



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: JP Morgan Chase c/o Brad Gubser P.E.		Phone: 812-205-3148
Address: 7301 North Federal Boulevard		Email: brad.gubser@cbre.com
City: Westminster	State: CO	Zip: 80030
Professional/Agent (if any): Garcia/Kraemer & Associates- Jonathan Turner		Phone: 505-440-1524
Address: 600 1st St NW- Suite 211		Email: jct473@gmail.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Developer		List all owners: Peggy Daskalos

### BRIEF DESCRIPTION OF REQUEST

A minor amendment to allow a drive-up ATM machine

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A	Block: 0000	Unit: -
Subdivision/Addition: PASEO VILLAGE	MRGCD Map No.:	UPC Code: 101906424302930118
Zone Atlas Page(s): C-19	Existing Zoning: MX-L	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: N/A	Total Area of Site (acres): 3.12 AC

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 8001 Wyoming Blvd NE	Between: Paseo Del Norte NE	and: Holly Ave NE
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-98-110 Note- staff unable to find official N.O.D., SI-2021-00827

Signature: Jonathan Turner	Date: 9/20/22
Printed Name: Jonathan Turner	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #



## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

### ☒ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

### ☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

### ☐ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ The approved Site Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☒ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**N/A** Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

### ☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
  - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

### ☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan



August 19, 2022

City of Albuquerque  
Planning Department  
Attn: Mr. James Aranda, Deputy Director  
600 2<sup>nd</sup> St NW- 3rd Floor  
Albuquerque, NM 87102

RE: 8001 Wyoming Blvd NE- Chase Bank Drive-thru ATM  
Albuquerque, NM 87113  
Building permit: BP-2022-05703

Dear Mr. Aranda:

As the Property Owner, I authorize Garcia/Kraemer & Associates to act as agent on matters pertaining to an application submittal to the City of Albuquerque Planning Department, Current Planning Section- for an Administrative Amendment to the approved Paseo Village Site Development Plan for Building Permit to allow for the addition of a drive-thru ATM machine for the existing Chase Bank development in the southeast corner of the shopping center.

Linda McCormick

Print Name

Linda McCormick

Signature

Real Estate Director

Title

Sept 8, 2022

Date







September 20, 2022

Mr. James Aranda, Deputy Director  
Planning Department  
600 2nd St NW- 3rd Floor  
Albuquerque, New Mexico 87102

RE: Minor Amendment- 8001 Wyoming Blvd NE  
Planning case file# Z-98-110 / Paseo Village SDP

Dear Mr. Aranda,

The applicant for the above-referenced property, JP Morgan Chase Bank, is requesting an administrative approval for a Minor Amendment to the approved Paseo Village Site Development Plan for Building permit. The intent of the applicant is to install a drive-up ATM machine next to the existing bank building in the southeast corner of the shopping center parking lot.

This application for amendment to the Site Development Plan is the applicant's response to Zoning's disapproval of the building permit for the ATM. The building permit disapproval requires an approved amendment to the existing Site Development Plan in order for approval of the permit.

The proposed changes are as follows:

The requested changes are to the area of the southeast corner of the parking lot and are circled in red and noted on the originally approved Paseo Village shopping center Site Development Plan. We believe that the proposed changes to the parking lot are in harmony and consistent with the originally approved Site Development Plan for Building Permit requirements, and the proposed use is allowed as Permissive Accessory in the underlying MX-L zone district, per Table 4-2-1 and §14-16-4-3(F)(4) of the IDO. Also for your review, attached to this application are the following documents: the City approved Traffic Circulation Layout, a compliant parking analysis table w/ required parking counts existing/proposed, the architectural elevations which show the proposed ATM machine with canopy and related traffic safety signs, and a Landscaping Plan that demonstrates compliance with the required 6 ft. wide landscaping buffer area between the drive-through and the adjacent Paseo Del Norte right of way.



## **Criteria for Approval**

Pursuant to Integrated Development Ordinance §14-16-6-4(Y)(2), below in italics is the applicant's response to the criteria for approval:

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

*As a permissive accessory use to an unknown user at the time of approval of the Paseo Village Site Development Plan (SDP) in 2000, the inclusion of a drive-up ATM machine on the original SDP for a future user could not have been reasonably known or foreseen by the developer at the time the City approved the Plan. As such, the unknown user's requirements for the ATM were not created by the owner of the property.*

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

*The proposed amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4. In fact, the proposed amendment is compliant with the dimensional standards of the SDP and the IDO, and does not seek to reduce or increase the standards of either.*

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.



*The proposed amendment does not include any decrease of the total amount of open space in the development. Furthermore, the development does not abut a lot containing a residential use.*

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

*This criterion is not applicable because the amendment is not requesting a building nor is the development adjacent to residential uses.*

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

*This criterion is not applicable because the proposed amendment does not include residential uses.*

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

*This criterion is not applicable because the requested amendment does not propose any adjustments to a building design standard.*

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO



determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

*The requested amendment does not propose any reductions in the amount of total landscaping installed on the property. In fact, the amount of total landscaping installed on the property will be increased with the installation of the required 6ft. wide landscape buffer area as shown on the landscaping plan.*

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

*This criterion is not applicable because the traffic access to the subject property is from Holly Ave NE, which is designated as a major collector street on the MRCOG Long Range Roadway System and map. The proposed amendment does will not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties, as evidenced by the amended plans that have been submitted with this application.*

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

*This request for amendment does not require major public infrastructure, and the proposed changes to the southeast corner of the existing parking area for the drive-up ATM maintain the City prescribed aisle widths and curb radii, and the design is consistent with the original circulation patterns established by the Paseo Village SDP. Although existing excess parking spaces are*



*proposed to be used for the drive-through area, circulation patterns on the subject property will remain essentially the same. The only change will be that instead of parking a vehicle in the subject area, a vehicle will be able to use the former parking area to access the ATM machine. The circulation and flow of vehicles in the shopping center will not be hindered or impeded. Additionally, the access patterns on the subject property are to remain unchanged with this amendment.*

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

*This amendment does not propose to change a specific condition; therefore, this criterion does not apply.*

11. The amendment does not affect a property in an Overlay zone as regulated pursuant to O, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

*The proposed amendment does not affect a property in an Overlay zone as regulated pursuant to O; therefore, this criterion does not apply.*

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

*The proposed amendment is for a land use that is allowed as a Permissive Accessory use pursuant to §14-16-4-3(F)(4) and Table 4-2-1 of the IDO; therefore, this criterion is satisfied.*



13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

*This criterion does not apply since there is not a nonconformity nor the expansion of a nonconformity with this request.*

### **Conclusion**

In summary, we believe that the proposed amendment involves minor changes to the approved plan and does not negatively impact grading and drainage, required parking, or traffic circulation; as shown on the submitted plans. It is believed that the changes proposed meet the spirit and the intent of the regulations of the IDO and the technical standards of the DPM. For these reasons and for those stated above, we respectfully request approval of the Minor Amendment to allow the addition of a drive-up ATM machine and related improvements as submitted.

Approval of this request will allow the applicant to make reasonable changes to the southeast corner of the existing shopping center parking area for the proposed use while meeting compliance with the current regulations of the DPM for transportation design, and the IDO requirements for buffering, vehicle stacking, and drive-thru area design.

Please feel free to contact me should you require any additional information or if you have any questions.

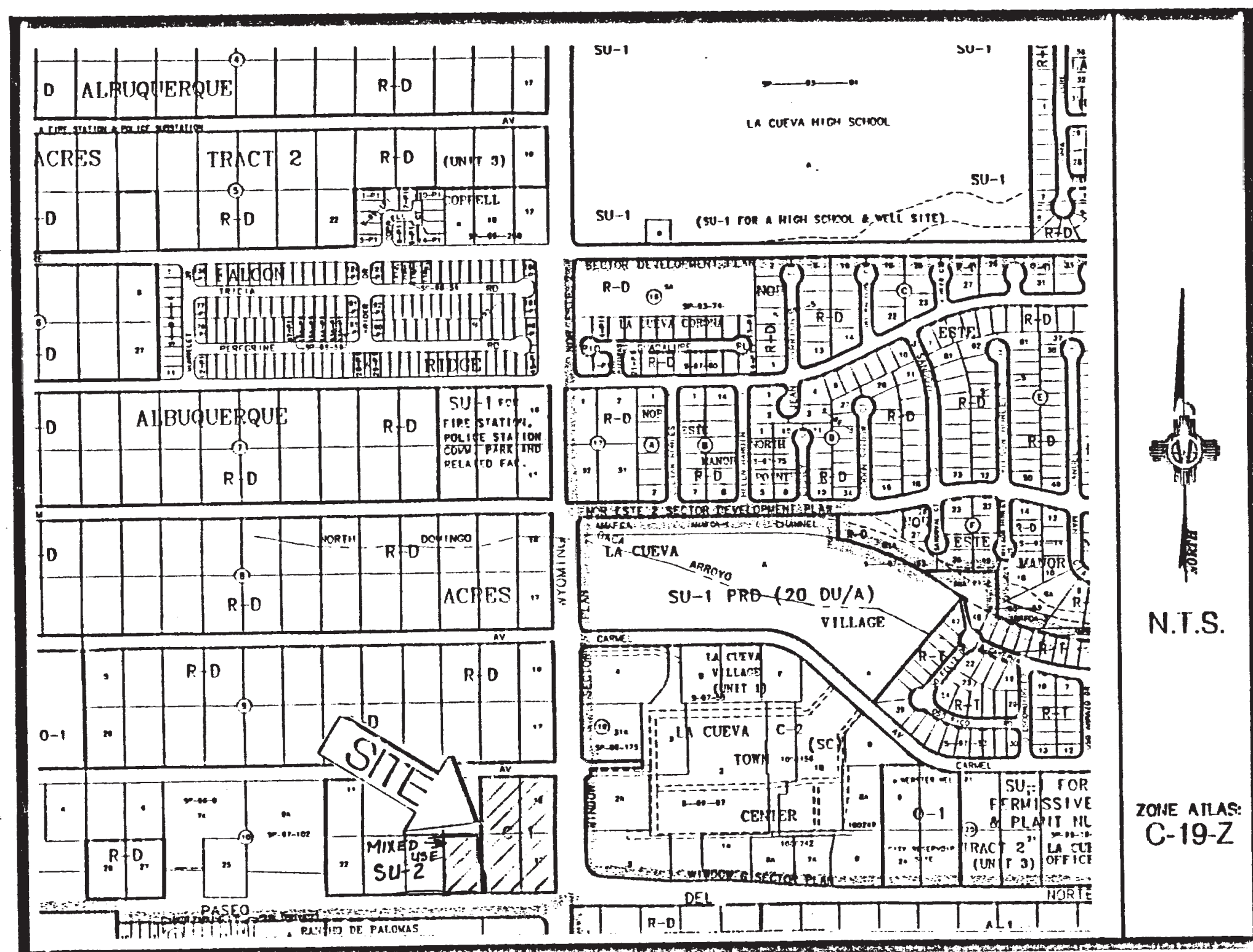
Thank you in advance for your review and consideration.

Sincerely,



Jonathan Turner





Vicinity Map

## SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS HEAVEN AND 2-D20-A, SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THAT STIPULATED JUDGMENT FOR CONDEMNATION, NO. CV-97-03986 FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 9, 1999 IN BK. 9918, PG. 1887.
6. GROSS ACREAGE: 3.2266 ACRES  
NET ACREAGE: 3.0877 ACRES
7. NUMBER OF EXISTING LOTS: 5
8. NUMBER OF TRACTS CREATED: 1

## LEGAL DESCRIPTION

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18) AND NINETEEN (19) IN BLOCK NUMBERED TEN (10), TRACT NUMBERED TWO (2), UNIT NUMBERED THREE (3), NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, IN VOLUME D1, FOLIO 20, LESS AND EXCEPTING THAT PORTION OF SUBJECT PROPERTY TAKEN AS ADDITIONAL PUBLIC STREET RIGHT-OF-WAY BY STIPULATED JUDGMENT FOR CONDEMNATION NO. CV-97-03986, FILED DECEMBER 9, 1999 IN BK. 9918, PG. 1887, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT, A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PASEO DEL NORTE N.E., WHENCE A.C.S. CONTROL STATION "HEAVEN" BEARS S 03°14'52" W, 172.82 FEET DISTANT; THENCE, FROM SAID POINT OF BEGINNING, N 00°10'28" E, 157.73 FEET TO AN ANGLE POINT; THENCE, S 89°43'28" E, 164.98 FEET TO AN ANGLE POINT; THENCE, N 00°08'53" E, 234.20 FEET TO THE NORTHWEST CORNER, A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HOLLY AVENUE N.E., BEING THE NORTHWEST CORNER OF SAID LOT NUMBERED FIFTEEN (15); THENCE, S 89°39'23" E, 273.51 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 89°53'12", HAVING A RADIUS OF 25.13 FEET AND AN ARC LENGTH OF 39.42 FEET (CHORD = S 44°42'47" E, 35.50 FEET) TO A POINT OF TANGENCY; BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF WYOMING BOULEVARD N.E.; THENCE, S 00°04'16" E, 135.13 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT OF CURVATURE; THENCE, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 21°28'23", HAVING A RADIUS OF 113.00 FEET AND AN ARC LENGTH OF 42.35 FEET (CHORD = S 10°39'56" W, 42.10 FEET) TO A POINT OF REVERSE CURVATURE; THENCE, CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY ALONG A CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 19°55'37", HAVING A RADIUS OF 150.00 FEET AND AN ARC LENGTH OF 52.17 FEET (CHORD = S 11°26'19" W, 51.91 FEET) TO A POINT OF TANGENCY; THENCE, CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY LINE, S 01°28'31" W, 79.93 FEET TO A POINT OF CURVATURE; THENCE, SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°11'09", HAVING A RADIUS OF 68.53 FEET AND AN ARC LENGTH OF 107.67 FEET (CHORD = S 46°29'05" W, 96.93 FEET) TO A POINT OF TANGENCY, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID PASEO DEL NORTE N.E.; THENCE, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE N 88°30'21" W, 374.41 FEET TO THE POINT OF BEGINNING, CONTAINING 3.2266 ACRES, MORE OR LESS.

## FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: Peggy Daskalos Lycou DATE: 11-21-00  
 OWNER(S) PRINT NAME: Peggy Daskalos Lycou  
 ADDRESS: 5321 Menard Blvd, NE  
 ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 ) SS  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF November, 2000.  
 BY: Peggy Daskalos Lycou Lycou (Daskalos)  
 MY COMMISSION EXPIRES: 10-07-04  
Cristina R. Hanes  
 NOTARY PUBLIC

PLAT OF  
TRACT A  
PASEO VILLAGE  
SITUATE WITHIN PROJECTED SECTION 18  
T. 11 N., R. 4 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER 2000  
SHEET 1 OF 2

## DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO COMBINE FIVE (5) EXISTING LOTS INTO ONE (1) NEW LOT, TO SHOW THAT RIGHT-OF-WAY TAKEN BY STIPULATED JUDGMENT FOR CONDEMNATION NO. CV-97-03986 AND TO DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY AS SHOWN HEREON.

00440-00000-01679  
 CITY APPROVALS: APPLICATION NO. & PROJECT NO.: 1000946

<u>[Signature]</u>	12/4/00
CITY SURVEYOR	DATE
<u>[Signature]</u>	12-20-00
TRAFFIC ENGINEERING	DATE
<u>Adrienne E. Candelaria</u>	12/29/00
PARKS RECREATION	DATE
<u>Roger A. Sheen</u>	12-20-00
UTILITY DEVELOPMENT DIVISION	DATE
N/A	
REAL PROPERTY DIVISION	DATE
<u>Martin W. Gherl</u>	1-3-01
A.M.A.F.C.A.	DATE
<u>[Signature]</u>	12/20/00
CITY ENGINEER	DATE
<u>[Signature]</u>	1/5/01
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE

## SURVEYOR'S CERTIFICATION

I, Thomas W. Patrick, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions February 2, 1994), and is true and correct to the best of my knowledge and belief.

Thomas W. Patrick  
 Thomas W. Patrick  
 New Mexico Professional Surveyor, 12651  
27 November 2000  
 Date



SOUTHWEST SURVEYING CO., INC.

333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO  
 87102

PHONE: (505) 998-0303  
 FAX: (505) 998-0306

T11N 4E SEC. 18

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#:

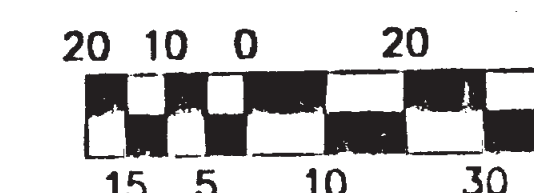
PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURERS OFFICE:

PROJECT NO. 0011PB07  
 DRAWN BY PGB



**PLAT OF  
TRACT A  
PASEO VILLAGE  
SITUATE WITHIN PROJECTED SECTION 18  
T. 11 N., R. 4 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER 2000  
SHEET 2 OF 2**



SCALE: 1" = 40'  
PROJECT NO. 0011PB07  
DRAWN BY PGB  
ZONE ATLAS: C-19-Z  
0011PB07.CR5



**MONUMENT LEGEND**

- - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "PATRICK PS 12651" UNLESS OTHERWISE NOTED

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	25.13'	39.42'	89°53'12"	25.08'	S44°42'47"E	35.50'
	(25.00')	(39.40')	(90°17'51")		(S44°35'14"E)	(35.45')
C2	113.00'	42.35'	21°28'23"	21.43'	S10°39'56"W	42.10'
	(142.00')	42.35'	(18°15'49")		(S10°09'31"W)	(45.07')
C3	150.00'	52.17'	19°55'37"	26.35'	S11°26'19"W	51.91'
	(158.00')	(48.73')	(17°40'09")		(S10°27'21"W)	(48.53')
C4	68.53'	107.67'	90°01'09"	68.55'	S46°29'05"W	96.93'
	(68.94')	(107.90')	(89°40'46")		(S46°42'28"W)	(97.22')
C5	25.00'	39.09'	89°35'07"	24.82'	N44°51'50"W	35.23'
C6	97.00'	36.35'	21°28'23"	18.39'	N10°39'56"E	36.14'
C7	166.00'	57.73'	19°55'37"	29.16'	S11°26'19"W	57.44'
C8	53.40'	83.90'	90°01'09"	53.42'	N46°29'05"E	75.53'

STATION HEAVEN  
X = 407,051.31  
Y = 1,518,737.03  
GROUND TO GRID = 0.99965263  
DELTA ALPHA = -00°10'45"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927

STATION 2-D20-A  
X = 410,218.35  
Y = 1,516,110.28  
GROUND TO GRID = 0.99964777  
DELTA ALPHA = -00°10'23"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1927

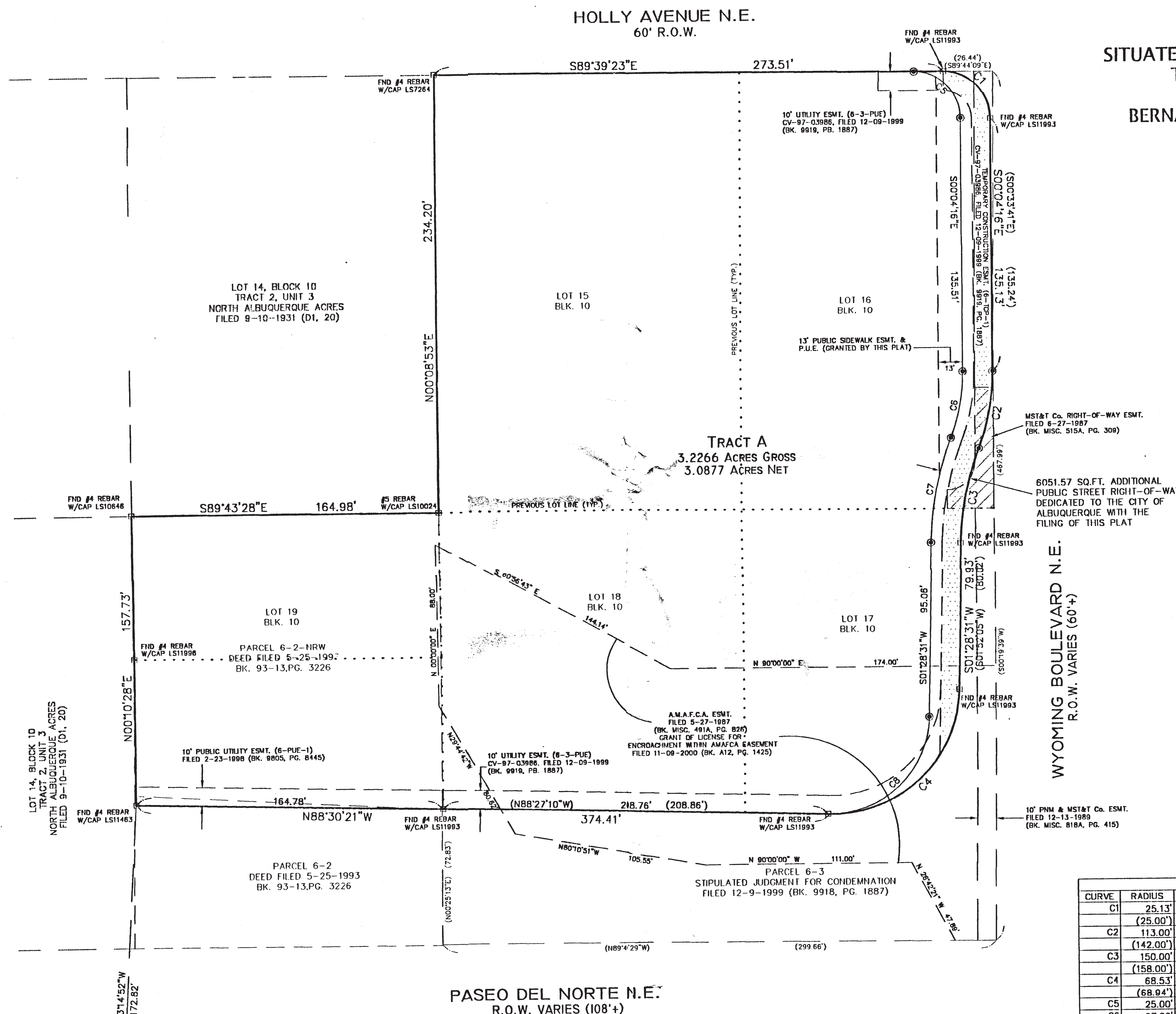


**SOUTHWEST SURVEYING CO., INC.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T11N R4E SEC. 18**







sheet of , sheets



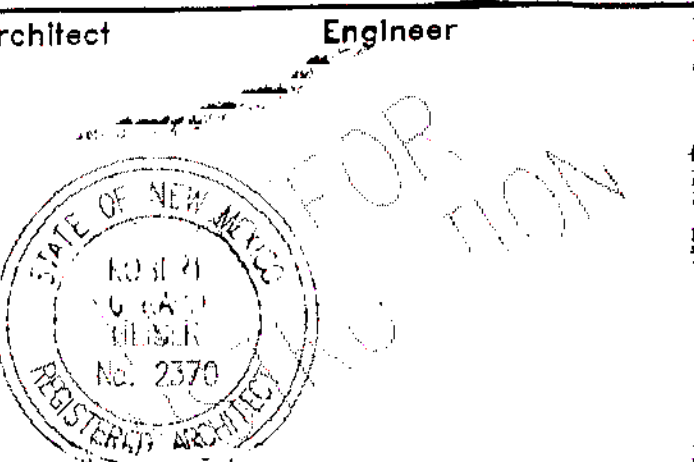


DESIGN COLLABORATIVE SOUTHWEST, INC.  
320 Central Ave., SW, Albuquerque, NM 87102  
505.843.9639 Fax: 505.843.9683  
Web Site: www.dcsouthwest.com  
E-Mail: dcsouthwest@earthlink.net

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#### CONSULTANTS

Architect: [Blank]  
Engineer: [Blank]



#### PASEO VILLAGE ALBUQUERQUE, NM

FOR  
PEGGY  
DASKALOS

BUILDING PERMIT SET  
NOVEMBER 2000

MARK	DATE	DESCRIPTION
ISSUE:	CONSTRUCTION DOCUMENTS	
PROJECT NO:	0009	
CAD DWG FILE:	LST.DWG	
DRAWN BY:	JLF	
CHECKED BY:	JD	
DATE:	11/17/2000	

#### SHEET TITLE

LANDSCAPE PLAN

L-101

sheet of sheets

#### PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H) 25  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
2" Cal.
- SYCAMORE (M) 17  
*Platanus* spp.  
2" Cal.
- FLOWERING PEAR (H) 6  
*Pyrus calleryana*  
2" Cal.
- AUSTRIAN PINE (H) 5  
*Pinus nigra*  
6"-8"
- WASHINGTON HAWTHORN (H) 6  
*Crataegus phaenopyrum*  
15 Gal.
- PALM YUCCA (L) 2
- RUSSIAN SAGE (M) 20  
*Perovskia atriplicifolia*  
5 Gal.
- APACHE PLUME (L) 53  
*Fallugia paradoxa*  
5 Gal.
- AUTUMN SAGE (M) 55  
*Salvia greggii*  
2 Gal.
- SILVERBERRY (M) 39  
*Elaeagnus pungens*  
5 Gal.
- THREE-LEAF SUMAC (L) 41  
*Rhus trilobata*  
5 Gal.
- MAIDENGRASS (M) 71  
*Miscanthus sinensis*  
5 Gal.
- WILDFLOWER 80  
1 Gal.
- TAM JUNIPER (M) 38  
*Juniperus scopulorum*  
5 Gal.
- OVERSIZED GRAVEL & BOULDERS 3
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- SOD
- COMMERCIAL GRADE STEEL EDGING



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9890  
Fax (505) 898-7737  
thilltoplandscaping.com

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#### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

#### IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

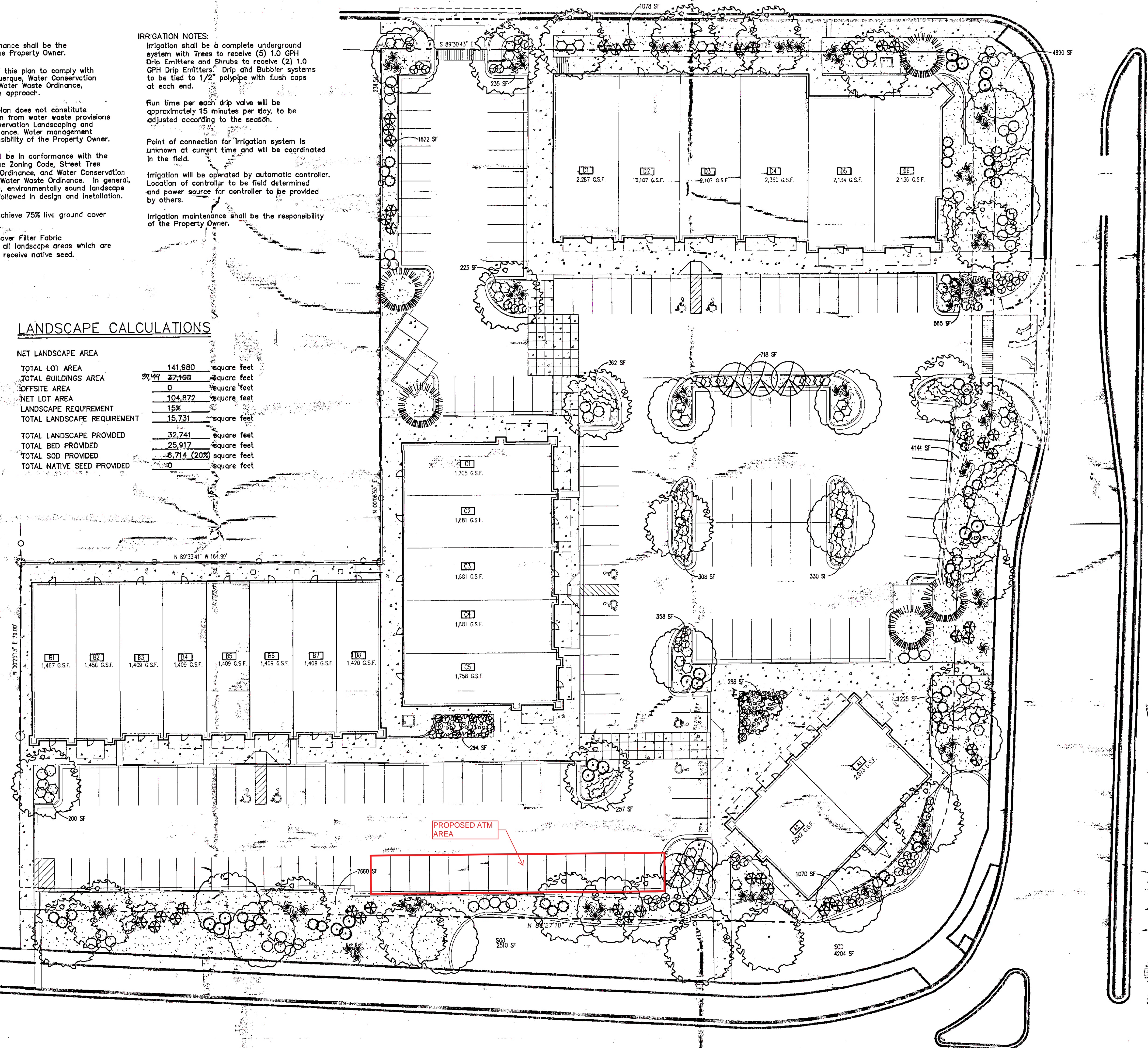
Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

#### LANDSCAPE CALCULATIONS

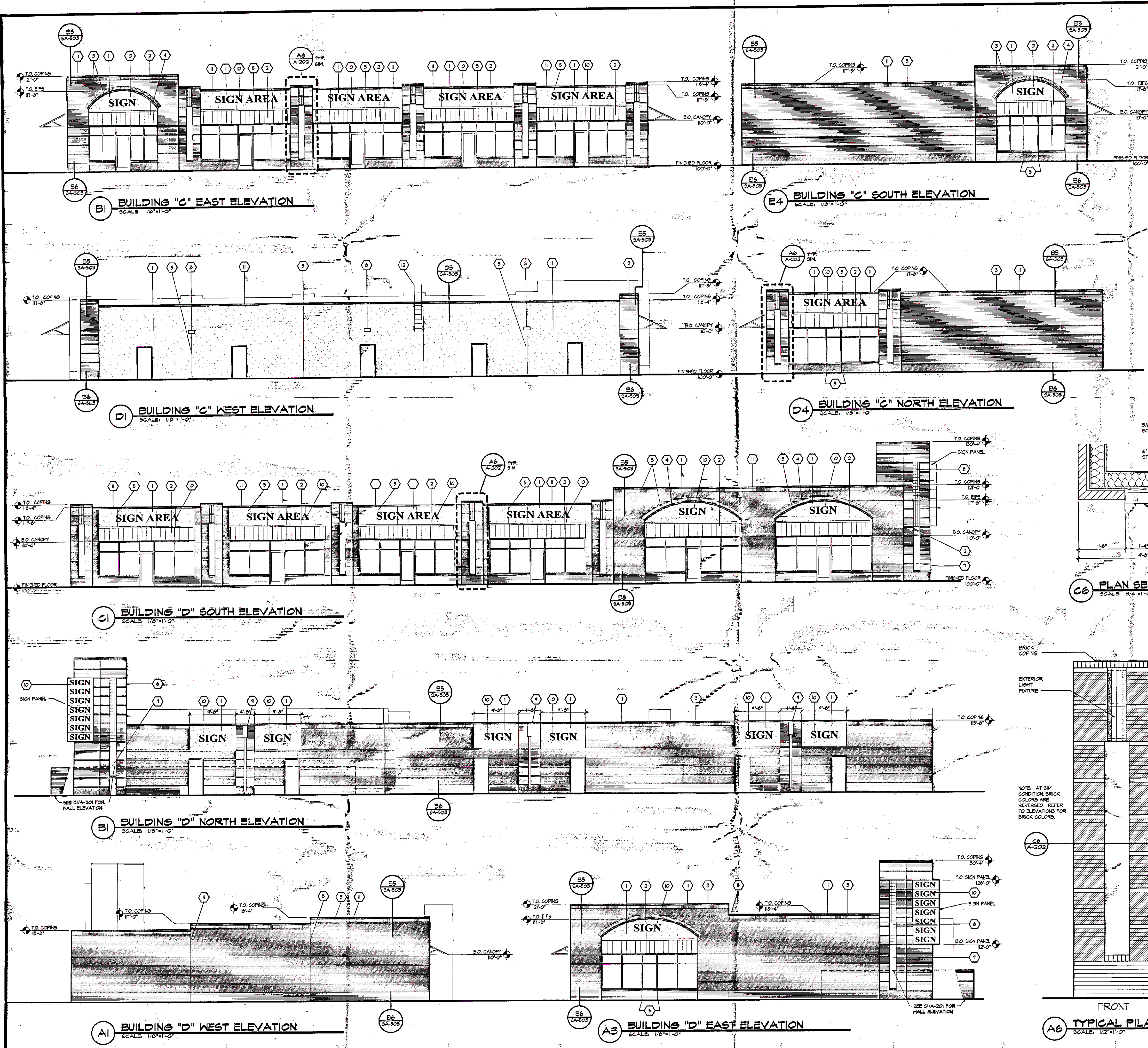
TOTAL LOT AREA	141,980	square feet
TOTAL BUILDINGS AREA	27,149	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	104,832	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15,725	square feet
TOTAL LANDSCAPE PROVIDED	32,741	square feet
TOTAL BED PROVIDED	25,917	square feet
TOTAL SOD PROVIDED	6,714 (20%)	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet



#### L1 LANDSCAPE PLAN

SCALE: 1"=20'-0"





# GENERAL NOTES

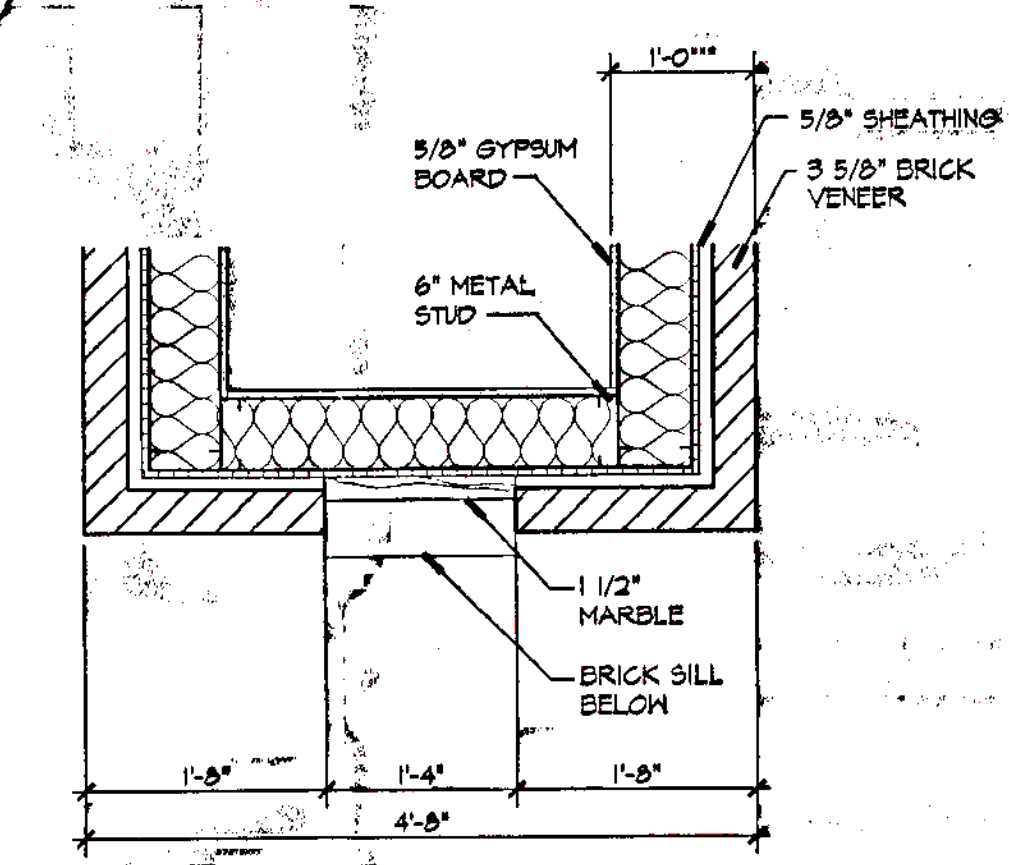
- A. PAINT ALL EXPOSED METAL LINTELS, TUBES AND SHAPES.
- B. COAT ALL BRICK AND CMU SURFACES WITH WATER REPELLENT.
- C. PROVIDE VERTICAL CONTROL JOINTS AT ALL INSIDE BUILDING CORNERS.
- D. PROVIDE BACKER ROD AND SEALANT UNDER ALL LINTELS AND SHELF ANGLES.
- E. PROVIDE BRICK COPING UNLESS NOTED OTHERWISE. AT WALLS WITH VENEER, PROVIDE METAL COPING ON TOP OF THE BRICK COPING.

# SHEET KEYNOTES

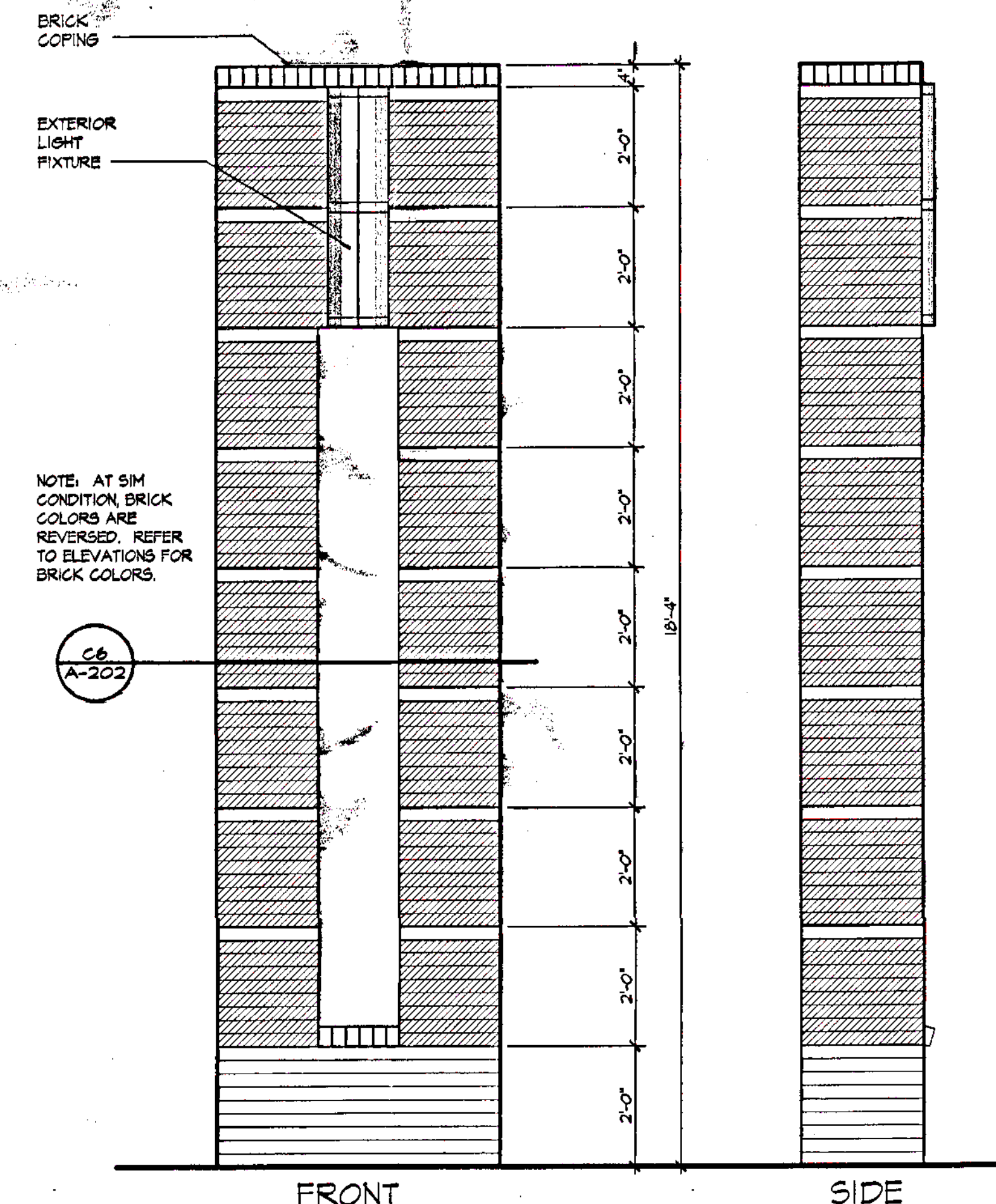
1. EIFS.
2. METAL CANOPY.
3. BRICK SOLDIER COURSE.
4. BRICK ROWLOCK.
5. VERTICAL CONTROL JOINT.
6. 6" GLASS BLOCK.
7. MARBLE.
8. HALL MOUNTED LIGHT.
9. LEADERHEAD AND 6" DIAMETER ROUND DOWNPOUT.
10. TYPICAL SIGN AREA, 2'-0" HIGH MAXIMUM LETTERS.
11. BRICK COPING.
12. ROOF ACCESS LADDER, REFER TO A4/A-504.

# BRICK LEGEND

- BRICK COLOR 1
- BRICK COLOR 2
- BRICK COLOR 3 AT COPINGS, ARCHES AND SILL, TYP.



C6 PLAN SECTION  
SCALE: 3/4"=1'-0"



A6 TYPICAL PILASTER  
SCALE: 1/2"=1'-0"



DESIGN COLLABORATIVE SOUTHWEST, INC.  
320 Central Ave., SW, Albuquerque, NM 87102  
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# CONSULTANTS

Architect	Engineer

PASEO VILLAGE  
ALBUQUERQUE, NM

FOR  
PEGGY  
DASKALOS - LYCOU

BUILDING PERMIT SET  
NOVEMBER 2000

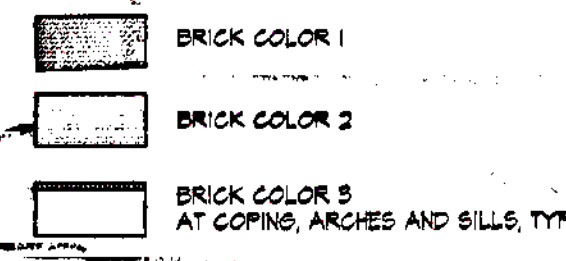
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CHECKED BY:	RB	
DATE:	11/17/2000	

SHEET TITLE  
EXTERIOR ELEVATIONS  
BUILDINGS C & D





- ## BRICK LEGEND



sheet of sheets



ASH (H) OR HONEY LOCUST (H) 22  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
 2" Cal.

15-3-01

# The Hilltop

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it@hilltoplandscaping.com

MARK	DATE	DESCRIPTION
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L-101

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Crusher Fines  
shall be placed in all landscape areas which are  
not designated to receive native seed.

## LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA

TOTAL LOT AREA	141,980	square feet
TOTAL BUILDINGS AREA	37,108	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	104,872	square feet
TOTAL LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15,731	square feet
TOTAL LANDSCAPE PROVIDED	31,901	square feet
TOTAL BED PROVIDED	25,387	square feet
TOTAL SOD PROVIDED	6,514 (20%)	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller.  
Location of controller to be field determined  
and power source for controller to be provided  
by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Site plan of the proposed 100-unit apartment building at 1000 E 73rd St. The plan shows the building footprint, parking spaces, and landscaping. The building is a long, rectangular structure with a central entrance. The parking spaces are located along the sides of the building. The landscaping includes trees and shrubs along the perimeter of the site. The plan is oriented with North at the top.

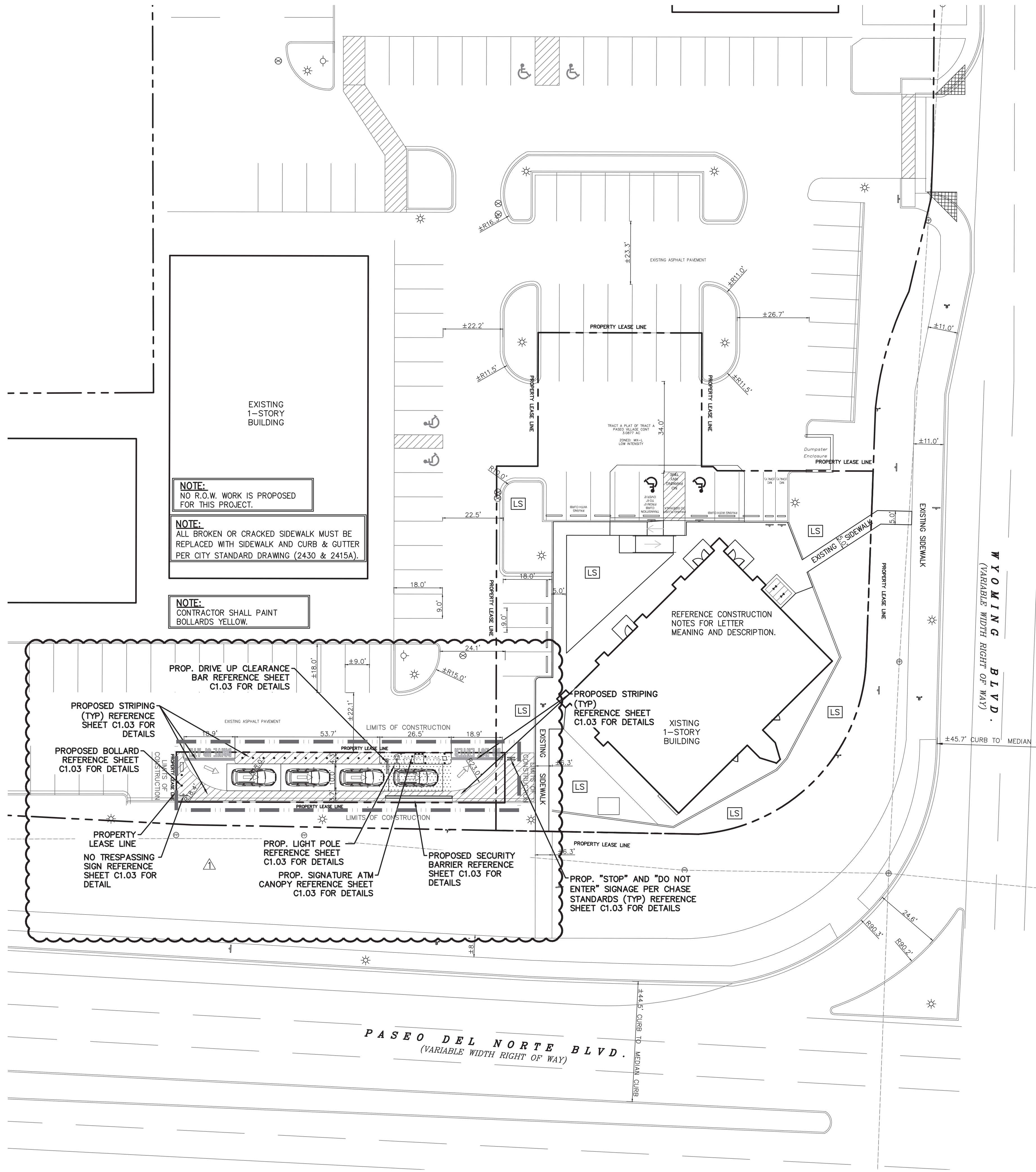
Key features and dimensions:

- Property dimensions: N 00723.15' E 73.00'
- Building dimensions: N 89°33'41" W 164.95'
- Parking spaces (along the side): 1,322 G.S.F., 1,322 G.S.F., 1,269 G.S.F., 1,269 G.S.F., 1,269 G.S.F., 1,269 G.S.F., 1,269 G.S.F., 1,280 G.S.F.
- Landscaping area: 7157 SF

PROPOSED ATM  
AREA

L1 LANDSCAPE PLAN  
SCALE: 1"=20'-0"





- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPOSED PAVEMENT
  - PROPOSED SIDEWALK
  - PARKING COUNT
  - PROPOSED LANDSCAPE AREA

- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
  - FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
  - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
  - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/2" AND 3/4" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 3/4" REQUIRE A RAMP.
  - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
  - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

- CONSTRUCTION NOTES**
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
  - 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
  - SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
  - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
  - WALKWAY VARIABLE (4" MINIMUM).
  - PROPERTY LINE.
  - 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
  - HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
  - CONTRACTION JOINTS.
  - FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
  - CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
  - RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
  - ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

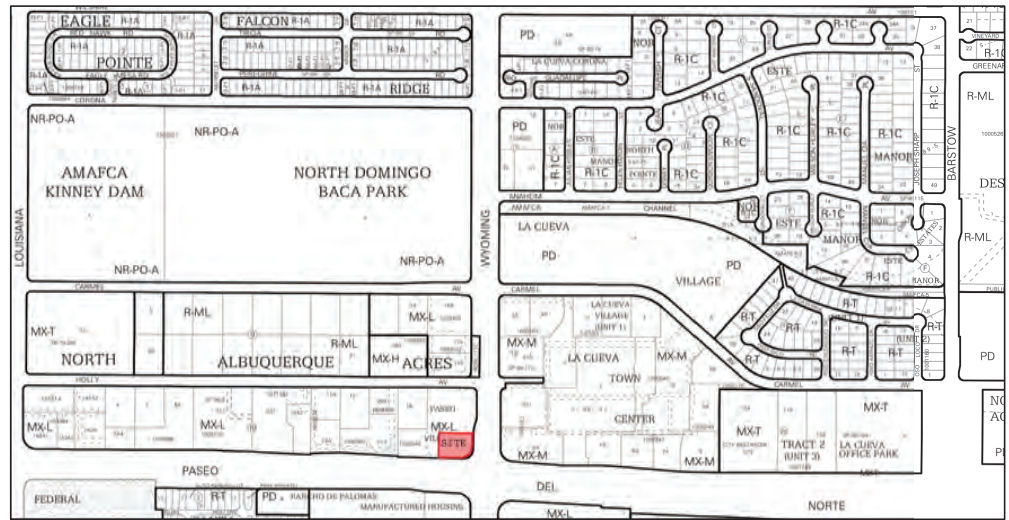
**NOTE:**  
NO R.O.W. WORK IS PROPOSED FOR THIS PROJECT.

**NOTE:**  
ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

**NOTE:**  
LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

**NOTE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE."

**NOTE:**  
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.



**VICINITY MAP**

EXISTING CONDITIONS PARKING ANALYSIS			
EXISTING ZONING: MX-L/MIXED USE			
TENANT ESTABLISHMENTS			
ABQ OLIVE OIL CO.	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
H&R BLOCK	1,379 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
KOLACHE FACTORY	2,105 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
DESERT ROSE	1,273 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA	
ALL STATE	1,265 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
VACANT	1,270 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
VACANT	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
VISION WORKS	3,345 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
SHEAR MADNESS	1,631 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
JADE RESTAURANT	1,675 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA	
VACANT	1,606 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
AVEDA	3,960 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
VACANT	2,073 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
CHIROPRACTOR	3,960 SQ. FT.	5 PARKING PER 1,000 SQ. FT. GFA	
MVD EXPRESS	1,753 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
WAKA WAKA	2,458 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA	
AT&T	2,440 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
REQUIRED PARKING		155 PARKING SPACES	
PROVIDED PARKING		166 PARKING SPACES	

PROPOSED CONDITIONS PARKING ANALYSIS			
EXISTING ZONING: MX-L/MIXED USE			
TENANT ESTABLISHMENTS			
ABQ OLIVE OIL CO.	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
H&R BLOCK	1,379 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
KOLACHE FACTORY	2,105 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
DESERT ROSE	1,273 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA	
ALL STATE	1,265 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
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VACANT	2,073 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
CHIROPRACTOR	3,960 SQ. FT.	5 PARKING PER 1,000 SQ. FT. GFA	
MVD EXPRESS	1,753 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
CHASE BANK	4953 SQ. FT.	3 PARKING PER 1,000 SQ. FT. GFA	
REQUIRED PARKING		141 PARKING SPACES	
PROVIDED PARKING		155 PARKING SPACES	

SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
SITE ACREAGE:	3.09 ACRES (134,600 SF)
LEASE ACREAGE:	0.044 ACRES (1,919 SF)
BUILDING FOOT PRINT (TOTAL):	±4,953 SQUARE FEET
OPEN SPACE PROVIDED:	±36 SQUARE FEET (1.9%)
BUILDING COVERAGE:	4,953 SQUARE FEET
APPROX EX. IMPERVIOUS AREA:	±1,919 SQUARE FEET (100.0%)
APPROX PROPOSED IMPERVIOUS AREA:	±1,883 SQUARE FEET (98.1%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	15 SPACES
PARKING PROVIDED:	20 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	1 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
BICYCLE SPACE: REQUIRED/PROVIDED	3/4 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

**!!! CAUTION !!!**

**UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



CALL NM ONE-CALL  
SYSTEM SEVEN (7)  
DAYS PRIOR TO ANY  
EXCAVATION

Cumulus Design **CUMULUS**  
DESIGN

2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367

CHASE RETAIL BANKING CENTER

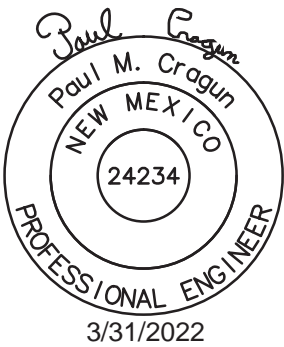
PASEO DEL NORTE AND WYOMING  
8001 WYOMING BLVD NE  
SUITES #A1 & A2  
ALBUQUERQUE, NEW MEXICO 87113

ROUGH ARCHITECTS



1445 ROSS AVENUE  
SUITE 5700  
DALLAS, TEXAS 75202  
214.997.6029

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**REVISIONS**

AS1 #1 03/31/2022

DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

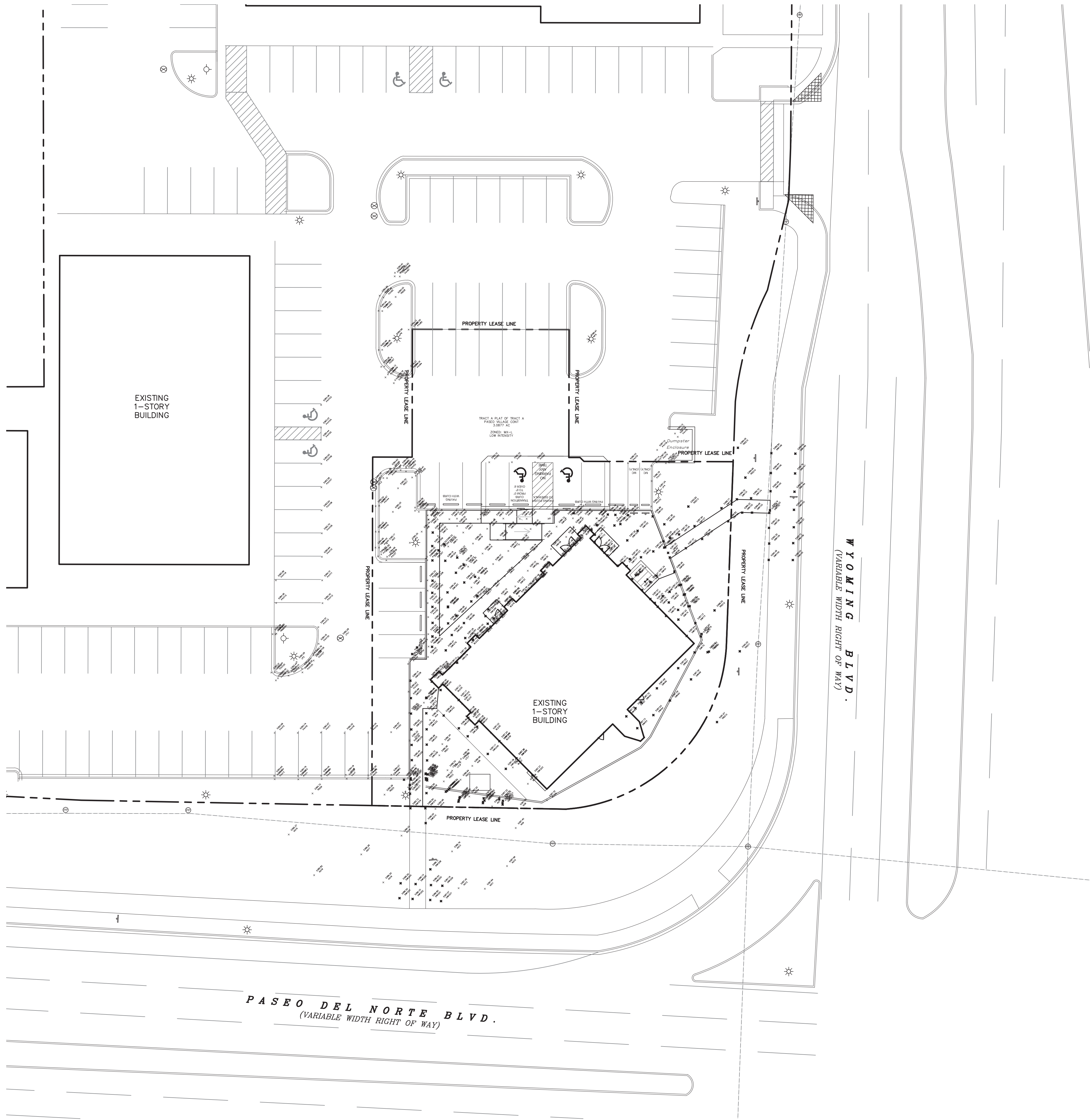
SHEET NAME:

SITE PLAN

SHEET :

C1.01





- LEGEND**
- EXISTING CURB
  - EXISTING SPOT ELEVATION
  - 5449 --- EXISTING CONTOUR

**!!! CAUTION !!!**

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DAYS PRIOR TO ANY  
EXCAVATION

Cumulus Design **CUMULUS**  
DESIGN

2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367



**CHASE RETAIL BANKING CENTER**

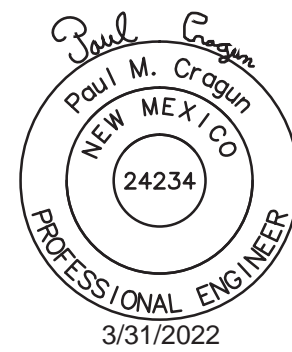
PASEO DEL NORTE AND WYOMING  
8001 WYOMING BLVD NE  
SUITES #A1 & A2  
ALBUQUERQUE, NEW MEXICO 87113

**ROUGH ARCHITECTS**



1445 ROSS AVENUE  
SUITE 5700  
DALLAS, TEXAS 75202  
214.997.6029

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**REVISIONS**

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DATE ISSUED: MARCH 12, 2021

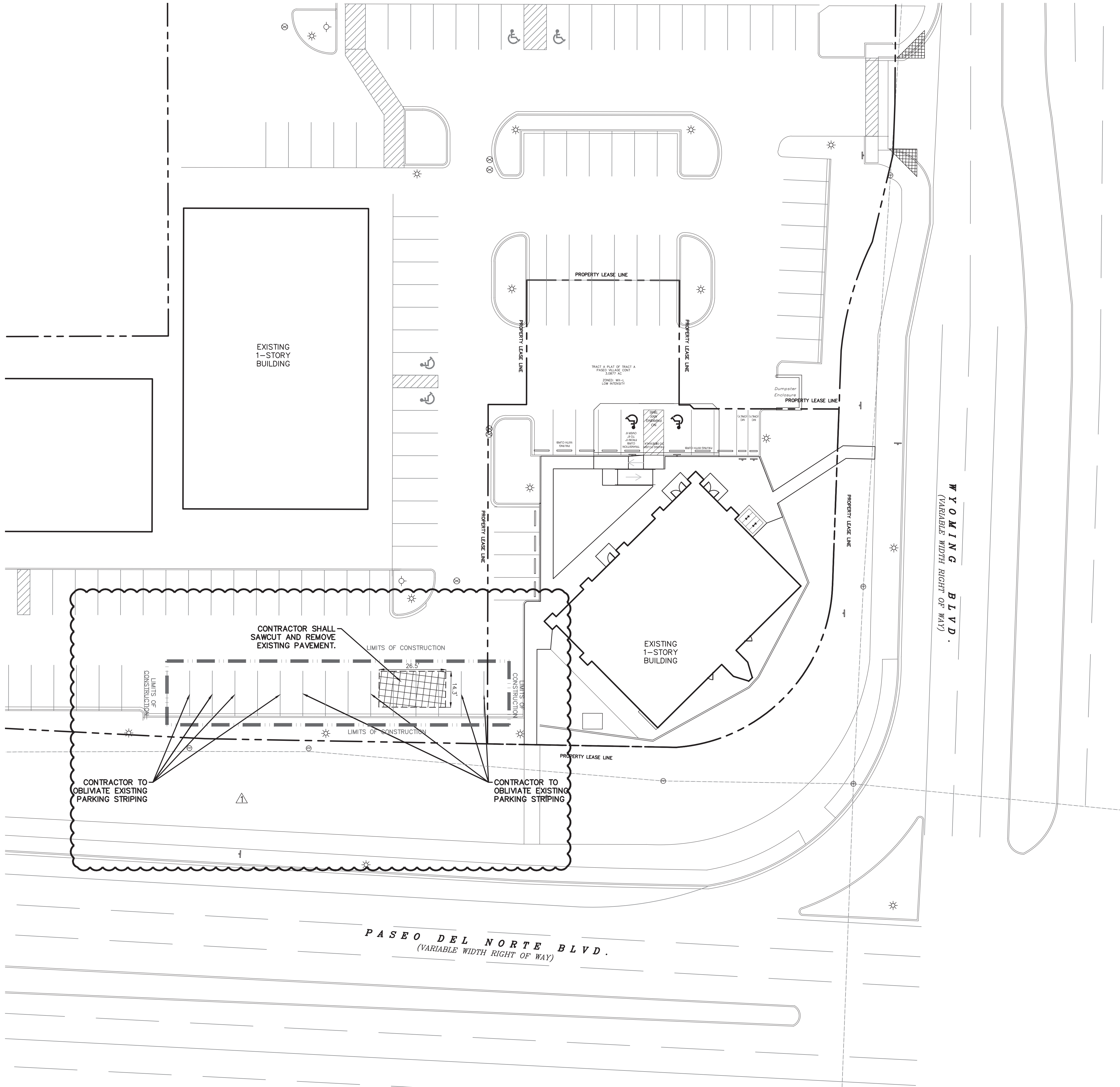
JOB #: 2020047

SHEET NAME: EXISTING CONDITIONS

SHEET :

**C2.01**





- LEGEND**
- EXISTING CURB
  - PROPOSED SAWCUT
  - EXISTING PAVEMENT, CURB AND GUTTER BUILDING TO BE REMOVED
  - LIMITS OF CONSTRUCTION

- DEMOLITION NOTES:**
1. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
  2. OWNER/DESIGN TEAM ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITIONS OF AREAS TO BE DEMOLISHED. CONTACT ARCHITECT/ENGINEER SHOULD CONFLICTS ARISE.
  3. PERFORM WORK IN MANNER TO ELIMINATE HAZARDS TO PERSONS OR PROPERTY AND AVOID INTERFERENCE WITH ADJACENT AREAS, UTILITIES, AND STRUCTURES.
  4. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, FENCES, WARNING SIGNS, GUARDRAILS, WARNING LIGHTS AS REQUIRED PER O.S.H.A., CITY, AND ALL OTHER APPLICABLE STANDARDS.
  5. PROTECT EXISTING STRUCTURES, LANDSCAPING MATERIALS, AND APPURTENANCES WHICH ARE NOT BEING DEMOLISHED AND REPAIR ANY DAMAGE TO PREVIOUS CONDITIONS OR BETTER.
  6. CONTRACTOR TO BE RESPONSIBLE FOR ALL REQUIRED PERMITS.
  7. CEASE DEMOLITION OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES OR UTILITIES APPEAR TO BE IN DANGER. CONDUCT SAFETY OPERATIONS AS NECESSARY. DO NOT RESUME DEMOLITION OPERATIONS UNTIL DIRECTED TO DO SO BY THE CITY AND/OR OWNER.
  8. SURFACES ARE TO BE BROUGHT TO PLANNED ELEVATION AS SOON AS REASONABLE PER DESIGN PLANS. ALWAYS PROVIDE POSITIVE DRAINAGE.
  9. ALL MATERIALS REMOVED SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER.
  10. CONTRACTOR SHALL PROTECT AND BRACE (IF NEEDED) ALL EXISTING AND ANY PROPOSED POWER POLES DURING DEMOLITION & CONSTRUCTION OPERATIONS.
  11. THE CONTRACTOR (INCLUDING SUB CONTRACTORS) WILL BE RESPONSIBLE FOR COORDINATING WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
  12. REFER TO LANDSCAPE PLAN FOR TREES TO REMAIN OR TO BE REMOVED (IF ANY).
  13. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED TRAFFIC CONTROL PLAN(S).
  14. CONTRACTOR SHALL INSTALL, ADJUST AND REMOVE ANY SECURITY/CONSTRUCTION FENCING PER OWNER'S REPRESENTATIVES DIRECTION.
  15. THE SAWCUT LINES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FOLLOW THE CITY'S PAVEMENT MANUAL/GUIDE FOR CORRECT SAWCUTTING LOCATIONS AND PROCEDURES IF ANY.
  16. ALL SAWCUT LINES ARE SHOWN FOR GENERAL REPRESENTATION ONLY AND MAY VARY DEPENDING ON EXISTING FIELD CONDITIONS OF PAVEMENT JOINTS. CONTRACTOR SHALL REFERENCE CITY PAVEMENT CUT AND REPAIR STANDARDS IF ANY.

**!!! CAUTION !!!**

**UNDERGROUND UTILITIES**

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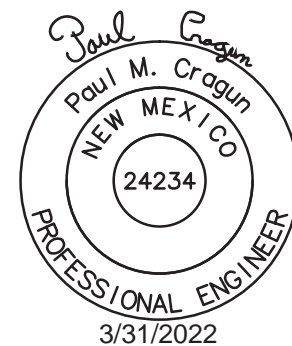
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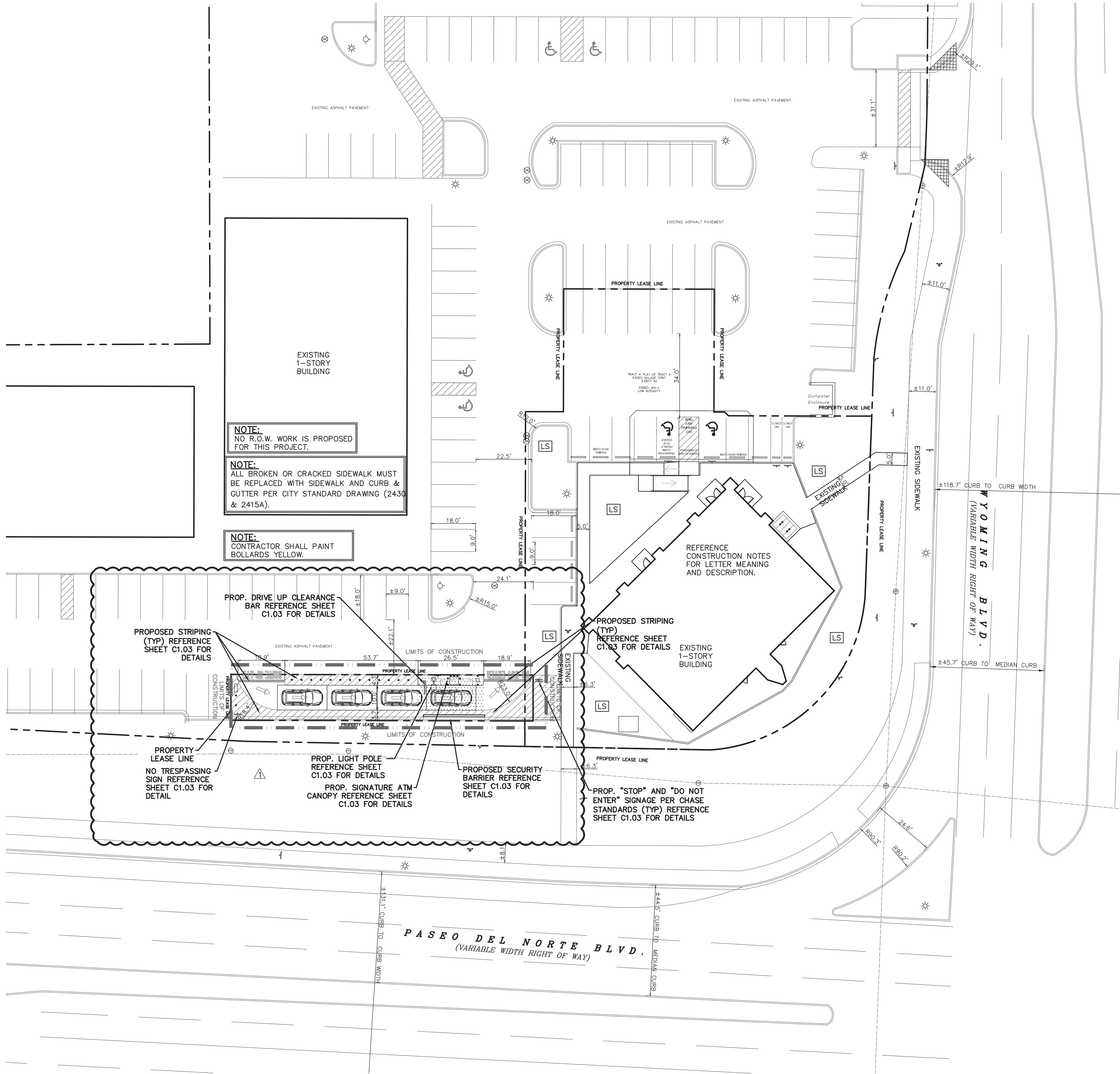
JOB #: 2020047

SHEET NAME: DEMOLITION PLAN

SHEET :

**C3.01**

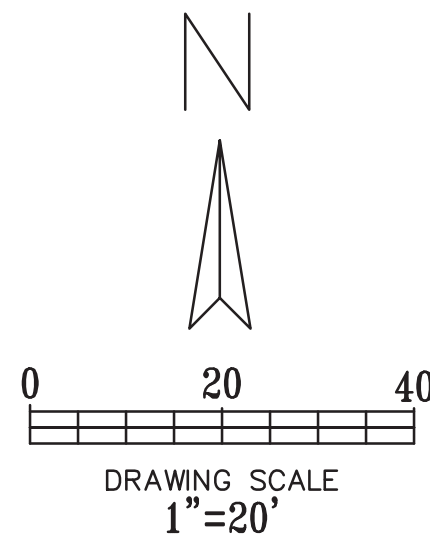




- PAVING NOTES:**
1. ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
  2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
  4. THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC GAS, TELEPHONE, CABLE TV, SITE IRRIGATION WATER LINES, SIGNAGE AND WIRING, ETC. HAVE BEEN TESTED AND PASSED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACING OF PERMANENT PAVING.
  5. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE ANY AND/OR RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT AND ALL APPLICABLE CODES AND ORDINANCES.
  6. ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
  7. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS AND MARKINGS, ETC.
  8. CONTRACTOR TO MATCH EXISTING JOINTS WITH JOINTS IN NEW PAVING WHERE THEY ABUT.
  9. ALL CURB RADII ARE 1.5' UNLESS OTHERWISE SPECIFIED (EXCEPT FOR AT END OF PARKING SPACES.)
  10. ANY PROPOSED LANDSCAPING SHALL BE PLANTED WITHIN THE PROPERTY.
  11. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
  12. POWER POLES TO BE BRACED AS NEEDED AT CONTRACTOR'S EXPENSE AS REQUIRED DURING CONSTRUCTION.
  13. CONTRACTOR SHALL SEED OR SOD DISTURBED LANDSCAPE AREAS AND/OR SOD PER THE DIRECTION OF THE OWNER'S REPRESENTATIVE OR AS SHOWN ON LANDSCAPE.
  14. PLAIN AND REINFORCED CONCRETE WORK SHALL CONFORM TO ACI 318-95.
  15. ALL CONCRETE SHALL DEVELOP 3500 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH UNLESS OTHERWISE NOTED.
  16. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL AND SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS NOTED OTHERWISE.
  17. WELDED WIRE FABRIC SHALL MEET ASTM A185 SPECIFICATIONS.
  18. ADMIXTURES SUCH AS ACCELERATORS OR PLASTICIZERS SHALL NOT BE USED WITHOUT APPROVAL OF THE ENGINEER AND ANY USE IN PROPOSED CONCRETE SHALL EXCEED DESIGN CRITERIA STRENGTH, ETC.
  19. SPLICES SHALL BE IN ACCORDANCE WITH CLASS "B" SPLICES PER ACI 318-95. CONTRACTOR MAY USE 36 BAR DIAMETERS FOR ALL SIZES.
  20. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE THREE-QUARTER INCH MINIMUM CHAMFER.

**LEGEND**

- EXISTING CURB
- PROPOSED CURB
- PARKING COUNT
- PROPOSED REINFORCED CONCRETE PAVEMENT ON AN AGGREGATE SUBGRADE.
- PROPOSED REINFORCED CONCRETE PAVEMENT ON AN AGGREGATE SUBGRADE.
- PROPOSED ASPHALTIC CONCRETE (AC) - NMDOT TYPE SP-III OR IV OVER 6" GRANULATED BASE IN MEDIUM DUTY AREAS
- PROPOSED LIGHT POLE
- LIMITS OF CONSTRUCTION
- PROPOSED LANDSCAPE AREA



**!!! CAUTION !!!**

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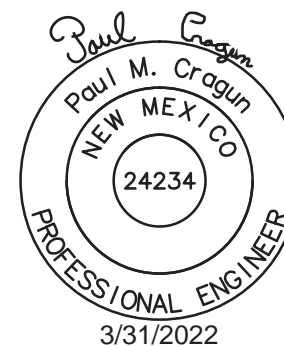
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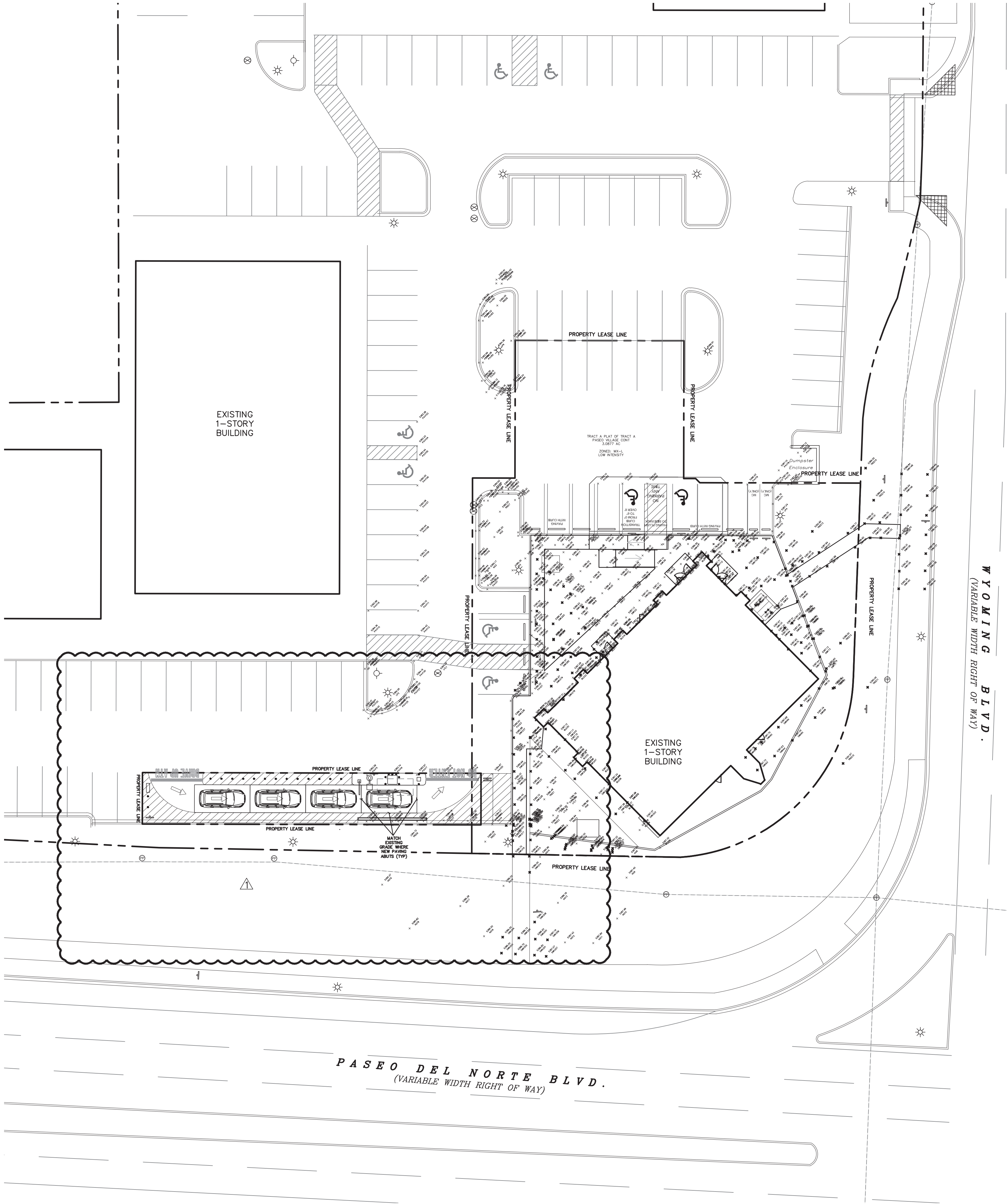
JOB #: 2020047

SHEET NAME: PAVING PLAN

SHEET :

C4.01



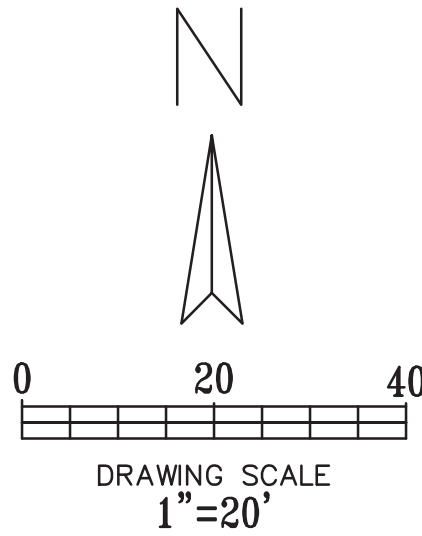


LEGEND

- "BFR" RAMP - STANDARD 6 FOOT MAX LENGHT ADA BARRIER FREE RAMP
- ADA RAMP WITH HANDRAILS - STANDARD 30 FOOT MAX LENGHT ADA RAMP WITH HANDRAILS PER CHASE STANDARDS
- GRADE PATH TO ADA STANDARDS - STANDARD ADA SIDEWALK GRADING ALONG THE PATH OF TRAVEL FROM ACCESSIBLE DOORS TO ACCESSIBLE PARKING TO ACCESSIBLE RIGHT OF WAY CONNECTIONS
- "FLAT" LANDING - STANDARD ADA LANDINGS THAT ARE MINIMUM WITH OF 5 FOOT BY 5 FOOT AREA WITH A MAXIMUM SLOPE OF 2.0% IN ANY DIRECTION. NOTE: FLAT LANDING SHOULD BE EXISTING TO MATCH WIDTH OF RAMP, DOORWAY, ETC.

GRADING NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.
3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
4. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.
6. BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKS ARE LOST OR DISTURBED AND NEED OR BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
7. EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
9. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
10. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
11. ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
12. SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
13. PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMPS. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.
15. SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.



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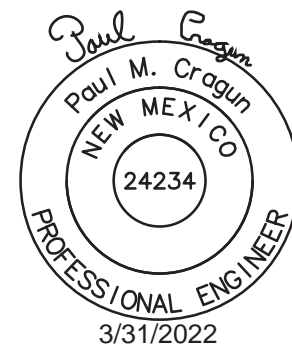
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SHEET NAME: GRADING PLAN

SHEET: C5.01

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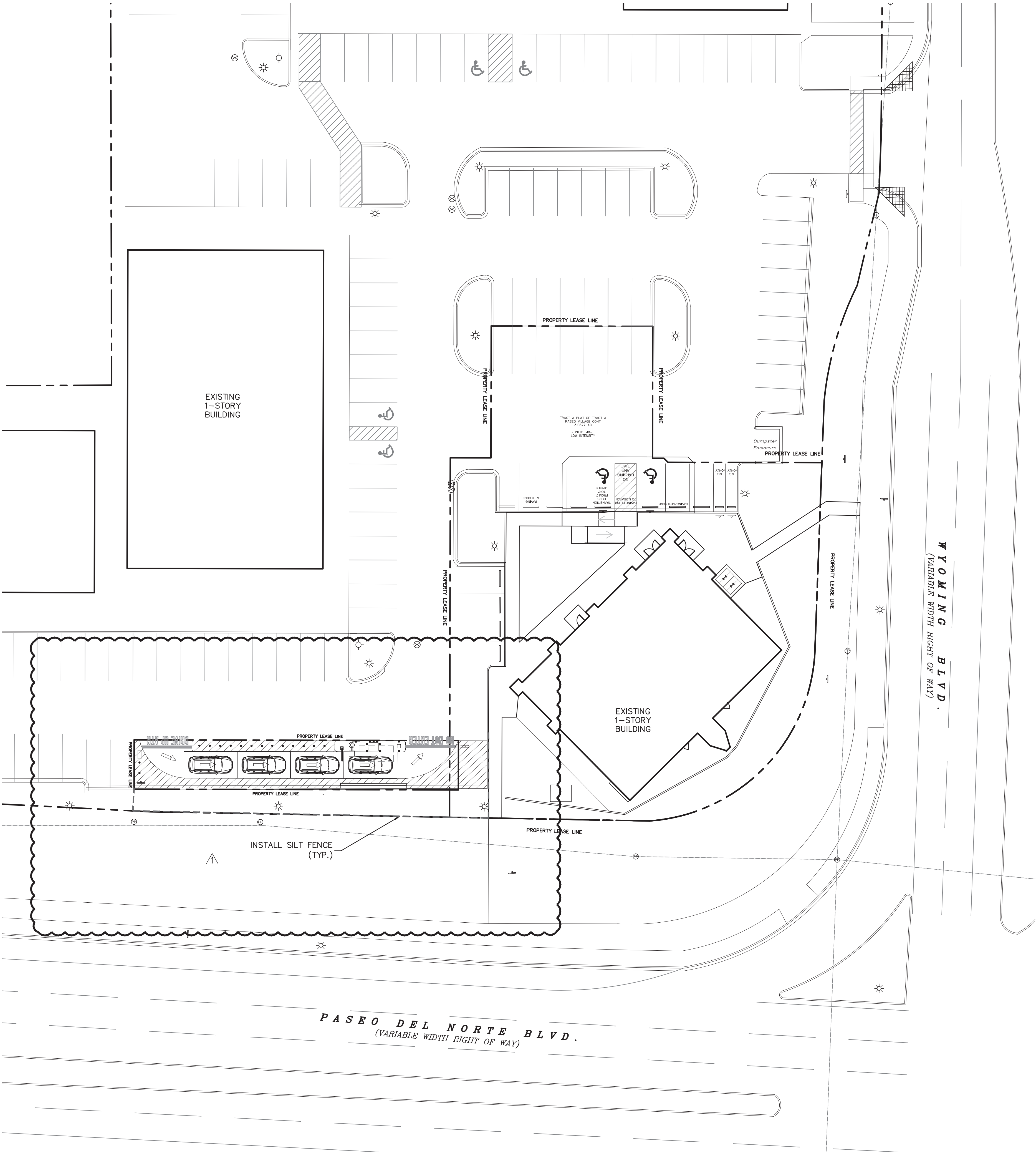
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LEGEND

- EXISTING CURB
- PROPOSED CURB
- - - SILT FENCE
- [ ] INLET PROTECTION

EROSION CONTROL NOTES:

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENT FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE STORM WATER POLLUTION AND PREVENTION PLAN (SWPPP) IF REQUIRED.
6. ALL EROSION CONTROL IN THE CITY R.O.W SHALL BE PER CITY/COUNTY STANDARDS AND DETAILS.
7. AREAS DISTURBED DURING CONSTRUCTION SHALL BE HYDRO MULCHED OR SEEDED AS DIRECTED BY REPRESENTATIVE OR BY LANDSCAPING PLAN.
8. CONTRACTOR SHALL COORDINATE SITE EROSION CONTROLS WITH OVERALL SWPPP REQUIREMENTS OF THE ENTIRE DEVELOPMENT (IF PLANS/DOCUMENTS EXIST).
9. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES IN GOOD CONDITIONS AT ALL TIMES.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF WORK.

!!! CAUTION !!!

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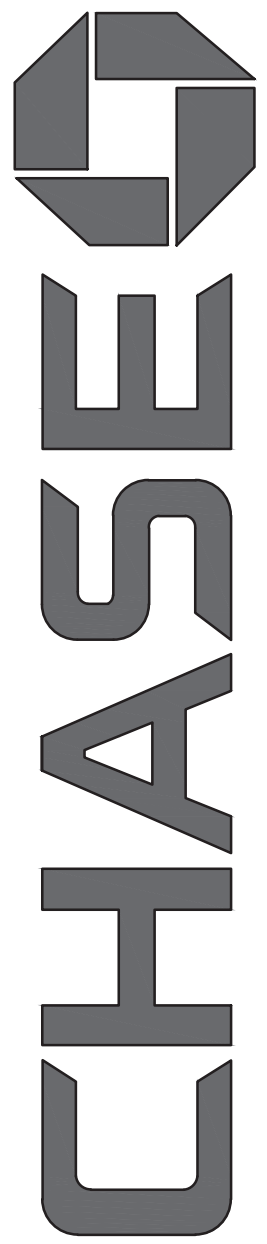
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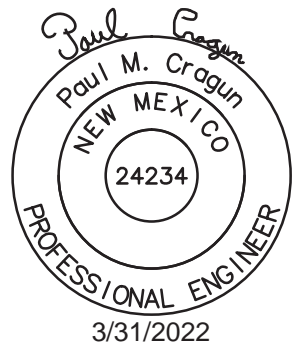
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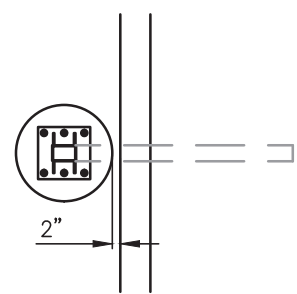
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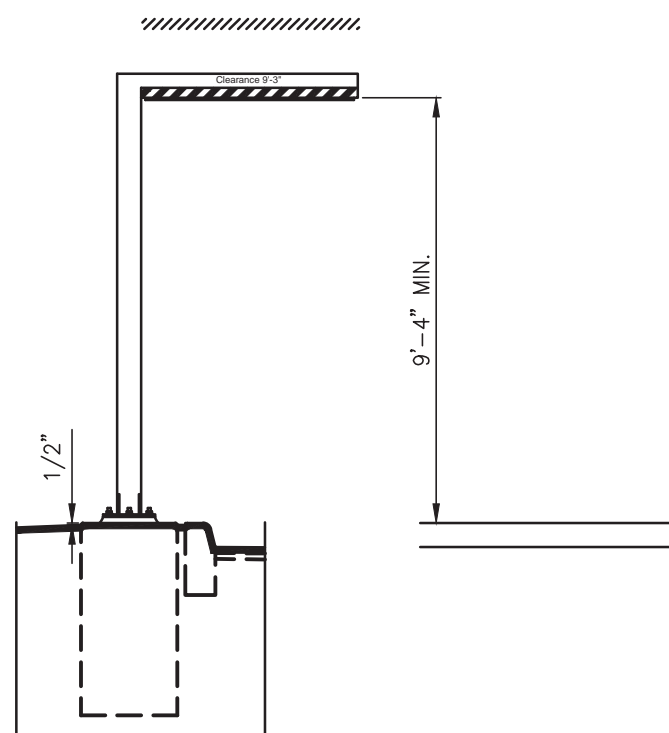




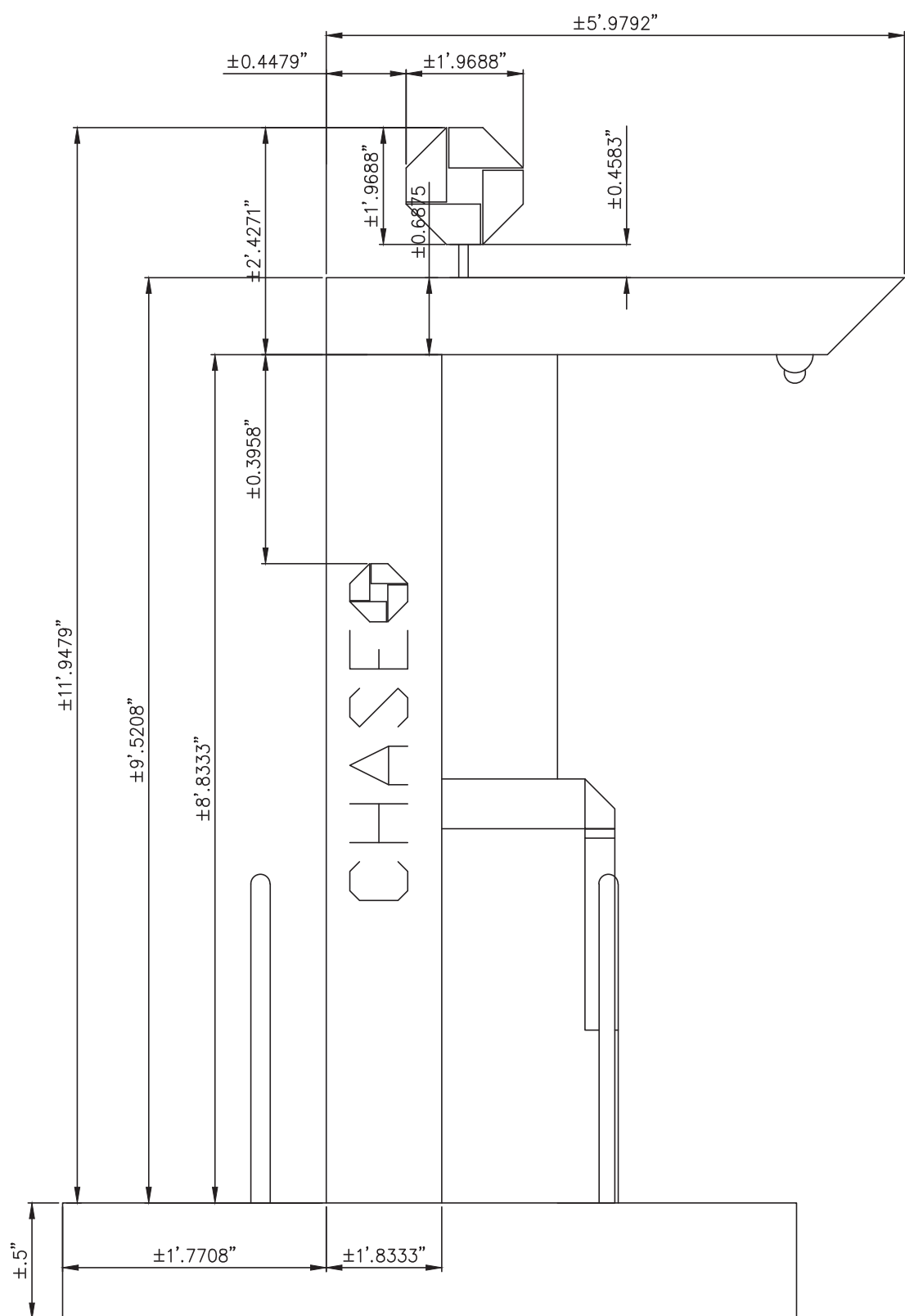




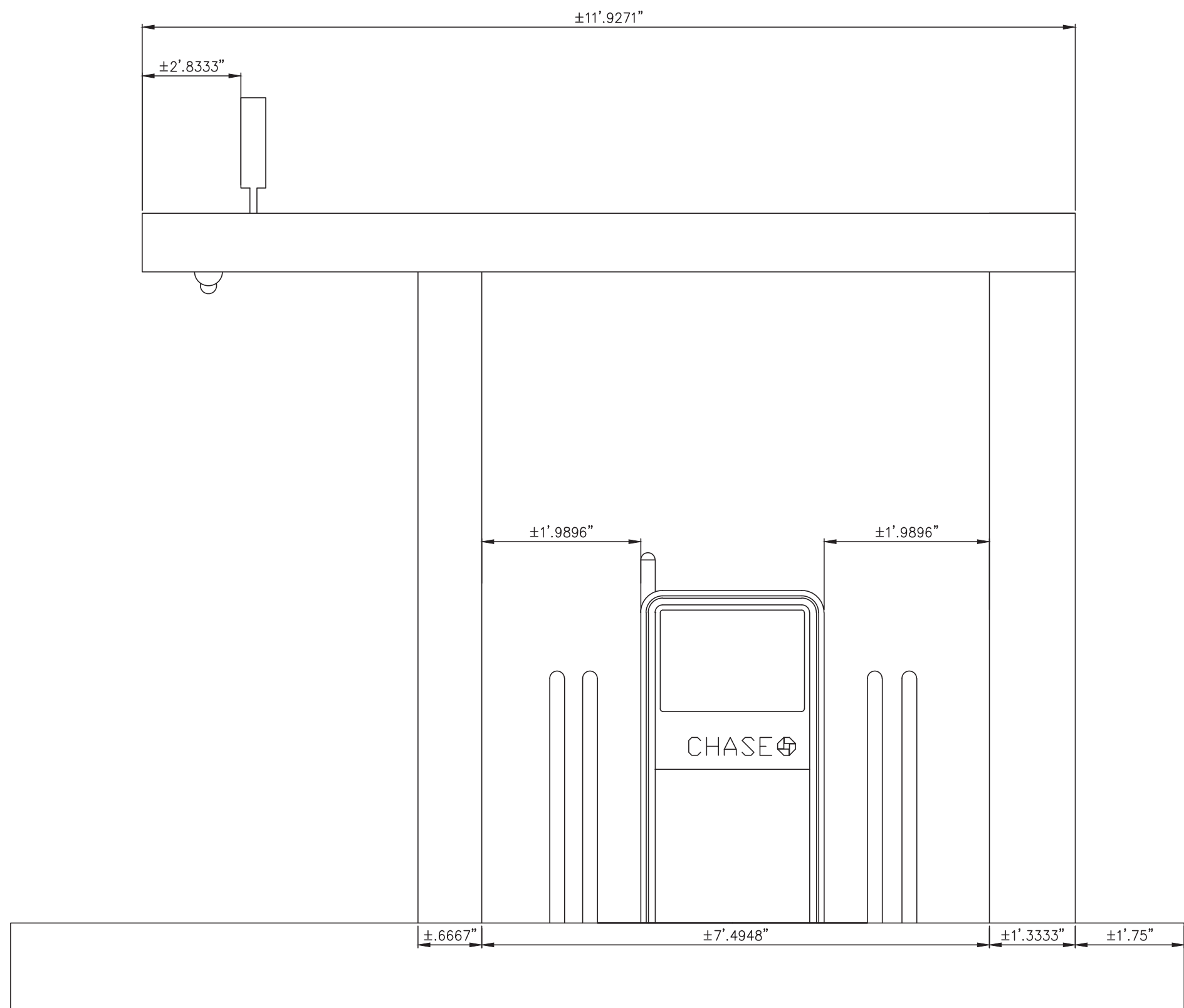
HEADACHE BAR PLAN



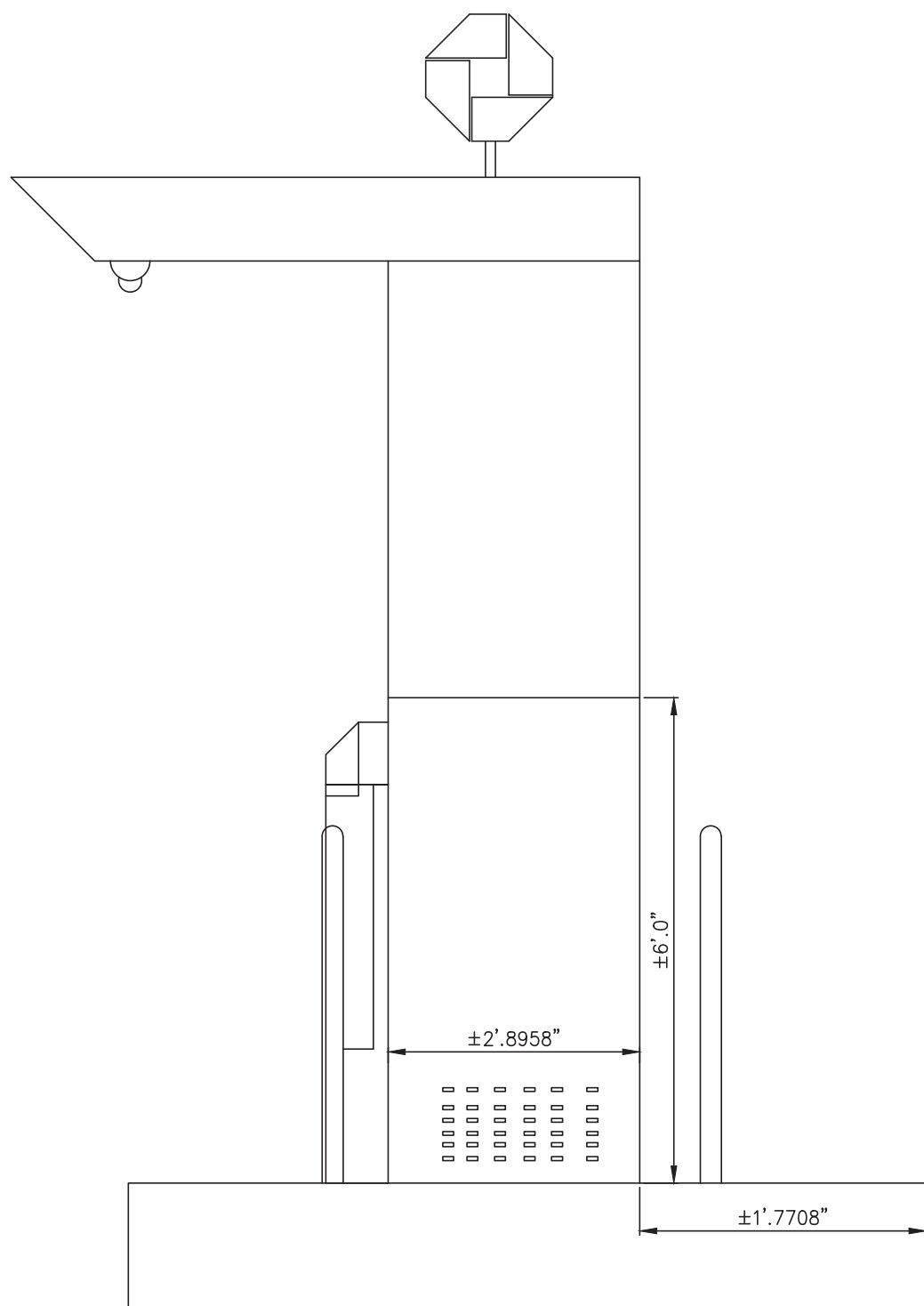
HEADACHE BAR ELEV



APPROACH ELEVATION



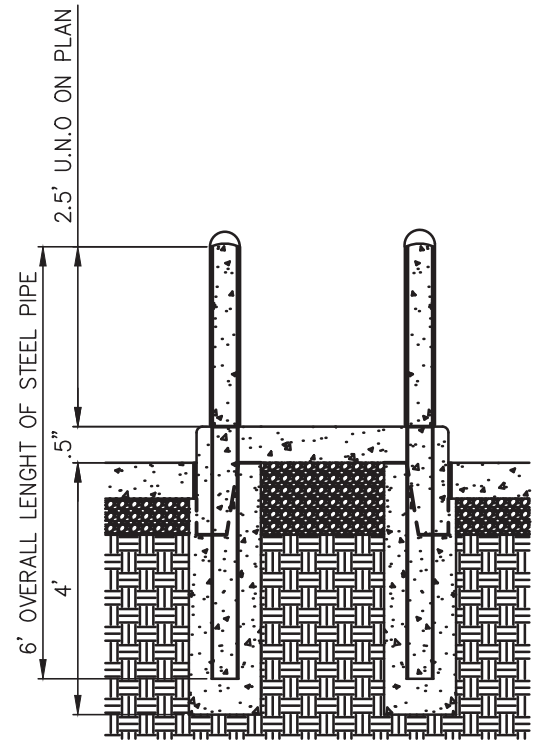
ELEVATION



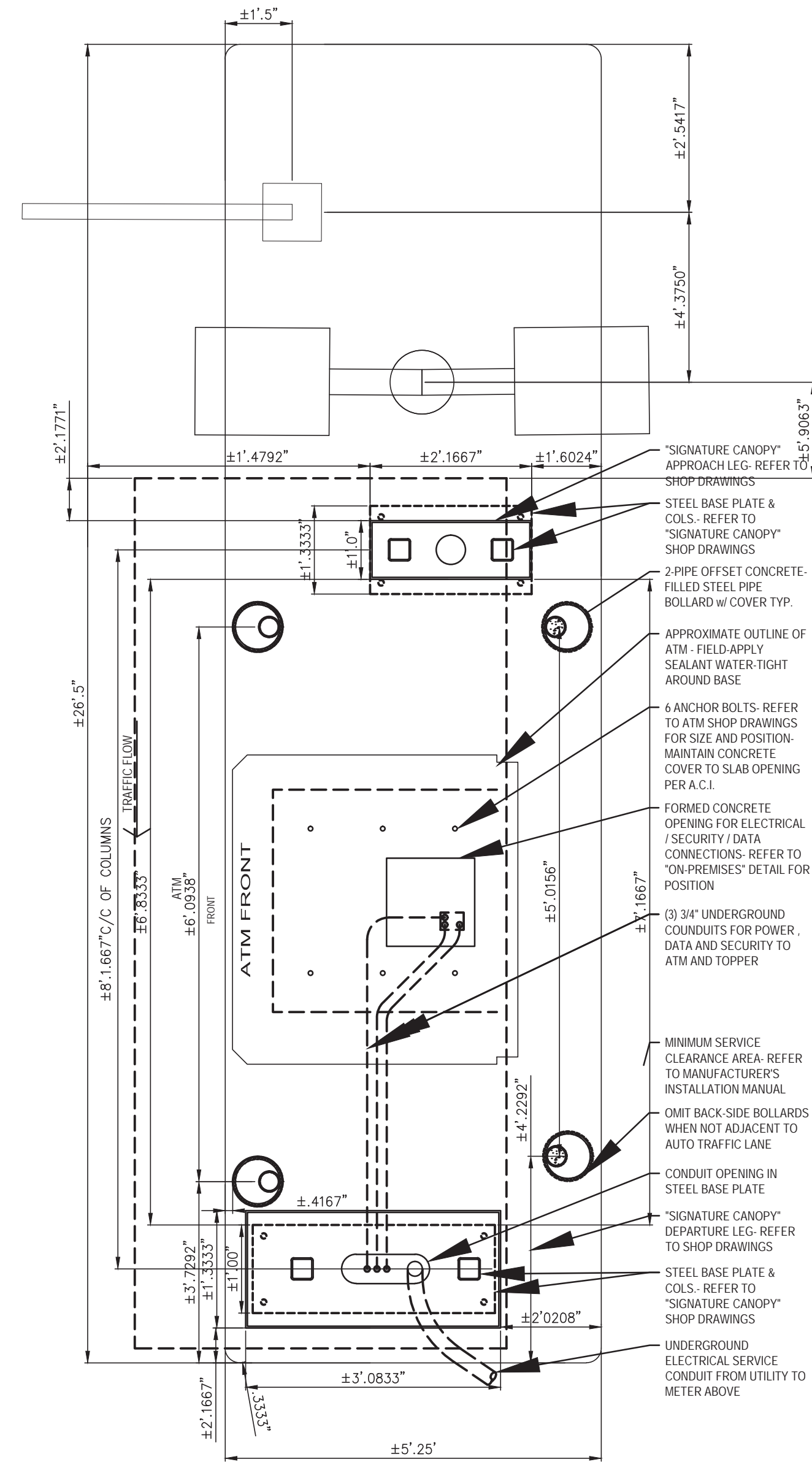
DEPARTURE ELEVATION

ISLAND ELEVATIONS

NOTE:  
1. THE BOLLARD IS DESIGNED AS PER SECTION 1607.8.3 TO RESIST A SINGLE LOAD OF 6,000 POUNDS APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM.



TYP. NEW-BUILD CANOPY PIER BOLLARDS



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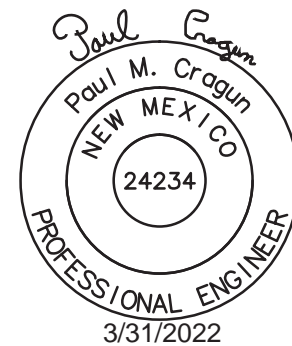
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SHEET : \_\_\_\_\_

**APPROACH ELEVATION**

Dimensions: 11'-3 3/8" (total height), 5'-11 3/4" (top section), 2'-5 1/8" (left side), 1'-11 5/8" (top right), 5 3/8" (top left), 1'-11 5/8" (top right), 5 1/2" (top left), 8 1/4" (middle left), 4 3/4" (middle right), 9'-6 1/4" (bottom left), 8'-10" (bottom right), 9 5/8" (bottom left), 1'-3 1/4" (bottom left), 1'-10" (bottom right).

Callouts:
 

- ILLUMINATED OCTAGON
- DEPARTURE COLUMN PAINTED TO MATCH MATTHEWS \*MP-18248 CHASE DARK NICKEL GLOSS FINISH
- 3/4" CLEAR ACRYLIC PUSH-THRU OCTAGON WITH SECOND SURFACE 3M \*3632-127 BLUE VINYL
- CHASE TO BE 3/4" CLEAR STEP ROUTED ACRYLIC WITH FIRST SURFACE 3M \*3632-20 WHITE TRANSLUCENT VINYL & SECOND SURFACE 3M \*3635-10 WHITE DIFFUSER FILM
- APPROACH COLUMN PAINTED TO MATCH MATTHEWS \*MP-18248 CHASE DARK NICKEL GLOSS FINISH

**ELEVATION**

Dimensions: 12'-10" (total width), 2'-10 1/2" (left side), 9'-0 1/2" (bottom left), 8'-4'-6 3/4" (bottom right).

Callouts:
 

- FABRICATED ALUM. CANOPY
- E-CONOLIGHT 5000K WHITE LED LIGHT FIXTURE \*E-CSA04A-W50W @ Ø37A - PAINT TRIM TO MATCH MATTHEWS \*MP-49353 BLUE METALLIC GLOSS FINISH (2 REQ'D)
- CONCRETE PAD

**DEPARTURE ELEVATION**

Dimensions: 2'-10 3/4" (left side), 1'-" (right side).

Callouts:
 

- SECURITY CAMERA BY OTHERS









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6/2/15

Project No.  
08-1218  
Drawing No.  
B244713

REV.	DATE	DESCRIPTION	BY:	APPR.
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	JK
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	JK

GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

DESIGNATION:  
CAN-ATM-SIG-EBDU-OCT-HW



CALL NM ONE-CALL  
SYSTEM SEVEN (7)  
DAYS PRIOR TO ANY  
EXCAVATION

Cumulus Design



2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367

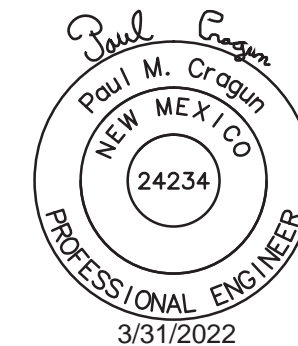
CHASE RETAIL BANKING CENTER

PASEO DEL NORTE AND WYOMING  
8001 WYOMING BLVD NE  
SUITES #A1 & A2  
ALBUQUERQUE, NEW MEXICO 87113



1445 ROSS AVENUE  
SUITE 5700  
DALLAS, TEXAS 75202  
214.997.6029

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REVISIONS

AS1 #1 03/31/2022

DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

SHEET NAME: ATM FOUNDATION DETAILS

SHEET: C9.03





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SHT. 4  
OF 12

BY: TRR  
DATE: 6/2/15

Project No. 08-1218  
Drawing No. B244T13

REV.	DATE	DESCRIPTION	BY:	APPR.
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	IK
2	6/19/15	REMOVED METER SOCKET FROM DRAWING	TRR	IK

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DESIGNATION: CAN-ATM-SIG-EBDU-OCT-HW



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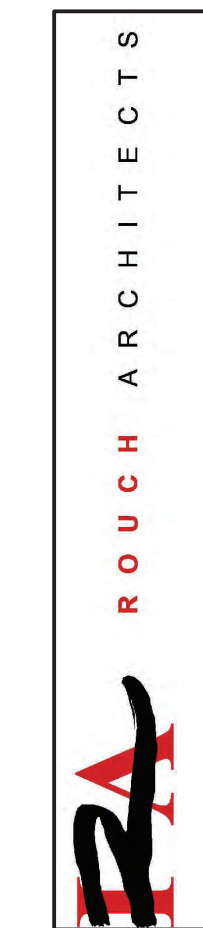


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Tel. 214.235.0367



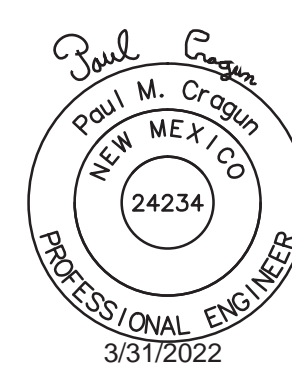
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SHT.  
5  
OF  
12

BY:  
TRR  
DATE:  
6/2/15

Project No.  
08-1218  
Drawing No.  
E244713

REV.	DATE	DESCRIPTION	BY:	APP.
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	IK
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	IK

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DESIGNATION:  
CAN-ATM-SIG-EBDU-OCT-HW

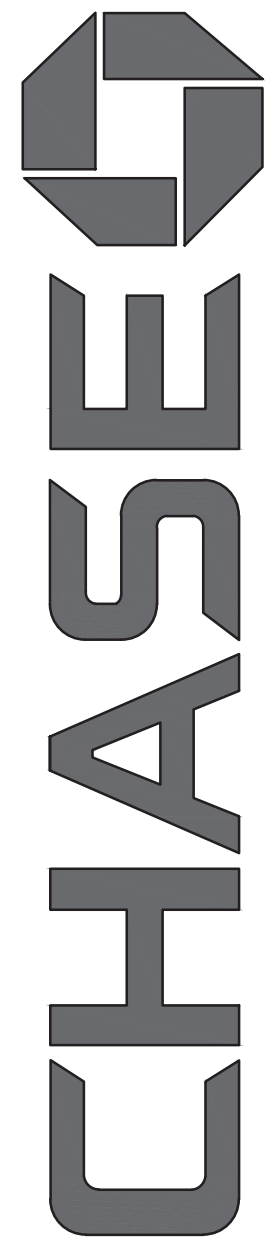


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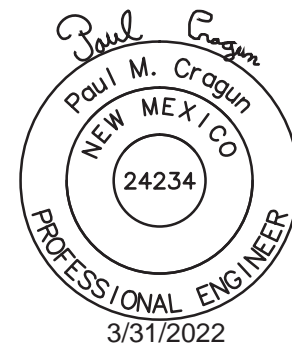
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DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

SHEET NAME:

ATM FOUNDATION DETAILS

SHEET :

C9.05





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SHT.  
6  
OF  
12

BY:  
TRR  
DATE:  
6/2/15

Project No.  
08-1218  
Drawing No.  
B244113

REV.	DATE	DESCRIPTION	BY:	APP:
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	K
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	K

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DESIGNATION:  
CAN-ATM-SIG-EBDU-OCT-HU



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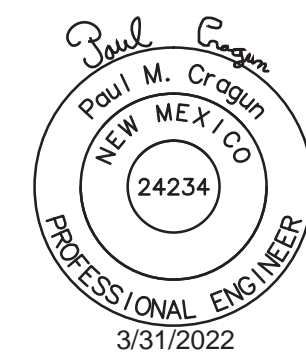
CHASE  
CHASE RETAIL BANKING CENTER

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8001 WYOMING BLVD NE  
SUITES #A1 & A2  
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DATE ISSUED: MARCH 12, 2021

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SHEET NAME: ATM FOUNDATION DETAILS

SHEET: C9.06



## REVISIONS

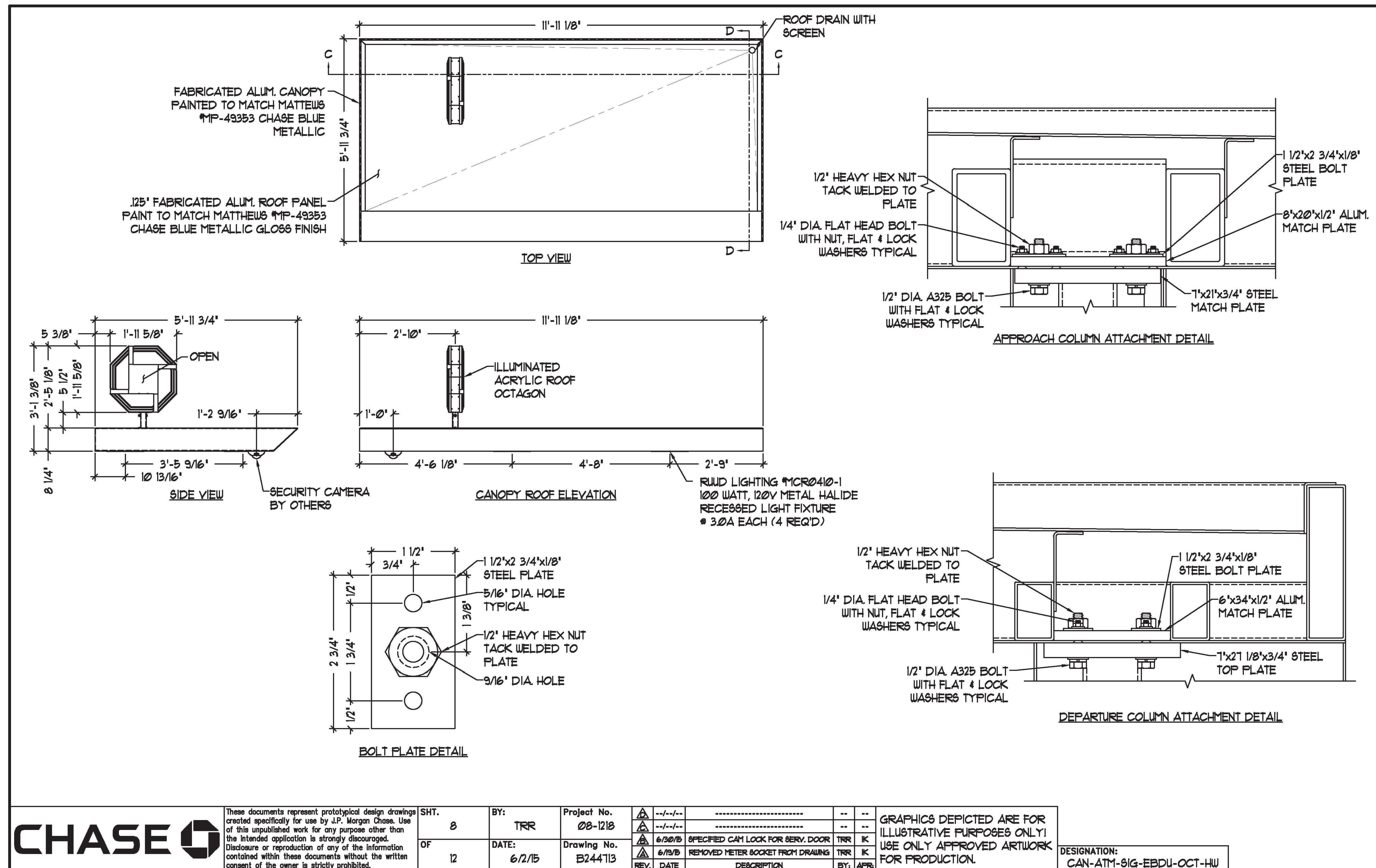
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SHEET: C9.07

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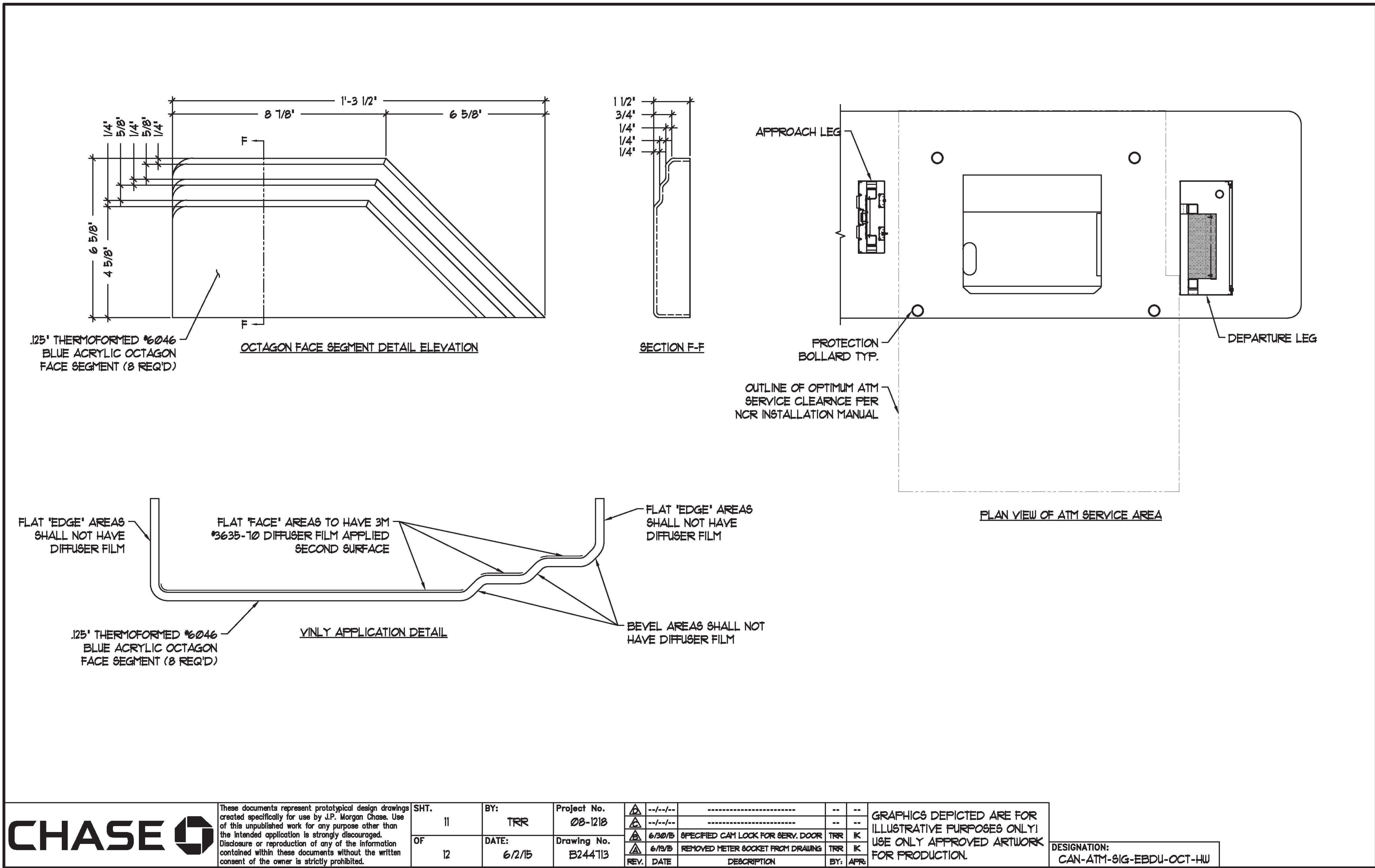


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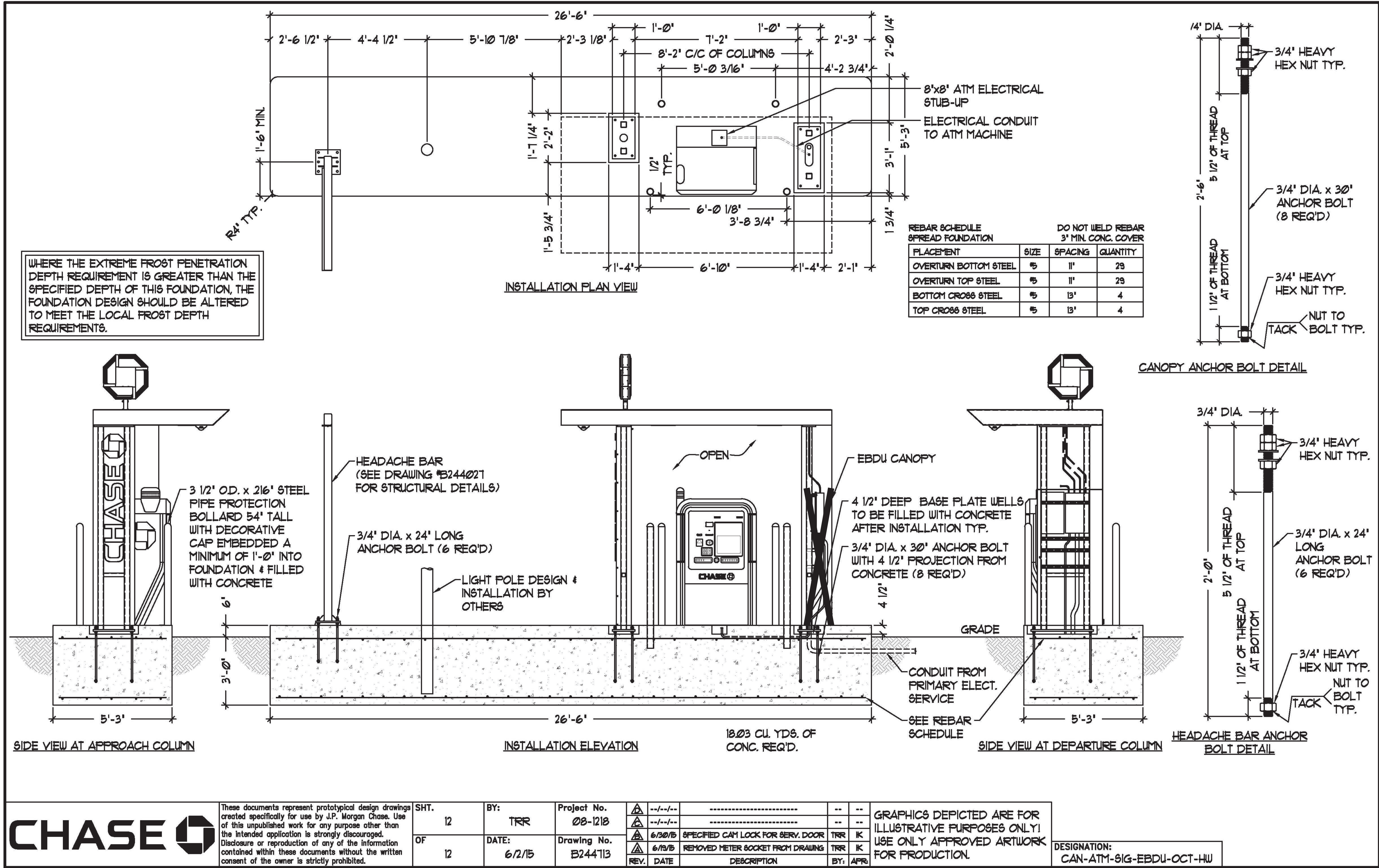
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DB #: 2020047

SHEET NAME:

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SHT.  
12  
OF  
12

BY: TRR  
DATE: 6/2/15

Project No. 08-1218  
Drawing No. B244113

REV.	DATE	DESCRIPTION	BY:	APPR.
1	6/2/15	SPECIFIED CAN LOCK FOR SERV. DOOR	TRR	K
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	K

GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

NOTE:  
ALL ELECTRIC WORK MUST BE PER ELECTRICAL PLAN.

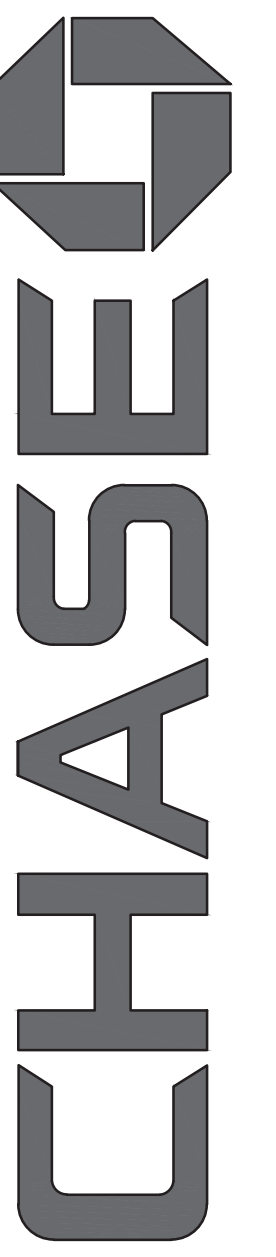


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EXCAVATION

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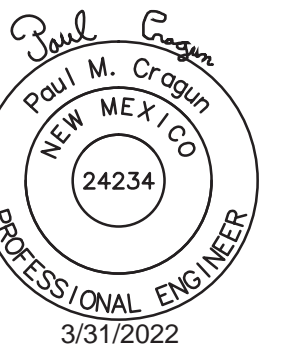


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DATE ISSUED: MARCH 12, 2021  
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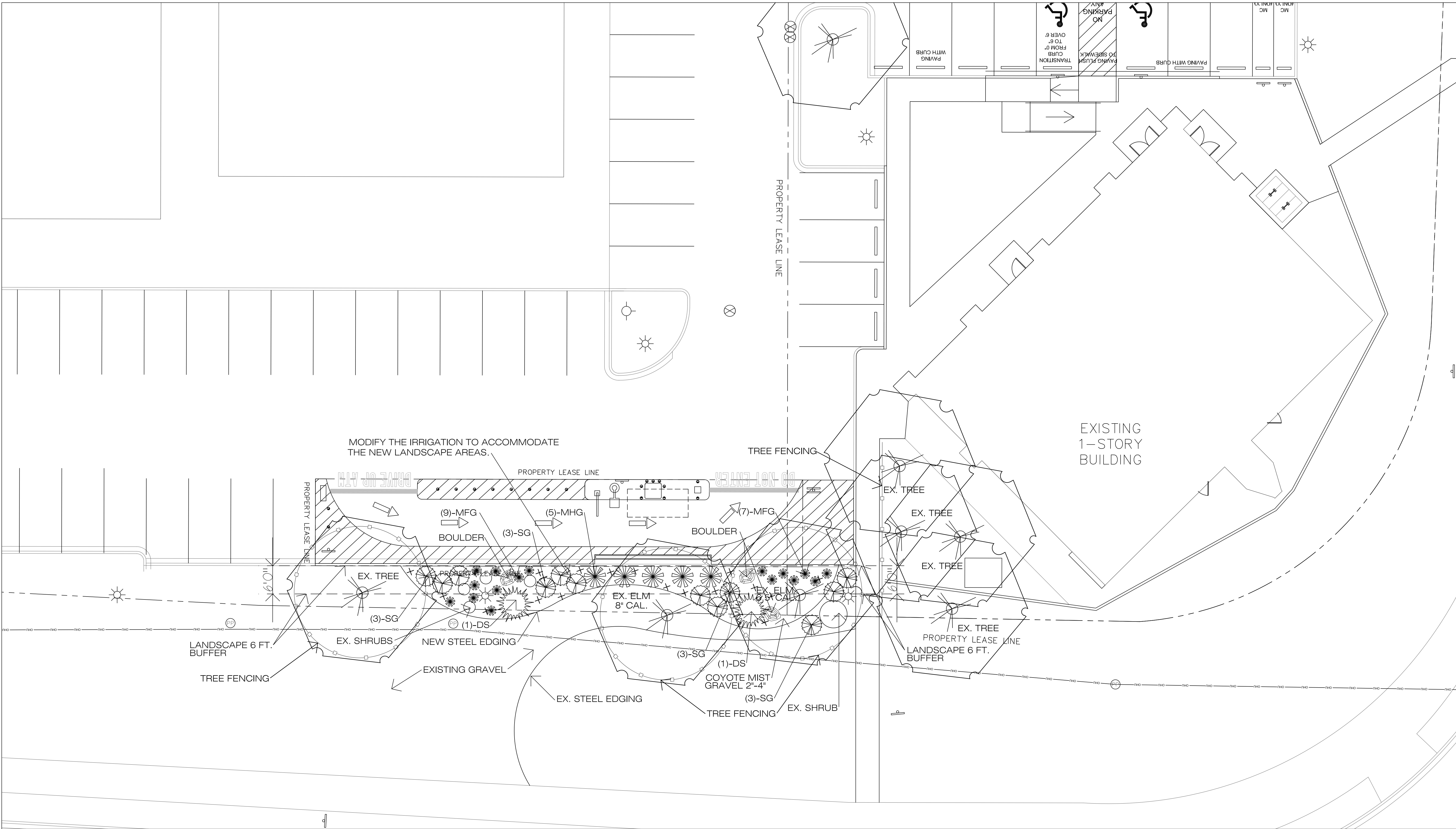
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SHEET: C9.11

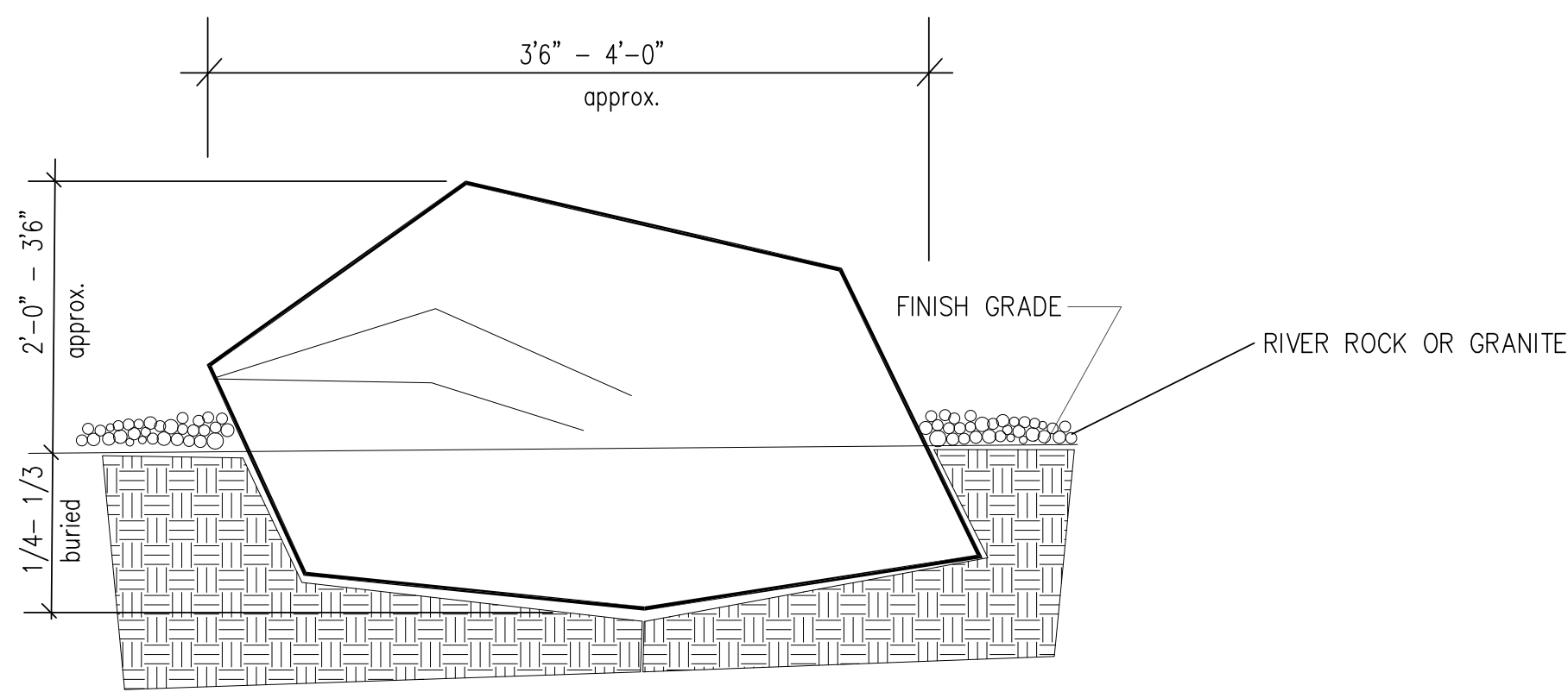
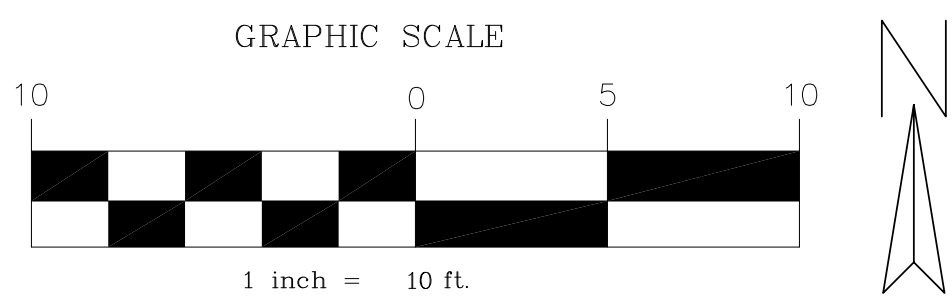




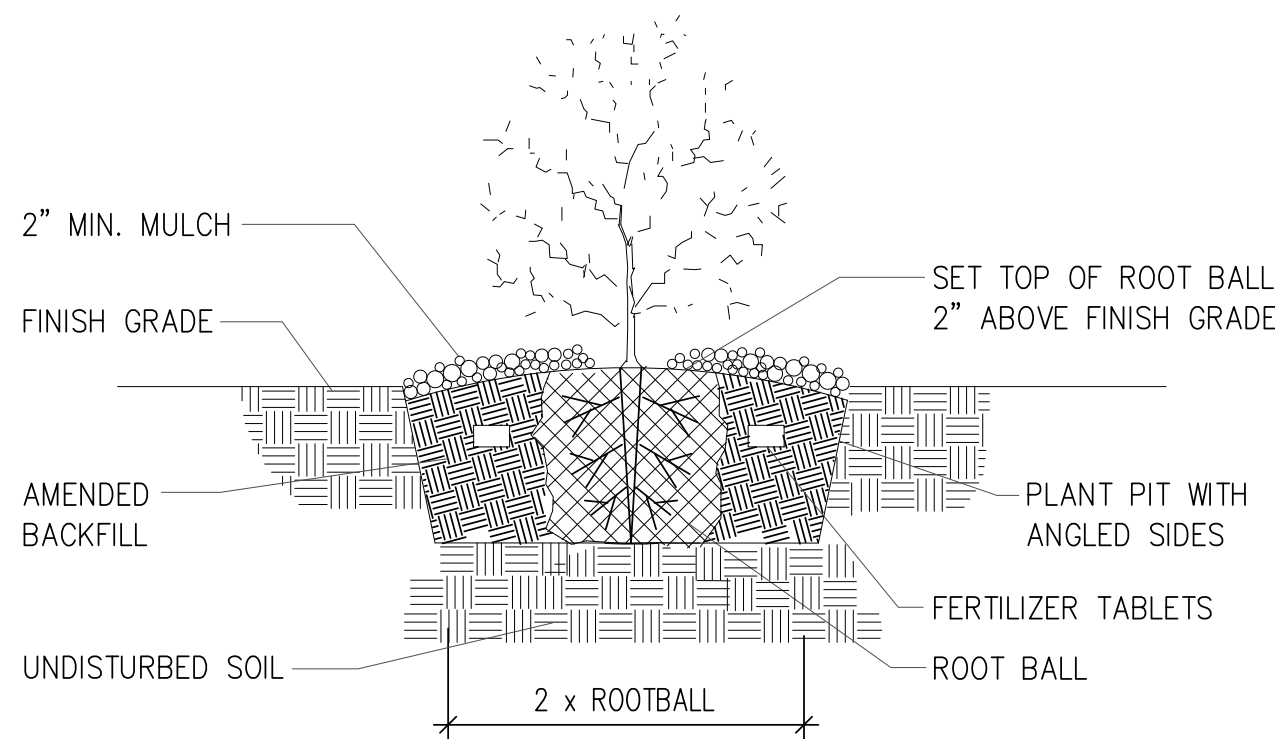




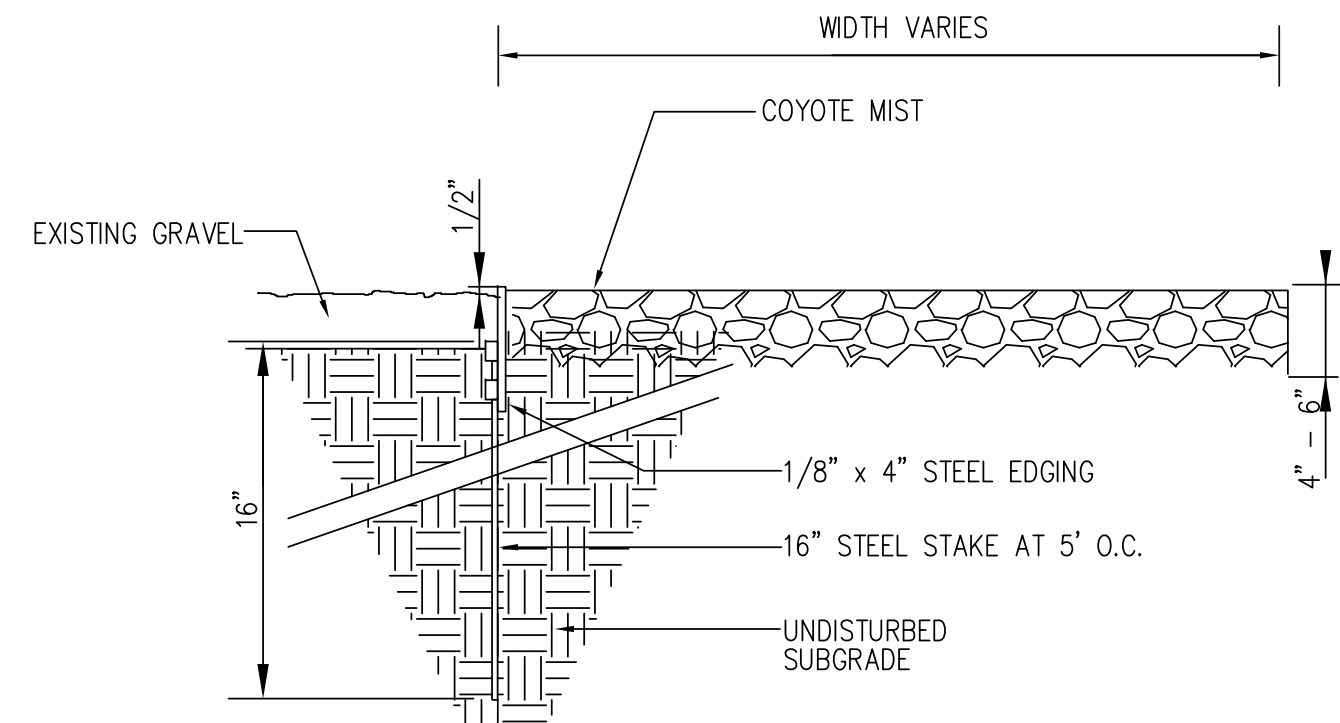
01 LANDSCAPE PLAN  
SCALE: 1" = 10'-0"



A BOULDER PLACEMENT  
DETAIL  
SCALE: NTS



B SHRUB PLANTING  
DETAIL  
SCALE: NTS

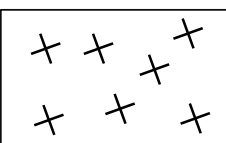


C STEEL EDGING  
DETAIL  
SCALE: NTS

## PLANT MATERIAL LIST

KEY	QUANTITY	SHRUBS DESCRIPTION	SIZE
DS	2	DASYLIRON TEXANUM GREEN DESERT SPOON	7 GAL., MIN. 15" HT.
SG	12	SALVIA X ULTRA VIOLET ULTRA VIOLET SAGE	5 GAL., MIN. 12" HT., 24" O.C.
KEY	QUANTITY	ORNAMENTAL GRASSES DESCRIPTION	SIZE
MFG	9	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL., FULL PLANT
MHG	5	MISCANTHUS SINENSIS 'ADAGIO' MAIDEN HAIR GRASS	5 GAL., 20" HT., 20" SPB.

## GRAVEL KEY



COYOTE MIST  
GRAVEL 2'-4"

## SHEET NOTES:

THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY.

PROTECT THE EXISTING LANDSCAPE DURING CONSTRUCTION.

PROVIDE AN ALTERNATE PRICE FOR CLASS A PRUNING THE EXISTING FOUR TREES NEXT TO THE BUILDING.

CONNECT NEW IRRIGATION INTO EXISTING CONTROLLER.







LANDSCAPE PLANTING NOTES:

- All proposed landscaping to be installed as per local city ordinances and codes.
- Contractor shall be responsible for becoming aware of related existing conditions, utilities, pipes, and structures, etc., prior to building and construction. The contractor shall be held responsible for contracting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The contractor shall notify the Owners's Representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/ structures/ etc.
- The contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/ or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and replaced operations.
- The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings.
- Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, curb, and related structures. Any damage to existing improvements is the responsibility of the Contractor.
- Contractor shall notify Owner's Representative 5 business days prior to commencement of work to coordinate project inspection schedules.
- The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
- If conflicts arise between size of areas an plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/ common names, sizes, estimated quantities (if given) and other remarks.
- Where provided, area takeoffs and plant quantities estimates in the plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of an discrepancies, plans take precedence over call-outs and/ or the plant list(s).

12. It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to the Owner's approval prior to installation.

13. Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Plant Material List in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".

14. The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates, and species of existing condition, or as specified.

15. All plants shall be nursery grown. Grade I plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60, I-200"1). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until final inspection and final acceptance. Plants shall be installed to present their best side facing the viewer.

16. Required landscape areas shall be maintained free of debris and litter. Required landscape material that dies shall be replaced at the minimum standard required by the city.

17. Warranty: Provide a one-year replacement warranty for all plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

PLANTING LAYOUT & INSTALLATION NOTES:

- The Contractor shall be responsible for accurately laying out the planting beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/ stakes/ hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Owner's Representative in the field. Changes affecting quantities will be covered by unit prices.
- Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout. If conflicts arise between landscape planting and landscape irrigation plans, Contractor is required to contact the Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- Install edging following manufacturer's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 2" above soil level of adjacent turf. In Bid Proposal, furnish a unit price per linear foot of edging installed. Bed edges where edging is not specified shall have a "spade edge".
- Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equaling in rows as shown on drawings. Adjust spacing ( to "equal") as necessary, subject to acceptance by the Owner's Representative.
- Unless otherwise indicated:
  - All groupings of groundcover, perennials, ornamental grasses, and annuals shall be triangularly spaced ( equal-equal).
  - All planting areas including sod, seed and planting beds, shall receive soil amendments per the details, notes and specifications.
  - Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be  $\frac{3}{4}$ ".
  - Specific plant bed areas may be called out to receive weed barrier fabric, see plans and details.
- All plant beds and pit planted plants shall receive a layer of hardwood mulch as specified on the plans. Reference plans, planting and soil details and specifications for location and type of mulch used. In Bid Proposal, furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
- Plants shall be installed to present their best side facing the viewer.
- Minimum 3' clear space around all fire hydrants.
- Landscapeing will be placed so as not to obstruct vehicular views of streets, drives or parking aisles.
- Owner's Representative shall have final approval of plant material layout.

PLANTING, GRADING & PREPARATION NOTES:

- Contractor shall be responsible for finished grading of the project. The Contractor shall fine grade, rake and be responsible for positive drainage away from all structures and throughout the site, with accurately set lines. No low spots or ponding of surface water will be accepted in the final work. No rocks or debris will be accepted. Final grade tolerances are + / - 0.1 foot maximum.
- Prior to preparing Turf Sod, Turf Seed and Plant Bed areas, eradicate all weeds, briars and vines with post-emergent herbicide such as "Round-Up" applied by licensed personnel following manufacturers recommendations and taking all precautions. After weed eradication and removal and the specified waiting period, apply 10 lbs. of Micro-life Humates Plus per 1,000 sq. ft. to restore soil health.
- All topsoil areas shall be raked smooth, removing and disposing of stones over 1" diameter and fine graded to feather into natural grade.
- The Contractor shall excavate Plant Beds as required to accommodate a full 6" of prepared soil and 2" organic hardwood mulch layer. Prepared planting soil shall consist of 4" imported "chocolate" loam topsoil and 2" specified "Living Earth Specialty Planting Mix" tilled to a depth of 8". This mix shall also be used to backfill planting pits of all pit-planted shrubs and trees. In Bid Proposal, furnish a unit price per cubic yard of Prepared Soil placed. This unit price will be used in the adjustment of bed areas. Exception is the planting area to the south for the Purple Wintercreeper. Refer to drawing.



# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 15, 2021

Carlos Iglesias  
Cumulus Design  
2080 N. Highway 360, Ste. 240  
Grand Prairie, TX 75050

**Re: Chase Bank (Wyoming Blvd) ATM  
8001 Wyoming Blvd NE  
Traffic Circulation Layout  
Engineer's Stamp 09-09-2021 (C19-D007A)**

Dear Mr. Carlos Iglesias,

The TCL submittal received 09-09-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

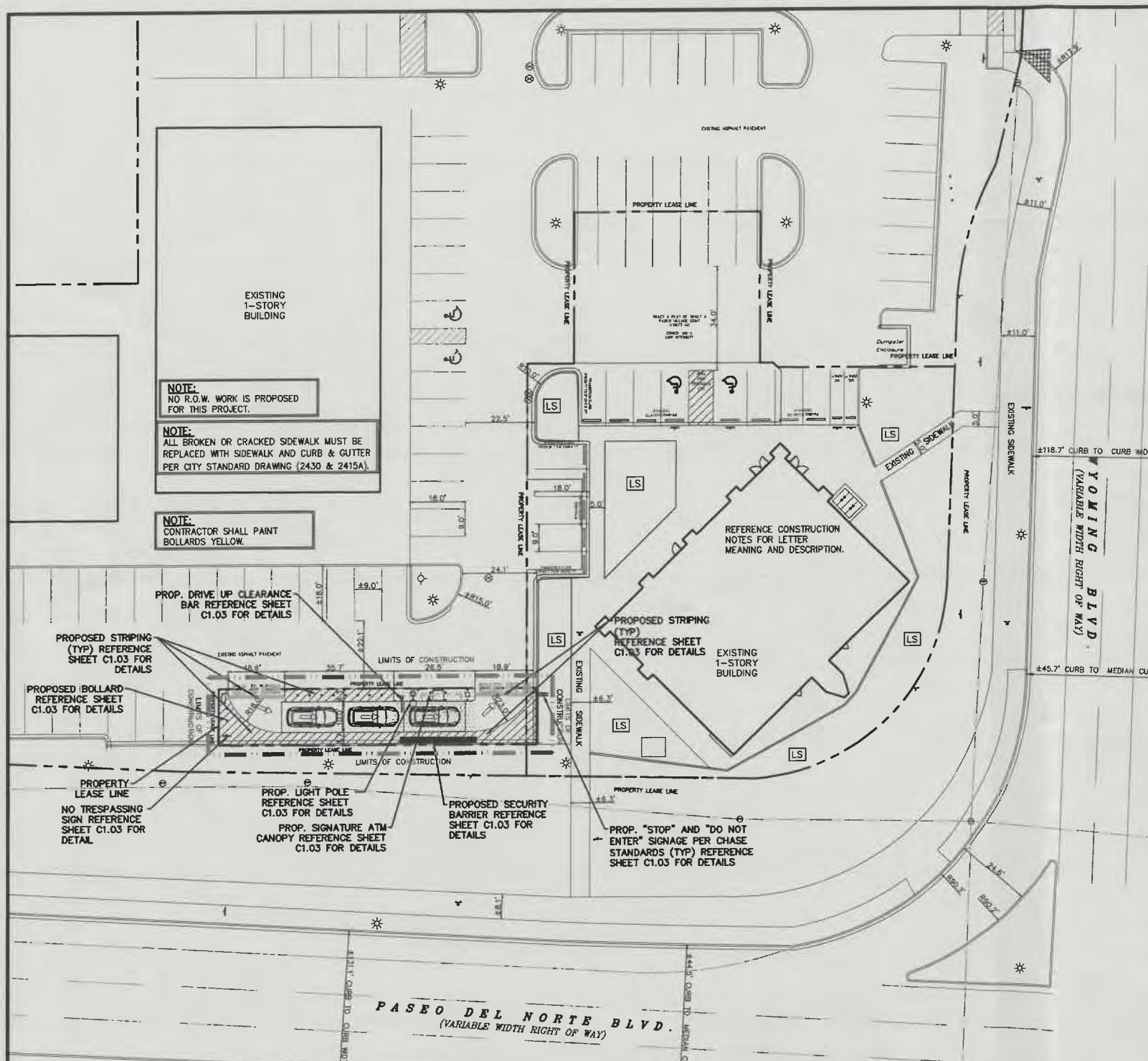
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

  
Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

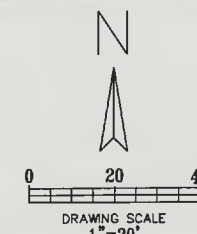
C: CO Clerk, File





SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
SITE ACREAGE:	3.09 ACRES (134,600 SF)
LEASE ACREAGE:	0.044 ACRES (1,919 SF)
BUILDING FOOT PRINT (TOTAL):	±4,953 SQUARE FEET
OPEN SPACE PROVIDED:	±36 SQUARE FEET (1.9%)
BUILDING COVERAGE:	4,953 SQUARE FEET
APPROX EX. IMPERVIOUS AREA:	±1,919 SQUARE FEET (100.0%)
APPROX PROPOSED IMPERVIOUS AREA:	±1,883 SQUARE FEET (98.1%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	15 SPACES
PARKING PROVIDED:	20 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	1 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
BICYCLE SPACE: REQUIRED/PROVIDED	3/4 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPOSED PAVEMENT
  - PROPOSED SIDEWALK
  - PARKING COUNT
  - PROPOSED LANDSCAPE AREA



EXISTING CONDITIONS PARKING ANALYSIS	
EXISTING ZONING: MX-L/MIXED USE	
TENANT ESTABLISHMENTS	
ABQ OLIVE OIL CO.	1,269 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
H&R BLOCK	1,379 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
KOLACHE FACTORY	2,105 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
DESERT ROSE	1,273 SQ. FT. 8 PARKING PER 1,000 SQ. FT. GFA
ALL STATE	1,265 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,270 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,269 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VISION WORKS	3,345 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
SHEAR MADNESS	1,631 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
JADE RESTAURANT	1,675 SQ. FT. 8 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,606 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
AVEDA	3,960 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VACANT	2,073 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
CHIROPRACTOR	3,960 SQ. FT. 5 PARKING PER 1,000 SQ. FT. GFA
MVD EXPRESS	1,753 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
WAKA WAKA	2,458 SQ. FT. 8 PARKING PER 1,000 SQ. FT. GFA
AT&T	2,440 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
REQUIRED PARKING	155 PARKING SPACES
PROVIDED PARKING	165 PARKING SPACES

PROPOSED CONDITIONS PARKING ANALYSIS	
EXISTING ZONING: MX-L/MIXED USE	
TENANT ESTABLISHMENTS	
ABQ OLIVE OIL CO.	1,269 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
H&R BLOCK	1,379 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
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ALL STATE	1,265 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,270 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,269 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VISION WORKS	3,345 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
SHEAR MADNESS	1,631 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
JADE RESTAURANT	1,675 SQ. FT. 8 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,606 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
AVEDA	3,960 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VACANT	2,073 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
CHIROPRACTOR	3,960 SQ. FT. 5 PARKING PER 1,000 SQ. FT. GFA
MVD EXPRESS	1,753 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
CHASE BANK	4953 SQ. FT. 3 PARKING PER 1,000 SQ. FT. GFA
REQUIRED PARKING	141 PARKING SPACES
PROVIDED PARKING	155 PARKING SPACES

- CONSTRUCTION NOTES**
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
  - 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
  - SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
  - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
  - WALKWAY VARIABLE (4' MINIMUM).
  - PROPERTY LINE.
  - 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
  - HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
  - CONTRACTION JOINTS.
  - FOR CURB ACCESS RAMP, SEE DWGS. 2440 THROUGH 2445.
  - CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
  - RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE. 7% PREFERRED SLOPE.
  - ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
  - FOR SIDEWALKS LESS THAN 60' WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60' X 60' SHALL BE PROVIDED AT LEAST EVERY 200 FT.
  - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
  - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/2" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
  - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
  - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

**BENCHMARK**

ALBUQUERQUE NGS MONUMENT "HEAVEN" STANDARD USC & GS BRASS TABLET NEW MEXICO STATE PLANE COORDINATES CENTRAL ZONE, NAD 27 N=1518737.03 E=40705131 ELEVATION=5378.787 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT PROVIDING BENCHMARKS AND BEARINGS.

**III CAUTION III**  
**UNDERGROUND UTILITIES**

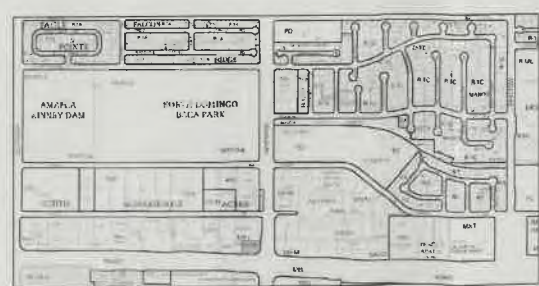
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

**TRAFFIC CIRCULATION LAYOUT APPROVED**

*[Signature]*  
Signed

09/15/21  
Date



**VICINITY MAP**

**Cumulus Design**  
2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367

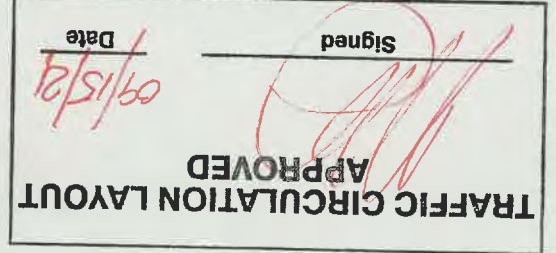
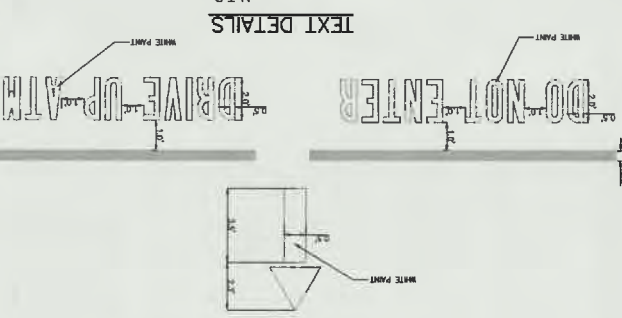
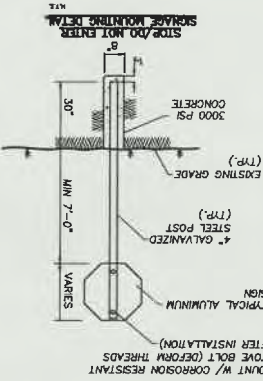
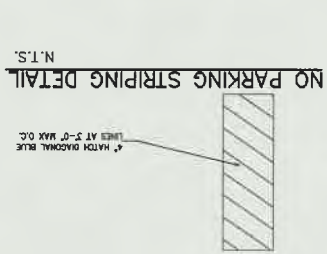
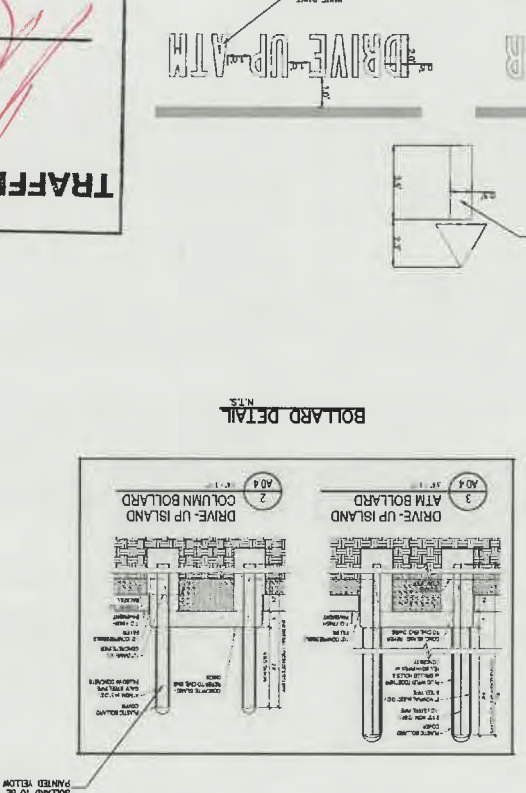
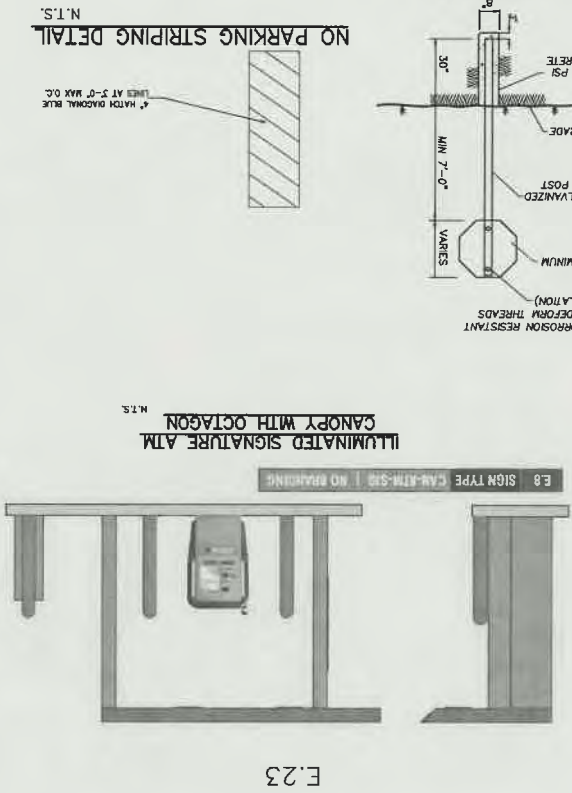
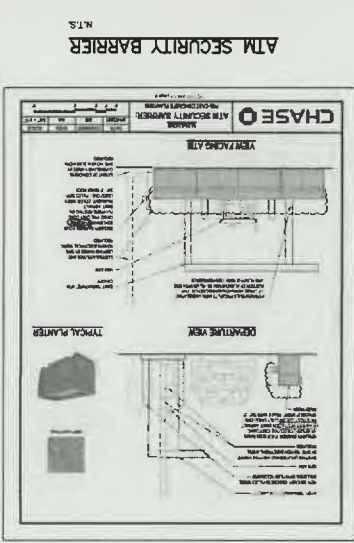
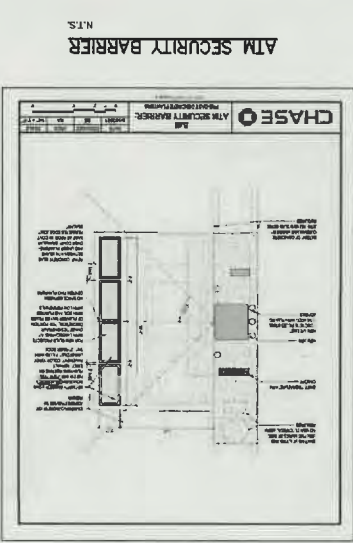
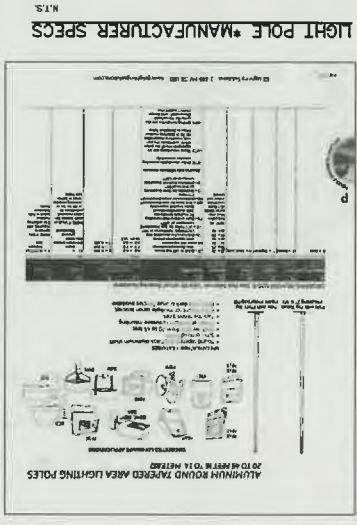
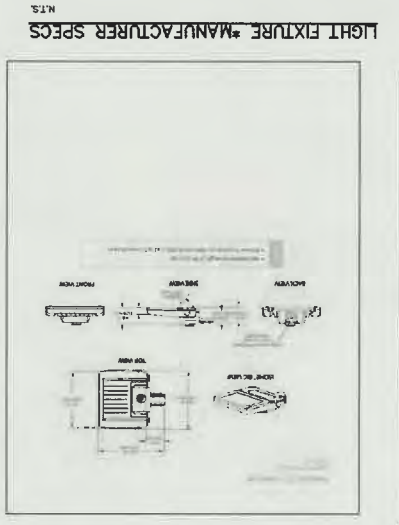
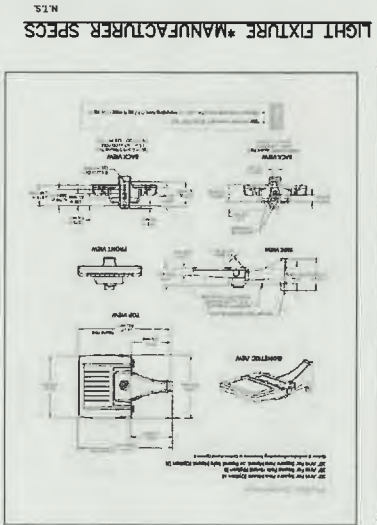
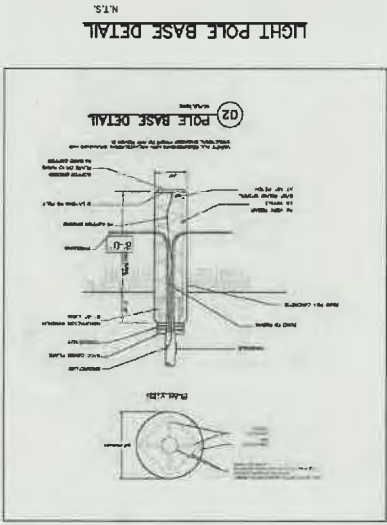


**TRAFFIC CIRCULATION PLAN**  
8001 WYOMING BOULEVARD NE  
CITY OF ALBUQUERQUE, NEW MEXICO  
BERNALILLO COUNTY

<b>CHASE</b>
PLOT DATE
09/09/21
DRAWING SCALE
1" = 20'
PROJECT NUMBER
CDC21001
SHEET NUMBER
C1.02

49-0007A





BARRIER DETAILS

LIGHT POLE DETAILS

C1.03

PROJECT NUMBER

CD021001

DRAWING SCALE

09/09/21

PLOT DATE

CHASEO

TRAFFIC CIRCULATION PLAN

8001 WYOMING BOULEVARD NE

CITY OF ALBUQUERQUE, NEW MEXICO

BERNALILLO COUNTY

Cumulus Design

2080 N. Highway 360, Suite 240

Grand Prairie, Texas 75050

Tel. 214.235.0367

C19-D007A