# $A^{\rm City\,of}_{lbuquerque}$



## **DEVELOPMENT REVIEW APPLICATION**

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.							
Administrative Decisions	Dec	Decisions Requiring a Public Meeting or Hearing			Policy Decisions		
□ Archaeological Certificate (Form P3)		□ Site Plan – EPC including any Variances – EPC ( <i>Form P1</i> )			Adoption or Amendment of Comprehensive lan or Facility Plan (Form Z)		
□ Historic Certificate of Appropriateness (Form L)	s – Minor 🛛 🗆 N	□ Master Development Plan (Form P1)			Adoption or Amendment of Historic Designation (Form L)		
□ Alternative Signage Plan (Form P3)		istoric Certificate of Ap <i>m L)</i>	propriateness – Major		☐ Amendment of IDO Text (Form Z)		
X Minor Amendment to Site Plan (Form	<i>P3)</i> 🗆 D	emolition Outside of HI	PO (Form L)	🗆 Ann	exation of Land (Form 2	Z)	
□ WTF Approval (Form W1)	ΠH	istoric Design Standard	ds and Guidelines (Form L)		endment to Zoning Map	– EPC (Form Z)	
		□ Wireless Telecommunications Facility Waiver (Form W2)		🗆 Ame	endment to Zoning Map	– Council (Form Z)	
				Appea	ls		
				□ Dec A)	ision by EPC, LC, ZHE	, or City Staff (Form	
APPLICATION INFORMATION							
Applicant: JP Morgan Chase c/o	Brad Gubs	er P.E.		Ph	one: 812-205-314	8	
Address: 7301 North Federal Boul	levard		1	Em	ail: brad.gubser@c	bre.com	
City: Westminster			State: CO	Zip	: 80030		
Professional/Agent (if any): Garcia/Kra	aemer & Ass	ociates- Jonathan	Turner	Ph	one: 505-440-1524		
Address: 600 1st St NW- Suite 21	1			Em	ail: jct473@gmail.	com	
City: Albuquerque			State: NM	Zip: 87102			
Proprietary Interest in Site: Developer	eloper List		List all owners: Peggy	Daskal	os		
BRIEF DESCRIPTION OF REQUEST			-				
A minor amendment to allow	/ a drive-up A	TM machine					
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)							
Lot or Tract No.: A			Block: 0000	Un	it: -		
Subdivision/Addition: PASEO VILL	AGE		MRGCD Map No.:	UP	C Code: 101906424	1302930118	
Zone Atlas Page(s): C-19	1	Existing Zoning: MX-L	-	Pro	posed Zoning: N/A		
# of Existing Lots: 1	ą	# of Proposed Lots: N/A		To	Total Area of Site (acres): 3.12 AC		
LOCATION OF PROPERTY BY STREE	TS			-			
Site Address/Street: 8001 Wyoming I	Blvd NE	Between: Paseo Del Norte NE and: Holly A		olly Ave NE			
CASE HISTORY (List any current or pr	rior project and	ject and case number(s) that may be relevant to your request.)					
Z-98-110 Note- staff unable t	to find officia	al N.O.D., SI-202	1-00827				
Signature: Jonathan Turner Date: 9/20/22							
Printed Name. Jonathan Turner					Applicant or 🛛 🕅 Agent		
FOR OFFICIAL USE ONLY							
Case Numbers	Action	Fees	Case Numbers Action		Fees		
Meeting/Hearing Date:				Fe	e Total:		
Staff Signature:	aff Signature: Date:		Date:	Pro	oject #		

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

#### INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

X Letter of authorization from the property owner if application is submitted by an agent X Zone Atlas map with the entire site clearly outlined and label

#### ARCHEOLOGICAL CERTIFICATE

- \_\_\_\_ Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

#### MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- \_\_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_\_ The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

#### MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- X The approved Site Development Plan being amended
- ---- Copy of the Official Notice of Decision associated with the prior approval Note- staff unable to find official N.O.D.
- $\overline{X}$  The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- <u>N/A</u> Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

# Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

#### ❑ ACCELERATED EXPIRATION SITE PLAN

- \_\_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

#### □ ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_\_ Required notices with content per IDO Section 14-16-6-4(K)
- \_\_\_Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

### □ ALTERNATIVE LANDSCAPE PLAN

\_\_\_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)

Landscape Plan

August 19, 2022

City of Albuquerque Planning Department Attn: Mr. James Aranda, Deputy Director 600 2<sup>nd</sup> St NW- 3rd Floor Albuquerque, NM 87102

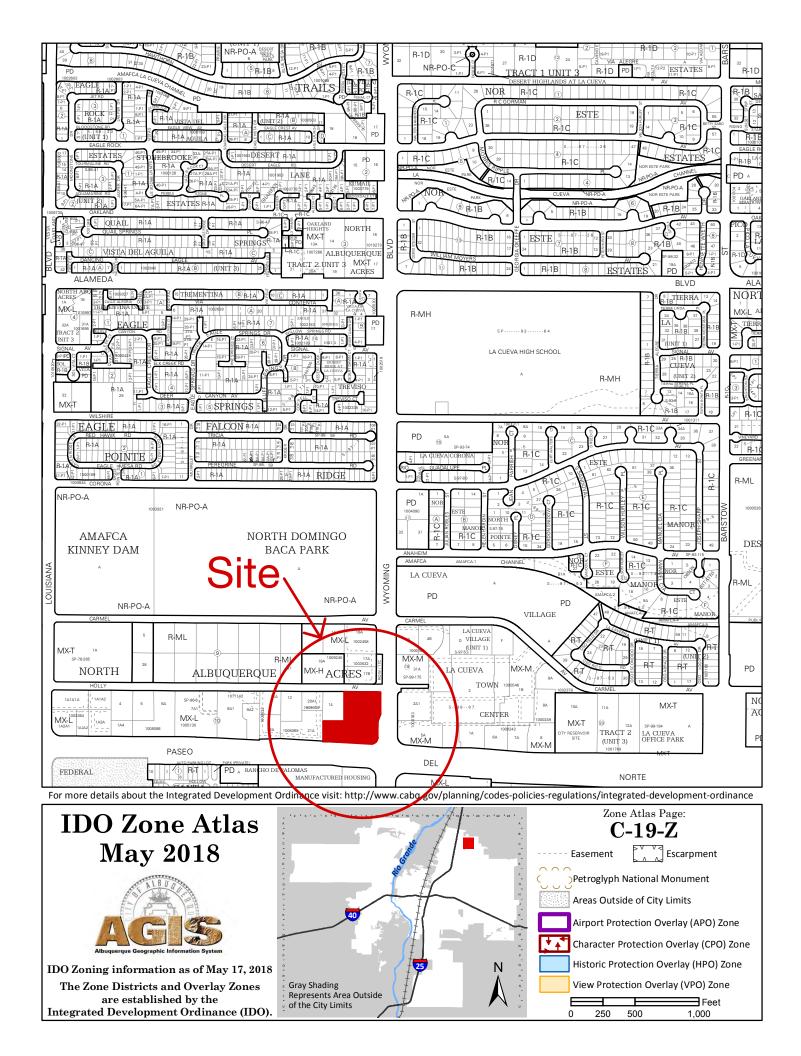
RE: 8001 Wyoming Blvd NE- Chase Bank Drive-thru ATM Albuquerque, NM 87113 Building permit: BP-2022-05703

Dear Mr. Aranda:

As the Property Owner, I authorize Garcia/Kraemer & Associates to act as agent on matters pertaining to an application submittal to the City of Albuquerque Planning Department, Current Planning Section- for an Administrative Amendment to the approved Paseo Village Site Development Plan for Building Permit to allow for the addition of a drive-thru ATM machine for the existing Chase Bank development in the southeast corner of the shopping center.

clormins nda Print Name Signature H Ne Ce la1 t o Title 20 a a

Date



GARCIA/KRAEMER ASSOCIATES



September 20, 2022

Mr. James Aranda, Deputy Director **Planning Department** 600 2nd St NW- 3rd Floor Albuquerque, New Mexico 87102

RE: Minor Amendment- 8001 Wyoming Blvd NE Planning case file# Z-98-110 / Paseo Village SDP

Dear Mr. Aranda.

The applicant for the above-referenced property, JP Morgan Chase Bank, is requesting an administrative approval for a Minor Amendment to the approved Paseo Village Site Development Plan for Building permit. The intent of the applicant is to install a drive-up ATM machine next to the existing bank building in the southeast corner of the shopping center parking lot.

This application for amendment to the Site Development Plan is the applicant's response to Zoning's disapproval of the building permit for the ATM. The building permit disapproval requires an approved amendment to the existing Site Development Plan in order for approval of the permit.

The proposed changes are as follows:

The requested changes are to the area of the southeast corner of the parking lot and are circled in red and noted on the originally approved Paseo Village shopping center Site Development Plan. We believe that the proposed changes to the parking lot are in harmony and consistent with the originally approved Site Development Plan for Building Permit requirements, and the proposed use is allowed as Permissive Accessory in the underlying MX-L zone district, per Table 4-2-1 and §14-16-4-3(F)(4) of the IDO. Also for your review, attached to this application are the following documents: the City approved Traffic Circulation Layout, a compliant parking analysis table w/ required parking counts existing/proposed, the architectural elevations which show the proposed ATM machine with canopy and related traffic safety signs, and a Landscaping Plan that demonstrates compliance with the required 6 ft. wide landscaping buffer area between the drivethrough and the adjacent Paseo Del Norte right of way.

GARCIA/KRAEMER

ASSOCIATES

Criteria for Approval

Pursuant to Integrated Development Ordinance  $\S14-16-6-4(Y)(2)$ , below in italics is the applicant's response to the criteria for approval:

IONATHANETURNER

Principal

(505)440-15

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

As a permissive accessory use to an unknown user at the time of approval of the Paseo Village Site Development Plan (SDP) in 2000, the inclusion of a drive-up ATM machine on the original SDP for a future user could not have been reasonably known or foreseen by the developer at the time the City approved the Plan. As such, the unknown user's requirements for the ATM were not created by the owner of the property.

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

The proposed amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4. In fact, the proposed amendment is compliant with the dimensional standards of the SDP and the IDO, and does not seek to reduce or increase the standards of either.

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

GARCIA/KRAEMER & ASSOCIATES

The proposed amendment does not include any decrease of the total amount of open space in the development. Furthermore, the development does not abut a lot containing a residential use.

IONATHAN TURNER

Principal

(505)440-15

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

This criterion is not applicable because the amendment is not requesting a building nor is the development adjacent to residential uses.

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

This criterion is not applicable because the proposed amendment does not include residential uses.

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

This criterion is not applicable because the requested amendment does not propose any adjustments to a building design standard.

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO GARCIA/KRAEMER & ASSOCIATES

determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

IONANNI ANELU RNI FIR

Principal

(505)440-15

The requested amendment does not propose any reductions in the amount of total landscaping installed on the property. In fact, the amount of total landscaping installed on the property will be increased with the installation of the required 6ft. wide landscape buffer area as shown on the landscaping plan.

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

This criterion is not applicable because the traffic access to the subject property is from Holly Ave NE, which is designated as a major collector street on the MRCOG Long Range Roadway System and map. The proposed amendment does will not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties, as evidenced by the amended plans that have been submitted with this application.

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

This request for amendment does not require major public infrastructure, and the proposed changes to the southeast corner of the existing parking area for the drive-up ATM maintain the City prescribed aisle widths and curb radii, and the design is consistent with the original circulation patterns established by the Paseo Village SDP. Although existing excess parking spaces are GARCIA/KRAEMER & ASSOCIATES

proposed to be used for the drive-through area, circulation patterns on the subject property will remain essentially the same. The only change will be that instead of parking a vehicle in the subject area, a vehicle will be able to use the former parking area to access the ATM machine. The circulation and flow of vehicles in the shopping center will not be hindered or impeded. Additionally, the access patterns on the subject property are to remain unchanged with this amendment.

IONATHAN TURNER

Principal

(505)440-1524

10. The amendment does not change a specific condition attached by a decisionmaking body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

This amendment does not propose to change a specific condition; therefore, this criterion does not apply.

11. The amendment does not affect a property in an Overlay zone as regulated pursuant to 0, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

The proposed amendment does not affect a property in an Overlay zone as regulated pursuant to 0; therefore, this criterion does not apply.

# 12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

The proposed amendment is for a land use that is allowed as a Permissive Accessory use pursuant to §14-16-4-3(F)(4) and Table 4-2-1 of the IDO; therefore, this criterion is satisfied. GARCIA/KRAEMER みSSOCIATES



13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

This criterion does not apply since there is not a nonconformity nor the expansion of a nonconformity with this request.

## **Conclusion**

In summary, we believe that the proposed amendment involves minor changes to the approved plan and does not negatively impact grading and drainage, required parking, or traffic circulation; as shown on the submitted plans. It is believed that the changes proposed meet the spirit and the intent of the regulations of the IDO and the technical standards of the DPM. For these reasons and for those stated above, we respectfully request approval of the Minor Amendment to allow the addition of a drive-up ATM machine and related improvements as submitted. Approval of this request will allow the applicant to make reasonable changes to the southeast corner of the existing shopping center parking area for the proposed use while meeting compliance with the current regulations of the DPM for transportation design, and the IDO requirements for buffering, vehicle stacking, and drive-thru area design.

Please feel free to contact me should you require any additional information or if you have any questions.

Thank you in advance for your review and consideration.

Sincerely,

Jonathan Turner

Jonathan Turner

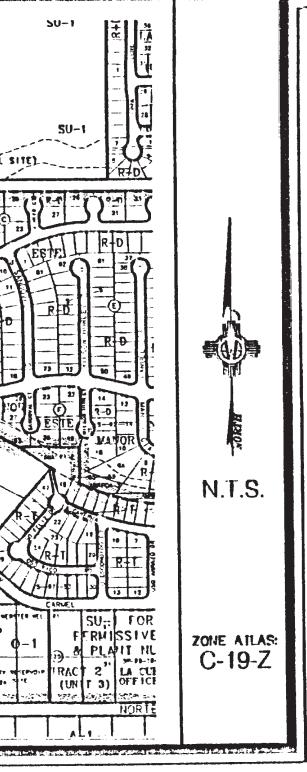
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	<ol> <li>SUBDIVISION DATA / NOTES</li> <li>PLAT WAS COMPILED USING EXISTING RECORD DATA &amp; ACTUAL FIELD</li> <li>BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS HEAVEN SHOWN HEREON.</li> <li>DISTANCES ARE GROUND DISTANCES.</li> <li>PLAT SHOWS ALL EASEMENTS OF RECORD.</li> <li>BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THAT STIPULUDGMENT FOR CONDEMNATION, NO. CV-97-03986 FILED IN BERNAL</li> </ol>
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THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC#: PROPERTY OWNER OF RECORD:

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BERNALILLO COUNTY TREASURERS OFFICE:

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## D SURVEY.

ZONE, AND 2-D20-A,

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## LEGAL DESCRIPTION

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18) AND NINETEEN (19) IN BLOCK NUMBERED TEN (10), TRACT NUMBERED TWO (2), UNIT NUMBERED THREE (3), NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, IN VOLUME D1, FOLIO 20, LESS AND EXCEPTING THAT PORTION OF SUBJECT PROPERTY TAKEN AS ADDITIONAL PUBLIC STREET RIGHT-OF-WAY BY STIPULATED JUDGMENT FOR CONDEMNATION NO. CV-97-03986, FILED DECEMBER 9, 1999 IN BK. 9918, PG. 1887, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

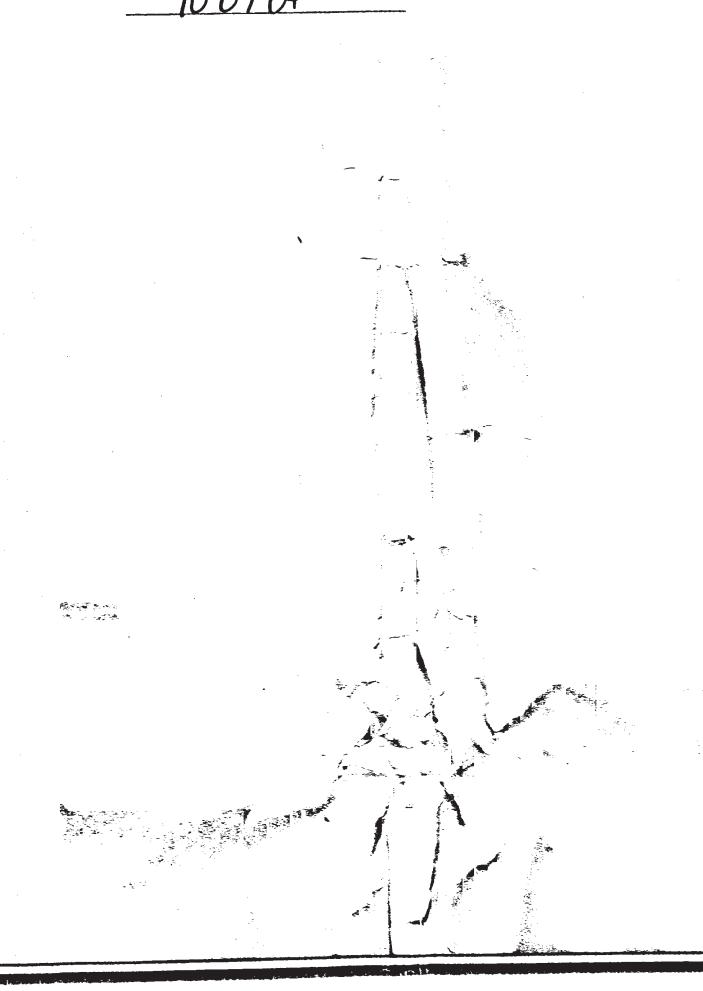
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT, A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PASEO DEL NORTE N.E., WHENCE A.C.S. CONTROL STATION "HEAVEN" BEARS \$ 03" 14'52" W, 172.82 FEET DISTANT; THENCE, FROM SAID POINT OF BEGINNING, N 00°10'28" E, 157.73 FEET TO AN ANGLE POINT; THENCE, S 89°43'28" E, 164.98 FEET TO AN ANGLE POINT; THENCE, N 00°08'53" E, 234.20 FEET TO THE NORTHWEST CORNER, A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HOLLY AVENUE N.E., BEING THE NORTHWEST CORNER OF SAID LOT NUMBERED FIFTEEN (15); THENCE, S 89°39'23" E, 273.51 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 89'53'12", HAVING A RADIUS OF 25.13 FEET AND AN ARC LENGTH OF 39.42 FEET (CHORD = \$ 44°42'47" E, 35.50 FEET) TO A POINT OF TANGENCY, BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF WYOMING BOULEVARD N.E.; THENCE, S 00"04'16" E, 135.13 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT OF CURVATURE; THENCE, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 21°28'23", HAVING A RADIUS OF 113.00 FEET AND AN ARC LENGTH OF 42.35 FEET (CHORD = S 10°39'56' W, 42.10 FEET) TO A POINT OF REVERSE CURVATURE; THENCE, CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY LIVE, SOUTHWESTERLY ALONG A CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 19°55'37", HAVING RADIUS OF 150.00 FEET AND AN ARC LENGTH OF 52.17 FEET (CHORD = S 11°26'19" W, 51.91FEET) TO A POINT OF TANGENCY; THENCE, CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY LINE, S 01°28'31" W, 79.93 FEET TO A POINT OF CURVATURE; THENCE, SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90'01'09", HAVING A RADIUS OF 68.53 FEET AND AN ARC LENGTH OF 107.67 FEET (CHORD = S 46°29'05" W, 96.93 FEET) TO A POINT OF TANGENCY, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID PASEO DEL NORTE N.E.; THENCE, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE N 88°30'21" W, 374.41 FEET TO THE POINT OF BEGINNING, CONTAINING 3.2266 ACRES. MORE OR LESS.

## FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

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THIS INSTRUMENT WAS ACKNOWLEDGED BEF	ORE ME THIS A	DAY O	F_IVWIII	, 2000.
BY: HOAL DANKALOS-LUCOU	/ Ucou ( )	antelis)e		
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# PLAT OF TRACT A PASEO VILLAGE SITUATE WITHIN PROJECTED SECTION 18 T. 11 N., R. 4 E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO NOVEMBER 2000 SHEET 1 OF 2

## **DISCLOSURE STATEMENT**

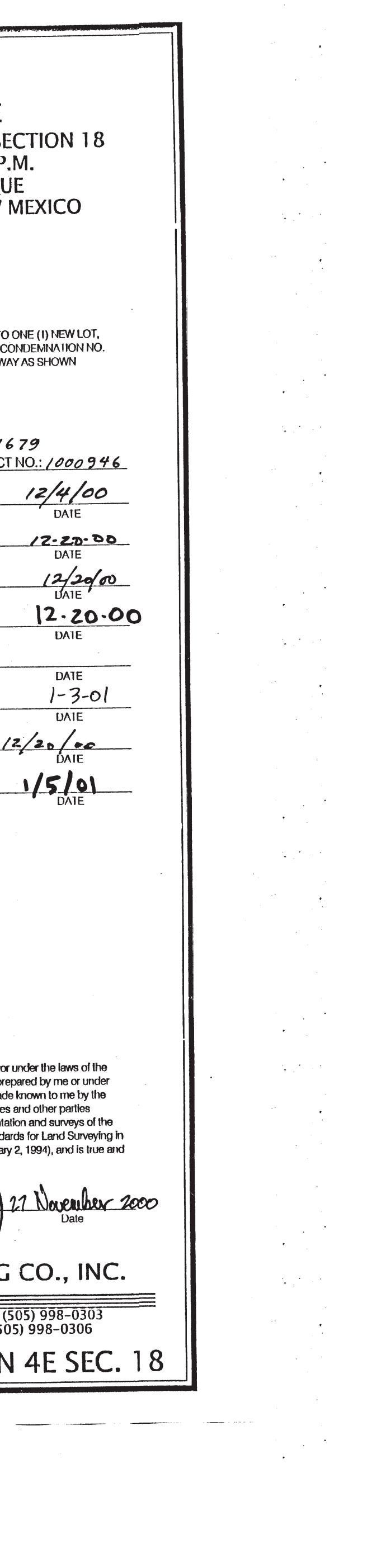
THE PURPOSE OF THIS PLAT IS TO COMBINE FIVE (5) EXISTING LOTS INTO ONE (1) NEW LOT, TO SHOW THAT RIGHT-OF-WAY TAKEN BY STIPULATED JUDGMENT FOR CONDEMNATION NO. CV-97-03986 AND TO DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY AS SHOWN HEREON.

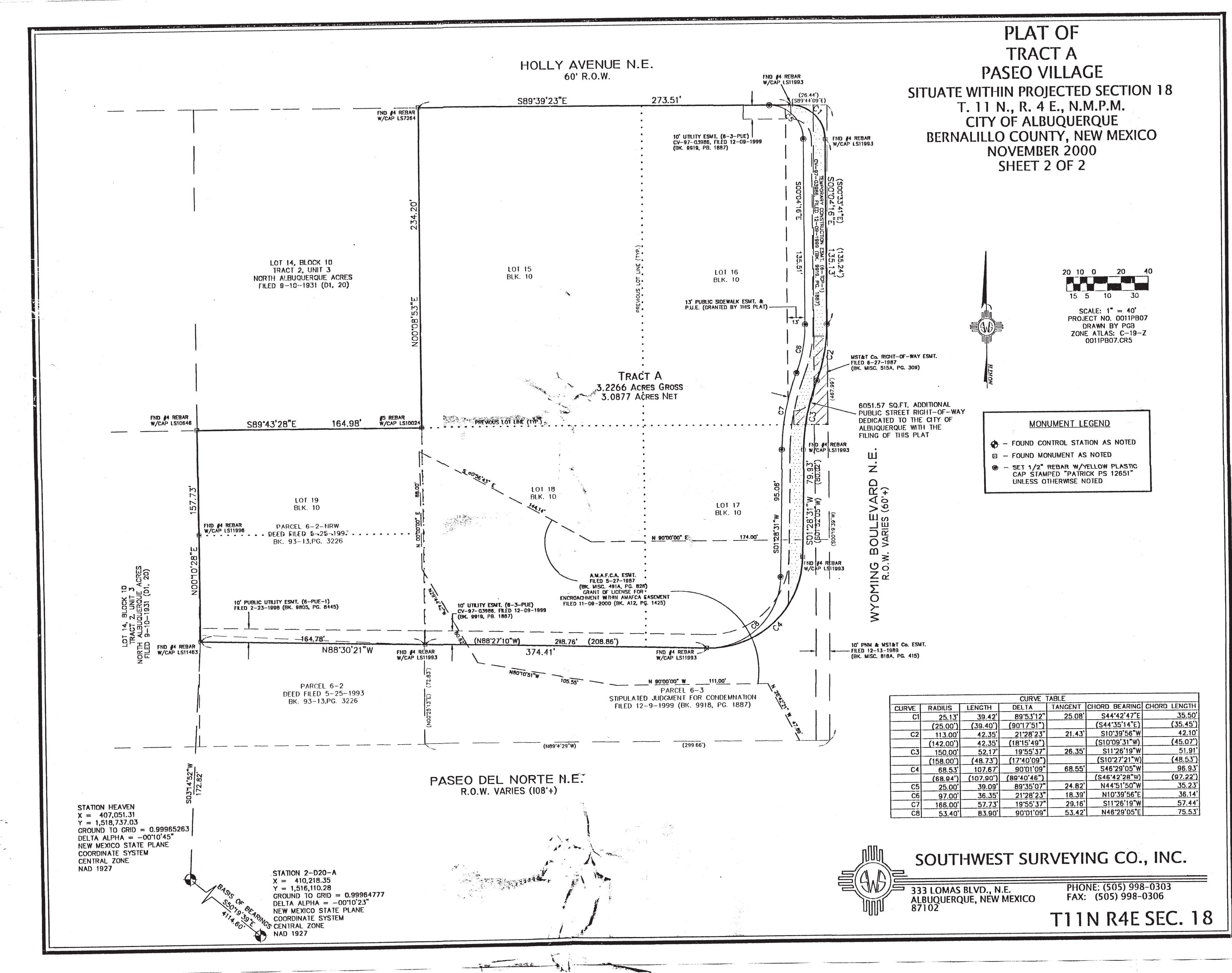
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TRAFFIC ENGINEERING		DATE
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## SURVEYOR'S CERTIFICATION

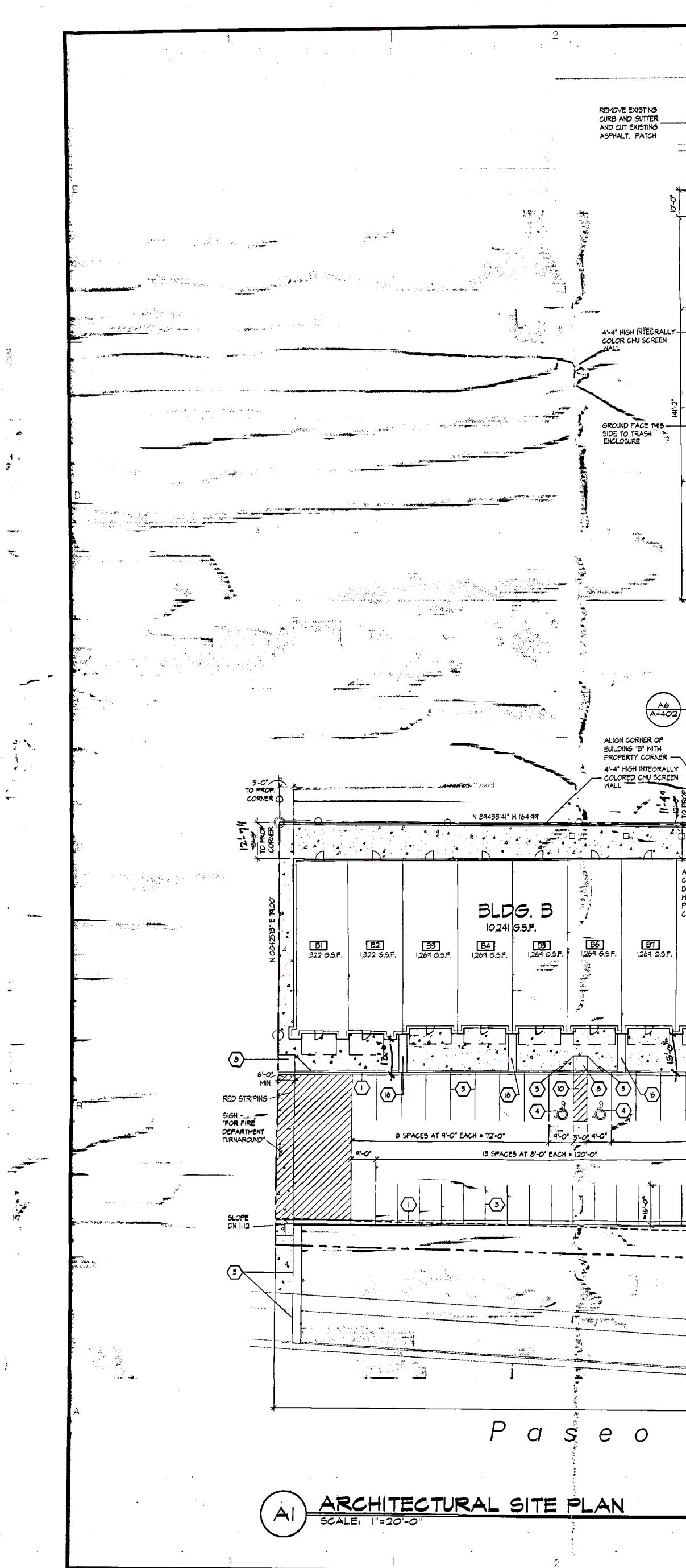
I, Thomas W. Patrick, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions February 2, 1994), and is true and correct to the best of my knowledge and belief.

27 November 2000 Thomas W. Patrick New Mexico Professional Surveyor, 12651 SOUTHWEST SURVEYING CO., INC. PHONE: (505) 998-0303 333 LOMAS BLVD., N.E. FAX: (505) 998-0306 ALBUQUERQUE, NEW MEXICO 87102 T11N 4E SEC. 18 PROJECT NO. 0011PB07 DRAWN BY PGB





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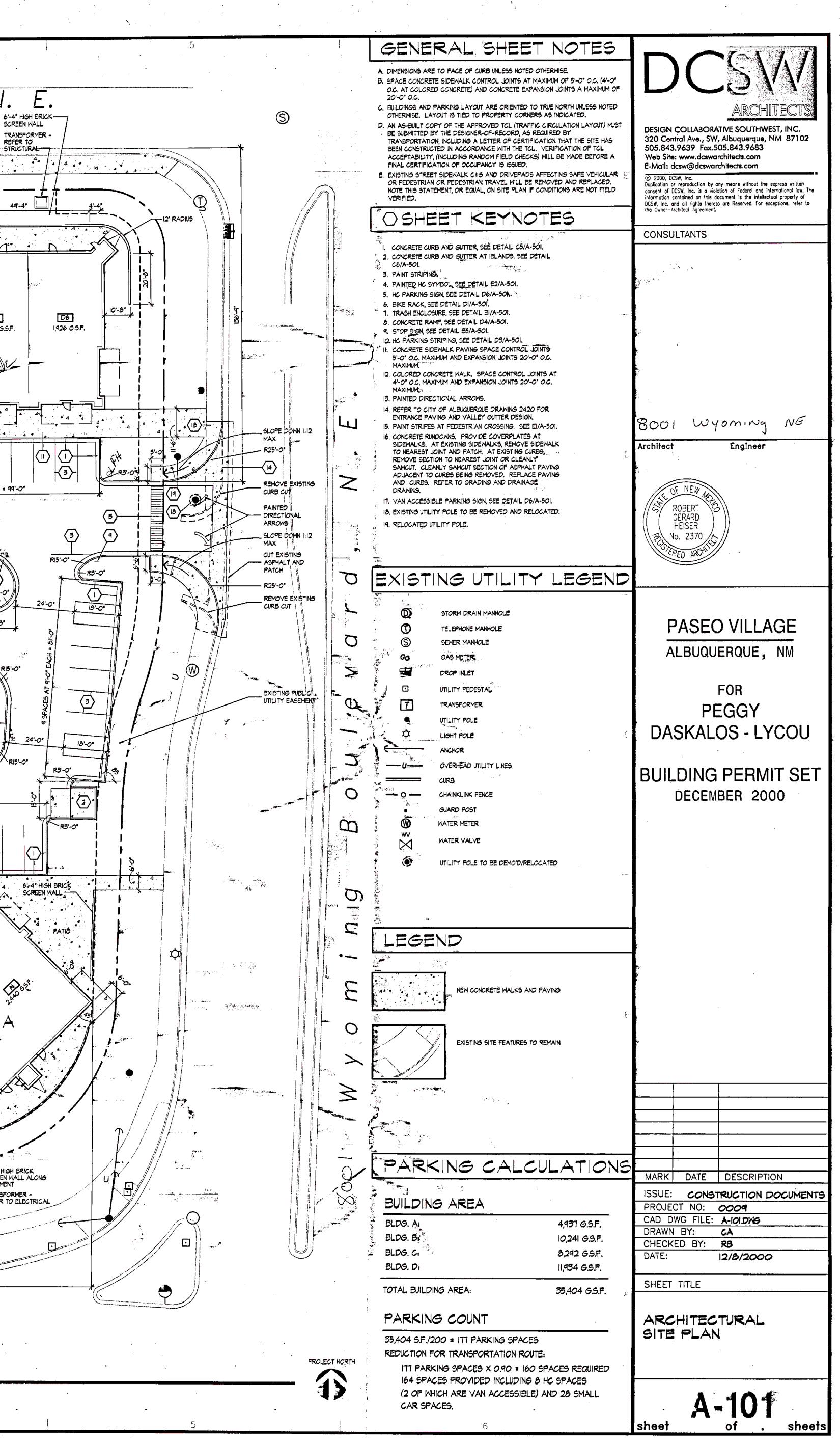
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Ηо e Ν.  $\langle 14 \rangle$ REFER TO \_\_\_\_\_ 4 4 4 SLOPE DN HIZ MAX SLOPE DN 112 MAX 64.19' \_ 5 89446'25' E 89430'43" | \_\_\_\_ 49'-4" 6.6 2 + 4 4 4 N. 8'-0" FACE OF <u>B2</u> A-402 MIN CURB 26'-0" 18'-0" - TO 15'-0" PROP. CORNER BLDG. 17 - **N** 17 11,934 G.S.F. DI 03 D4 D2 D5 1,922 G.S.F. 2,011 G.S.F. 1,913 G.S.F. 2,132 G.S.F. 1,913 G.S.F. R3'-0' `R3'-0",-12-0" . "& SPACES AT 9-0" EACH . 54-0" 9-0" 18-01 9-0" 1 II SPACES @ 9'-0" EACH = 99'-0" 19-01 1 1 4 1 FIRE \$PACEB AT 9'-0" EACH = 45'-b" 궁舌  $\langle 2 \rangle$ R15'-0" -(2) RI5'-0" , -{3}-R5-0 | [rs'-0" 📈 R3'-0 10'-0" 18'0" 14'-8" "7 SPACES @ 9'-0" EACH = 63'-0" 12' 0" 24'-0" <u>[]</u> 1,663 6.9.≓. 7 SPACES AT 9'-0" EACH = 63'-0" R15'-0" <u>[22</u> |64| 6.5.F. **1** 10'-0" to prop. Corner: BLDG.C · • 4-8,292 G.S.F. <u>[</u>(3] 10-01 7 SPACES AT 9'-0" EACH = 63'-0" 1,641 G.S.F. ·----10 SPACES AT 9'-0" EACH = 90'-0" C4 1641 6.5.F. CORNER . **E5** 1,280 G.S.F  $\overline{\mathbf{b}}$ **C5** 1,716\_0,5,5,E, TRANSFORMER -PLANTER 6'-4" HIGH BRIC SCREEN WALL 8-0' RADIUS Co of BLDG. A 4,937 G.S.F. 15 SPACES AT 9'-0" EACH = 135'-0" South States 17 SPACES AT 9'-0' EACH = 155'-0'\_\_\_  $\langle \cdot \rangle | \langle 3 \rangle$ ------N 88427'IQ" W 6'-4" HIGH BRICK SCREEN WALL ALONG EASEMENT EXISTING PUBLIC UTILITY EASEMENT - TRANSFORMER -REFER TO ELECTRICAL 419'-2" (VERIFY-DO NOT EXTEND BUILDING INTO EASEMENT) Nort De' Ν. е



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LANDSCAPE NOTES: Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or Imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

1997 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 - 1995 -

IRRIGATION NOTES:

1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 -1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 -

15%

32,741

25,917

15.731 -----sauare f

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the fleid.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

\_\_\_square feet

Reguare fee

Bquarë Fee.

square fee

📲 square feet

LANDSCAPE CALCULATIONS NET LANDSCAPE AREA TOTAL LOT AREA 141,980 TOTAL BUILDINGS AREA 37,1<u>49</u> <u>37,108</u> OFFSITE AREA 0 NET LOT AREA <u>104,872</u> square feet

LANDSCAPE REQUIREMENT TOTAL LANDSCAPE REQUIREMENT TOTAL LANDSCAPE PROVIDED TOTAL BED PROVIDED

TOTAL SOD PROVIDED TOTAL NATIVE SEED PROVIDED

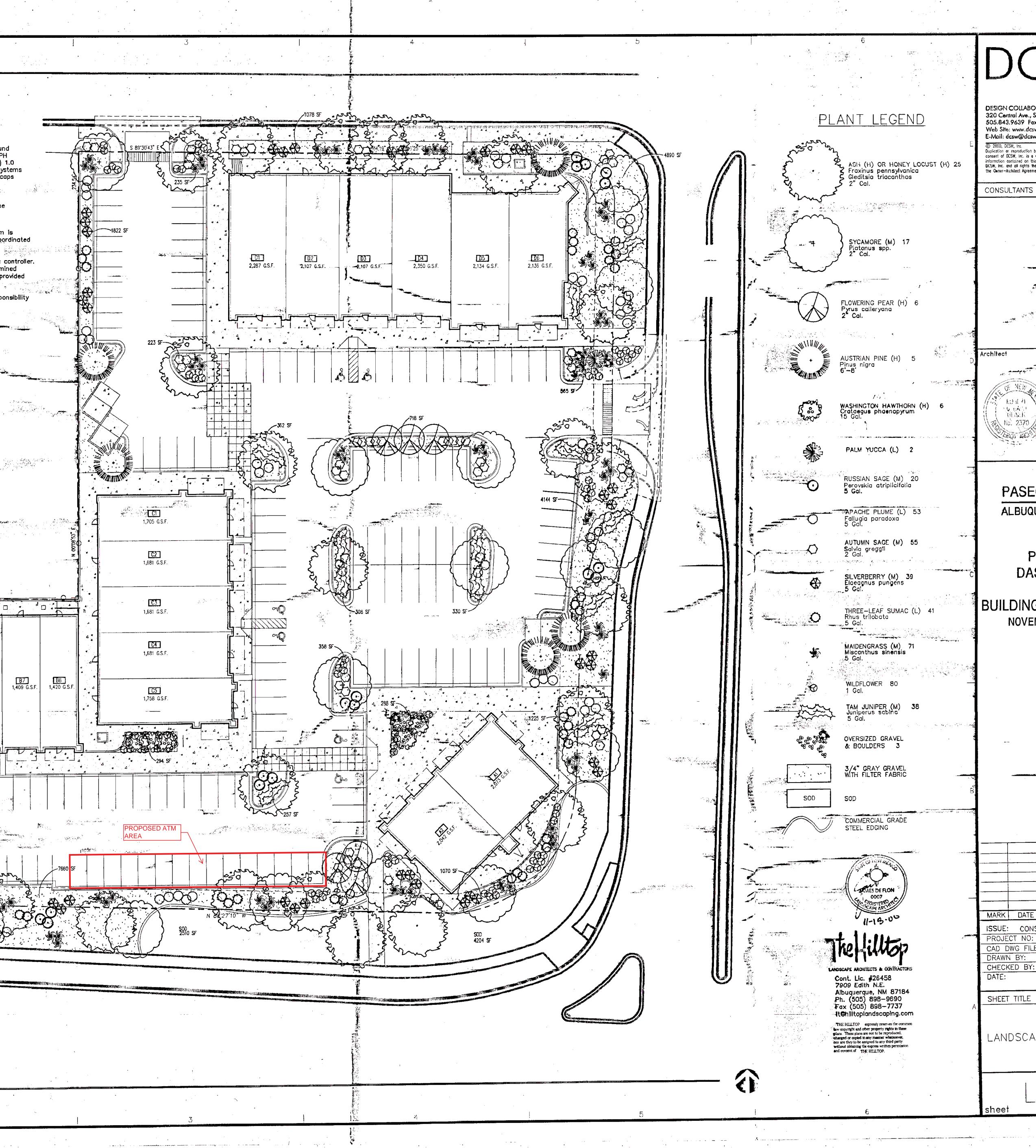
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N 89\*33'41" W 164.99' • 4 • <u>B4</u> 1,409 G.S.F. **B6** 1,409 G.S.F. **B2** 1,450 G.S.F. <u>85</u> 1,409 G.S.F. <u>B1</u> 1,467 G.S.F. <u>B3</u> 1,409 G.S.F.

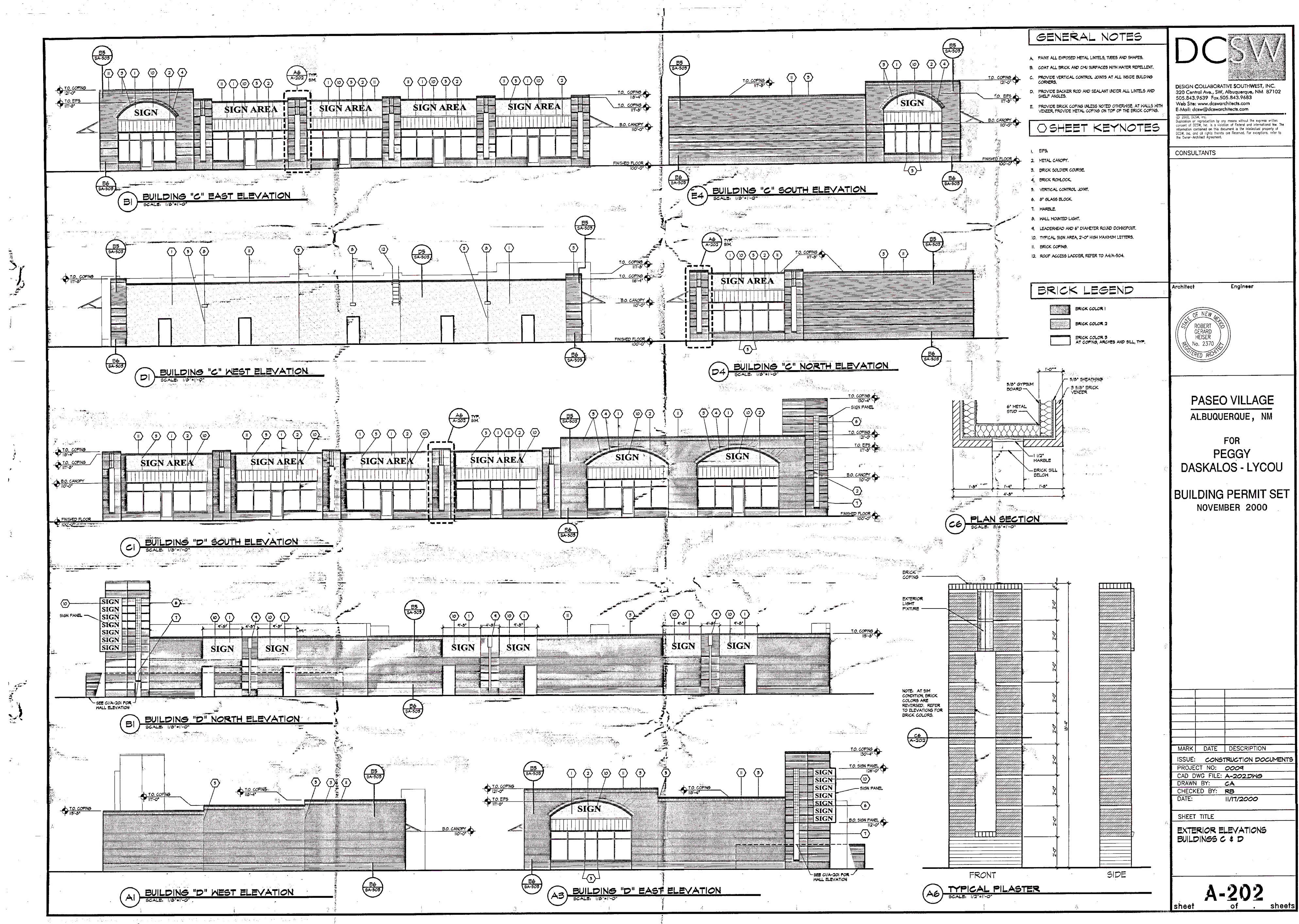
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ANDSCAPE PLAN SCALE: 1"=20'-0"

(\* Copyright 1997, Commission Epsethiotions institute, CC . Mathema Street, K. Constant, CK 202 4-179



DESIGN COLLABORATIVE SOUTHWEST, INC. 320 Central Ave., SW, Albuquerque, NM: 87102 505.843.9639 Fax.505.843.9683 Web Site: www.dcswarchitects.com E-Mail: dcsw@dcswarchitects.com © 2000, DCSW, Inc. Duplication or reproduction by any means without the express written consent of DCSW, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of DCSW, Inc. and all rights thereto are Reserved. For exceptions, refer to the Owner-Architect Agreement. CONSULTANTS Architect Engineer -KO31-41 NU 6811 **WENER** No. 2370 CALL ARE PASEO VILLAGE ALBUQUERQUE, NM FOR PEGGY DASKALOS BUILDING PERMIT SET NOVEMBER 2000 5.12 g 19 **49 14** 14 14 14 -----MARK DATE DESCRIPTION ISSUE: CONSTRUCTION DOCUMENTS PROJECT NO: 0009 CAD DWG FILE: LS1.DWG DRAWN BY: JLF CHECKED BY: JD DATE: 11/17/2000 SHEET TITLE LANDSCAPE PLAN \_\_\_\_ sheet of sheet and the second · • • . .

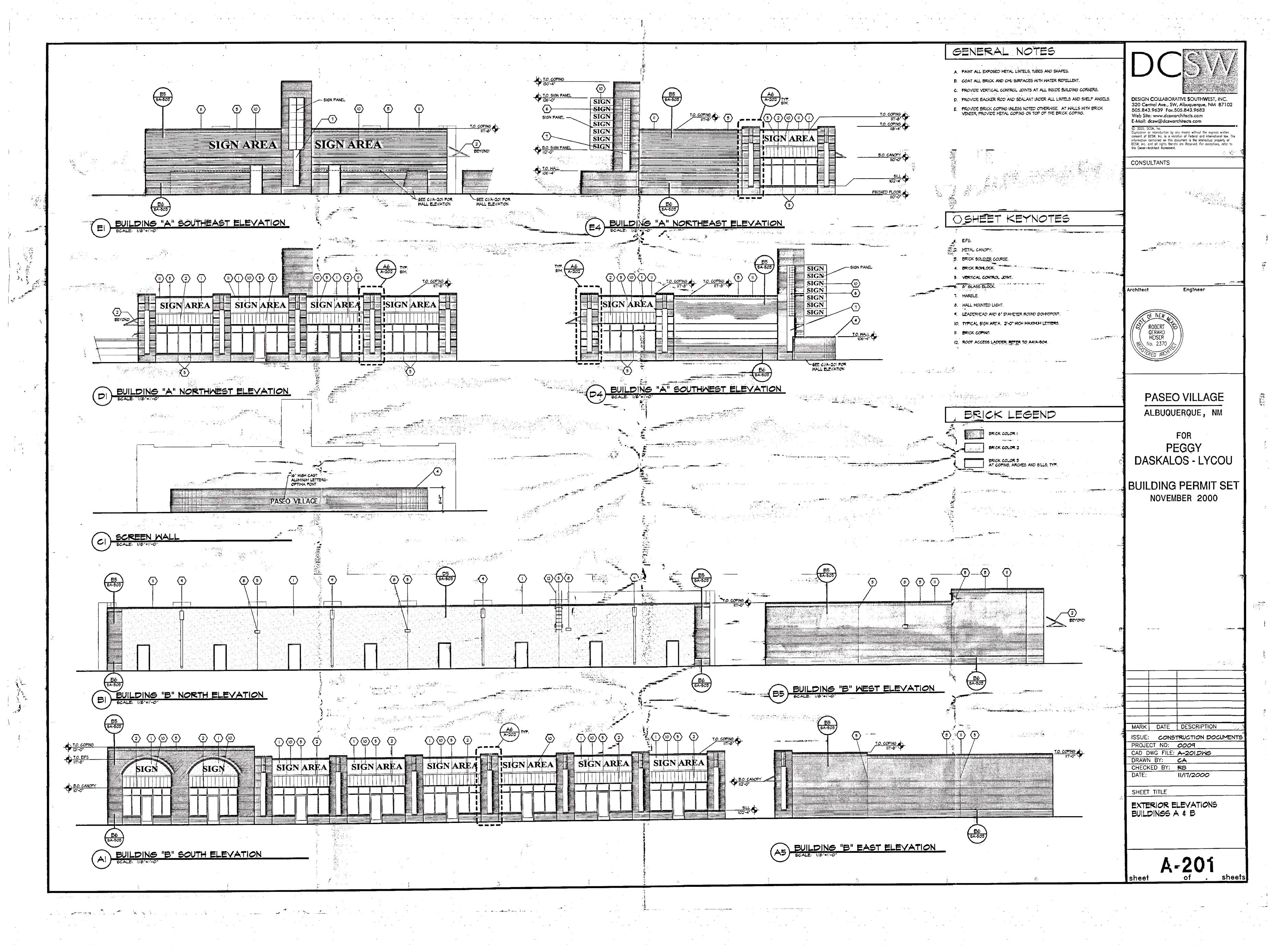


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LANDSCAPE NOTES: Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

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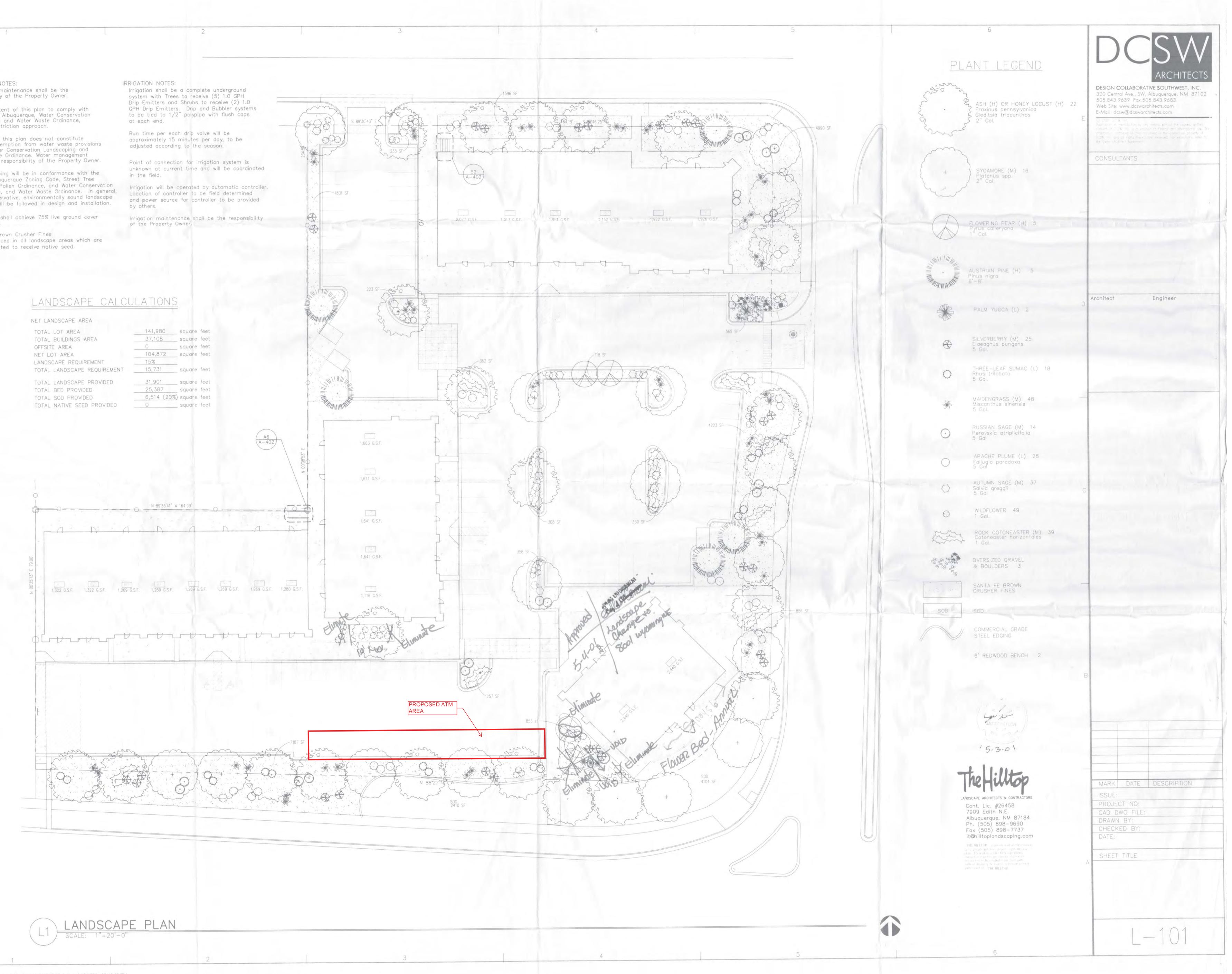
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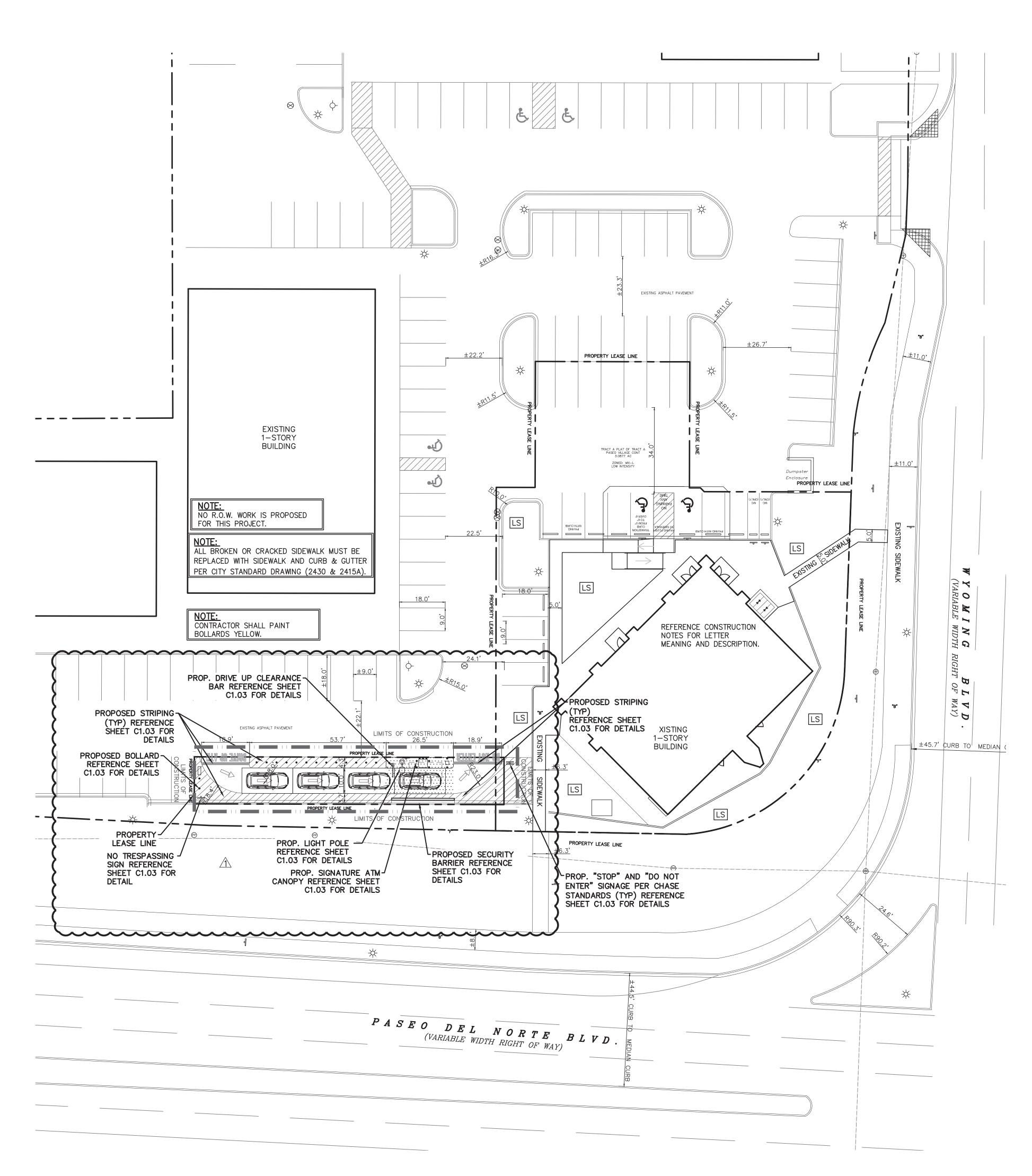
Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Crusher Fines

shall be placed in all landscape areas which are not designated to receive native seed.

AL LOT AREA	141,980	square	feet	
AL BUILDINGS AREA	37,108	square	feet	
SITE AREA	0	square	feet	
LOT AREA	104,872	square	feet	
DSCAPE REQUIREMENT	15%			
AL LANDSCAPE REQUIREMENT	15,731	square	feet	
AL LANDSCAPE PROVIDED	31,901	square	feet	
AL BED PROVIDED	25,387	square	feet	
TAL SOD PROVIDED	6,514 (20%)	square	feet	
AL NATIVE SEED PROVIDED	0	square	feet	





<u>!!! CAUTION !!!</u> UNDERGROUND UTILITIES EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



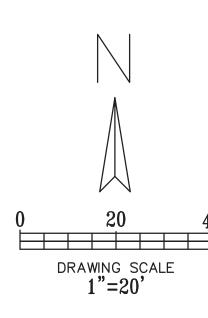
	<u>LEGEND</u>
	= - EXISTING CURB = - PROPOSED CURB
	– PROPOSED PAVEMENT
	– PROPOSED SIDEWALK
(10) LS	<ul> <li>PARKING COUNT</li> <li>PROPOSED LANDSCAPE AREA</li> </ul>

- GENERAL NOTES 1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- 2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
- 3. FOR SIDEWALKS LESS THAN 60' WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60' X 60' SHALL BE PROVIDED AT LEAST EVERY 200 FT.
- 4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
- 5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN ¼" AND ½" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H: 1V. CHANGES IN LEVEL GREATER THAN ½" REQUIRE A RAMP.
- 6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
- 7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

## CONSIRUCIION NOTES A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.

- B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL
- C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- E. WALKWAY VARIABLE (4' MINIMUM).
- F. PROPERTY LINE.
- G. 1/2' EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
- I. CONTRACTION JOINTS.
- J. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
- K CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- L. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
- M. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

NO R.O.W. WORK IS PROPOSED FOR THIS PROJECT.	
NOTE: ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT	
NOTE: LIGHT POLES SHOULD NOT BE INSTALLED PARKING SPACES AND DRIVEWAY CONTRACTOR MUST MAKE SURE THE LIGH POLES ARE INSTALLED AWAY FROM EXISTIN AND PROPOSED UNDERGROUND UTILITIES.	S. IT
NOTE: "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMEN" THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) W NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE."	
[r	
NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST B REPLACED WITH SIDEWALK AND CURB & GUT	



NRPOA     NRPOA       AMAAPCA     NORTH DOMINGO       BACA PARK     NORTH DOMINGO       NRPOA     NRPOA	EAGLE RIA BO SAWS BD RIA POINT FOR THE POINT	BAA			
MADDA     MADDA       MAT     RiML     MAXH       NORTH     RiML     MAXH       ALBUQUERQUE     MAXH       MAXH     Image: State of the	AMAFCA	NORTH DOMINGO	-		
	CARMES		1	VILLAGE PD VILLAGE	HT WITH AND
	NORTH	ALBUQUERQUE MXH ACRES		AXM LA CUEVA MXM RT	
PEDERAL IN PD. RT I PD. INNERO DE PALOMAN				CENTER MX7	RACT 2 LA CUEVA UNIT 10 OFFICE PARK

VICINITY MAP

## EXISTING CONDITIONS PARKING ANALYSIS

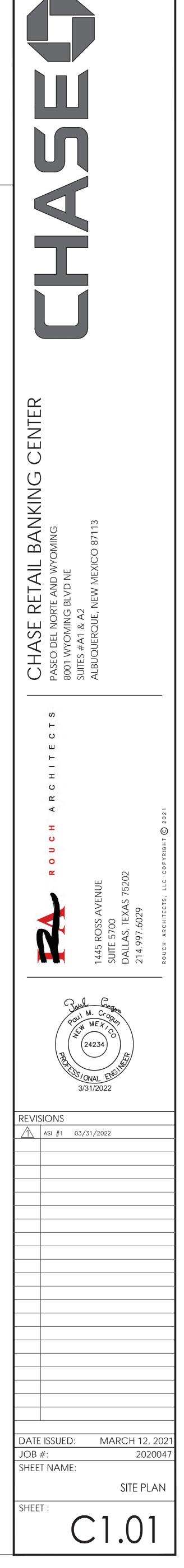
E	XISTING ZONING:	MX-L/MIXED USE
TENANT ESTABLISHMEN	ITS	
ABQ OLIVE OIL CO.	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
H&R BLOCK	1,379 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA
KOLACHE FACTORY	2,105 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
DESERT ROSE	1,273 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA
ALL STATE	1,265 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,270 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
VISION WORKS	3,345 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
SHEAR MADNESS	1,631 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
JADE RESTAURANT	1,675 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,606 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
AVEDA	3,960 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
VACANT	2,073 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
CHIROPRACTOR	3,960 SQ. FT.	5 PARKING PER 1,000 SQ. FT. GFA
MVD EXPRESS	1,753 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA
WAKA WAKA	2,458 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA
AT&T	2,440 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
REQUIRED PARKING		155 PARKING SPACES
PROVIDED PARKING		166 PARKING SPACES

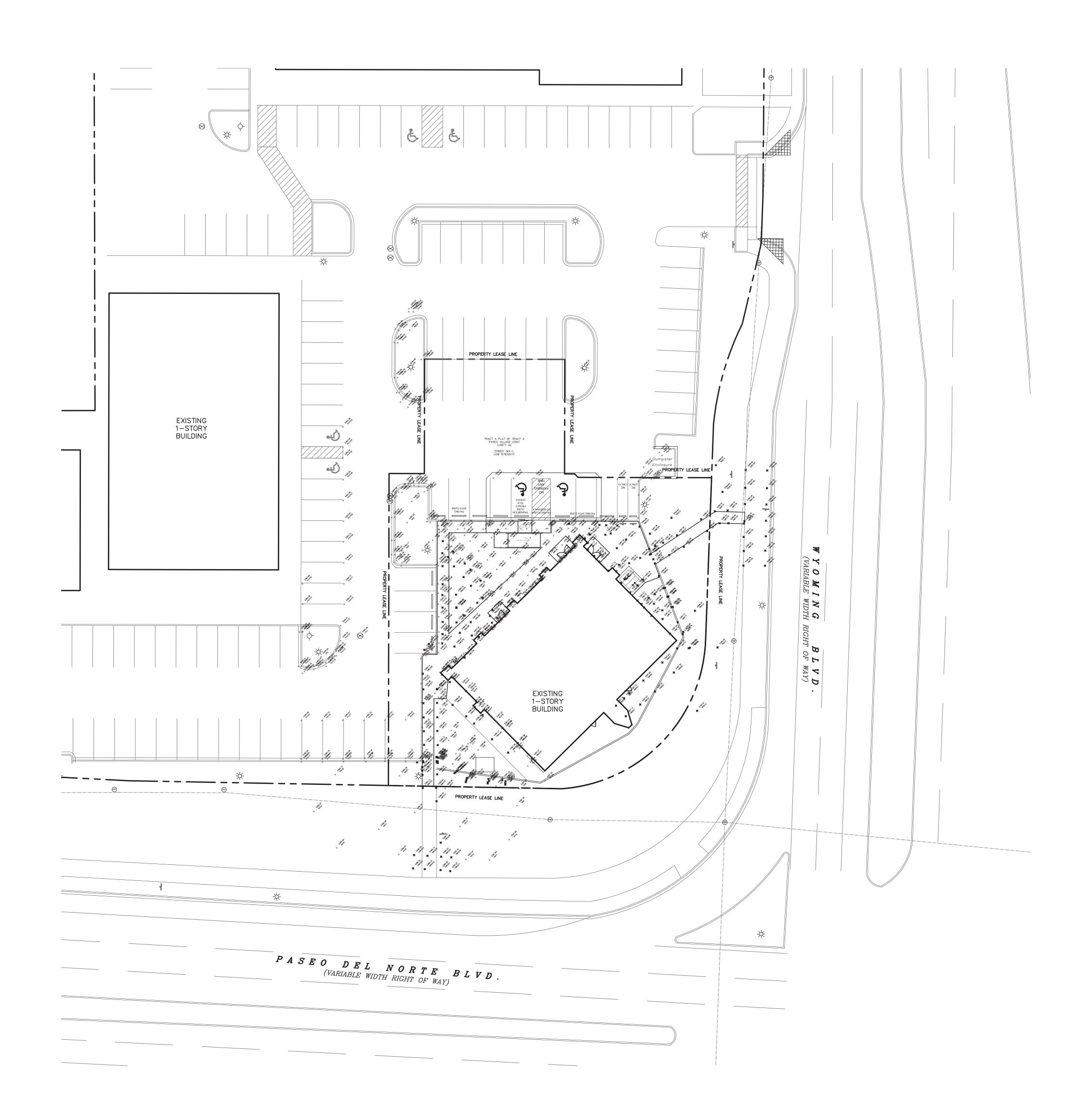
PROPOS	SED CONDITIONS	S PARKING ANALYSIS
E	KISTING ZONING:	MX-L/MIXED USE
TENANT ESTABLISHMEN	ITS	
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CHIROPRACTOR	3,960 SQ. FT.	5 PARKING PER 1,000 SQ. FT. GFA
MVD EXPRESS	1,753 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA
CHASE BANK	4953 SQ. FT.	3 PARKING PER 1,000 SQ. FT. GFA
REQUIRED PARKING		141 PARKING SPACES
PROVIDED PARKING		155 PARKING SPACES

SITE PLAN	
EXISTING ZONING: MX-I	_/MIXED_USE
LAND USE:	FINANCIAL INSTITUTION
SITE ACREAGE:	3.09 ACRES (134,600 SF)
LEASE ACREAGE:	0.044 ACRES (1,919 SF)
BUILDING FOOT PRINT (TOTAL):	±4,953 SQUARE FEET
OPEN SPACE PROVIDED:	±36 SQUARE FEET (1.9%)
BUILDING COVERAGE:	4,953 SQUARE FEET
APPROX EX. IMPERVIOUS AREA:	±1,919 SQUARE FEET (100.0%)
APPROX PROPOSED IMPERVIOUS AREA::	±1,883 SQUARE FEET (98.1%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	15 SPACES
PARKING PROVIDED:	20 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	1 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
BICYCLE SPACE: REQUIRED/PROVIDED	3/4 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES



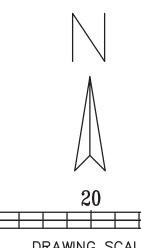
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367



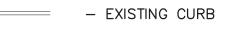


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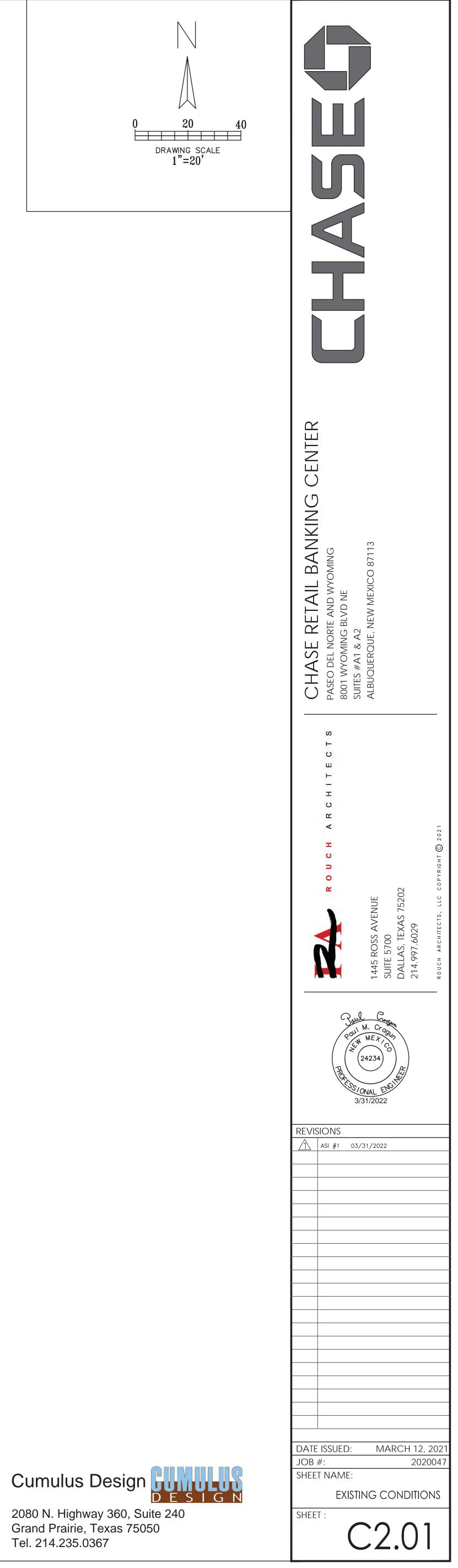


## <u>LEGEND</u>

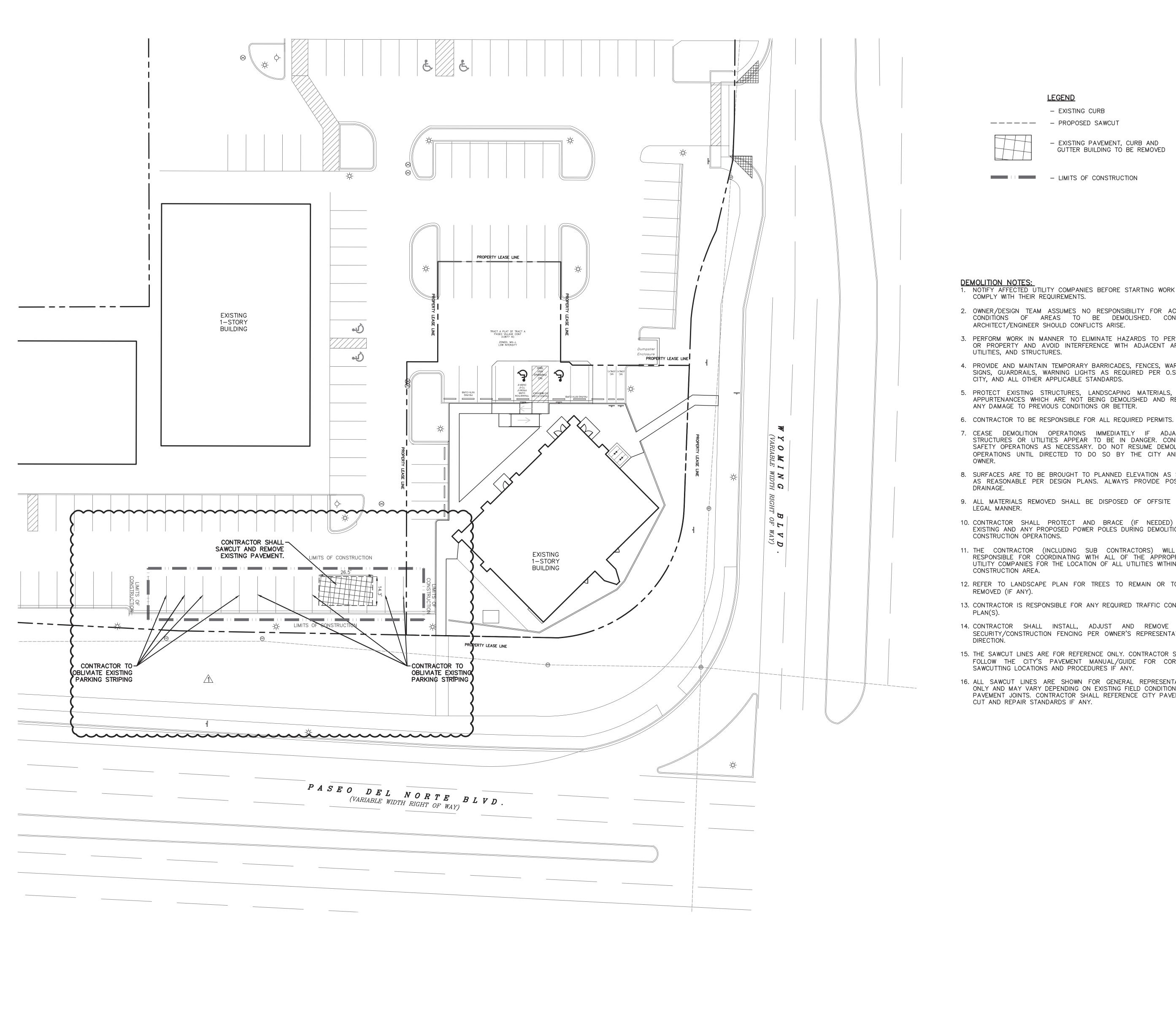


- EXISTING SPOT ELEVATION

--- 5449 ---- - EXISTING CONTOUR



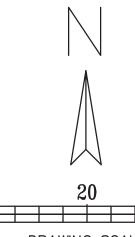
Tel. 214.235.0367



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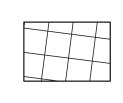


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## <u>LEGEND</u>

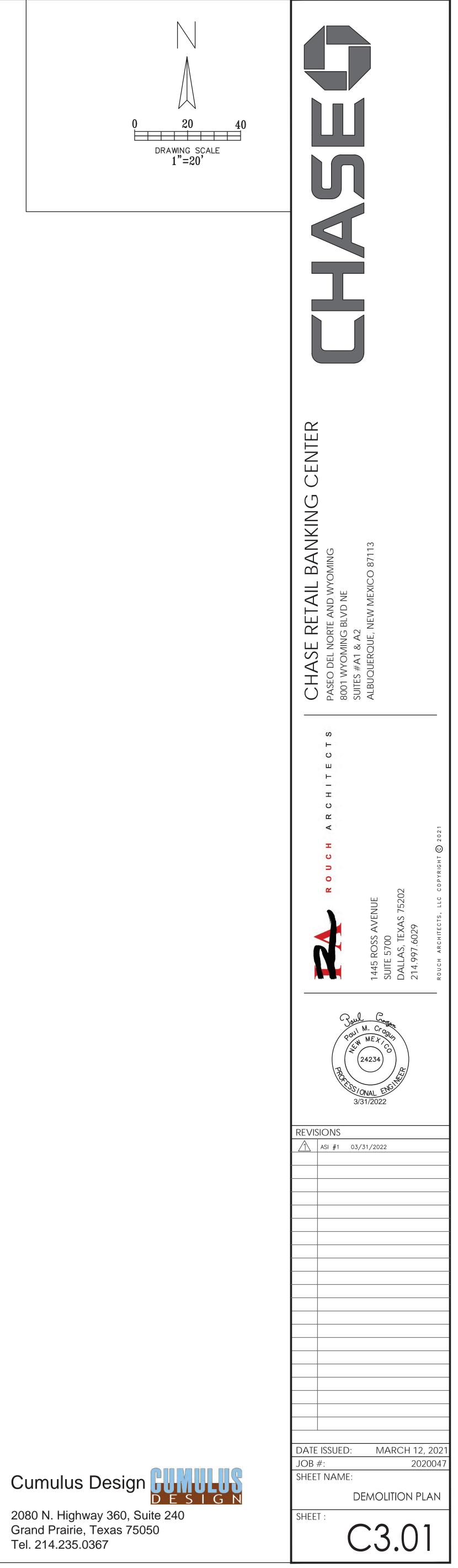
 EXISTING CURB ----- - PROPOSED SAWCUT



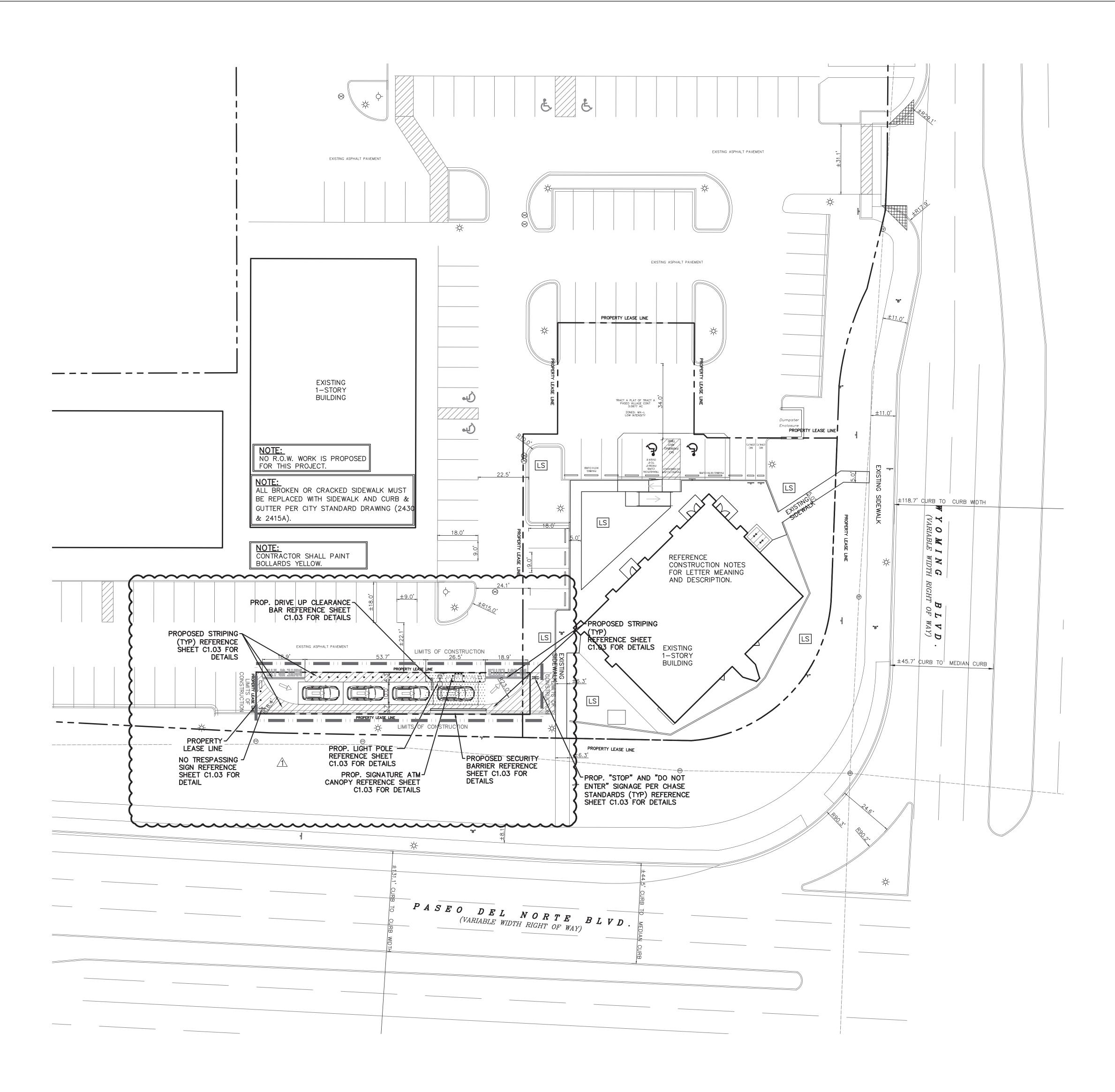
- EXISTING PAVEMENT, CURB AND GUTTER BUILDING TO BE REMOVED

- LIMITS OF CONSTRUCTION

- DEMOLITION NOTES: 1. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. 2. OWNER/DESIGN TEAM ASSUMES NO RESPONSIBILITY FOR ACTUAL
- CONDITIONS OF AREAS TO BE DEMOLISHED. CONTACT ARCHITECT/ENGINEER SHOULD CONFLICTS ARISE. 3. PERFORM WORK IN MANNER TO ELIMINATE HAZARDS TO PERSONS
- OR PROPERTY AND AVOID INTERFERENCE WITH ADJACENT AREAS, UTILITIES, AND STRUCTURES.
- 4. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, FENCES, WARNING SIGNS, GUARDRAILS, WARNING LIGHTS AS REQUIRED PER O.S.H.A., CITY, AND ALL OTHER APPLICABLE STANDARDS.
- 5. PROTECT EXISTING STRUCTURES, LANDSCAPING MATERIALS, AND APPURTENANCES WHICH ARE NOT BEING DEMOLISHED AND REPAIR ANY DAMAGE TO PREVIOUS CONDITIONS OR BETTER.
- 7. CEASE DEMOLITION OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES OR UTILITIES APPEAR TO BE IN DANGER. CONDUCT SAFETY OPERATIONS AS NECESSARY. DO NOT RESUME DEMOLITION OPERATIONS UNTIL DIRECTED TO DO SO BY THE CITY AND/OR OWNER.
- 8. SURFACES ARE TO BE BROUGHT TO PLANNED ELEVATION AS SOON AS REASONABLE PER DESIGN PLANS. ALWAYS PROVIDE POSITIVE DRAINAGE.
- 9. ALL MATERIALS REMOVED SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER.
- 10. CONTRACTOR SHALL PROTECT AND BRACE (IF NEEDED) ALL EXISTING AND ANY PROPOSED POWER POLES DURING DEMOLITION & CONSTRUCTION OPERATIONS.
- 11. THE CONTRACTOR (INCLUDING SUB CONTRACTORS) WILL BE RESPONSIBLE FOR COORDINATING WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
- 12. REFER TO LANDSCAPE PLAN FOR TREES TO REMAIN OR TO BE REMOVED (IF ANY). 13. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED TRAFFIC CONTROL
- PLAN(S). 14. CONTRACTOR SHALL INSTALL, ADJUST AND REMOVE ANY
- SECURITY/CONSTRUCTION FENCING PER OWNER'S REPRESENTATIVES DIRECTION.
- 15. THE SAWCUT LINES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FOLLOW THE CITY'S PAVEMENT MANUAL/GUIDE FOR CORRECT SAWCUTTING LOCATIONS AND PROCEDURES IF ANY.
- 16. ALL SAWCUT LINES ARE SHOWN FOR GENERAL REPRESENTATION ONLY AND MAY VARY DEPENDING ON EXISTING FIELD CONDITIONS OF PAVEMENT JOINTS. CONTRACTOR SHALL REFERENCE CITY PAVEMENT CUT AND REPAIR STANDARDS IF ANY.



Tel. 214.235.0367



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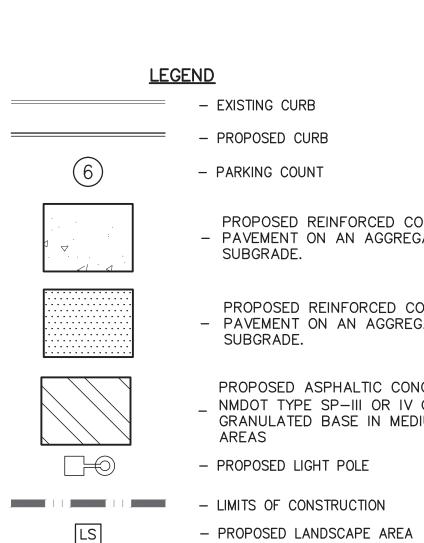


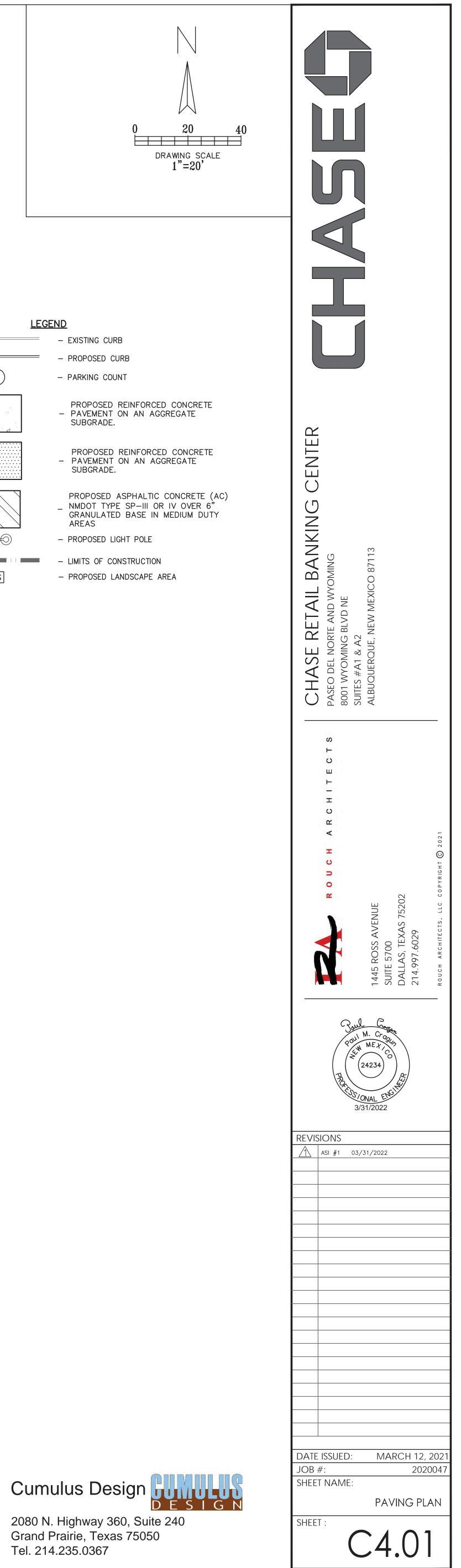
CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

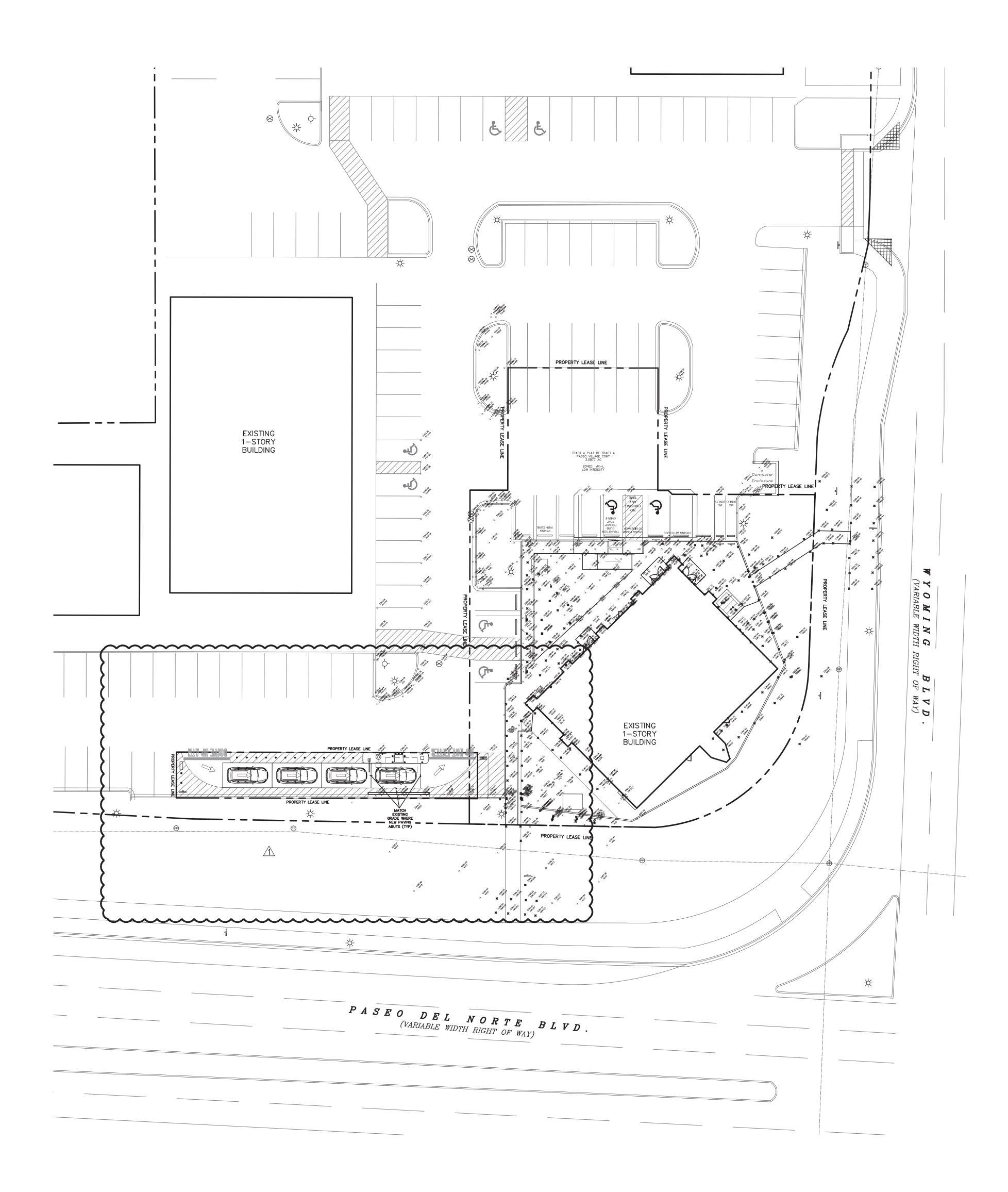
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PAVING NOTES: 1. ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OR-WAY SHALL CONFORM TO STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

- 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
- 4. THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC GAS, TELEPHONE, CABLE TV, SITE IRRIGATION WATER LINES, SIGNAGE AND WIRING, ETC. HAVE BEEN TESTED AND PASSED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACING OF PERMANENT PAVING.
- 5. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE ANY AND/OR RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT AND ALL APPLICABLE CODES AND ORDINANCES.
- 6. ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- 7. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS AND MARKINGS, ETC.
- 8. CONTRACTOR TO MATCH EXISTING JOINTS WITH JOINTS IN NEW PAVING WHERE THEY ABUT.
- 9. ALL CURB RADII ARE 1.5' UNLESS OTHERWISE SPECIFIED (EXCEPT FOR AT END OF PARKING SPACES.)
- 10. ANY PROPOSED LANDSCAPING SHALL BE PLANTED WITHIN THE PROPERTY. 11. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION
- RULES AND SPECIFICATIONS. 12. POWER POLES TO BE BRACED AS NEEDED AT CONTRACTOR'S
- EXPENSE AS REQUIRED DURING CONSTRUCTION. 13. CONTRACTOR SHALL SEED OR SOD DISTURBED LANDSCAPE
- AREAS AND/OR SOD PER THE DIRECTION OF THE OWNER"S REPRESENTATIVE OR AS SHOWN ON LANDSCAPE.
- 14. PLAIN AND REINFORCED CONCRETE WORK SHALL CONFORM TO ACI 318-95.
- 15. ALL CONCRETE SHALL DEVELOP 3500 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH UNLESS OTHERWISE NOTED.
- 16. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL AND SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS NOTED OTHERWISE.
- 17. WELDED WIRE FABRIC SHALL MEET ASTM A185 SPECIFICATIONS. 18. ADMIXTURES SUCH AS ACCELERATORS OR PLASTICIZERS SHALL NOT BE USED WITHOUT APPROVAL OF THE ENGINEER AND ANY USE IN PROPOSED CONCRETE SHALL EXCEED DESIGN CRITERIA STRENGTH, ETC.
- 19. SPLICES SHALL BE IN ACCORDANCE WITH CLASS "B" SPLICES PER ACI 318-95. CONTRACTOR MAY USE 36 BAR DIAMETERS FOR ALL SIZES.
- 20. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE THREE-QUARTER INCH MINIMUM CHAMFER.







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DRAWING SCAL

	LEGEND
"BFR" RAMP	— STANDARD 6 FOOT MAX LENGHT ADA BARRIER FREE RAMP
ADA RAMP WITH HANDRAILS	– STANDARD 30 FOOT MAX LENGHT ADA RAMP WITH HANDRAILS PER CHASE STANDARDS
GRADE PATH TO ADA STANDARDS	- STANDARD ADA SIDEWALK GRADING ALONG THE PATH OF TRAVEL FROM ACCESSIBLE DOORS TO ACCESSIBLE PARKING TO ACCESSIBLE RIGHT OF WAY CONNECTIONS
"FLAT" LANDING	- STANDARD ADA LANDINGS THAT ARE MIMIMUM WITH OF 5 FOOT BY 5 FOOT AREA WITH A MAXIMUM SLOPE OF 2.0% IN ANY DIRECTION. NOTE: FLAT LANDING SHOULD BE EXISTING TO MATCH WIDTH OF RAMP, DOORWAY. ETC.

GRADING NOTES: 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.

3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.

4. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.

5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.

6. BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKS ARE LOST OR DISTURBED AND NEED OR BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

7. EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.

9. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.

10. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.

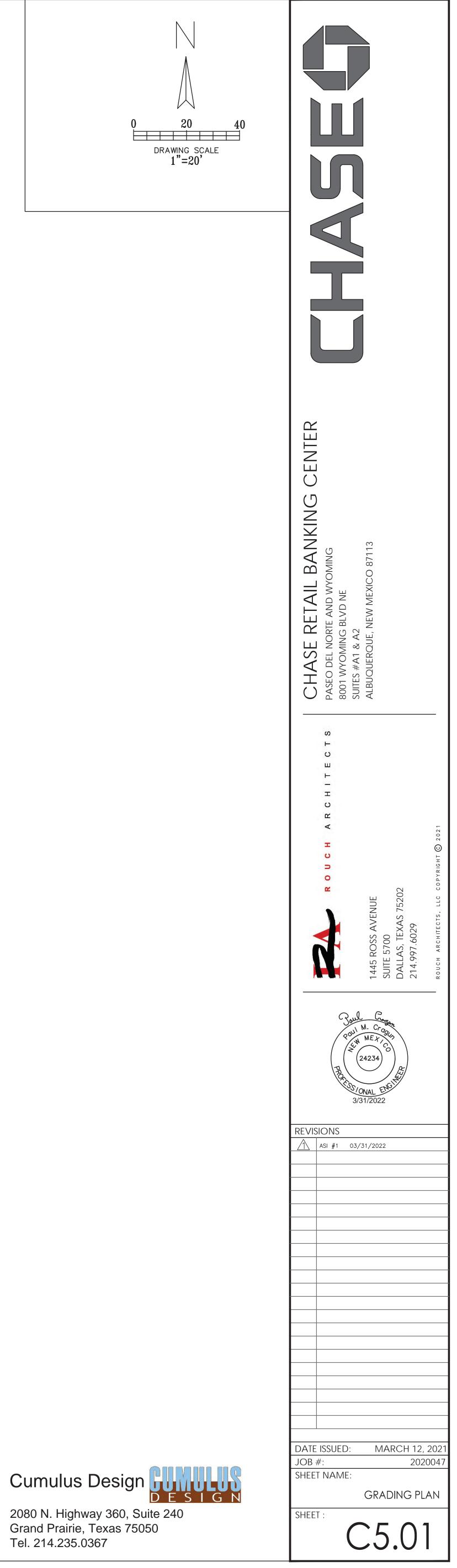
11. ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.

12. SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.

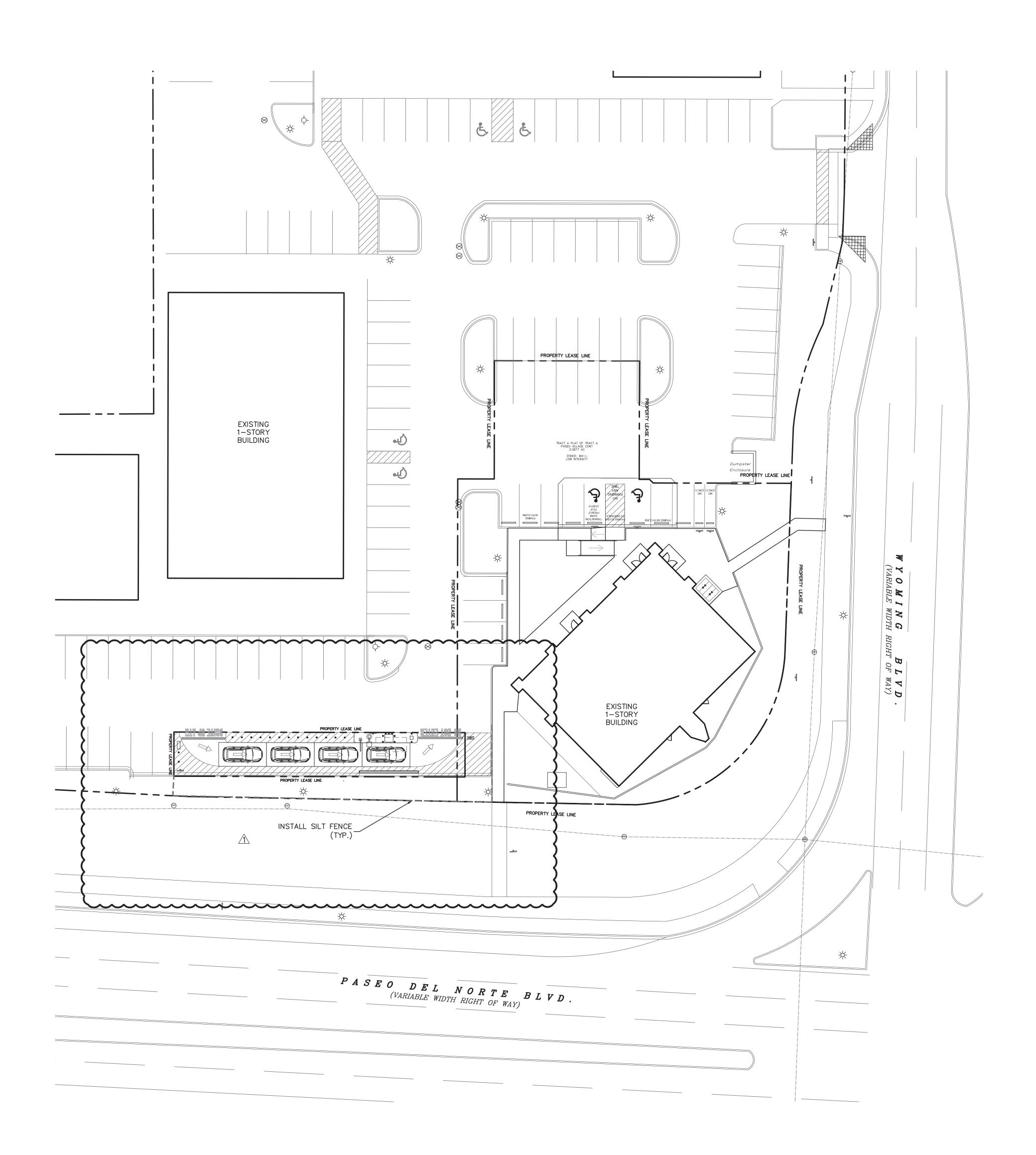
13. PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMPS. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.

14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.

15. SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.



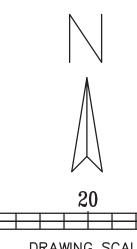
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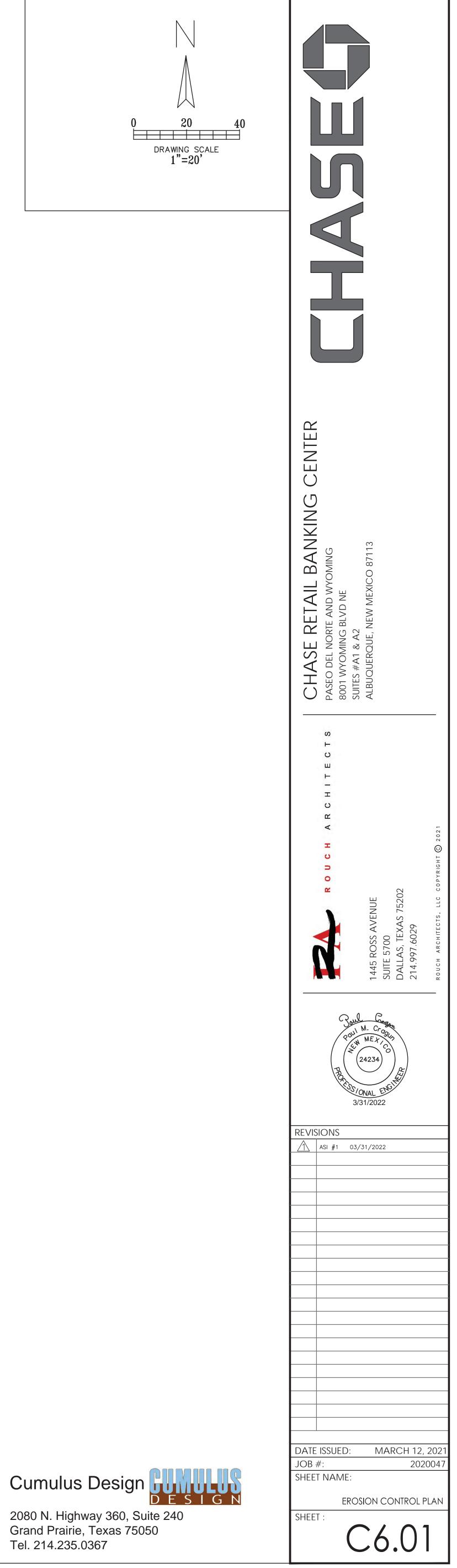
CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

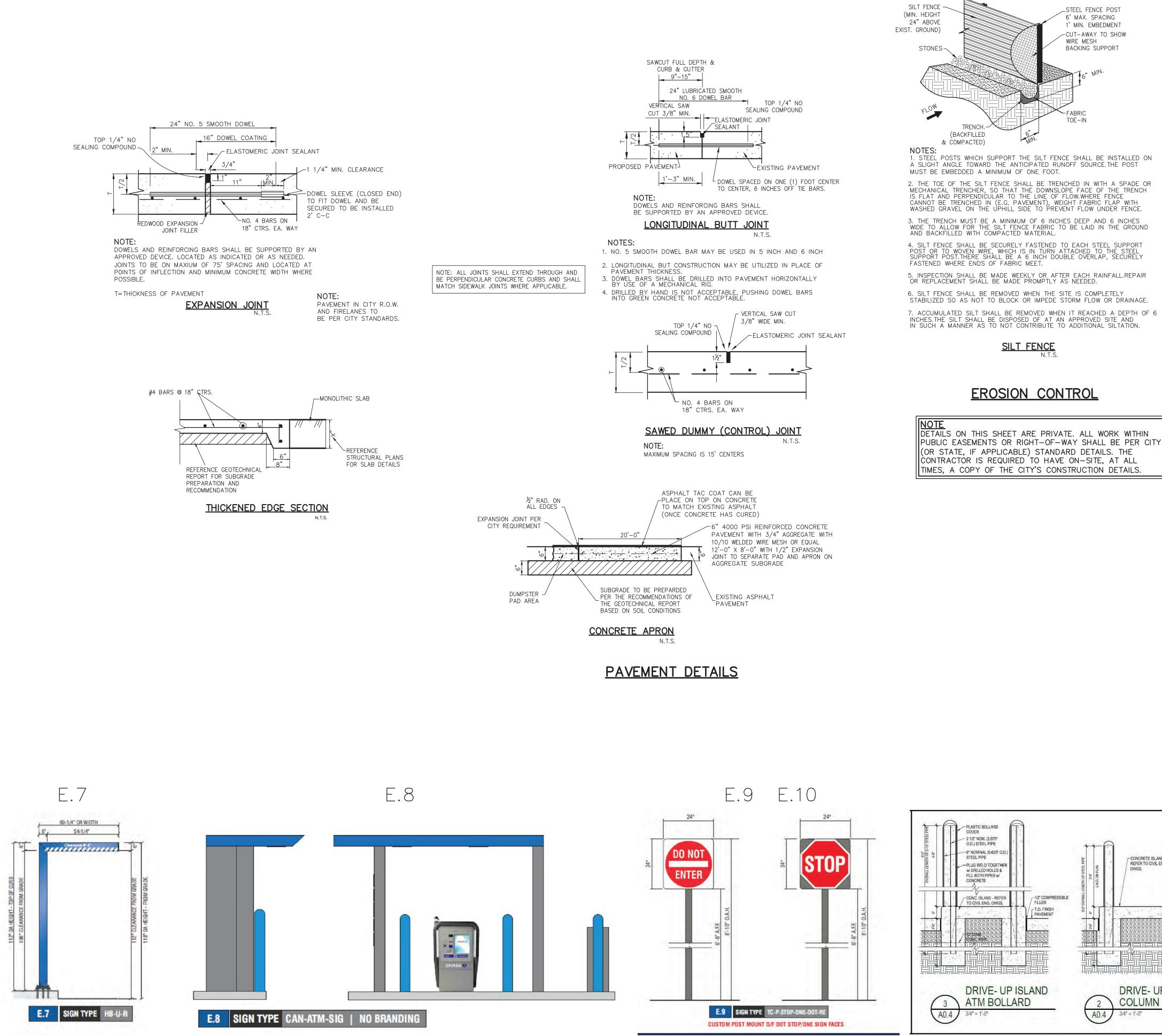


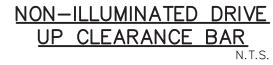
## <u>LEGEND</u> \_\_\_\_\_ – EXISTING CURB - PROPOSED CURB - SILT FENCE - INLET PROTECTION

## EROSION CONTROL NOTES:

- 1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBING ACTIVITIES ON THE PROJECT.
- 2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
- 3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENT FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
- 4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE STORM WATER POLLUTION AND PREVENTION PLAN (SWPPP) IF REQUIRED.
- 6. ALL EROSION CONTROL IN THE CITY R.O.W SHALL BE PER CITY/COUNTY STANDARDS AND DETAILS.
- 7. AREAS DISTURBED DURING CONSTRUCTION SHALL BE HYDRO MULCHED OR SEEDED AS DIRECTED BY REPRESENTATIVE OR BY LANDSCAPING PLAN.
- 8. CONTRACTOR SHALL COORDINATE SITE EROSION CONTROLS WITH OVERALL SWPPP REQUIREMENTS OF THE ENTIRE DEVELOPMENT (IF PLANS/DOCUMENTS EXIST).
- 9. CONTRACTOR SHALL MAINTAIN EROSION CONTROLMEASURES IN GOOD CONDITIONS AT ALL TIMES.
- 10. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF WORK.







NO

TRESPASSING

THIS SIGN SERVES AS NOTICE THA

ANYONE ENTERING OR LOITERING

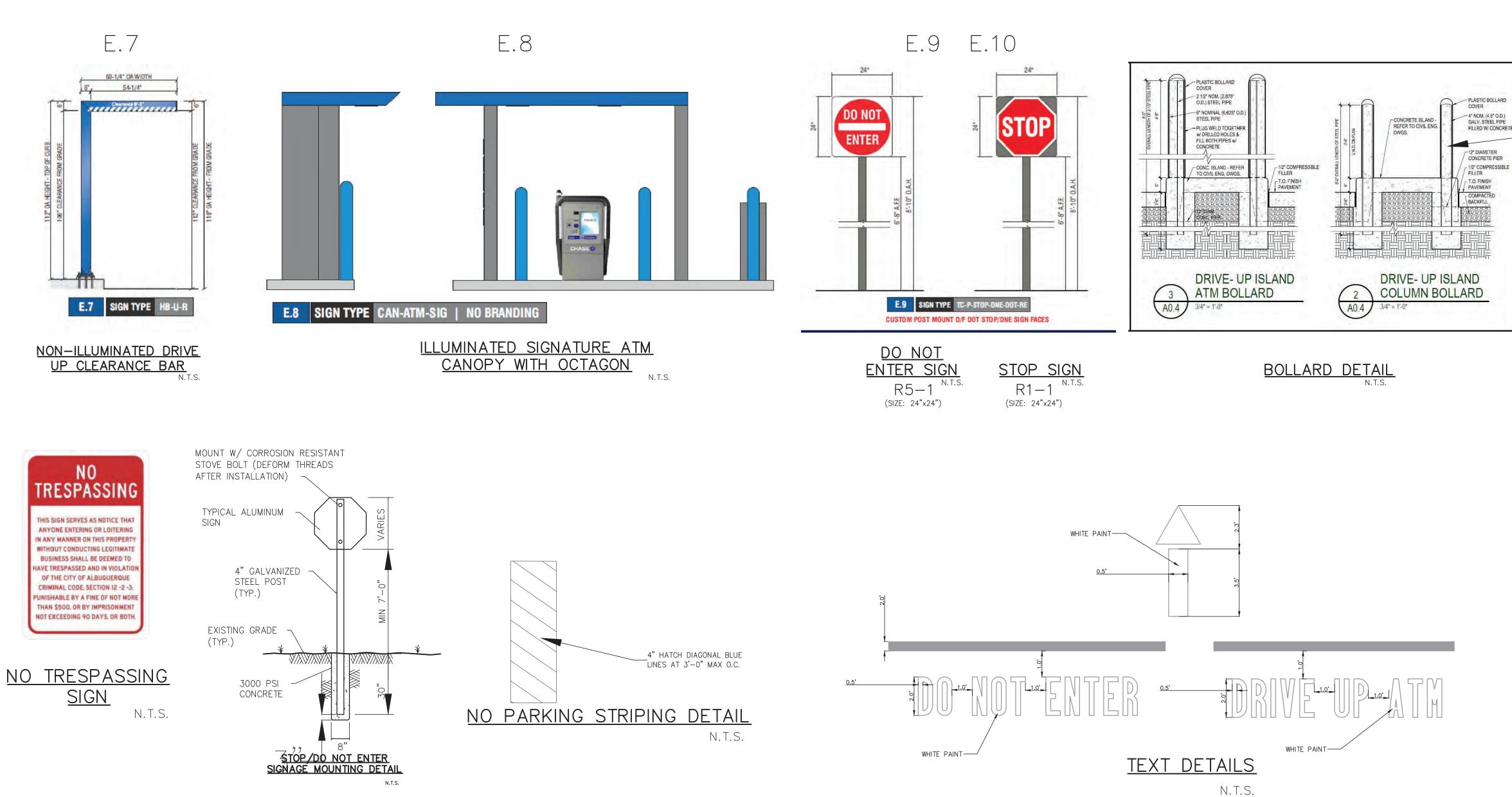
**BUSINESS SHALL BE DEEMED TO** 

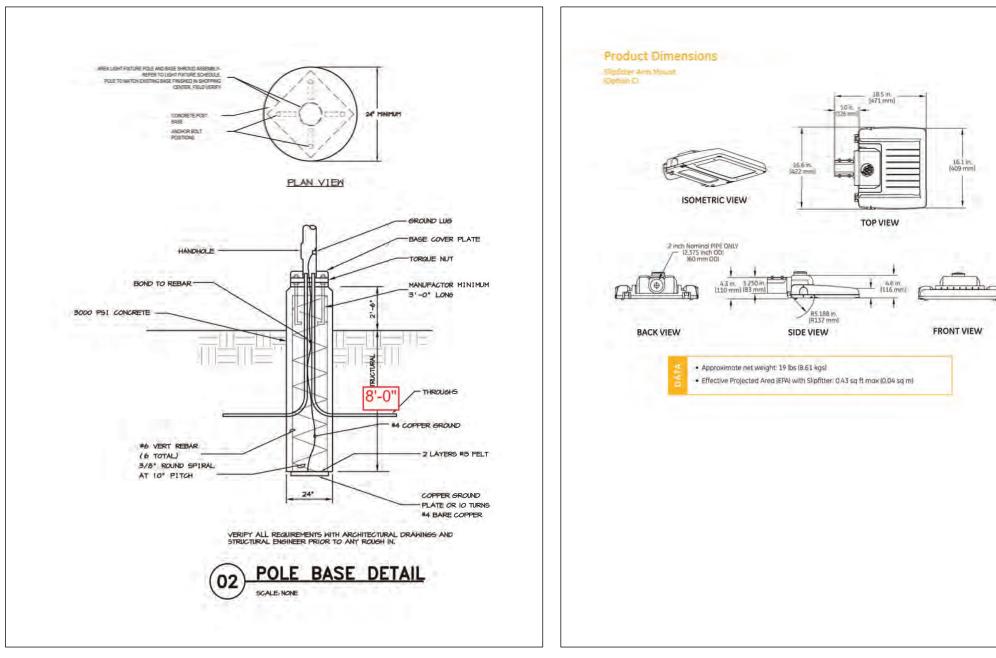
OF THE CITY OF ALBUQUERQUE

CRIMINAL CODE, SECTION 12 -2 -3;

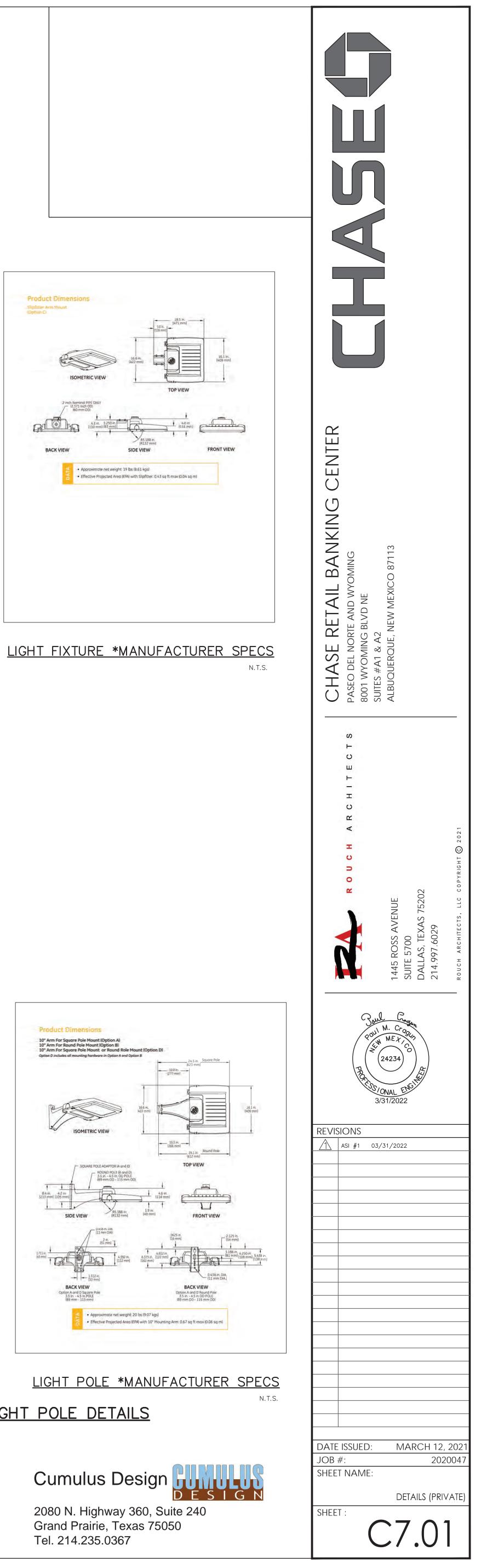
<u>SIGN</u>

IN ANY MANNER ON THIS PROPERTY

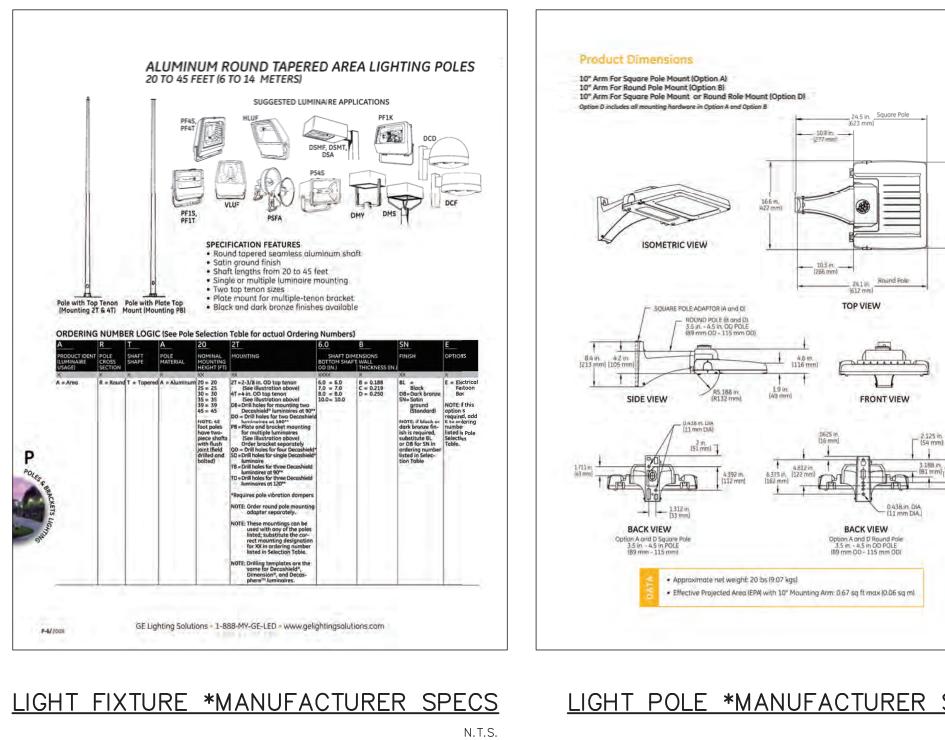




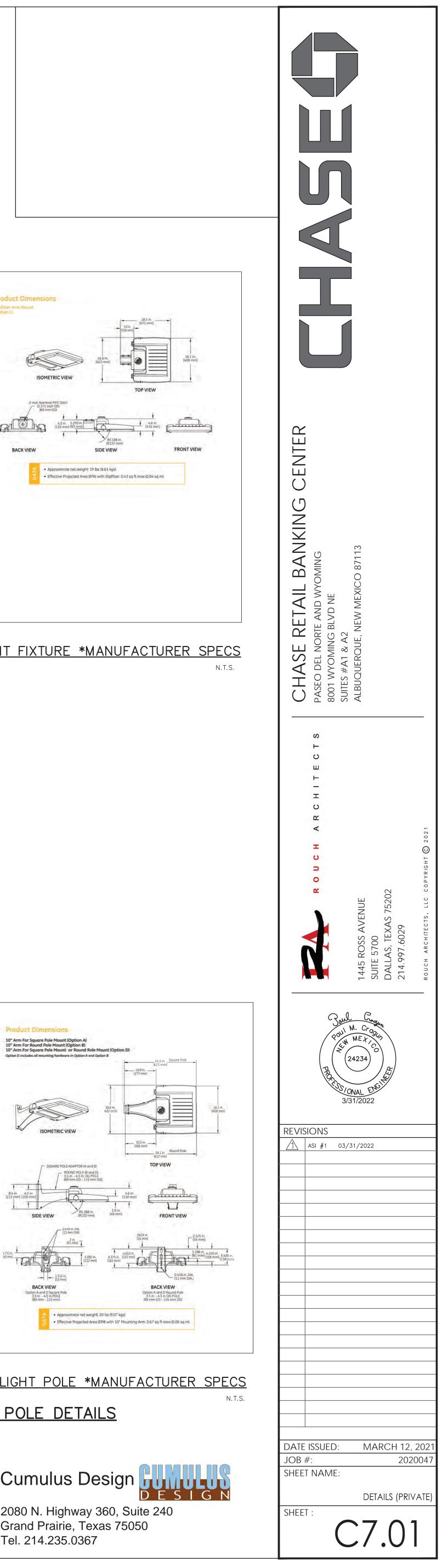
LIGHT POLE BASE DETAIL N.T.S.

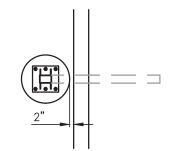


BOLLARD TO BE PAINTED YELLOW

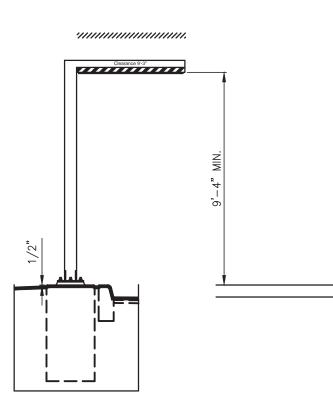


LIGHT POLE DETAILS

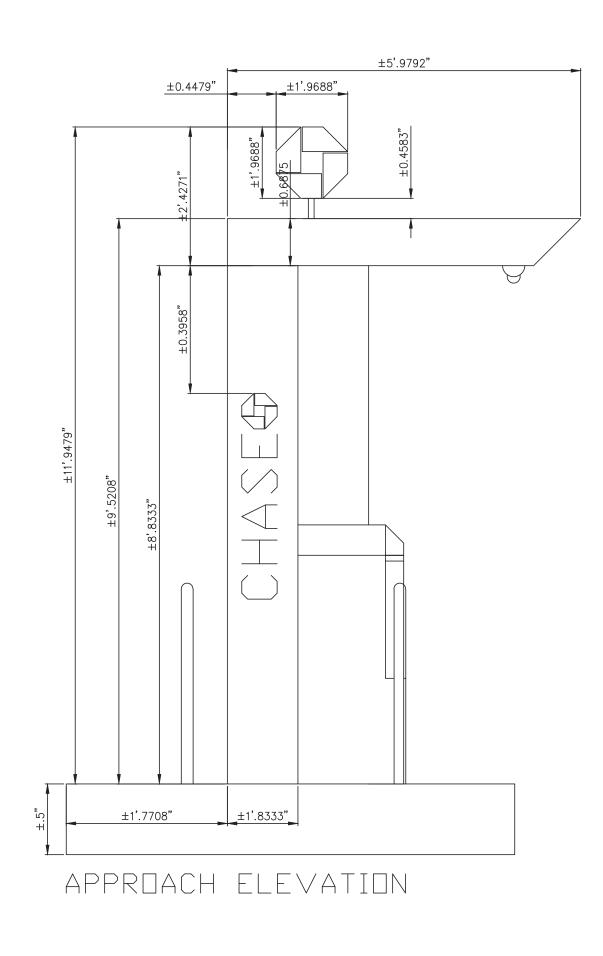


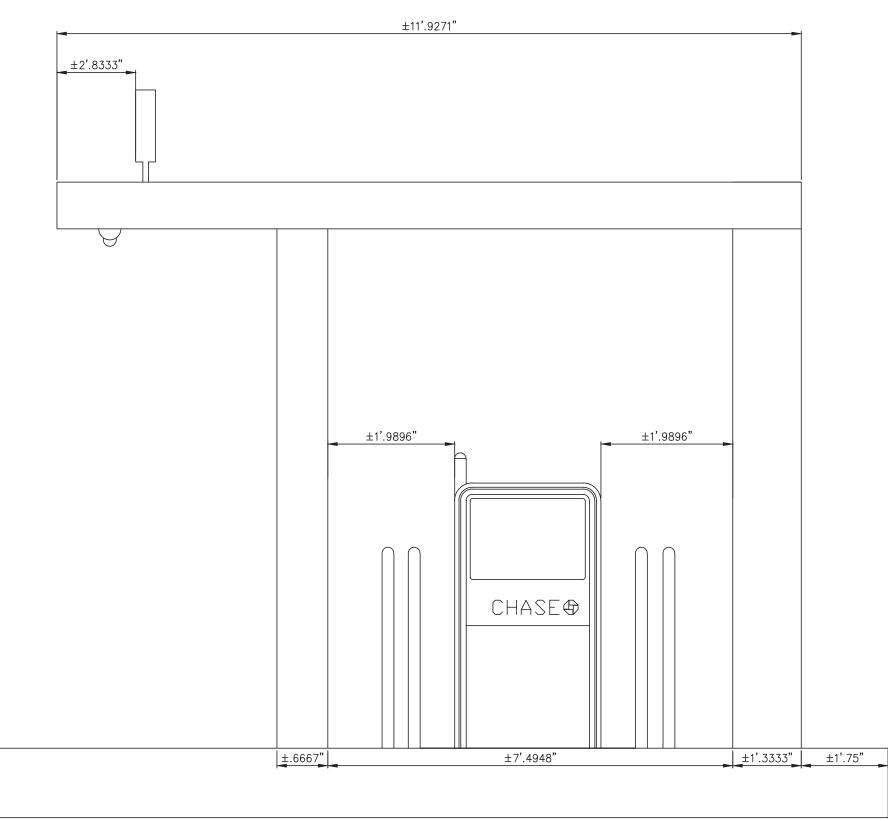


HEADACHE BAR PLAN



HEADACHE BAR ELEV

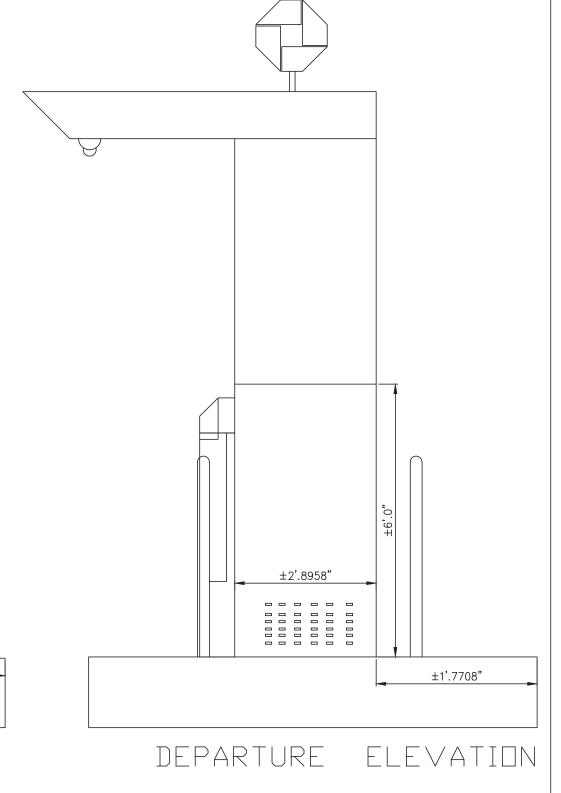






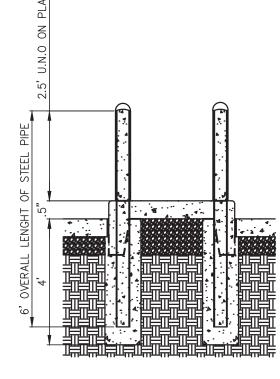
# ISLAND ELEVATIONS

# ELEVATION

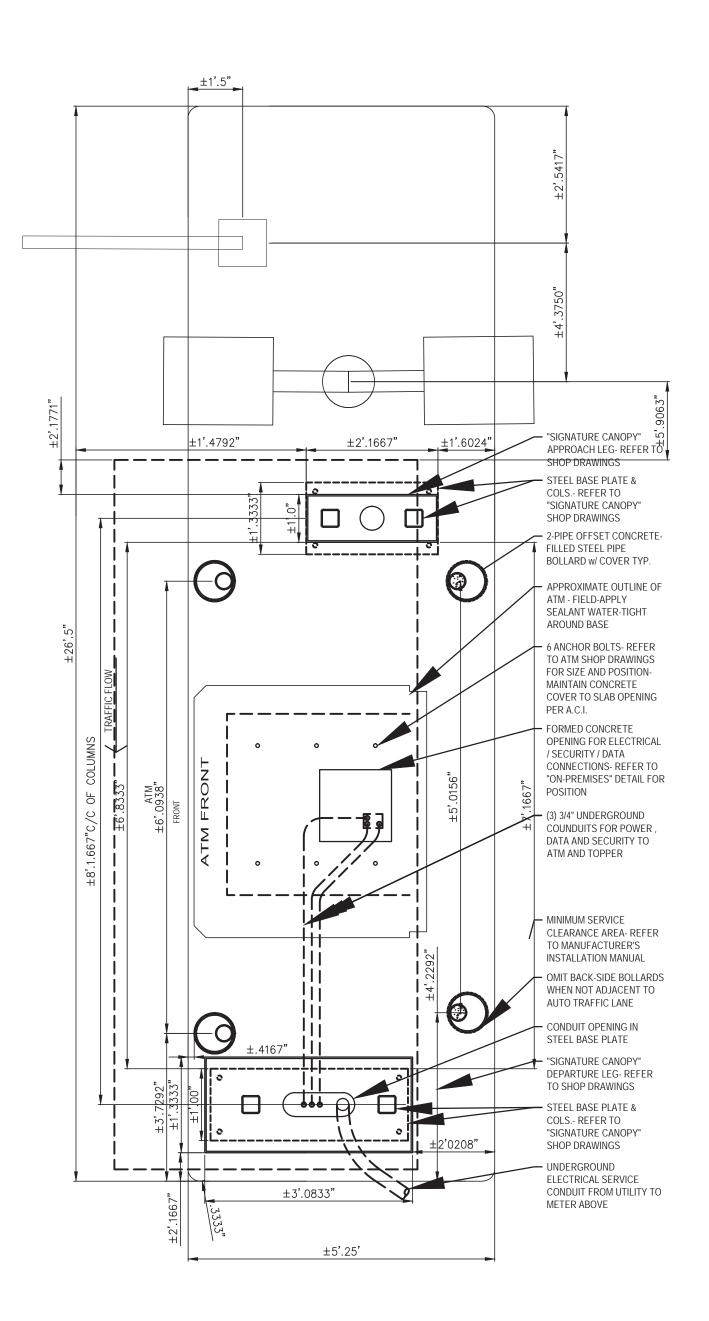


NOTE:

1. THE BOLLARD IS DESIGNED AS PER SECTION 1607.8.3 TO RESIST A SINGLE LOAD OF 6,000 POUNDS APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIRE SYSTEM.

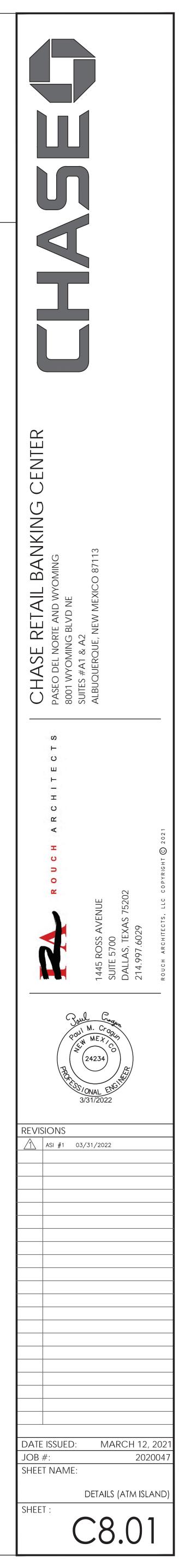


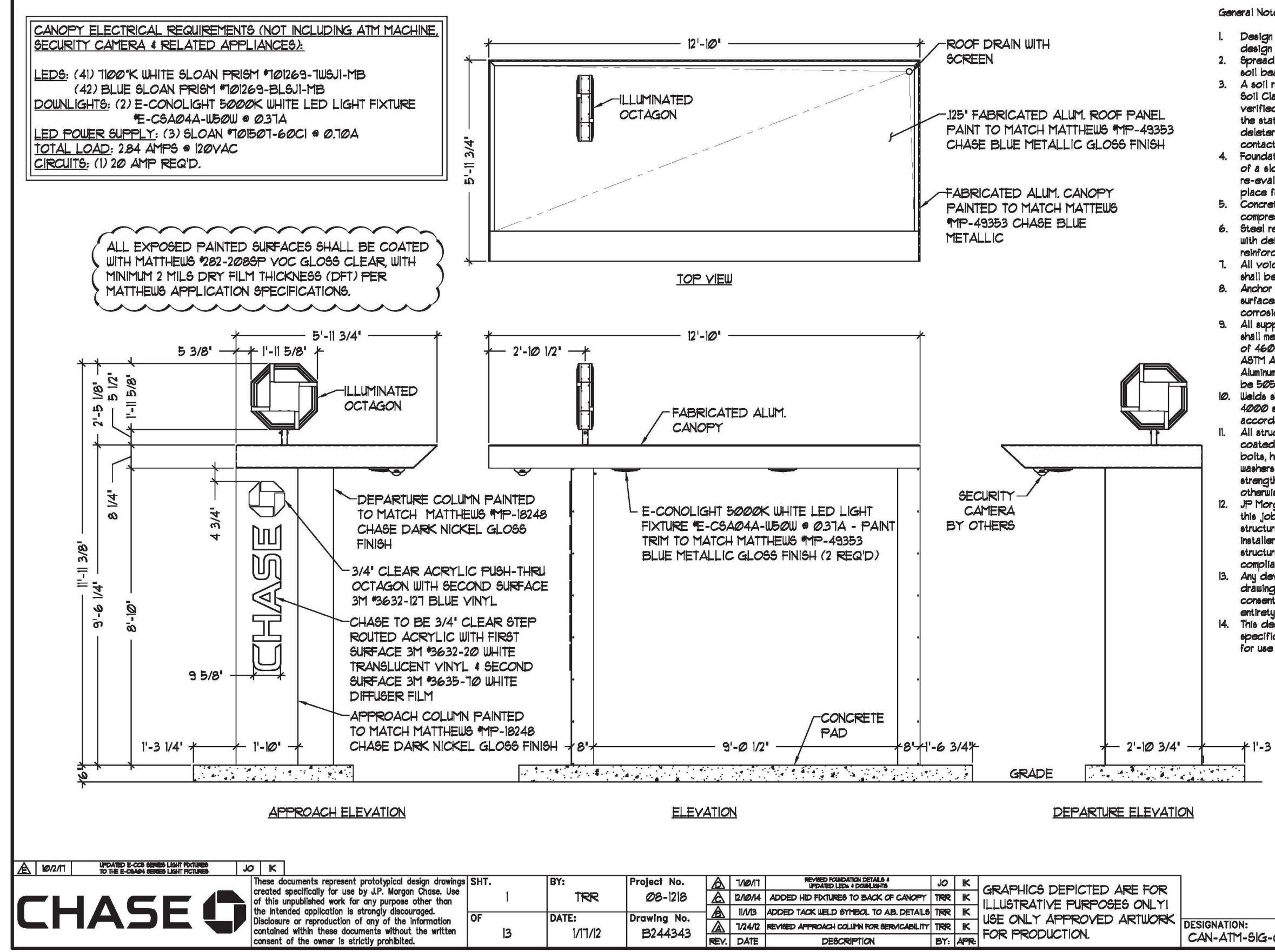




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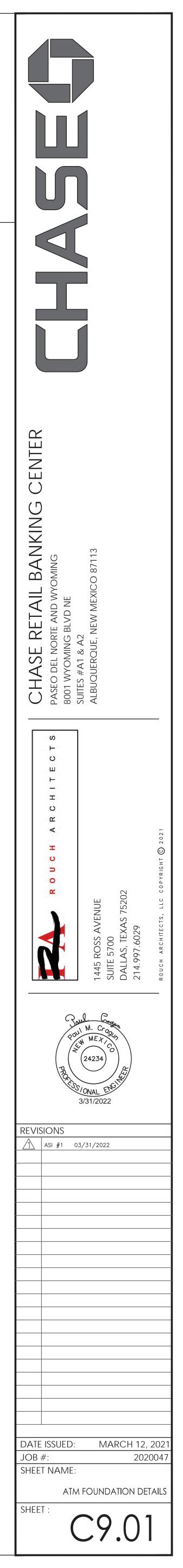
## General Notes:

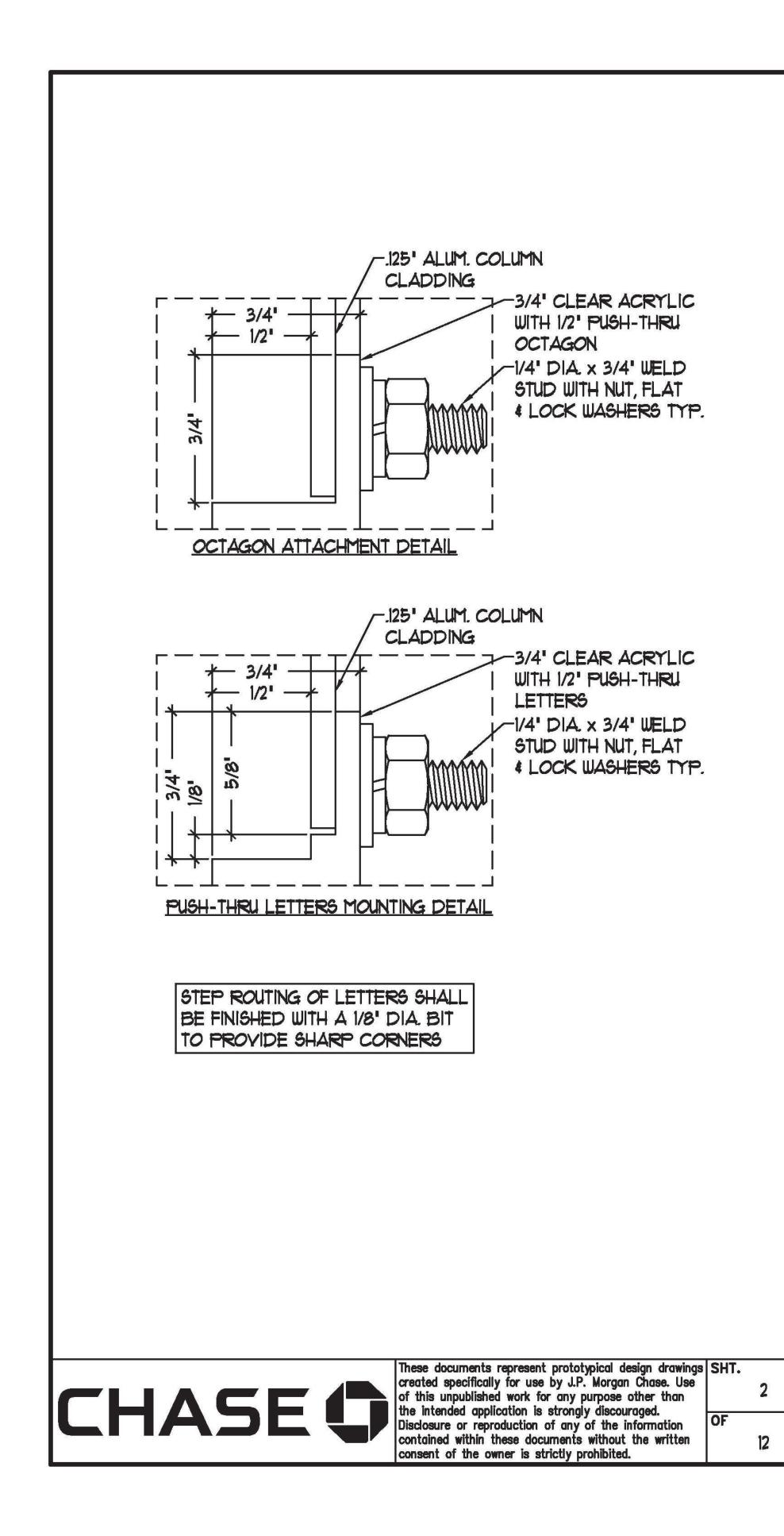
- Design is based on a **199**/170 mph, 3 second gust wind design per IBC **9999**/2015, Category II, Exposure C.
- 2. Spread foundation is based on a presumptive safe vertical
- soil bearing pressure minimum of 2000 psf. 3. A soil report was not provided. Foundation analysis assumes Soil Classification 4. Allowable bearing pressure should be verified prior to placement of concrete. In the event that
- the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact the project manager.
- 4. Foundation shall not be placed at the top of, or on the side of a slope exceeding 3:1, or adjacent to a fill slope unless re-evaluated by a competent Professional Engineer. Do not place foundation in fill.
- 5. Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psi.
- 6. Steel reinforcing bars shall conform to ASTM A615, Grade 60 with deformations in accordance with ASTM A305. Welding of reinforcing bars is prohibited.
- 7. All voids between column baseplate and foundation surface shall be completely filled with high-strength, non-shrink grout. 8. Anchor bolts shall meet ASTM F1554 Grade 36. Exposed
- surfaces shall be galvanized or coated to prevent corrosion.
- 9. All support members shall be free from defects. Steel tube shall meet ASTM A500 Grade B with a minimum yield strength of 46000 psi. Steel angle, channel and plate shall meet ASTM A36. Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
- 10. Welds shall be made with ETOXX electrodes for steel 4 with a 4000 series filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
- All structural bolts shall conform to ASTM A325, and be zinc coated unless noted otherwise. When used with structural bolts, heavy hex nuts shall conform to ASTM A563, and washers shall conform to ASTM F436. Pretension all high strength bolts using the Turn-of-Nut method unless noted otherwise.
- 12. JP Morgan Chase will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
- 13. Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from JP Morgan Chase voids this drawing in its entirety.
- 14. This design is prototypical and should not be used for site specific applications unless reviewed and deemed suitible for use at that site by a competent Professional Engineer.

CAN-ATM-SIG-OCT-HW

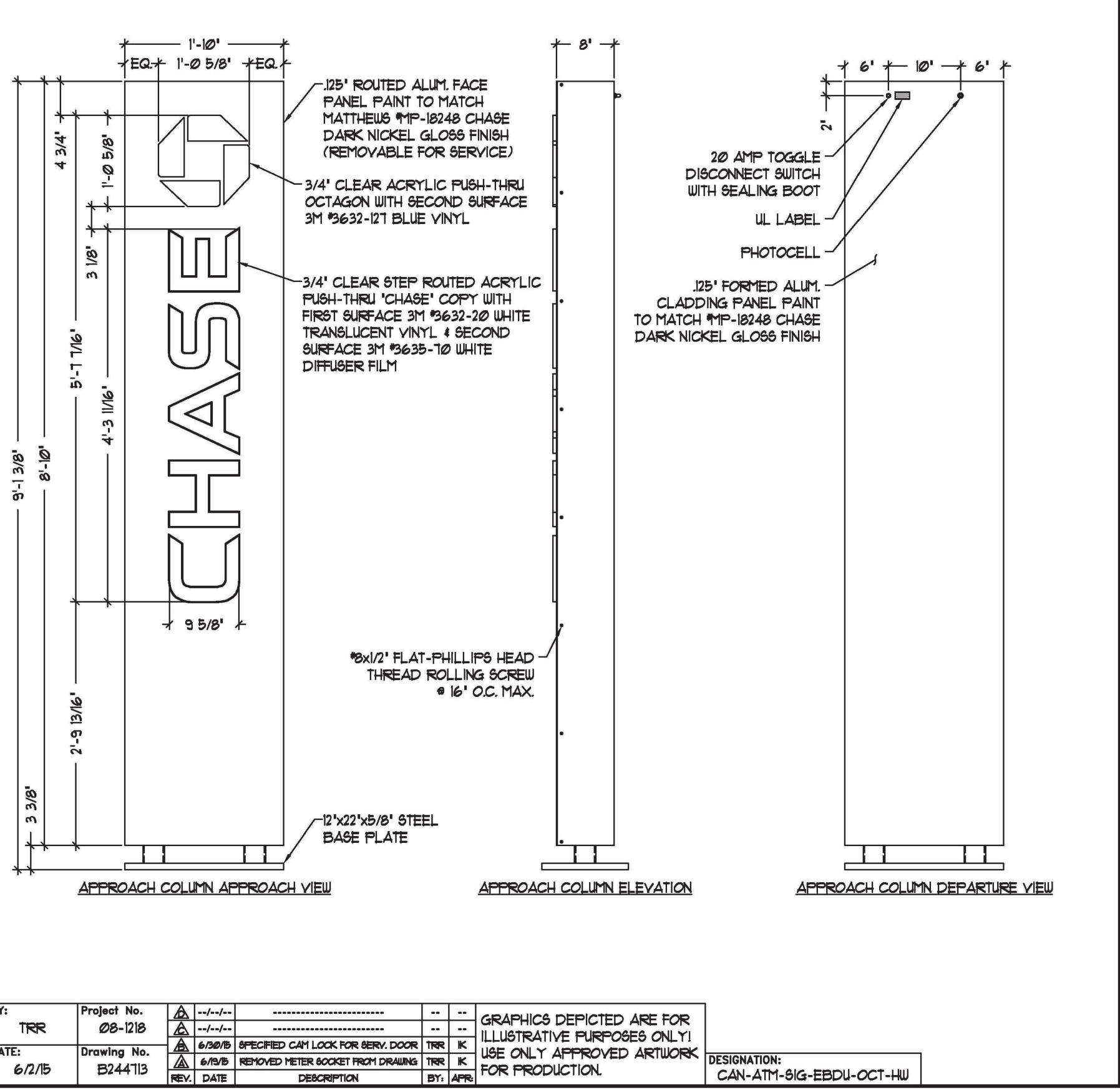


2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050 Tel. 214.235.0367



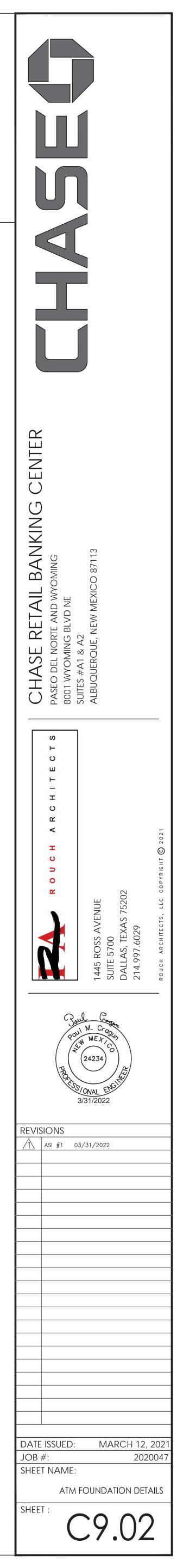


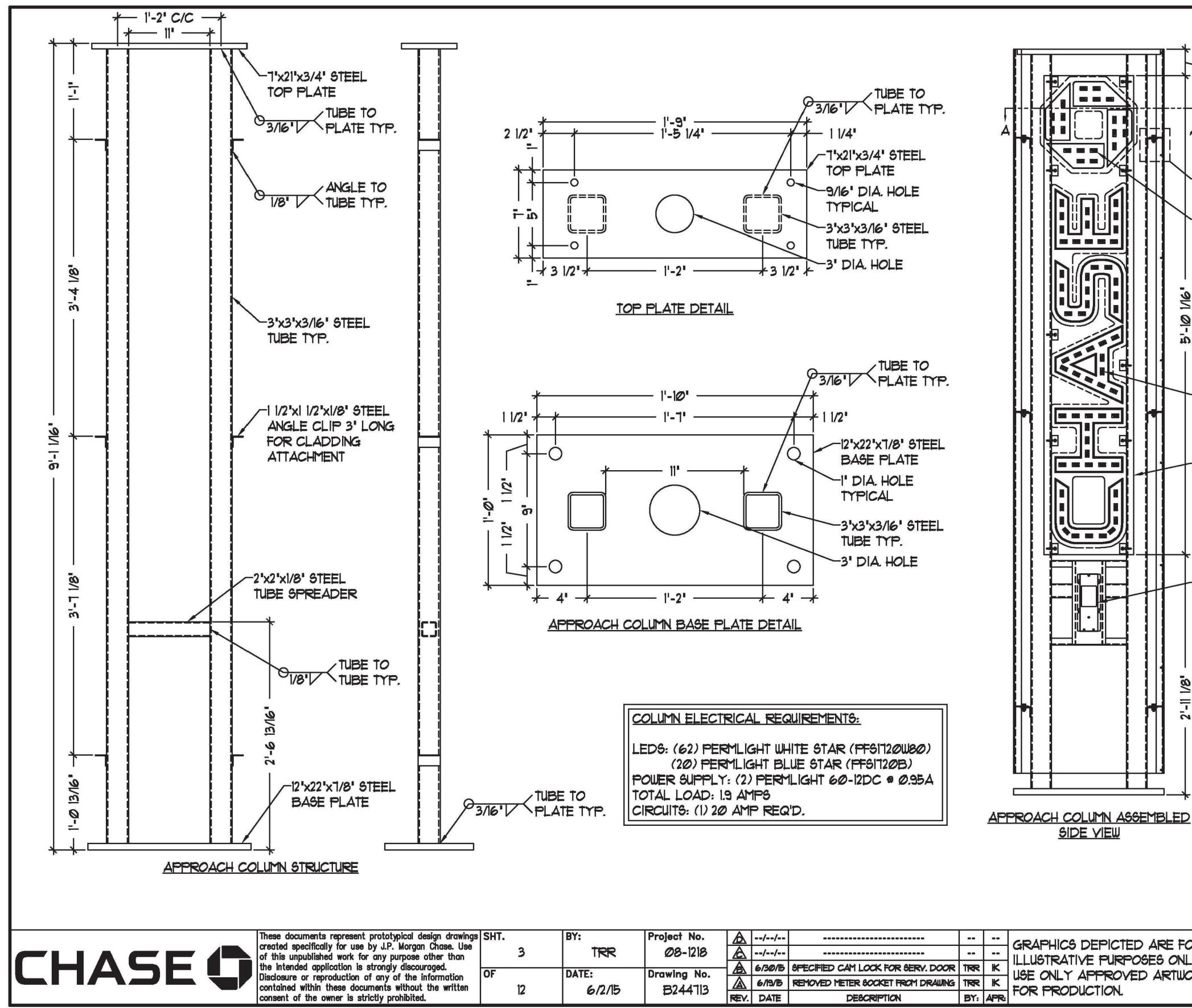




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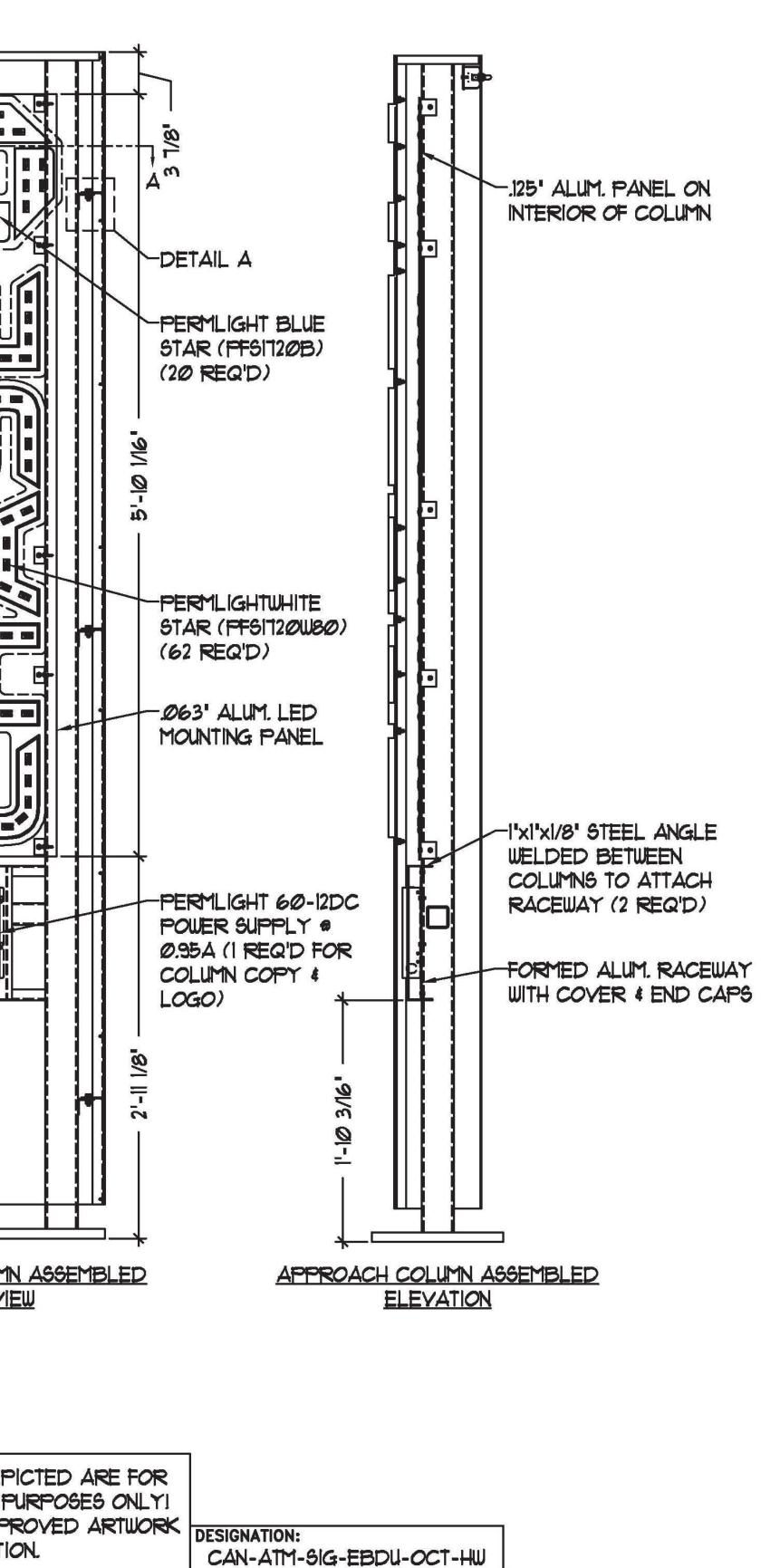




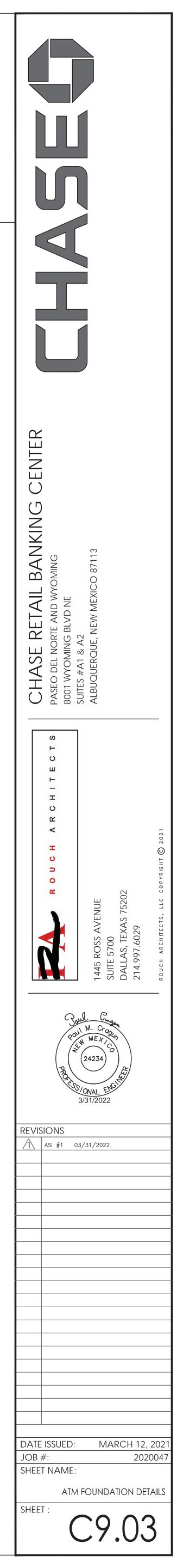


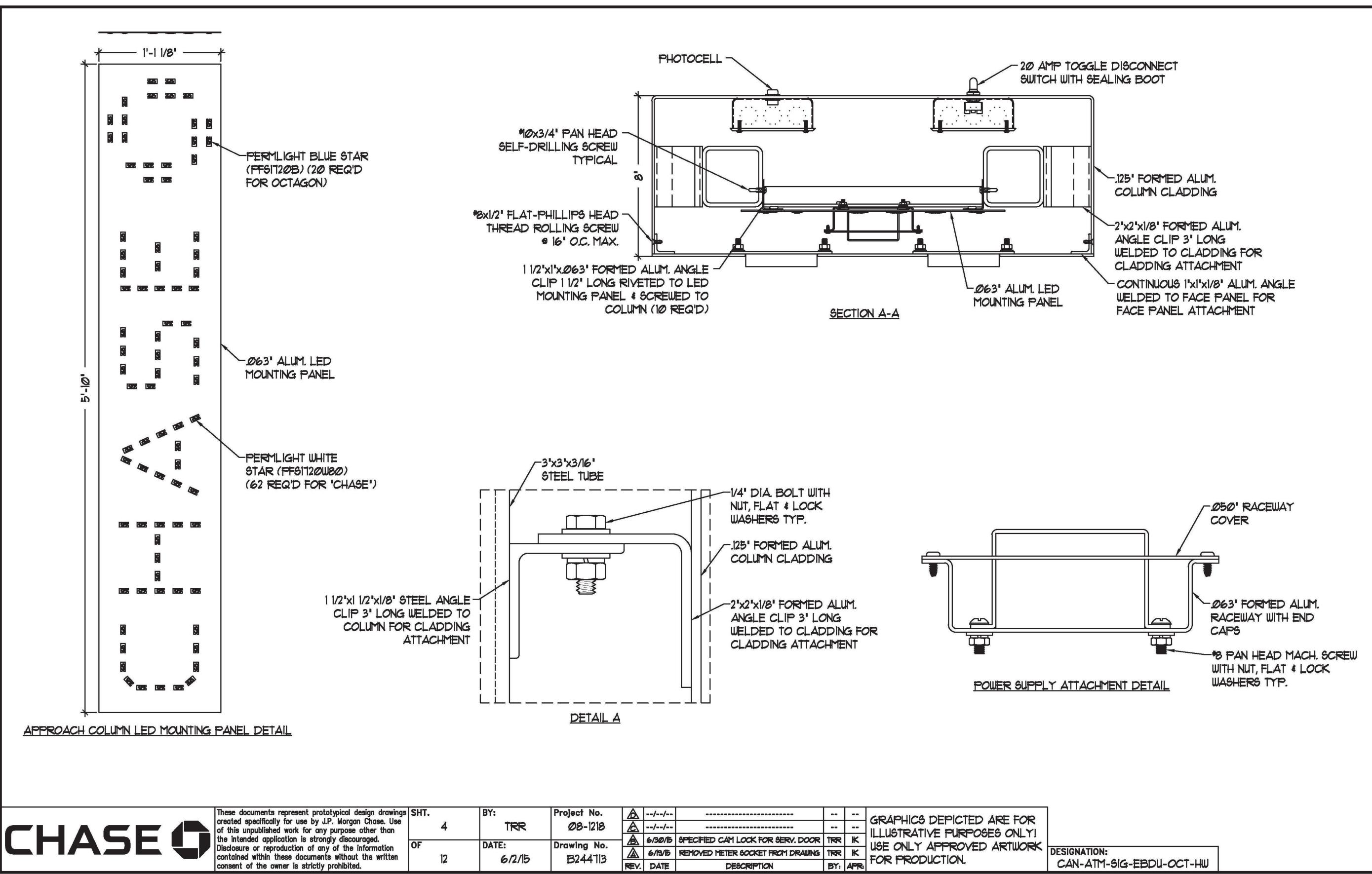


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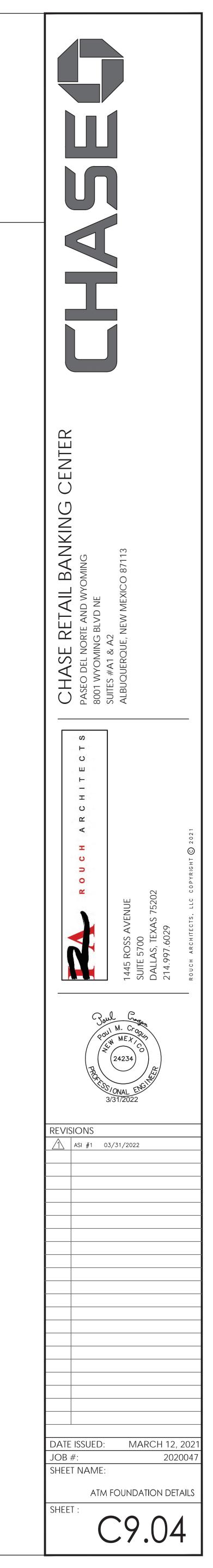


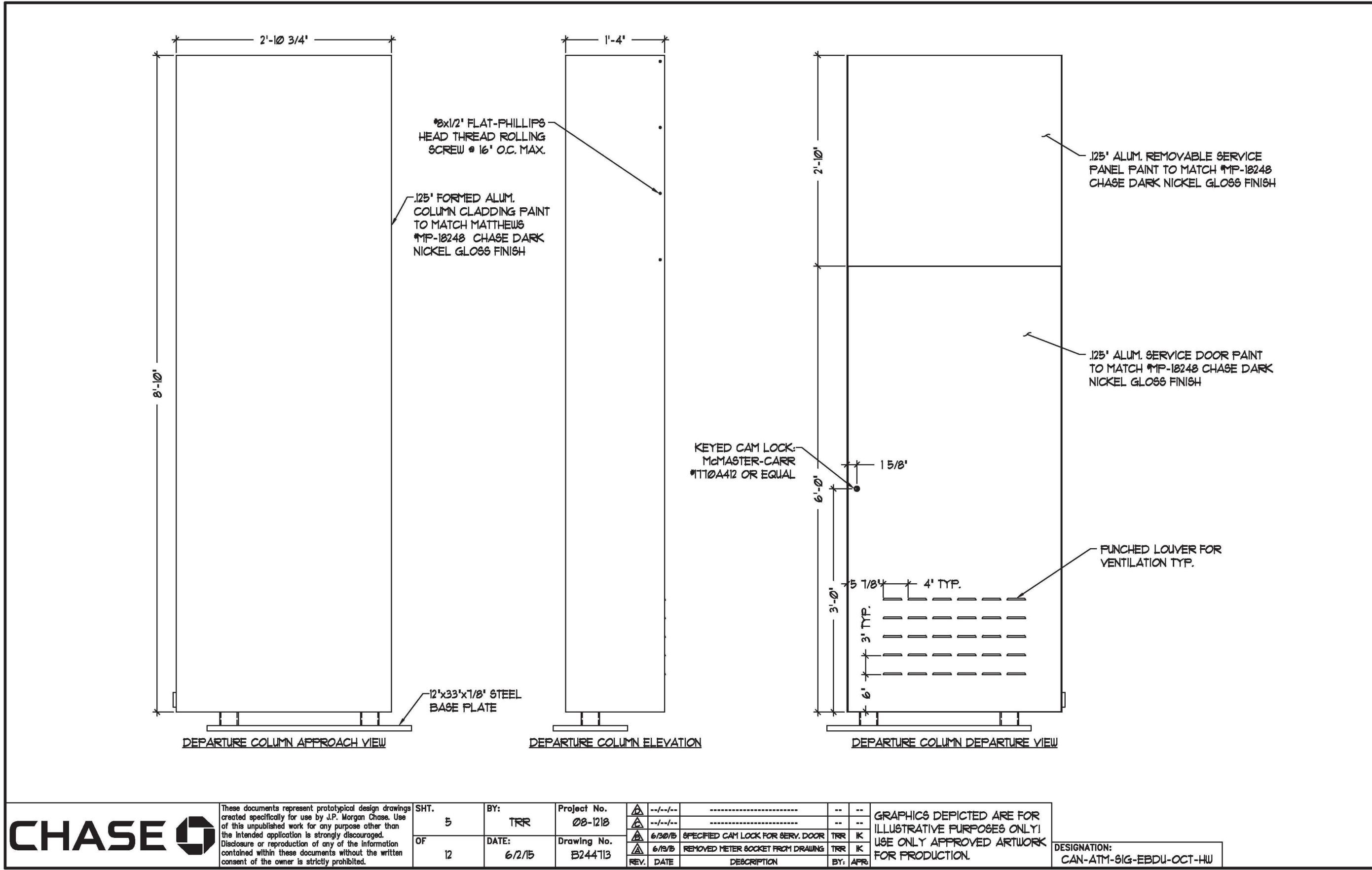


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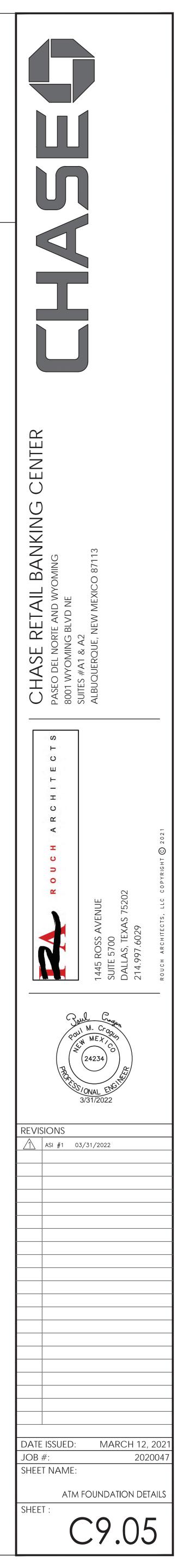


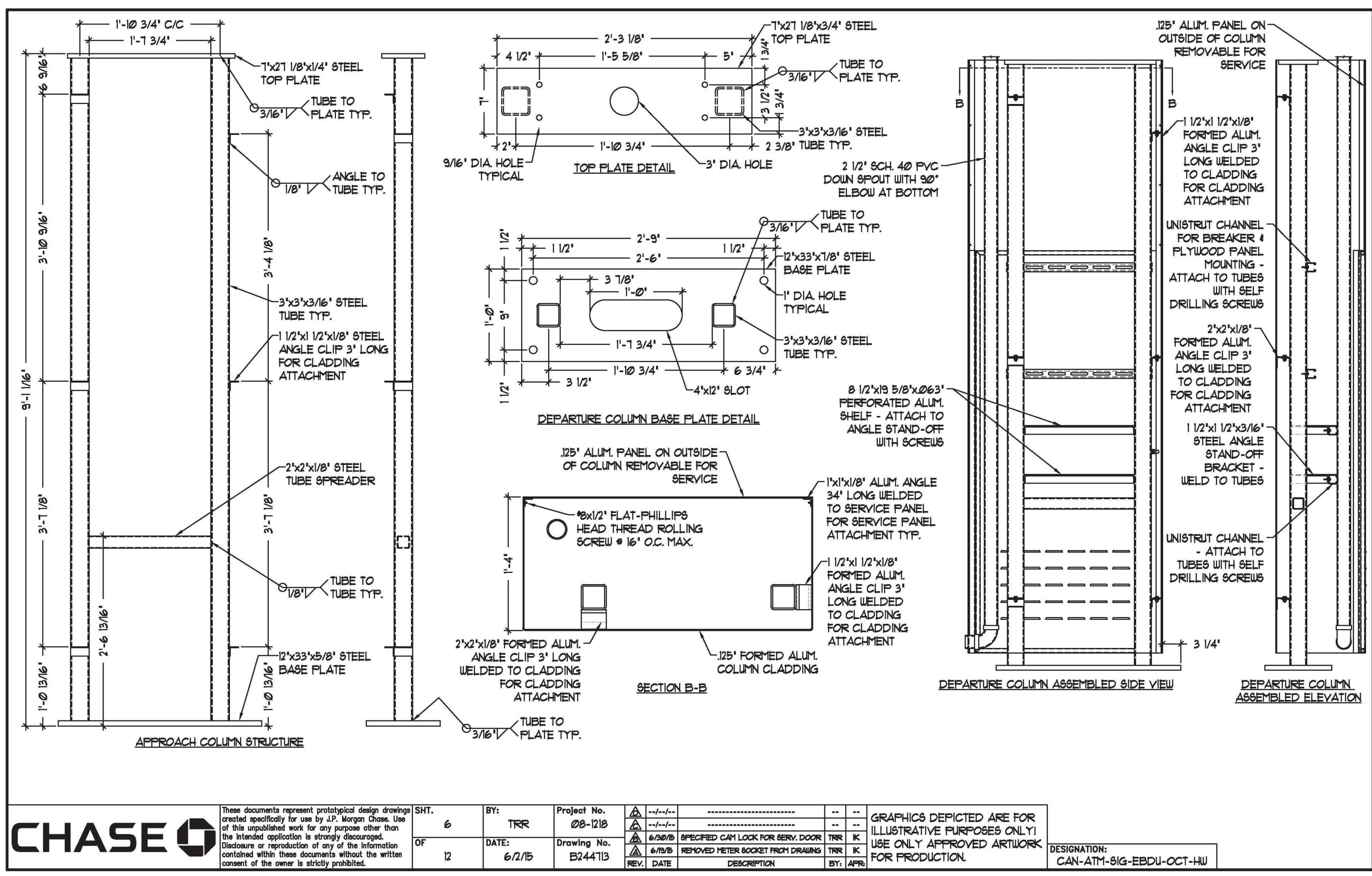




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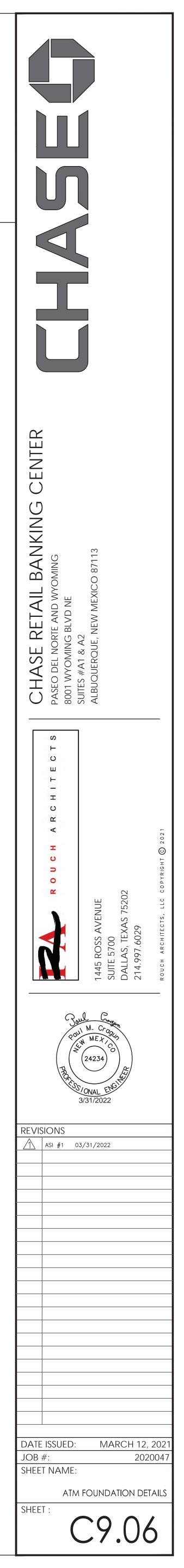


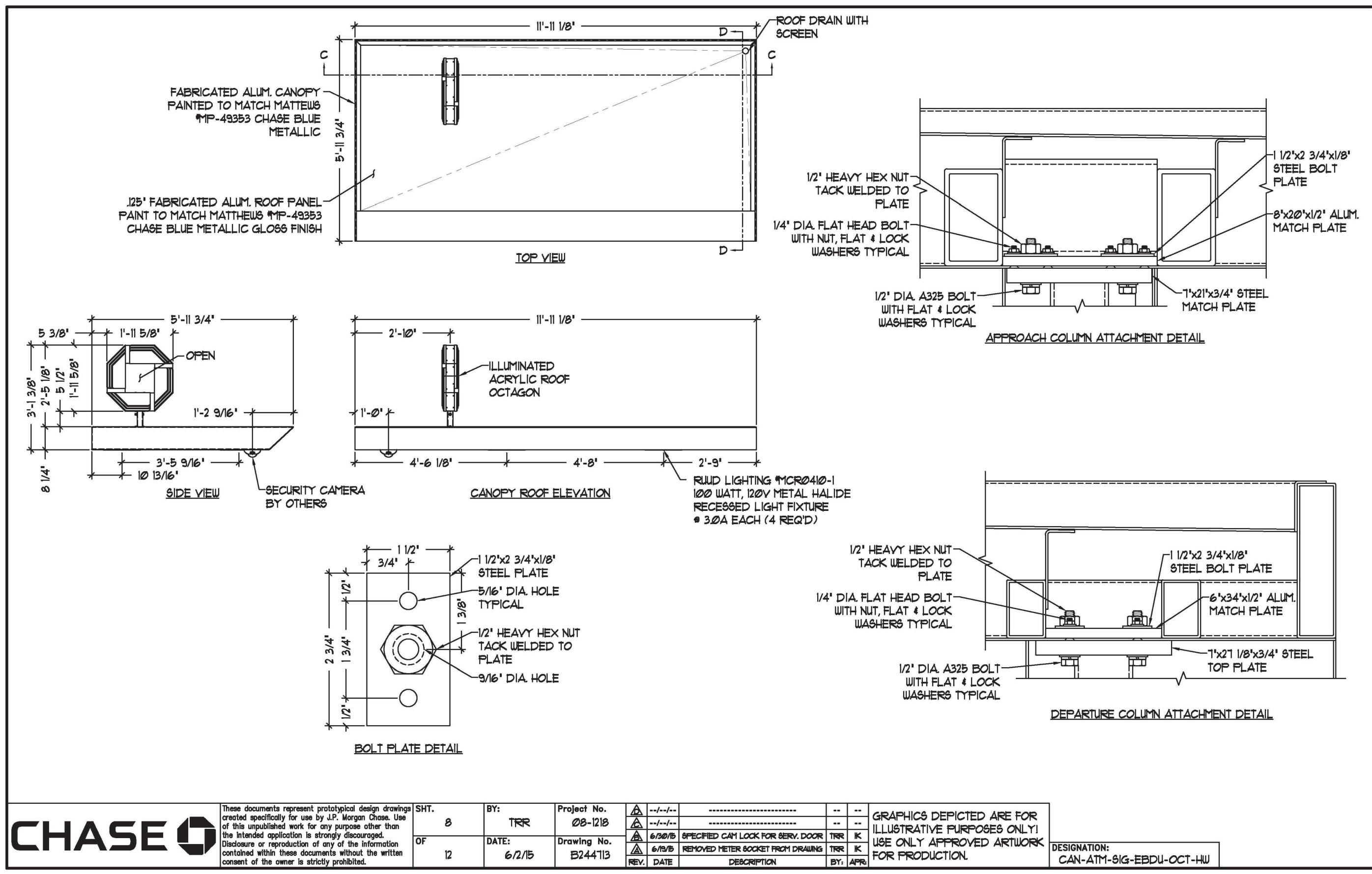




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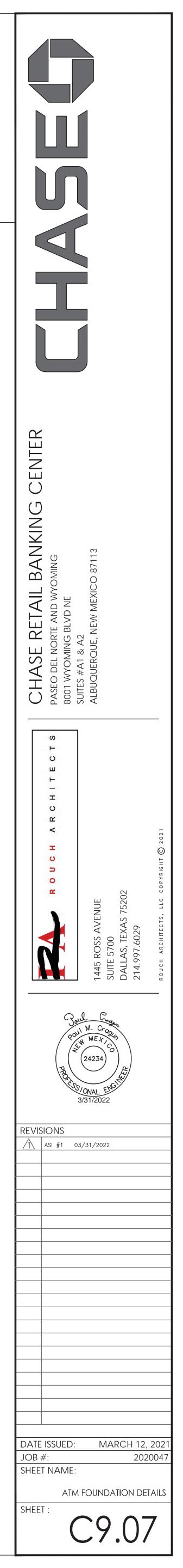


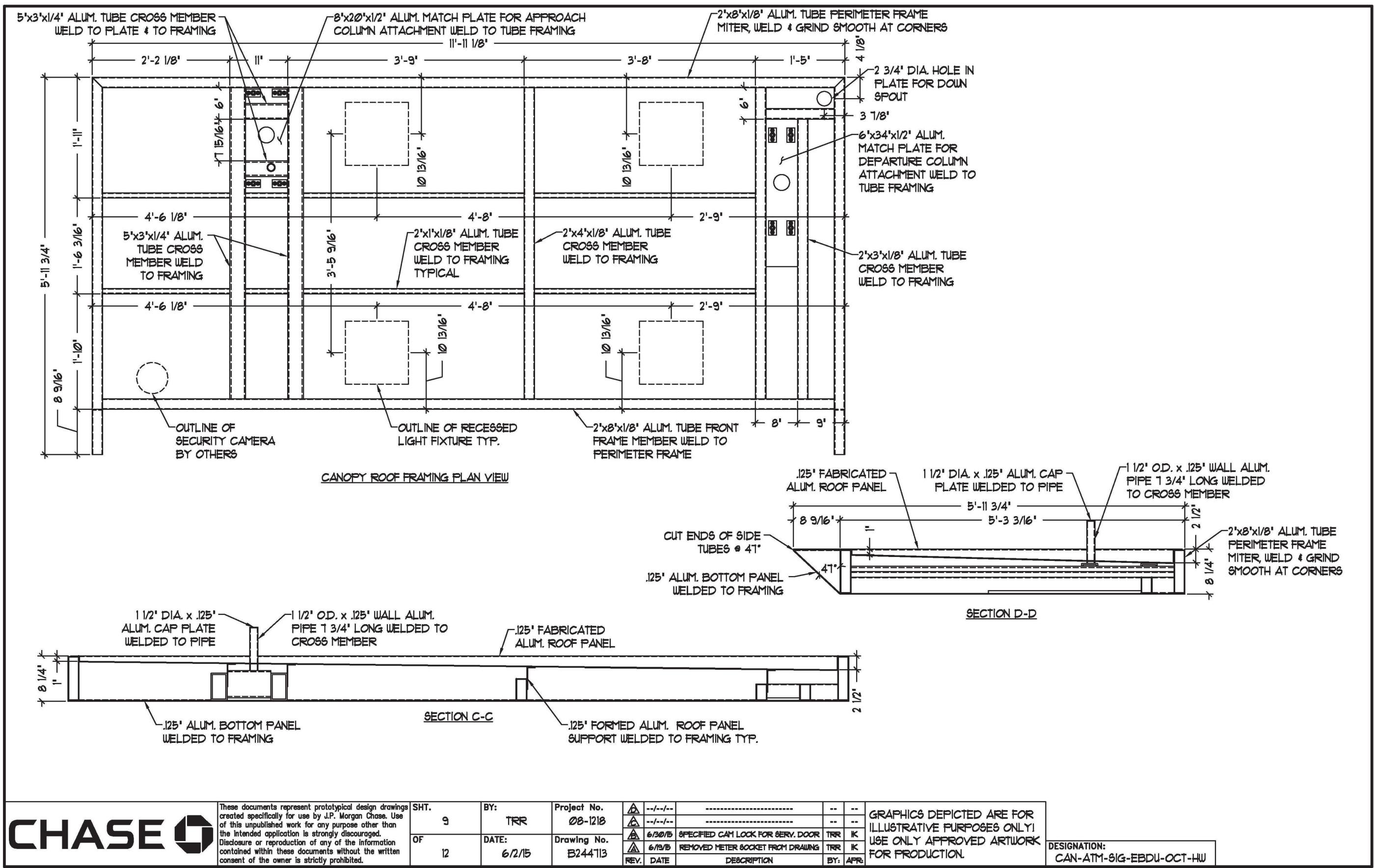




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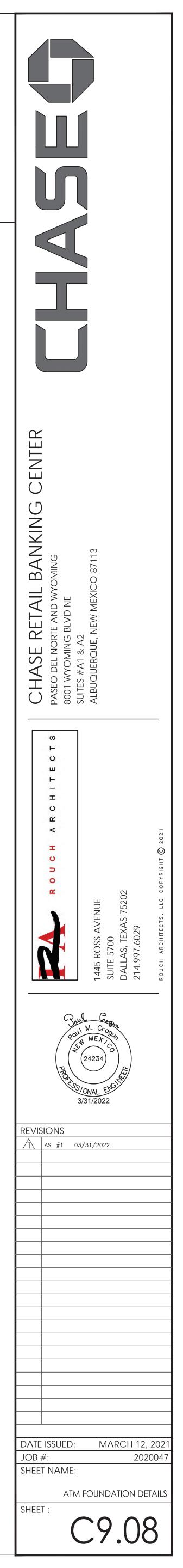


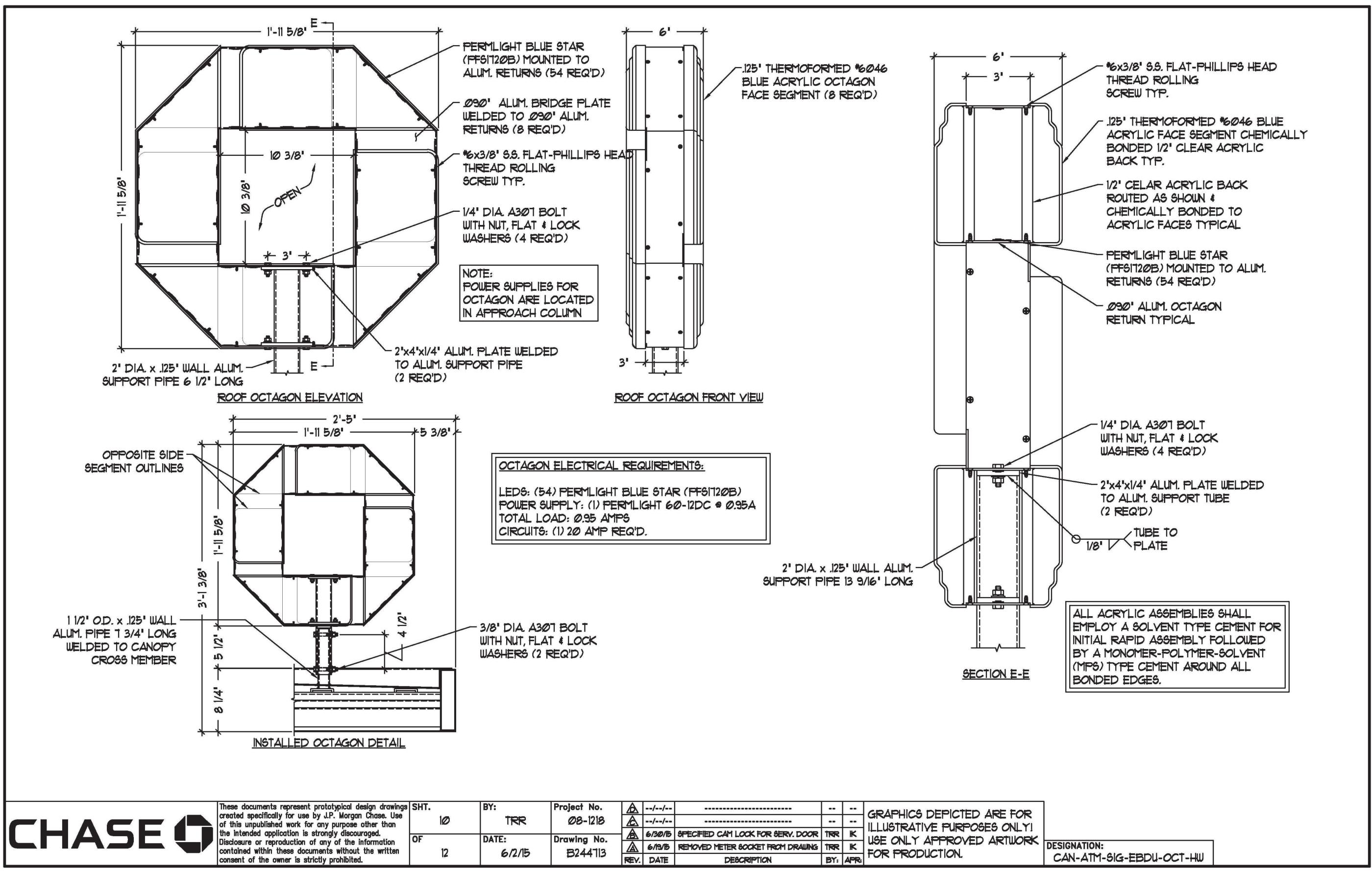




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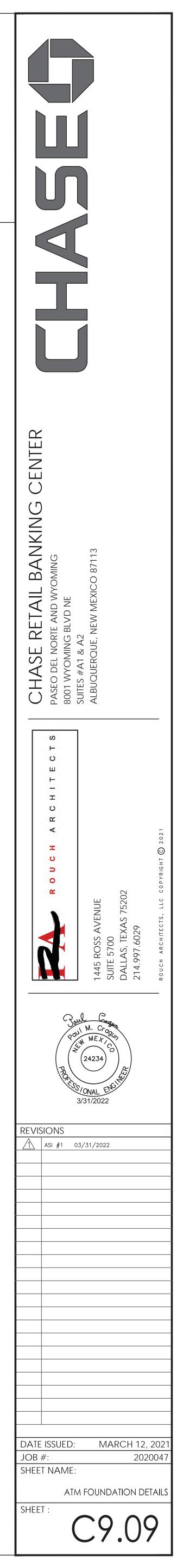


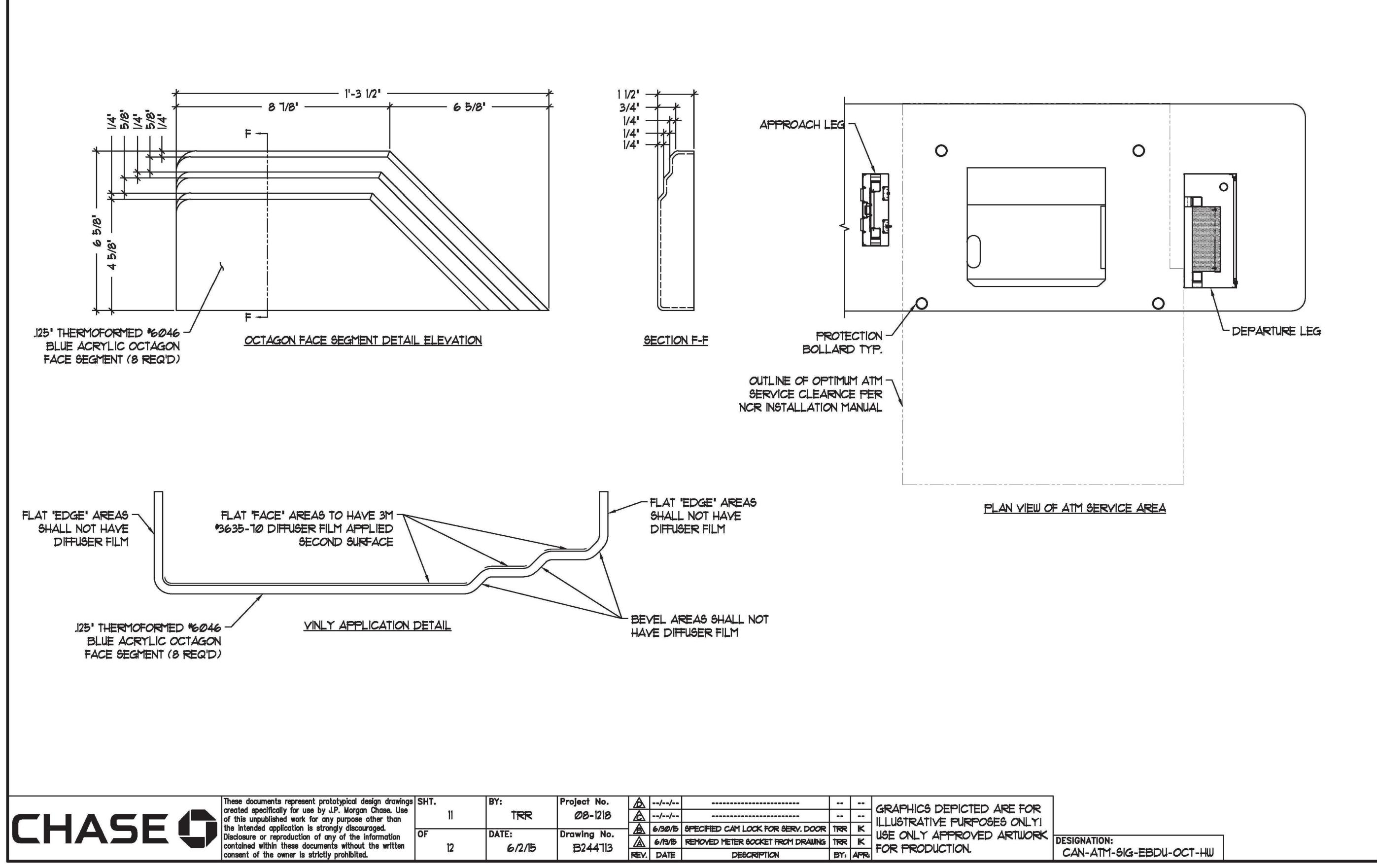




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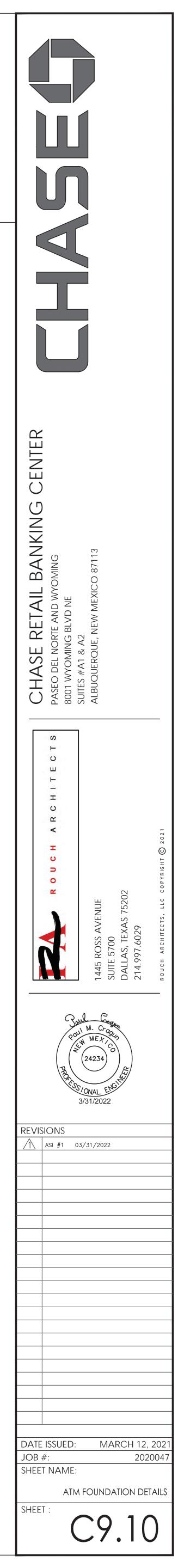


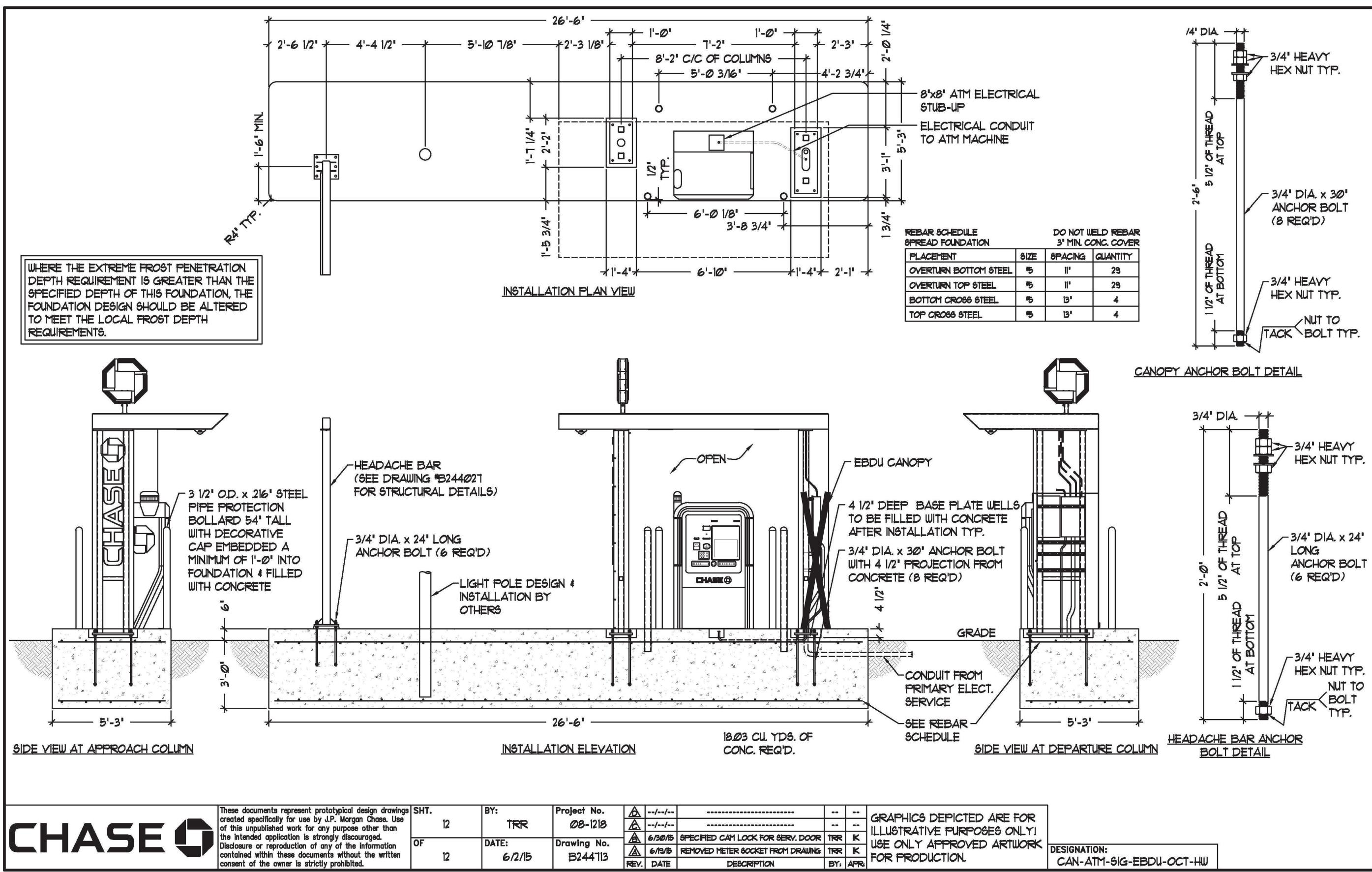




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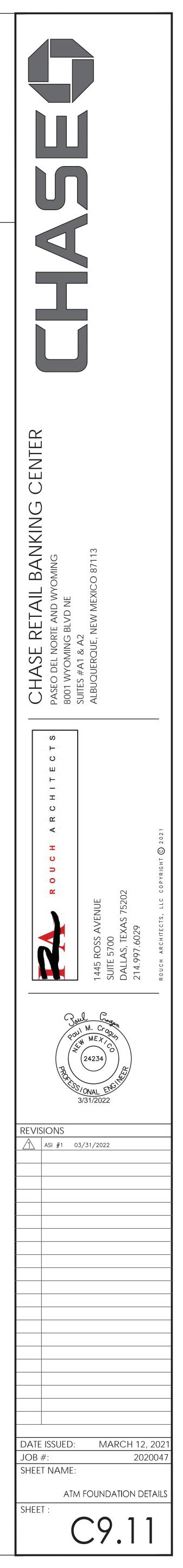


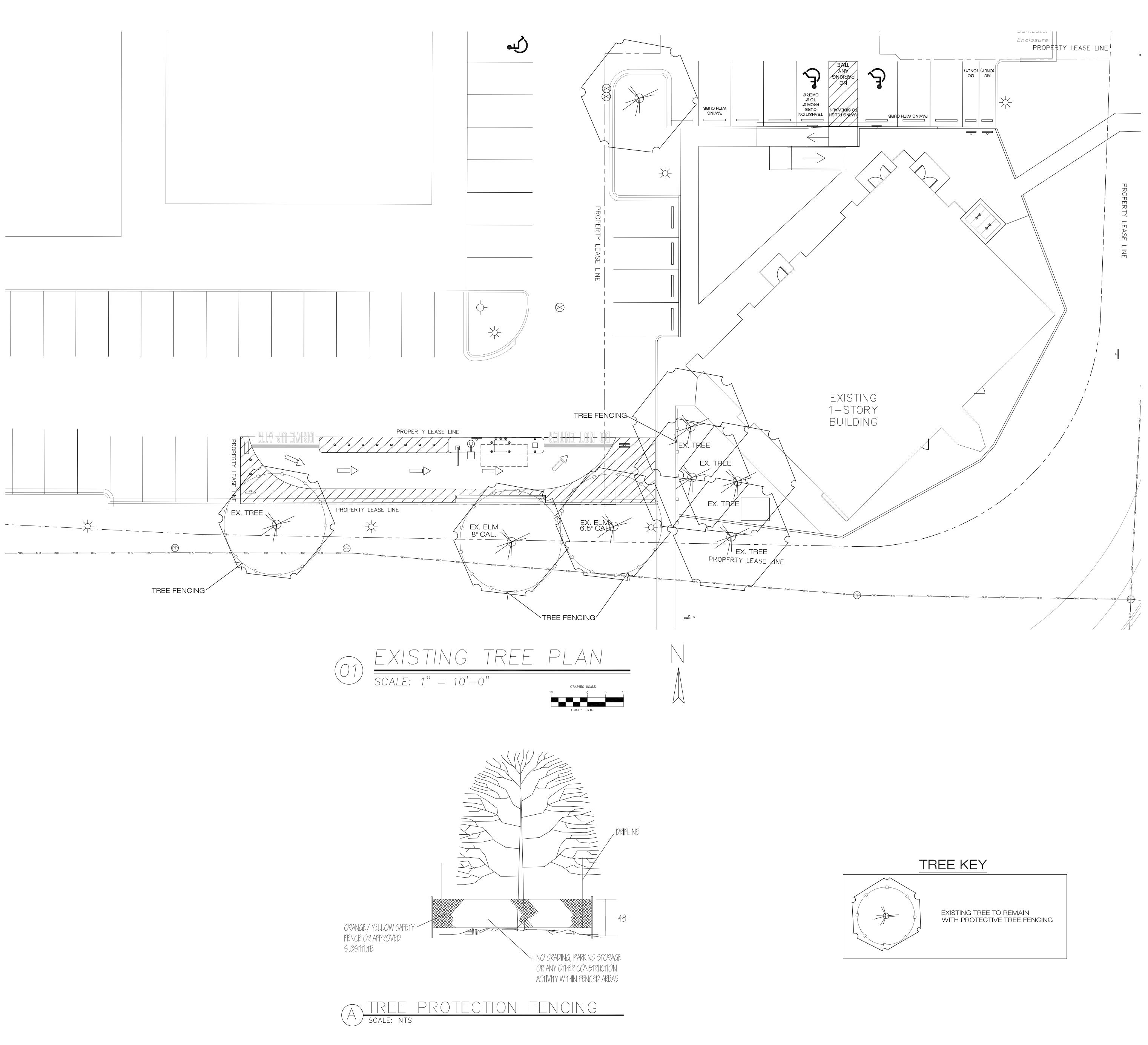


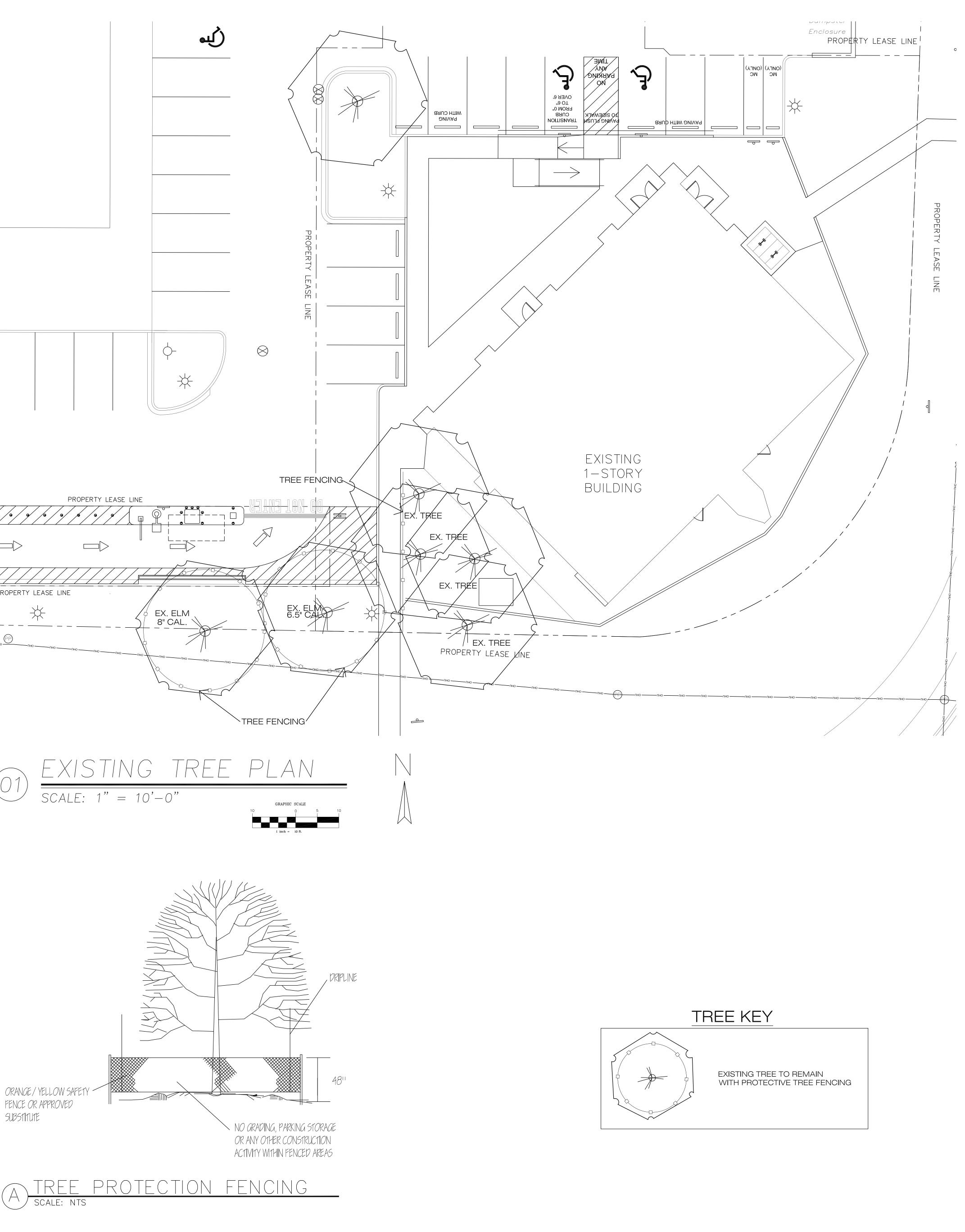
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NOTE: ALL ELECTRIC WORK MUST BE PER ELECTRICAL PLAN





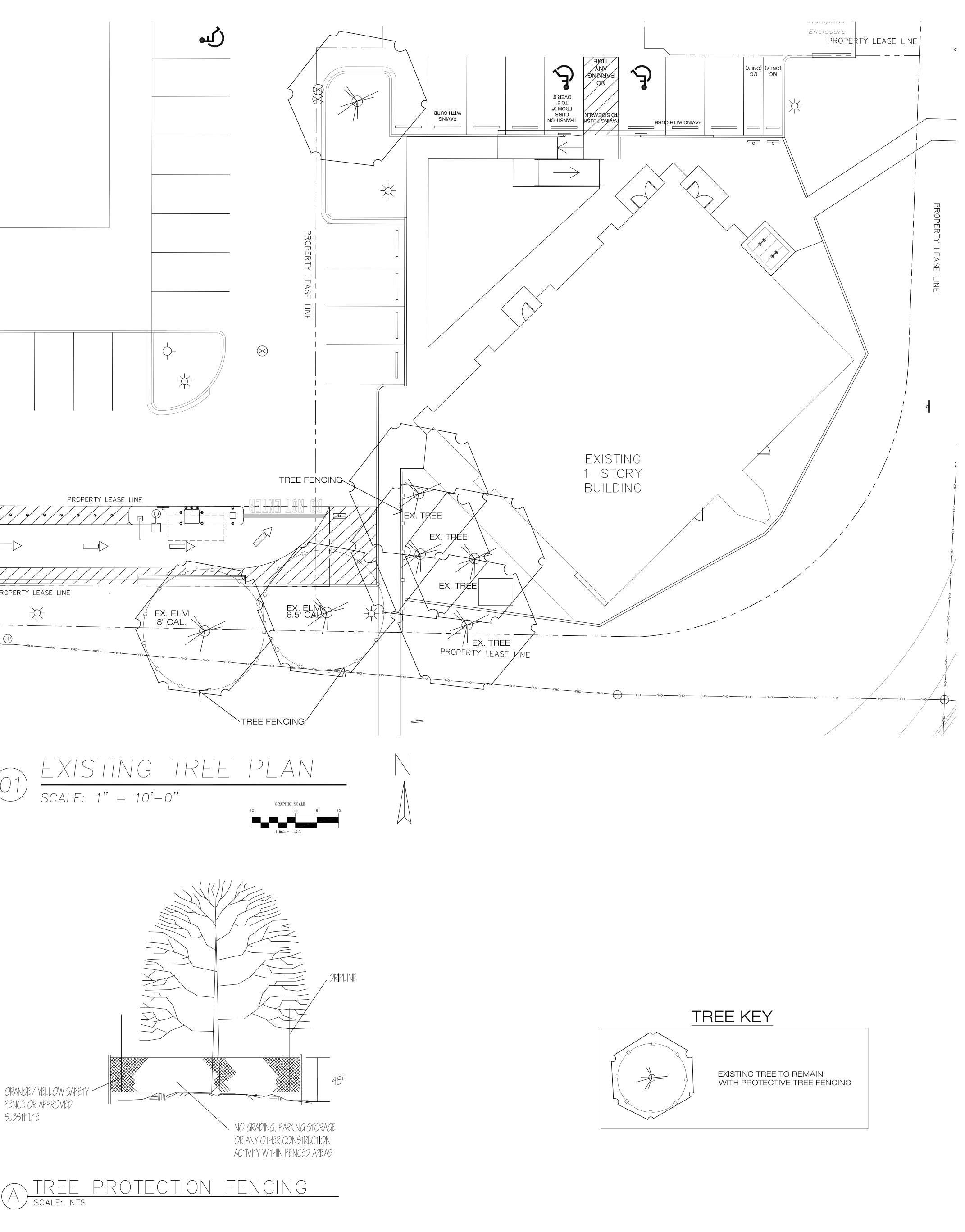




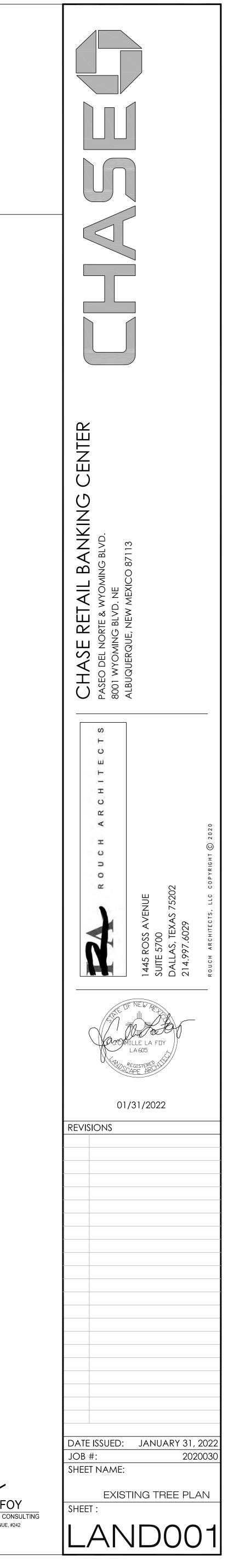


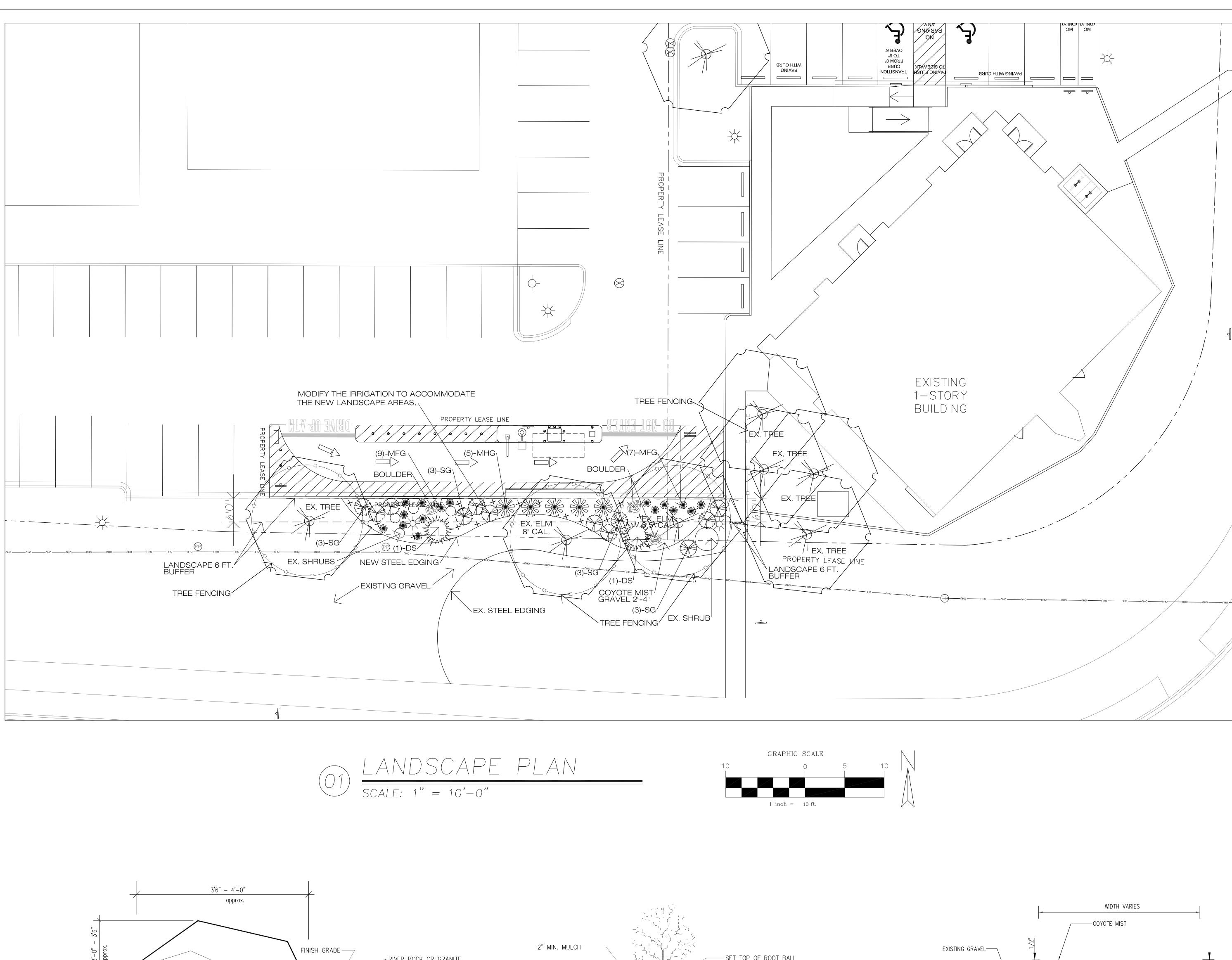


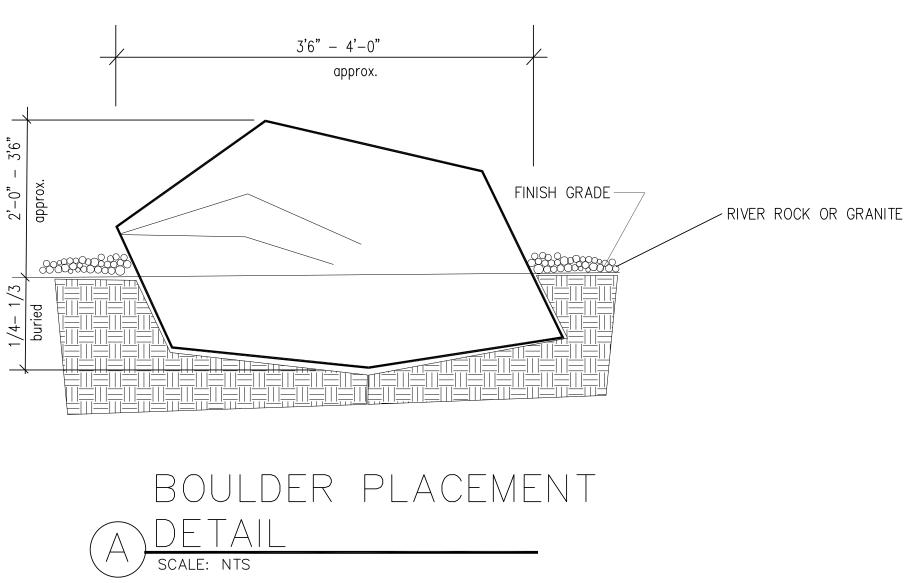


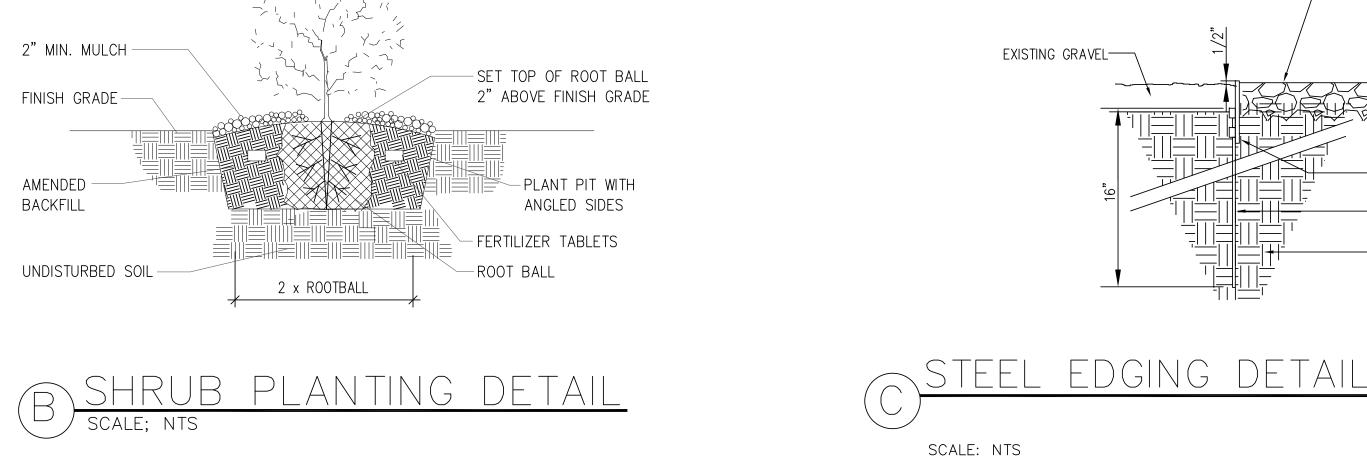












# WDTH VARIES

# PLANT MATERIAL LIST

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	KEY	QUANTITY	SHRUBS DESCRIPTION	SIZE				
	DS	2	DASYLIRION TEXANUM GREEN DESERT SPOON	7 GAL., MIN. 15" HT.				
	SG	12	SALVIA X 'ULTRA VIOLET' ULTRA VIOLET SAGE	5 GAL., MIN. 12" HT., 24" O.C.				
	KEY	QUANTITY	ORNAMENTAL GRASSES DESCRIPTION	SIZE				
	MFG	9	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL., FULL PLANT				

# GRAVEL KEY



# SHEET NOTES:

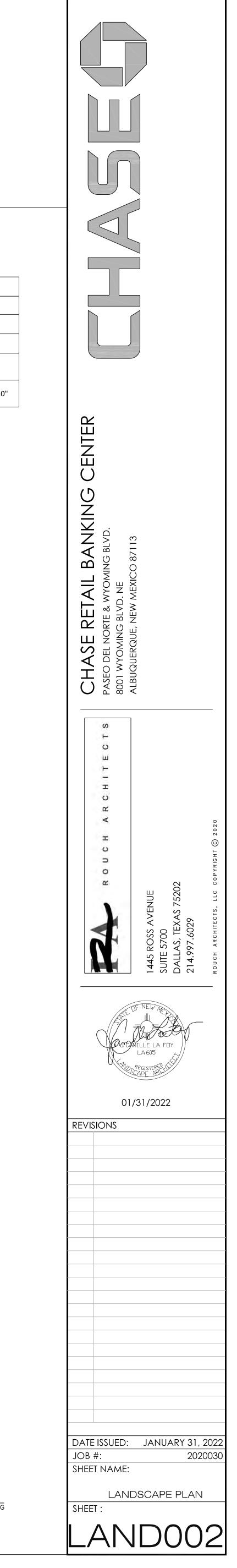
THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY.

PROTECT THE EXISTING LANDSCAPE DURING CONSTRUCTION.

PROVIDE AN ALTERNATE PRICE FOR CLASS A PRUNING THE EXISTING FOUR TREES NEXT TO THE BUILDING.

CONNECT NEW IRRIGATION INTO EXISTING CONTROLLER.





# LANDSCAPE SPECIFICATIONS

### Section One - General A. Requirements

- 1. All work to be performed in accordance with all applicable laws, codes and regulations by authorities having jurisdiction over such work. Landscape
- contractor to provide all required permits and inspections as required under the scope of this work.
- 2. Landscape Contractor is reponsible for contacting all utility companies or other such agencies for the location and type of underground utility which may be within the scope of work to be performed by the contractor. 3. Damage to any or all underground utilities is the responsibility of the
- Landscape Contractor. B. Quality Assurance
- 1. Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing rate.
- 2. Plants are subject to inspection and approval by the Landscape Architect. Plants required for the work may be inspected and tagged at the growing site before
- being dug. 3. Observation at growing site does not preclude right of rejection at job site. Plants
- damaged in transit or at job site may be rejected.
- 4. Employ only qualified personnel familiar with required work. 5. Off-site topsoil and topsoil on-site testing (paid by Landscape Contractor): a. Provide source of off-site soil to the Landscape Architect for purposes of soil investigation.
- b. Take random representative soil samples from areas to be planted. c. Test soil samples from both sources for pH, alkalinity, total soluble salts, porosity, sodium content, and organic matter.
- C. Referenced Standards 1. American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc. — Plant materials. Hortus Third, 1976 — Cornell University — Plant nomenclature.
- 3. ASTM American Standard Testing Material Sharp sand.
- D. Submittals
- 1. Samples: Submit for approval sufficient representative quantities of soil mix, mulch, and peat moss. 2. Submit one sample of each specified tree and three samples of each specified shrub and groundcover plants for Landscape Architect's approval. When approved tag, install, and maintain as representative samples for final installed plant materials.
- 3. File certificate of inspection of plant materials by State and Federal authorities with Landscape Architect, if required by state. E. Product delivery, storage, and handling
- 1. Preparation for delivery: a. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development. b. Container Grown Plants: Deliver plants in containers sufficiently riaid to hold ball shape and protect root mass during shipping. 2. Delivery:
- a. Deliver packaged materials in sealed containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
- b. Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on job site. Storage of materials and equipment at the job site will be at the risk of the landscape contractor, the owner will not be held responsible for theft or damaae.
- c. If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heeling in with saw dust or other approved material. d. Protect during delivery to prevent damage to root ball or dessication of leaves.
- d. Notify Landscape Architect of delivery schedule 48 hours in advance so plant material may be observed upon arrival at job site. H. Job conditions:
- 1. Planting restrictions: a. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice. 2. Protections:
- a. Do not move equipment over existing or newly placed structures without approval of Landscape Architect and General Contractor. b. Provide board-roading and sheeting as required to protect paving and other improvements from damage.
- c. In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
- 1. Utilities: a. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities. H. Warranty:
- 1. Warrant plants and trees for one year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and on notification by Landscape Architect. Replace plants, including trees, which in opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
- 2. Replace plants and trees with same kind and size as originally planted, at no cost to Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
- 3. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects, diseases, owner negligence or acts of God.
- 4. At the end of the warranty period, staking, and guying material shall be removed from the site.

- L. Maintenance:
- equipment required to complete work. 2. Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, cleaning, and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
- 3. A written notice requesting final inspection and acceptance should be submitted and Landscape Architect will prepare a final punch list to be reviewed with Landscape Contractor. When such project is deemed complete by Landscape
- Architect will be completed prior to written acceptance. 4. Following that acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

Section Two - Products A. Plants:

- 1. Quantities: The drawings and specifications are complimentary, anything called
- shall possess a normal balance between height and spread. The Landscape and replaced with acceptable plants as specified.
- and larvae. 4. Plants shall have a well-developed fibrous root system.
- defects. 6. Pruning of all trees and shrubs, as directed by Landscape Architect, shall be
- executed by Landscape Contractor at no additional cost to the owner. 7. Plants shall meet the sizes indicated on the Plant List. where a size or caliper
- the range stated 8. Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery
- will be rejected. Balls shall be ten (10") inches in diameter for each one (1' inch of trunk diameter, measured six (6") inches above ball. 9. Container arown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient
- length of time for the root system to hold the planting medium when taken from the container, but not long enough to become root bound. B. Soil Preparation Materials: 1. Pre mixed soils will be considered as "approved equals" when samples
- are submitted with manufacturer's data and laboratory test reports. Approved suppliers include Vital Earth Complete Mix by Vital Earth Resources, Gladewater, Texas and Acid Gro Complete Mix by Soil Building Systems, Inc., Dallas, Texas. 2. Sandy Loam:
- a. Friable, fertile, dark, loamy, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Soil containing Dallisgrass or Nutgrass shall be rejected.
- b. Physical properties as follows: Clay - between 7-27 percent Silt - between 28-50 percent
- Sand less than 52 percent 3. Sharp sand: Clean, washed sand, (fine aggregate) ASTM C-33
- C. Commercial Fertilizers: 1. Fertilizer shall be delivered in manufacturer's standard container printer with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
- 2. Commercial fertilizer for planting beds: Complete fertilizer 5-10-5 element ratio with maximum 8% sulfur and 4% iron plus micro-nutrients. 3. Controlled-Release fertilizer planting tablets for tree planting pits, shall be equal
- Milpitas, California 95035 or approved equal. D. Mulch: 1. Bark mulch shall be shredded hardwood mulch, medium fine texture.
- E. Water: Water shall be suitable for irrigation and shall be free from ingredients harmful to plant
- F. Miscellaneous Materials: 1. Steel edging: Pro-Steel, 16' x 1/8" x 4" painted green or equal.
- 2. Bed Preparation: Enriched Planting Mix, Soilutions, Albuquerque, NM. Submit sample for approval. 505-877-0220, soilutions.net
- 3. Staking or Guying Materials: a. Wood Stakes: 2" x 4" x 30" dense pine, untreated. T-Shaped Metal Posts: Paint flat black, 8 feet long Turn Buckles: Galvanized steel, 3/8 inch eye, 6-inch opening. Tie Wire: 12 guage galvanized wire. e. Black Hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside
- diameter. 4. Weed Mat: Mirafi MSCAPE or equal under all gravel areas. Tencate, 365 South Holland Dr., Pendergrass, GA 30567. Submit sample for approval.

1. Water will be available on-site. Provide necessary hoses and other watering to Landscape Architect seven (7) days prior to completion. At that time Owner Architect, an on-site inspection by Owner, Landscape Contractor, and Landscape

for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan. 2. Plants shall be equal to well formed No. 1 grade or better, symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong, straight, distinct leader where this is characteristic of the species. Plants Architect will be the final arbiter of acceptability of plant form, either before or after lanting and shall be removed at the expense of the Landscape Contractor

3. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs,

5. Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other

range is stated, at least 50% of the material shall be closer in size to the top of

grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting

to Agriform 20-10-5 planting tablets as manufactured by Sierra Chemical Co.,

- 5. Coyote Mist: 2"-4", JPR Gravel, Albuquerque, NM. Submit sample for approval. 505-877-4913, jprgravelnm.com 6. Moss Boulders: Hand selected by Landscape Architect, sizes averaging 4' long
- x 3' wide x 2' high. JPR Gravel, Albuquerque, NM. Submit pictures for approval. JPR Gravel, Albuquerque, NM.

Part Two: Section One - General The contractor is to render the following Lanscape Maintenance Services during the term of the initial construction contract. In addition, the Contractor is to indicate a price for a one year extended maintenance contract to begin after the construction project is complete and accepted. This price is to be submitted on a separate line item. A. Scope: 1. Work included in Base Bid. Perform all work necessary utilizing acceptable horticultural practices fro the exterior landscape maintenance of the project as required herein. Such work includes, but is not limited to the following: a. Monitoring adjustment and minor repair of the landscape irrigation system. Protection of vacuum breakers against freeze damage. c. Mowing, edging and trimming of trees and shrubs d. Pruning and trimming of trees and shrubs. Resaking and adjustment of stakes and guying if required. Approval, by Owner, of material substitutions prior to use. Application of fertilizers, insecticides and herbicides Replacement of plant material (extra service) General site clean up and removal of trash and product of maintenance. B. Extra Services: The intent of the contract is to provide a comprehensive maintenance program to include all required services, except thise services specifically excluded, to perform the work for the state time period. 1. All services not included in the base bid shall be considered "extra services" and will be charged for separately according to the nature of the item of work. The written consent and authorization of the Owner of their authorized representative must be obtained prior to the performance or installation of such "extra services" items and prior to purchase of any chargeable materials. 2. Such work may include replacement of dead plant material or major repairs of irrigation system created by acts of vandalism or other contracts or other site related work. 3. Authorized extra services work must be summarized weekly and submitted with receipts to the Owner. 4. The Owner is not bound by the specifications or contract to utilize the landscape maintenance contractor in the performance of "extra service work.' 5. The landscape maintenance contractor shall coodinate his activities with other contractors on the site so as to not hinder the performance of any work. 6. Authorized charges for extra work will be paid monthly. C. Substitutions: 1. Specific reference to manufacturer's names and products specified in the Section are used as standards, but this implies the right to substitute other material or methods without written approval of the Owner. Such permission must be secured without additional cost to Owner. 2. Installation of any approved substitutions Contractor's responsibility. Any changes required for insatllation of any approved substitution must be made to the satisfaction of any without additional cost to Owner. D. Schedule: 1. All work under this Contractor shall be performed in accordance with the Schedule submitted by landscape maintenance Contractor and approved by Owner and/or his representative. E. Contractor's Performance: 1. The Contractor's workmen shall be neat in appearnace, perform their work in a professional manner, keep noise to a minimum and stage their work from a location on the site out of the way of the mainstream of the uses. In general, the Contractor's presence on the site shall be as inconspicuous as possible. 2. The intent and spirit of this project manual is to provide a guideline for the contractor to follow in order to provide ownerwith landscape maintenance services of the highest quality. Where the manual refers to "as-needed" or "asrequired" the intent if for the contractor to perform the services necessary to maintain the property at the highest possible quality level. Nothing contained within this project manual shall be interpreted as relieving the contractor or his responsibility to perform with wrok in a professional manner and to the complete satisfaction of the Owner. 3. If disputes arise as to the quality of the services performed the Owner or Owner's disignated representative shall make the final determination of responsibilities. F. Neglect and Vandalism: 1. Turf, trees or plants that are damaged or killed due to Contractor's operations, negligence or chemicals shall be replaced at no expense to the Owner. If plant damage or death is caused by conditions beyond the Contractor's control, replacement shall be at the Owner's expense. 2. Sprinklers or structures that are damaged due to the Contractor's operations must be replaced by the Contractor promptly. Likewise, damage to the irrigation system by others shall be corrected immediately by the Contractor, at the Owner's expense. 3. All water damage, either natural or man-made, resulting from Contractor's neglect shall be corrected at the Contractor's expense. 4. All damage to or thefts of landscaping and irrigation installations not caused or allowed by the Contractor shall be corrected by the Contractor at the Owner's expense upon receipt of written authorization to proceed. G. Job Conditions: 1. Contractor shall acquaint himself with all site conditions. Should excavation be required, the Contractor shall promptly notify the utility coordination committee for utility locations. Failure to do so will make Contractor liable for any and all damage thereto arising from his operations. 2. Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, this Contractor shall repair damage to its original condition or furnish and install equal replacement at this expense. H. Emergencies:

1. The Contractor shall answer emergency or complaint calls within twelve (12)

2. The Contractor shall answer emergency calls regarding the landscape irrigation

Such work, unless caused due to neglect on the part of the Landscape

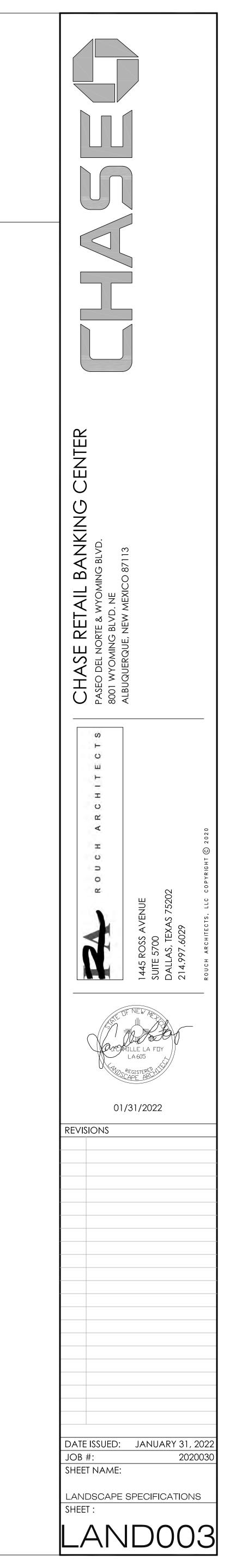
system failure or need of repair, and take corrective action within eight (8) hours.

hours and corrective action shall be complete within 24 hours.

Section Three – Execution A. Condition of Surfaces:

- 1. New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade. 2. Examine subgrade upon which work is to be performed. Notify the Landscape Architect of unsatisfactory conditions.
- B. Tree Planting:
- 1. Stake tree locations for Landscape Architect's approval prior to digging. 2. PLant ornamental trees in pits 12-inches larger than root ball. Plant shade trees
- in pits two feet greater in diameter than root ball and equal to depth of root ball. 3. After excavation of tree pits, review water percolation with Landscape Architect. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint PVC stand pipe and cover dark green. After tree is installed, pump water out on
- a daily basis. 4. In the event rock or undergrund consruction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations
- cannot be changed the obstructions shall be removed to a depth of not less than six (6) inches below bottom of ball when plant is properly set at the required arade. The work of this section shall include the removal of the site of such rock or underground obsructions encountered at the cost of the Landscape Contractor
- 5. Prepare soil for planting by thoroughly mixing two parts sandy loam and one part peat moss or other approved organic matter. If planting soil does not fall within the pH range of 5.5 to 7.0 add limestone or aluminum sulphate to bring soil into the specified pH range.
- 6. Backfill tree pits with a mixture of 1/2 prepared soil and 1/2 existing site soil. Lightly tamp every 6-inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. PLace fertilizer lanting tablets per manufacturers recommendations. Complete backfilling and form a saucer around the tree. Fill saucer with water and leave to soak in. Fill saucer wit water. 7. Completely fill each tree sauce with mulch to a depth of two inches.
- 8. Contractor shall keep trees plumb until established. Guying and/or staking to maintain that plumb condition shall be at the Contractor's discretion. However, if trees are not plumb, the Contractor will be required to quy and/or stake those trees in a method acceptable to the Landscape Architect at no additional cost to
- the Owner. 9. Pruning: Prune trees to preserve the natural character of the plant in a manner appropriate to its particular requirements in the landscape design as directed by the Landscape Architect. In general, remove at lease one-third of wood by thinning and pruning. DO NOT cut back termnal branches. Thin native grown plants heavier than nursery grown plants. Remove sucker growth and broken or badly bruised branches.
- 10. After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep. C. Shrub Planting:
- 1. Layout planting beds for Landscape Architect's approval prior to digging. 2. All shrubs to be pocket planted. Excavate planting hole 1-1/2 times the width and height of the root ball. Backfill with 1/3 compost, 1/3 native soil and 1/3sandv lõam. 3. Place plants in position on bed areas before cans have been removed. Obtain
- approval from Landscape Architect. do not remove burlap from B&B plants. Landscape Architect reserves right to interchange or shift plant prior to plant. 4. Plant where located, setting plants with tops of balls even with tops of beds, and
- compact soil carefully around each plant ball. Water each plant thoroughly with hoses to eleminate air pockets. 6. Carefully prune plants to remove dead or broken branches and hand rake bed
- areas to smooth even surfaces. 7. After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep. D. Groundcover Planting:
- 1. Lay out planting beds for the Landscape Architect's approval prior to digging. 2. Till 2 inches minimum of thoroughly mixed prepared soil in all planting bed areas as follows.
- a. 1 part sandy loam 1 part approved organic matter
- 1 part sharp sand Add 4 pounds commercial fertilizer per 100 SF of bed area and mix thoroughly.
- b. 2 inches of specified "Complete Mix," from Living Earth Technology. 3. Place plants in position on bed areas before cans have been removed. Obtain
- approval from Landscape Architect. Landscape Architect reserves right to interchange or shift plants prior to planting.
- 4. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball. Water each plant thoroughly with hoses to eliminate air pockets.
- 6. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces.
- 7. After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep.





LANDSCAPE PLANTING NOTES:

I. All proposed landscaping to be installed as per local city ordinances and codes.

2.	Contractor shall be responsible for becoming aware of related existing conditions, utilities, pipes, and structures, etc. prior to building and construction. The contractor shall be held responsible for contracting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The contractor shall notify the Owners's Representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/ structures/ etc.
3,	The contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
4.	Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and replaced operations.
5.	The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings.
6.	Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, curb, and related structures. Any damage to existing improvements is the responsibility of the Contractor.
7.	Contractor shall notify Owner's Representative 5 business days prior to commencement of work to coordinate project inspection schedules.
8.	The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
9.	lf conflicts arise between size of areas an plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
0,	Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/ common names, sizes, estimated quantities ( if given) and other remarks.
.	Where provided, area takeoffs and plant quantities estimates in the plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of an discrepancies, plans take precedence over call-outs and/ or the plant list(s).

## PLANTING, GRADING & PREPARATION NOTES:

Ι.	Contractor shall be responsible for finished grading of the project. The Contractor shall fine grade, rake and be responsible for positive drainage away from all structures and throughout the site, with accurately set lines. No low spots or ponding of surface water will be accepted in the final work. No rocks or debris will be accepted. Final grade tolerances are $+/-$ O,I foot maximum.
2.	Prior to preparing Turf Sod, Turf Seed and Plant Bed areas, eradicate all weeds, briars and vines with post-emergent herbicide such as "Round-Up" applied by licensed personnel following manufacturers recommendations and taking all precautions. After weed eradication and removal and the specified waiting period, apply 10 lbs. of MicroLife Hummates Plus per 1,000 sq. ft. to restore soil health.
3.	All topsoil areas shall be raked smooth, removing and disposing of stones over 1" diameter and fine graded to feather into natural grade.
4.	The Contractor shall excavate Plant Beds as required to accommodate a full 6" of prepared soil and 2" organic hardwood mulch layer. Prepared planting soil shall consist of 4" imported "chocolate" loam topsoil and 2" specified "Living Earth Specialty Planting Mix" tilled to a depth of 8". This mix shall also be used to backfill planting pits of all pit-planted shrubs and trees. In Bid Proposal, furnish a unit price per cubic yard of Prepared Soil placed. This unit price will be used in the adjustment of bed areas. Exception is the planting area to the south for the Purple Wintercreeper. Refer to drawing.

12. It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to the Owner's approval prior to installation.

13. Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Plant Material List in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".

14. The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates, and species of existing condition, or as specified.

15. All plants shall be nursery grown. Grade I plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60, 1-200"1) . Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until final inspection and final acceptance. Plants shall be installed to present their best side facing the viewer.

16. Required landscape areas shall be maintained free of debris and litter. Required landscape material that dies shall be replaced at the minimum standard required by the citu.

17. Warranty: Provide a one-year replacement warranty for all plant materials. Warranty , shall cover plants which have died or partially died (thereby ruining their natural shape) but shall not include damage by hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

## PLANTING LAYOUT & INSTALLATION NOTES:

- prices
- Contractor's liability to relocate the materials.
- Bed edges where edging is not specified shall have a "spade edge".
- acceptance by the Owner's Representative.
- 5. Unless otherwise indicated:
- spaced (equal-equal)
- details, notes and specifications.
- and healthy turf. Minimum thatch thickness shall be  $\frac{3}{4}$  .
- price(s) will be used in the adjustment of bed areas.
- 7. Plants shall be installed to present their best side facing the viewer.
- 8. Minimum 3' clear space around all fire hydrants.
- aisles
- 10. Owner's Representative shall have final approval of plant material layout.

The Contractor shall be responsible tor accurately laying out the planting beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/ stakes/ hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Owner's Representative in the field. Changes affecting quantities will be covered by unit

Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout. If conflicts arise between landscape planting and landscape irrigation plans, Contractor is required to contact the Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in

3. Install edging following manufacturer's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 2" above soil level of adjacent turf. In Bid Proposal, furnish a unit price per linear foot of edging installed.

4. Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equaling in rows as shown on drawings. Adjust spacing ( to "equal") as necessary, subject to

a. All groupings of groundcover, perennials, ornamental grasses, and annuals shall be triangularly

b. All planting areas including sod, seed and planting beds, shall receive soil amendments per the

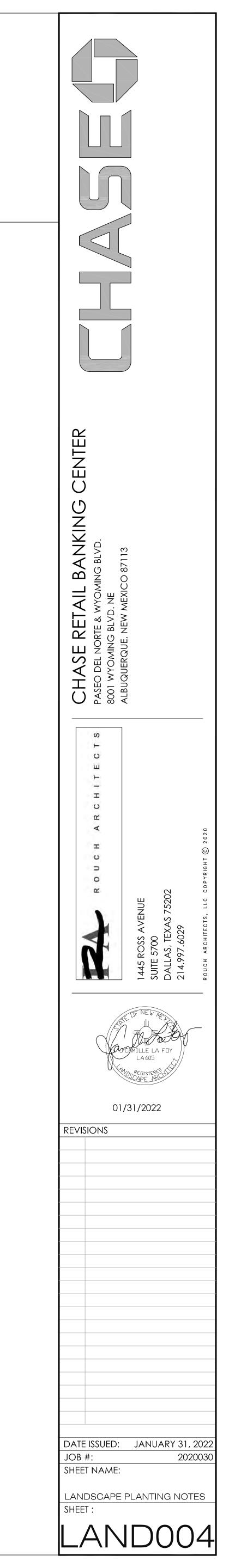
c. Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted

d. Specific plant bed areas may be called out to receive weed barrier fabric, see plans and details.

6. All plant beds and pit planted plants shall receive a layer of hardwood mulch as specified on the plans. Reference plans, planting and soil details and specifications for location and type of mulch used. In Bid Proposal, furnish a unit price(s) per cubic yard of mulch(es) placed. This unit

9. Landscaping will be placed so as not to obstruct vehicular views of streets, drives or parking





## CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director

Mayor Timothy M. Keller

September 15, 2021

Carlos Iglesias Cumulus Design 2080 N. Highway 360, Ste. 240 Grand Pairie, TX 75050

Re: Chase Bank (Wyoming Blvd) ATM 8001 Wyoming Blvd NE Traffic Circulation Layout Engineer's Stamp 09-09-2021 (C19-D007A)

Dear Mr. Carlos Iglesias,

The TCL submittal received 09-09-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293 When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103 Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

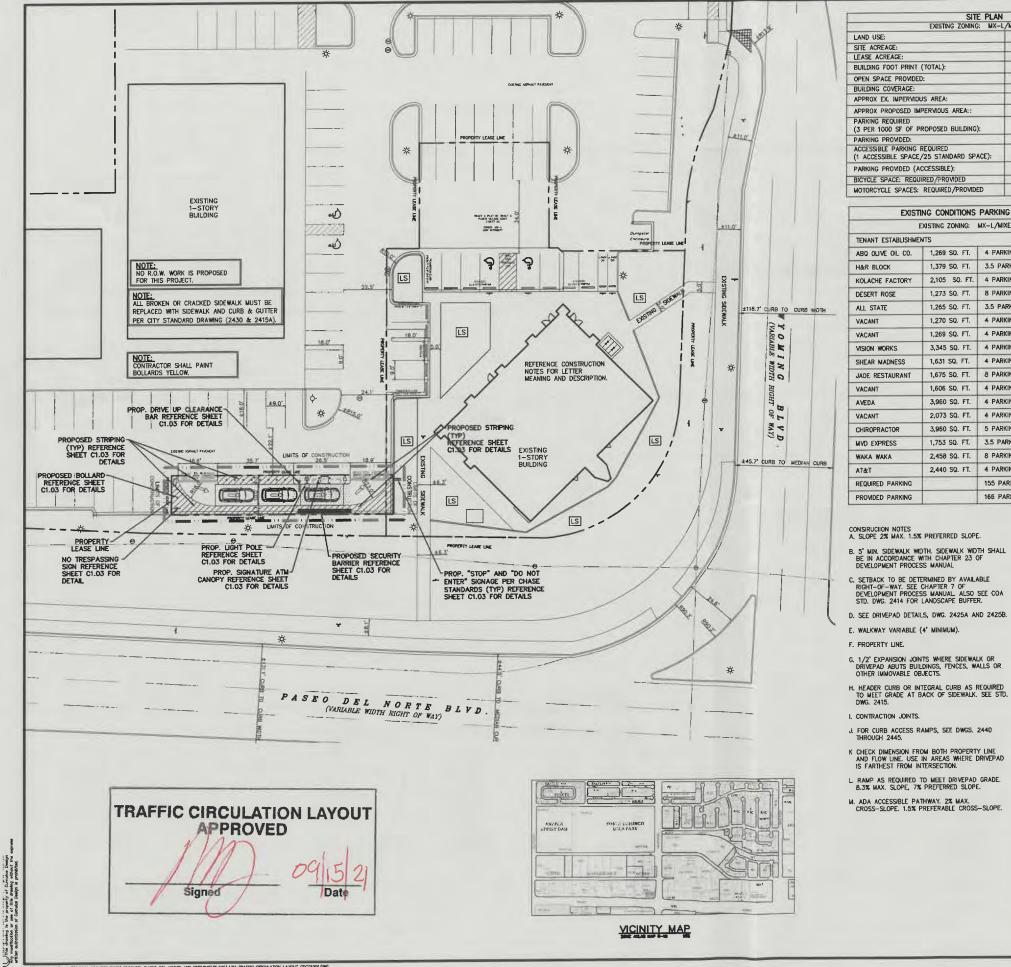
www.cabq.gov

Nilo Salgado-Fernandez, P.E.

Sincerel

Nilo Salgado-Fernandez, P.E. Senior Traffic Engineer, Planning Dept. Development Review Services

C: CO Clerk, File



ASERVER-PC/SERVER/2021 CDC PROJECTS/COC21001 PASED DEL MORTE AND WYOMING/PLANS/ATM TRAFFIC CIRCULATION LAYOUT COC21001.DWG

	211	E PLAN				
	EXISTING ZONING	; MX-L	/MIXED USE FINANCIAL INSTITUTION			
USE:	_					
ACREAGE:			3.09 ACRES (134,600 SF) 0.044 ACRES (1,919 SF)	_	-	
NG FOOT PRINT	(TOTAL):		±4,953 SQUARE FEET			
SPACE PROVIDED	):		±36 SQUARE FEET (1.9%)			
NG COVERAGE:			4,953 SQUARE FEET			
X EX. IMPERVIOL		_	±1,919 SQUARE FEET (100.0%			
X PROPOSED IM	PERMOUS AREA::		±1,883 SQUARE FEET (98.1%)			
1000 SF OF P	ROPOSED BUILDING	):	15 SPACES			
IG PROVIDED: SIBLE PARKING I		-	20 SPACES	-		
	25 STANDARD SP	ACE):	1 SPACES			
IG PROVIDED (AI			2 SPACES			
E SPACE: REQU			3/4 SPACES	_		
CYCLE SPACES:	REQUIRED/PROVIDI	ED	1/2 SPACES			
EXIST	ING CONDITIONS	PARKIN	IG ANALYSIS			
E	XISTING ZONING:	MX-L/M	XED USE			
IT ESTABLISHME	NTS			TENAN	TENANT ES	
OLIVE OIL CO.	1,269 SQ. FT.	4 PAR	KING PER 1,000 SQ. FT. GFA	ABQ (	3V LIK	
BLOCK	1,379 SQ. FT.	3.5 P/	ARKING PER 1,000 SQ. FT. GFA	H&R E	BLOC	
THE FACTORY	2,105 SQ. FT.	4 PAR	KING PER 1,000 SQ. FT. GFA	KOLAC	THE F	
T ROSE	1,273 SQ. FT.	8 PAR	KING PER 1,000 SQ. FT. GFA	DESER	T RC	
TATE	1,265 SQ. FT.	3.5 P/	ARKING PER 1,000 SQ. FT. GFA	ALL S	TATE	
T	1,270 SQ. FT.	4 PAR	KING PER 1,000 SQ. FT. GFA	VACAN	4T	
T	1,269 SQ. FT.	4 PAR	KING PER 1,000 SQ. FT. GFA	VACAN	T	
WORKS	3,345 SQ. FT.	4 PAR	KING PER 1,000 SQ. FT. GFA	VISION	I WOI	
MADNESS	1,631 SQ. FT.	4 PAR	KING PER 1,000 SQ. FT. GFA	SHEAR	R MA	
RESTAURANT	1,675 SQ. FT.	8 PAR	KING PER 1,000 SQ. FT. GFA	JADE	REST	
NT 1,606 SD. FT. 4 PARK			KING PER 1,000 SQ. FT. GFA	VACAN	T	
4	3,960 SQ. FT.	KING PER 1,000 SQ. FT. GFA	AVEDA	1		
т	2,073 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA				T	
PRACTOR	RACTOR 3,960 SQ. FT. 5 PARKING PER 1,000 SQ. FT. GF			CHIRO	PRAC	
XPRESS	1,753 SQ. FT.	3.5 P/	ARKING PER 1,000 SQ. FT. GFA	MVD E	XPR	
WAKA 2,458 SQ. FT. 8			KING PER 1,000 SQ. FT. GFA	CHASE	BA	
	2,440 SQ. FT.	4 PAR	KING PER 1,000 SQ. FT. GFA	REQUI	RED	
RED PARKING		155 P/	ARKING SPACES	PROVI	DED	
DED PARKING		166 P/	ARKING SPACES			

SITE PLAN

CONSIRUCIION NOTES A, SLOPE 2% MAX. 1.5% PREFERRED SLOPE.

B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL

GENERAL NOTES 1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.

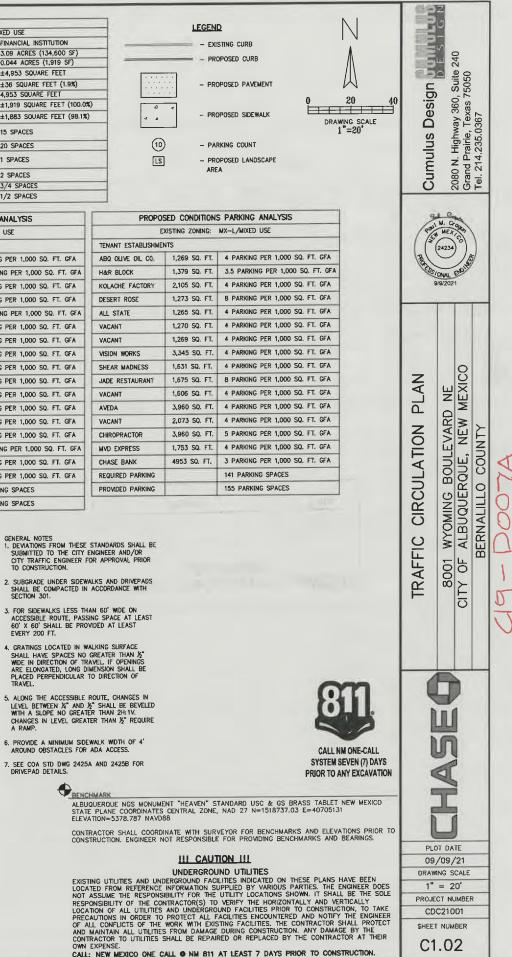
BENCHMARK

3. FOR SIDEWALKS LESS THAN 60' WDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60' X 60' SHALL BE PROVIDED AT LEAST EVERY 200 FT.

C. SETBACK TO BE DETERMINED BY AVALABLE RICHT-DF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.

D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.

E. WALKWAY VARIABLE (4' MINIMUM).



CALL: NEW MEXICO ONE CALL O NM B11 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

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