GROUND COVERS L-M**
- SANTOLINA
  - CREEPING MANHOTA
  - COTONEASTER
  - BARBERRY
- LARGE DECIDUOUS TREES**
- A. ASPEN BM (10'-30')
  - TA. TEXAS HEM BM (40'-60')
  - CP. CHINESE PISTACHE BM (40'-60')
  - AL. AMERICAN LOCUST BM (40'-60')
- SMALL DECIDUOUS TREES**
- OW. DESERT WILLOW BM (10'-30')
  - NEW MEXICO OLIVE BM (10'-30')
  - WH. WASHINGTON HAWTHORN BM (10'-30')
  - RO. RUSSIAN OLIVE BM (10'-30')
- EVERGREEN TREES**
- AUSTRIAN PINE BM (10'-30')
  - PI. PINO BM (10'-30')
- L.M.W. - LOW, MEDIUM, HIGH WATER CONSUMPTION



NORTH WEST OVERHANG DETAIL



PATIO DETAIL



ACCESS PARKING - TYP. DETAIL

ALBUQUERQUE BUILDING & SITE DIV.  
MAR 21 2000  
U.S.C. PLAN CHECK SECTION



NMMCC  
3900 SINGER NE

A1

PLAN SHOT TWICE  
ONCE ON LIGHT  
ONCE ON DARK

CITY OF ALBUQUERQUE  
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R# 133 DATE 12-12-02 OF 602

CITY OF ALBUQUERQUE

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Richard Gutierrez  
DIRECTOR

Commission expires: 10/22/2001



BERENT GROTH  
100 ALVARADO DR NE ALBUQUERQUE NEW MEXICO 87102  
ARCHITECTS  
505.266.8700  
AIA

PROJECT DATA- 3900 SINGER BLVD NE  
NAME: NMMCC OFFICES  
ADDRESS: 3900 SINGER BLVD. N.E.  
DESCRIPTION: OFFICE BUILDING  
LEGAL: A PORTION OF LOT 6A, JEFFERSON  
COMMONS 2

OCCUPANCY: B  
FLOOR AREA TOTAL- 28,580 SF  
OCC. LOAD- 298  
TYPE OF CONSTRUCTION- IN. SPRINKLERED  
HEIGHT- 30 FEET, ONE STORY  
ALLOWABLE FLOOR AREA  
BASIC ALLOWABLE AREA (TABLE 5AB) 12,000 SF  
MAX ALLOW. AREA PER SEC 505.3 - 12,000X3= 36,000 SF

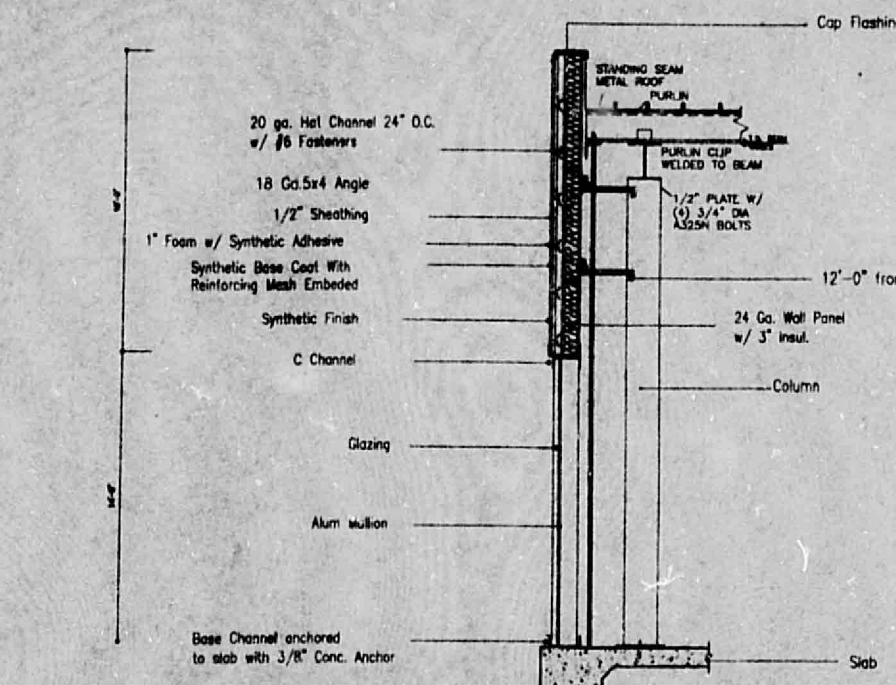
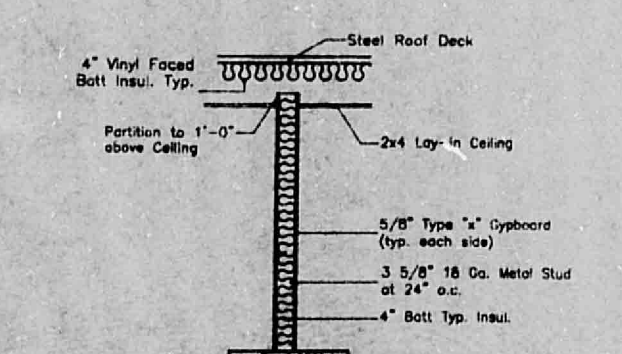
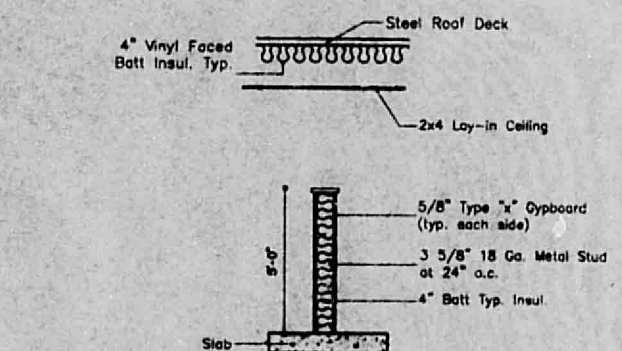
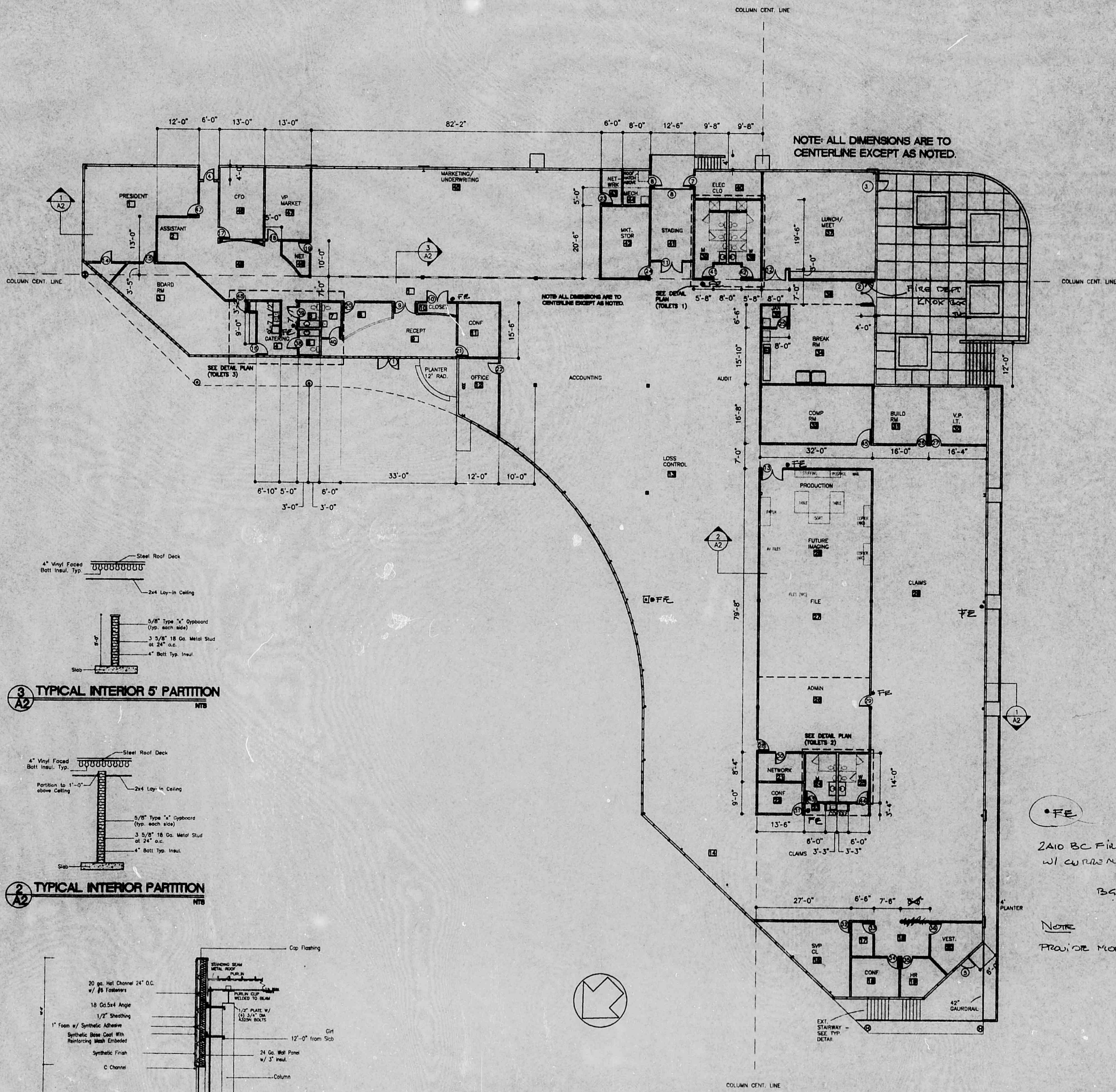
DOOR SCHEDULE

| DOOR NO.  | SIZE    | TYPE  | HARDWARE  | FIRE Rtg. |
|-----------|---------|---|---|-----------|
| 1,2       | 6'x6'   | Glazed, Anod. Alum.                           | Threshold, Weatherstrip, Closer, Panic Hardware | N/A       |
| 3-5       | 3'x6'   | Glazed, Anod. Alum.                           | Threshold, Weatherstrip, Closer, Panic Hardware | N/A       |
| 6,7       | 3'x7'   | Hollow Metal                                  | Keyed Lock, Threshold, Weatherstrip             | N/A       |
| 8         | 10'x10' | Sectional Steel Door                          | Pull Handle, Weatherstrip, Slide Bolt, Lock     | N/A       |
| 9,12      | 6'x6'   | Redi Frame, Solid core Wood Veneer            | Keyed Latch, Closer, Panic Hardware             | N/A       |
| 10,11,13  | 6'x6'   | Redi Frame, Solid core Wood Veneer            | Keyed Latch                                     | N/A       |
| 14-35, 37 | 3'x6'   | Redi Frame, Solid core Wood Veneer            | Keyed Latch                                     | N/A       |
| 36        | 3'x6'   | Redi Frame, Solid core Wood Veneer            | Panic Hardware                                  | N/A       |
| 41-44     | 3'x6'   | Redi Frame, Solid core Wood Veneer            | Push-Pull Plate Closer                          | N/A       |
| 45        | 4'x6'   | Redi Frame, Solid core Wood Veneer            | Slide Key Magnetic Lock                         | 2 HR.     |
| 47        | 3'x6'   | Redi Frame, Solid core Super cool Wood Veneer | Keyed Latch                                     | N/A       |
| 48        | 3'x6'   | Glazed, Anod. Alum.                           | Keyed Latch                                     | N/A       |
| 38-40     | 3'x6'   | Redi Frame, Solid core Wood Veneer            | Privacy Latch                                   | N/A       |

NOTE: ALL DOORS SHALL BE OPERABLE FROM INSIDE OF ROOMS WITHOUT KEY OR TOOLS OR ANY SPECIAL KNOWLEDGE OR EFFORT.

FINISH SCHEDULE

| AREA  | FLOOR                       | CEILING          | WALLS              |
|---|-----------------------------|------------------|--------------------|
| 1,2,3,4,6,11,12,13,14,15,16,18,19,21,22,23,24,25,27,28,31,34,35,36,39,41,42 | CARPET                      | 2x4 LAY-IN       | PAINTED OVP. BOARD |
| 4,6,6,7,10,20,23,24,25,27,28,31,34,35,36,39,41,42                           | VCT                         | 2x4 LAY-IN       | PAINTED OVP. BOARD |
| 17,21,40,43,44,46   | EXPOSED REINFORCED CONCRETE | N/A              | OVP. BOARD         |
| 32,33   | 1" INSULATED CONCR. FLOOR   | 3 IN. FIRE RATED | 3 HR. FIRE RATED   |



FLOORPLAN  
SCALE: 1/16"=1'-0"

ALBUQUERQUE  
BUILDING & CONSTRUCTION  
MAR 21 2000  
U.S. PLAN CHECK  
SECTION

NMMCC  
3900 SINGER BLVD NE  
A2  
4/100

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Richard Gutkin  
DIRECTOR  
Margaret D. Ralston  
NOTARY PUBLIC  
Commission expires: 10/22/2001





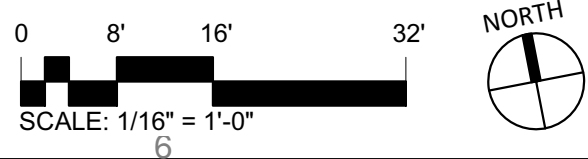
| OCCUPANT LOAD CALCS          |           |          |                  |           |                 |
|------------------------------|-----------|----------|------------------|-----------|-----------------|
| USE                          | AREA      | USE TYPE | OCC. LOAD FACTOR | GROSS/NET | TOTAL OCCUPANTS |
| BREAK AREAS                  | 2,670 SF  | A2       | 15 SF            | NET       | 178             |
| WAITING/CONFERENCE AREAS     | 1,729 SF  | A3       | 15 SF            | NET       | 115             |
| OFFICES                      | 14,426 SF | B        | 100 SF           | GROSS     | 144             |
| HALLS/RESTROOMS/MOTHERS ROOM | 9,633 SF  | B2       | 100 SF           | GROSS     | 96              |
| MECH/ELEC/STOR/I.T.          | 2,411 SF  | S        | 300 SF           | GROSS     | 8               |
| TOTAL OCCUPANTS: 541         |           |          |                  |           |                 |

| PLUMBING FIXTURE SCHEDULE                                |  |  |                                       |  |                                       |                            |                 |                             |  |
|--|--|--|---------------------------------------|--|---------------------------------------|----------------------------|-----------------|-----------------------------|--|
|  |  | WATER CLOSET   |                                       | LAVATORIES   |                                       | DRINKING FOUNTAINS         |                 | SERVICE SINKS               |  |
| A2: BREAK AREAS<br>OL: 178<br>MALE: 89<br>FEMALE: 89     |  | FACTOR:<br>MALE: 1/75<br>FEMALE: 1/75                        | REQUIRED:<br>MALE: 1.2<br>FEMALE: 1.2 | FACTOR:<br>1/200   | REQUIRED:<br>MALE: 0.4<br>FEMALE: 0.4 | FACTOR:<br>1/500           | REQUIRED<br>0.4 | REQUIRED:<br>1 SERVICE SINK |  |
| A3: WAIT./CONF.<br>OL: 115<br>MALE: 57.5<br>FEMALE: 57.5 |  | FACTOR:<br>MALE: 1/125<br>FEMALE: 1/65                       | REQUIRED:<br>MALE: 0.5<br>FEMALE: 0.9 | FACTOR:<br>1/200   | REQUIRED:<br>MALE: 0.3<br>FEMALE: 0.3 | FACTOR:<br>1/500           | REQUIRED<br>0.2 |                             |  |
| B: OFFICES/REC.<br>OL: 144<br>MALE: 72<br>FEMALE: 72     |  | FACTOR:<br>M&F: 1/25 (FIRST 50)<br>1/50 (REMAINDER)          | REQUIRED:<br>MALE: 2.4<br>FEMALE: 2.4 | FACTOR:<br>M&F: 1/40 (FIRST 80)<br>1/80 (REMAINDER)          | REQUIRED:<br>MALE: 1.8<br>FEMALE: 1.8 | FACTOR:<br>1/100           | REQUIRED<br>1.4 |                             |  |
| B2: HALLS/RR<br>OL: 96<br>MALE: 48<br>FEMALE: 48         |  | FACTOR:<br>M&F: 1/25 (FIRST 50)<br>1/50 (REMAINDER)          | REQUIRED:<br>MALE: 1.9<br>FEMALE: 1.9 | FACTOR:<br>M&F: 1/40 (FIRST 80)<br>1/80 (REMAINDER)          | REQUIRED:<br>MALE: 1.2<br>FEMALE: 1.2 | FACTOR:<br>1/100           | REQUIRED<br>1   |                             |  |
| S: STOR/MECH/I.T.<br>OL: 8                               |  | FACTOR: 1/100  | REQUIRED:<br>0.1                      | FACTOR: 1/100  | REQUIRED:<br>0.1                      | FACTOR:<br>1/1000          | REQUIRED<br>0.0 |                             |  |
|  |  | REQUIRED: MALE: 6, FEMALE: 6<br>PROVIDED: MALE: 6, FEMALE: 7 |                                       | REQUIRED: MALE: 4, FEMALE: 4<br>PROVIDED: MALE: 4, FEMALE: 4 |                                       | REQUIRED: 3<br>PROVIDED: 4 |                 | REQUIRED: 1<br>PROVIDED: 1  |  |

| CODE DATA ANALYSIS |   |
|--------------------|---|
| I.                 | <b>APPLICABLE BUILDING CODES AND REGULATIONS</b><br>2015 NEW MEXICO COMMERCIAL BUILDING CODE (2015 IBC, AMENDED)<br>2015 NEW MEXICO MECHANICAL CODE (AS AMENDED BY UAC)<br>2015 NEW MEXICO PLUMBING CODE (AS AMENDED BY UAC)<br>2018 NEW MEXICO ENERGY CONSERVATION CODE<br>2015 NEW MEXICO EXISTING BUILDING CODE<br>2015 NEW MEXICO ELECTRICAL CODE<br>2015 INTERNATIONAL FIRE CODE<br>ANSI 117.1, 2009 EDITION |
| II.                | <b>CLASSIFICATION OF WORK PER IBC, CHAPTER 5 CLASSIFICATION OF WORK</b><br>PER IBC 2015 - ALTERATION LEVEL 2: WORK AREA EXCEEDS MORE THAN 50% OF THE BUILDING AREA.   |
| III.               | <b>OCCUPANCY CLASSIFICATION PER IBC CHAPTER 3</b><br>B - BUSINESS (OFFICES AND WORK SPACES)   |
| IV.                | <b>CONSTRUCTION TYPE (IBC CHAPTER 6)</b><br>IIB - FULLY SPRINKLERED   |
| V.                 | <b>ALLOWABLE AREA FACTOR (PER IBC 2015 TABLE 506.2)</b><br>TOTAL BUILDING OCCUPANCY TYPE IS B - BUSINESS<br>ALLOWABLE AREA FACTOR FOR OCCUPANCY B AND TYPE IIB CONSTRUCTION, SPRINKLERED - 92,000 SF<br>TOTAL WORK AREA: 29,560 SF - THEREFORE COMPLIANT  |
| VI.                | <b>INTERIOR WALL AND CEILING FINISH REQUIREMENTS (PER IBC TABLE 803.1.1)</b><br>FOR SPRINKLERED OCCUPANCY TYPE B: CLASS B FINISHES REQUIRED FOR EXIT PASSAGEWAYS, CLASS C FOR ENCLOSED SPACES<br>FOR SPRINKLERED OCCUPANCY TYPE S: CLASS C FINISHES REQUIRED<br><br>TYPE "X" GYPSUM BOARD FOR CEILINGS AND WALLS MEETS THE CLASS B AND C REQUIREMENTS, THEREFORE COMPLIANT (REFER TO WALL TYPES ON G-003)         |
| VII.               | <b>SEISMIC DESIGN CATEGORY: D</b>   |
| VIII.              | <b>MEANS OF EGRESS: REFER TO PLAN ON THIS SHEET</b><br>EXIT ACCESS AND TRAVEL DISTANCE PER 1017.2 (WITH SPRINKLER SYSTEM): 300' MAX., PROVIDED 191' MAX, THEREFORE COMPLIANT.<br>MINIMUM NUMBER OF EXITS PER 1006.3.1: 2 REQUIRED, 5 PROVIDED, THEREFORE COMPLIANT.   |
| IX.                | <b>PLUMBING FIXTURE CALCULATIONS:</b><br>REFER TO PLUMBING FIXTURE TABLE ON THIS SHEET.   |



① CODE ANALYSIS  
1/16" = 1'-0"



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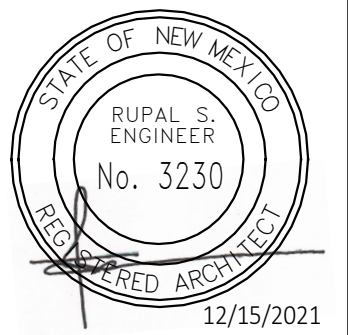
SHEET TITLE

CODE  
ANALYSIS

G-002

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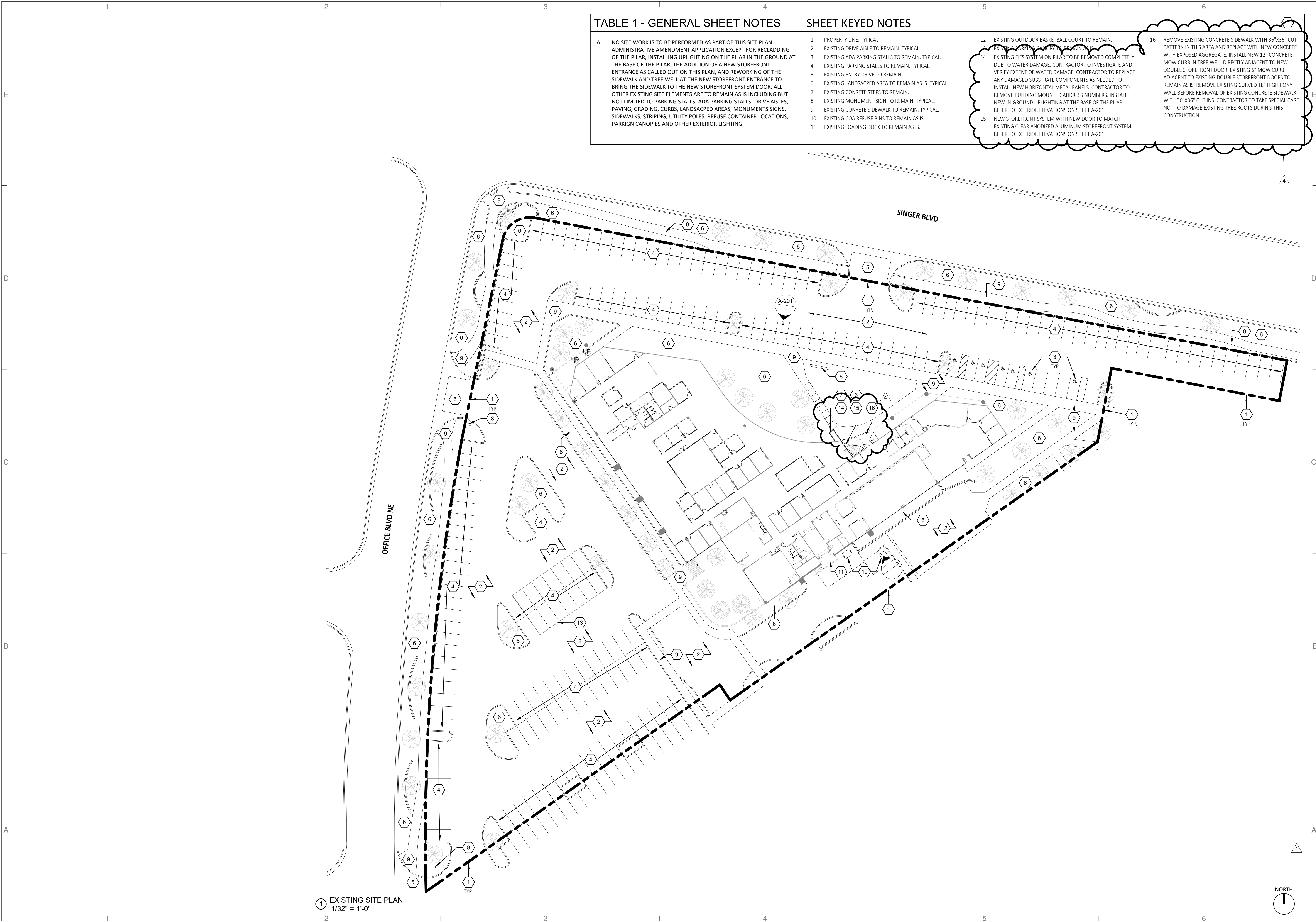


TABLE 1 - GENERAL SHEET NOTES

A. NO SITE WORK IS TO BE PERFORMED AS PART OF THIS SITE PLAN ADMINISTRATIVE AMENDMENT APPLICATION EXCEPT FOR RECLADDING OF THE PILAR, INSTALLING UPLIGHTING ON THE PILAR IN THE GROUND AT THE BASE OF THE PILAR, THE ADDITION OF A NEW STOREFRONT ENTRANCE AS CALLED OUT ON THIS PLAN, AND REWORKING OF THE SIDEWALK AND TREE WELL AT THE NEW STOREFRONT ENTRANCE TO BRING THE SIDEWALK TO THE NEW STOREFRONT SYSTEM DOOR. ALL OTHER EXISTING SITE ELEMENTS ARE TO REMAIN AS IS INCLUDING BUT NOT LIMITED TO PARKING STALLS, ADA PARKING STALLS, DRIVE AISLES, PAVING, GRADING, CURBS, LANDSCAPED AREAS, MONUMENTS SIGNS, SIDEWALKS, STRIPING, UTILITY POLES, REFUSE CONTAINER LOCATIONS, PARKIGN CANOPIES AND OTHER EXTERIOR LIGHTING.

SHEET KEYED NOTES

- 1 PROPERTY LINE. TYPICAL.
- 2 EXISTING DRIVE AISLE TO REMAIN. TYPICAL.
- 3 EXISTING ADA PARKING STALLS TO REMAIN. TYPICAL.
- 4 EXISTING PARKING STALLS TO REMAIN. TYPICAL.
- 5 EXISTING ENTRY DRIVE TO REMAIN.
- 6 EXISTING LANDSCAPED AREA TO REMAIN AS IS. TYPICAL.
- 7 EXISTING CONCRETE STEPS TO REMAIN.
- 8 EXISTING MONUMENT SIGN TO REMAIN. TYPICAL.
- 9 EXISTING CONCRETE SIDEWALK TO REMAIN. TYPICAL.
- 10 EXISTING COA REFUSE BINS TO REMAIN AS IS.
- 11 EXISTING LOADING DOCK TO REMAIN AS IS.
- 12 EXISTING OUTDOOR BASKETBALL COURT TO REMAIN.
- 13 EXISTING PARKING CANOPY TO REMAIN.
- 14 EXISTING EIFS SYSTEM ON PILAR TO BE REMOVED COMPLETELY DUE TO WATER DAMAGE. CONTRACTOR TO INVESTIGATE AND VERIFY EXTENT OF WATER DAMAGE. CONTRACTOR TO REPLACE ANY DAMAGED SUBSTRATE COMPONENTS AS NEEDED TO INSTALL NEW HORIZONTAL METAL PANELS. CONTRACTOR TO REMOVE BUILDING MOUNTED ADDRESS NUMBERS. INSTALL NEW IN-GROUND UPLIGHTING AT THE BASE OF THE PILAR. REFER TO EXTERIOR ELEVATIONS ON SHEET A-201.
- 15 NEW STOREFRONT SYSTEM WITH NEW DOOR TO MATCH EXISTING CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM. REFER TO EXTERIOR ELEVATIONS ON SHEET A-201.
- 16 REMOVE EXISTING CONCRETE SIDEWALK WITH 36"x36" CUT PATTERN IN THIS AREA AND REPLACE WITH NEW CONCRETE WITH EXPOSED AGGREGATE. INSTALL NEW 12" CONCRETE MOW CURB IN TREE WELL DIRECTLY ADJACENT TO NEW DOUBLE STOREFRONT DOOR. EXISTING 6" MOW CURB ADJACENT TO EXISTING DOUBLE STOREFRONT DOORS TO REMAIN AS IS. REMOVE EXISTING CURVED 18" HIGH PONY WALL BEFORE REMOVAL OF EXISTING CONCRETE SIDEWALK WITH 36"x36" CUT INS. CONTRACTOR TO TAKE SPECIAL CARE NOT TO DAMAGE EXISTING TREE ROOTS DURING THIS CONSTRUCTION.

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STATE OF NEW MEXICO  
RUPAL S.  
ENGINEER  
No. 3230  
REGISTERED ARCHITECT  
12/15/2021

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3900 SINGER BLVD NE  
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DATE: 6/23/2022

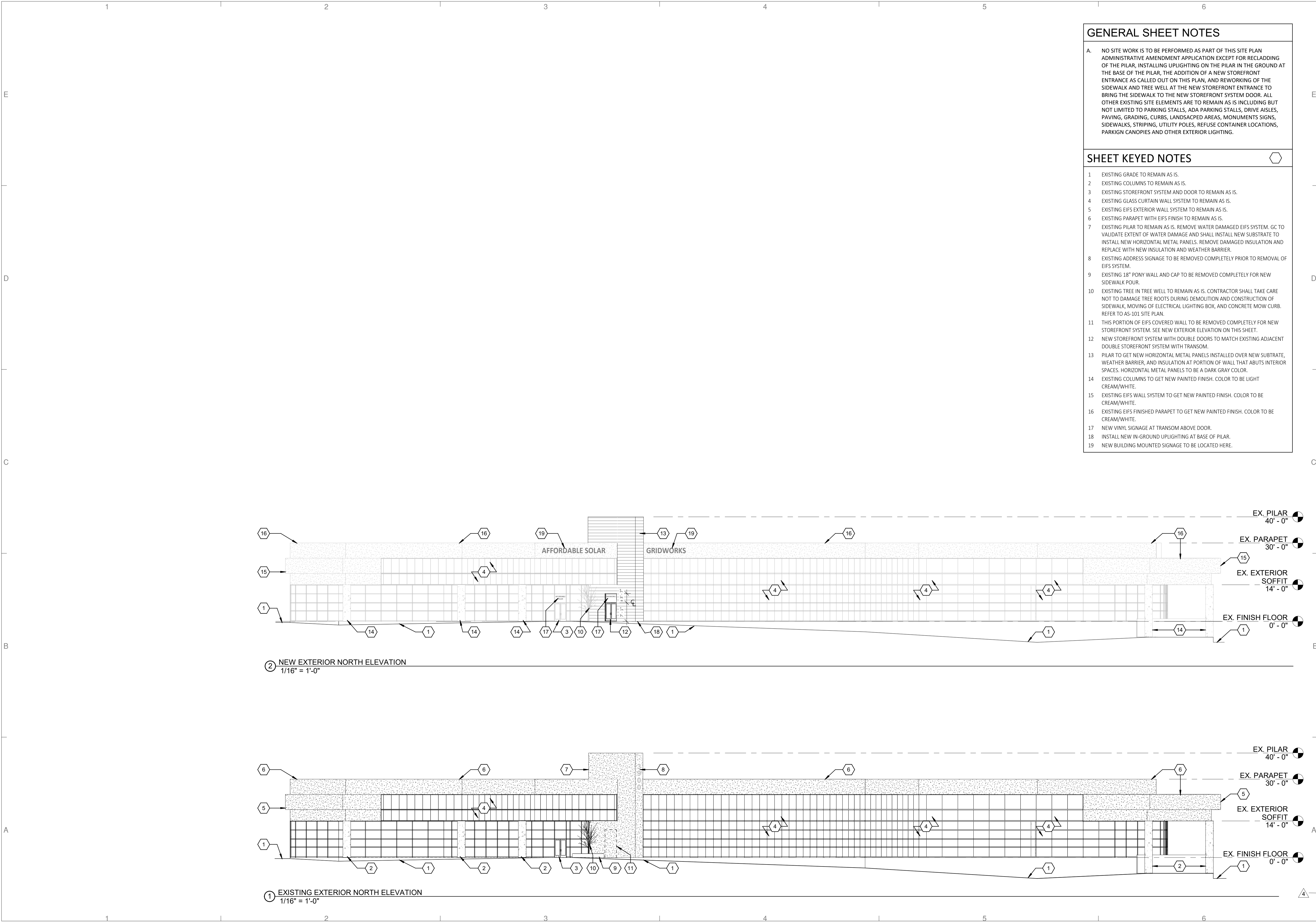
| REVISIONS |           |
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| 1         | 2/1/2022  |
| 4         | 7/13/2022 |
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SHEET TITLE

NEW SITE PLAN  
AS-101





GENERAL SHEET NOTES

A. NO SITE WORK IS TO BE PERFORMED AS PART OF THIS SITE PLAN ADMINISTRATIVE AMENDMENT APPLICATION EXCEPT FOR RECLADDING OF THE PILAR, INSTALLING UPLIGHTING ON THE PILAR IN THE GROUND AT THE BASE OF THE PILAR, THE ADDITION OF A NEW STOREFRONT ENTRANCE AS CALLED OUT ON THIS PLAN, AND REWORKING OF THE SIDEWALK AND TREE WELL AT THE NEW STOREFRONT ENTRANCE TO BRING THE SIDEWALK TO THE NEW STOREFRONT SYSTEM DOOR. ALL OTHER EXISTING SITE ELEMENTS ARE TO REMAIN AS IS INCLUDING BUT NOT LIMITED TO PARKING STALLS, ADA PARKING STALLS, DRIVE AISLES, PAVING, GRADING, CURBS, LANDSCAPED AREAS, MONUMENTS SIGNS, SIDEWALKS, STRIPING, UTILITY POLES, REFUSE CONTAINER LOCATIONS, PARKING CANOPIES AND OTHER EXTERIOR LIGHTING.

SHEET KEYED NOTES

- EXISTING GRADE TO REMAIN AS IS.
- EXISTING COLUMNS TO REMAIN AS IS.
- EXISTING STOREFRONT SYSTEM AND DOOR TO REMAIN AS IS.
- EXISTING GLASS CURTAIN WALL SYSTEM TO REMAIN AS IS.
- EXISTING EIFS EXTERIOR WALL SYSTEM TO REMAIN AS IS.
- EXISTING PARAPET WITH EIFS FINISH TO REMAIN AS IS.
- EXISTING PILAR TO REMAIN AS IS. REMOVE WATER DAMAGED EIFS SYSTEM. GC TO VALIDATE EXTENT OF WATER DAMAGE AND SHALL INSTALL NEW SUBSTRATE TO INSTALL NEW HORIZONTAL METAL PANELS. REMOVE DAMAGED INSULATION AND REPLACE WITH NEW INSULATION AND WEATHER BARRIER.
- EXISTING ADDRESS SIGNAGE TO BE REMOVED COMPLETELY PRIOR TO REMOVAL OF EIFS SYSTEM.
- EXISTING 18" PONY WALL AND CAP TO BE REMOVED COMPLETELY FOR NEW SIDEWALK POUR.
- EXISTING TREE IN TREE WELL TO REMAIN AS IS. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREE ROOTS DURING DEMOLITION AND CONSTRUCTION OF SIDEWALK, MOVING OF ELECTRICAL LIGHTING BOX, AND CONCRETE MOW CURB. REFER TO AS-101 SITE PLAN.
- THIS PORTION OF EIFS COVERED WALL TO BE REMOVED COMPLETELY FOR NEW STOREFRONT SYSTEM. SEE NEW EXTERIOR ELEVATION ON THIS SHEET.
- NEW STOREFRONT SYSTEM WITH DOUBLE DOORS TO MATCH EXISTING ADJACENT DOUBLE STOREFRONT SYSTEM WITH TRANSOM.
- PILAR TO GET NEW HORIZONTAL METAL PANELS INSTALLED OVER NEW SUBSTRATE, WEATHER BARRIER, AND INSULATION AT PORTION OF WALL THAT ABUTS INTERIOR SPACES. HORIZONTAL METAL PANELS TO BE A DARK GRAY COLOR.
- EXISTING COLUMNS TO GET NEW PAINTED FINISH. COLOR TO BE LIGHT CREAM/WHITE.
- EXISTING EIFS WALL SYSTEM TO GET NEW PAINTED FINISH. COLOR TO BE CREAM/WHITE.
- EXISTING EIFS FINISHED PARAPET TO GET NEW PAINTED FINISH. COLOR TO BE CREAM/WHITE.
- NEW VINYL SIGNAGE AT TRANSOM ABOVE DOOR.
- INSTALL NEW IN-GROUND UPLIGHTING AT BASE OF PILAR.
- NEW BUILDING MOUNTED SIGNAGE TO BE LOCATED HERE.

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EXTERIOR  
ELEVATIONS  
A-201



July 6, 2022

To Whom It May Concern:

I, Ryan Centerwall of Affordable Solar Installation, Inc. hereby authorize Rupal S. Engineer of Design Plus, LLC to act as Owner's Agent for the project located at 3900 Singer Boulevard, NE, Albuquerque, NM 87109.

Respectfully submitted,

Ryan Centerwall, Owner/CEO

cc: Rupal S. Engineer

STATE OF NEW MEXICO )  
 )  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me this 6 day of July, 2022, by Ryan Centerwall on behalf of the above-named Supplier/Vendor.

My commission expires:

05/19/2026

Notary Public: Mariam Bruce

