

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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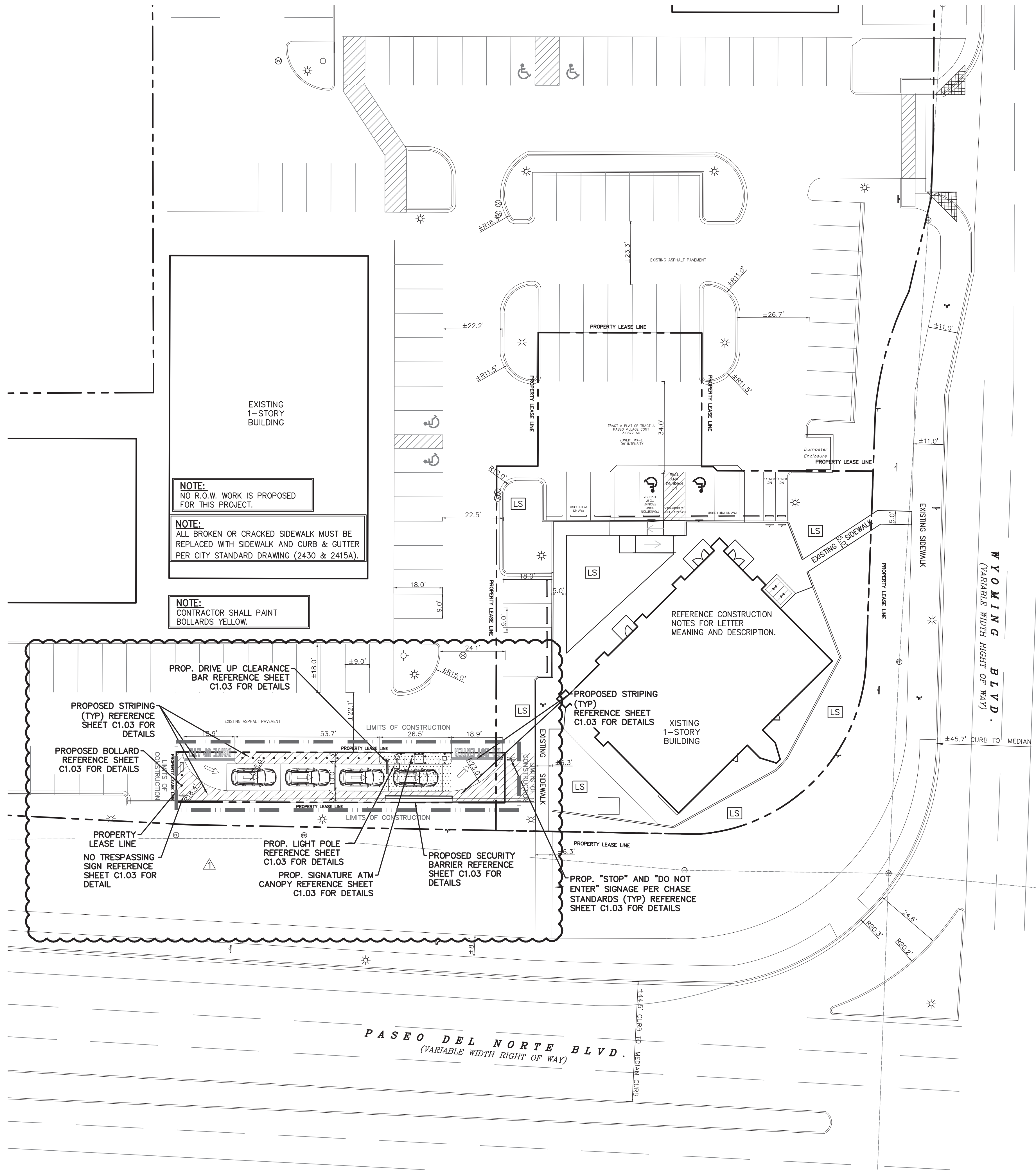
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APPROVED BY

\_\_\_\_\_  
DATE





- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPOSED PAVEMENT
  - PROPOSED SIDEWALK
  - PARKING COUNT
  - PROPOSED LANDSCAPE AREA

- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
  - FOR SIDEWALKS LESS THAN 60' WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60' X 60' SHALL BE PROVIDED AT LEAST EVERY 200 FT.
  - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
  - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/2" AND 3/4" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 3/4" REQUIRE A RAMP.
  - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
  - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

- CONSTRUCTION NOTES**
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
  - 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
  - SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
  - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
  - WALKWAY VARIABLE (4" MINIMUM).
  - PROPERTY LINE.
  - 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
  - HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
  - CONTRACTION JOINTS.
  - FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
  - CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
  - RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
  - ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

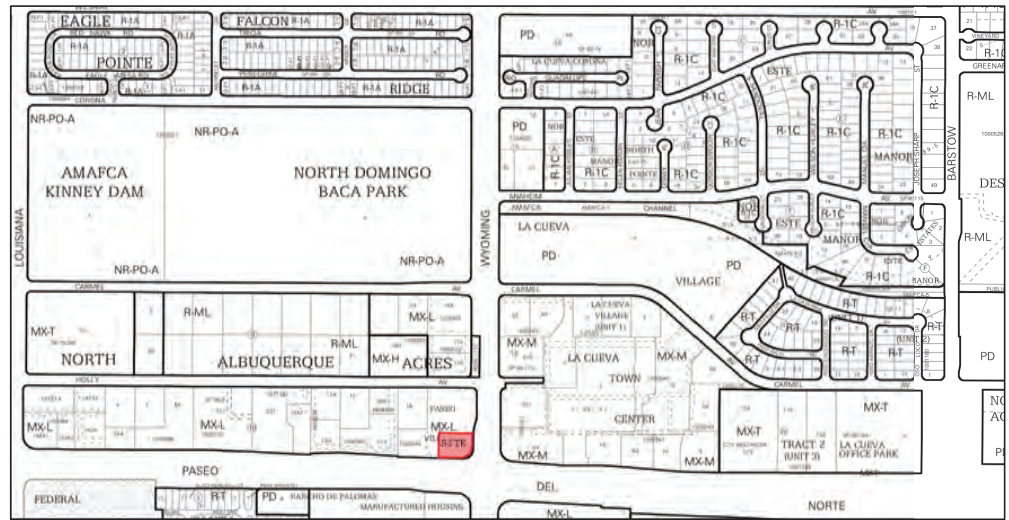
**NOTE:**  
NO R.O.W. WORK IS PROPOSED FOR THIS PROJECT.

**NOTE:**  
ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

**NOTE:**  
LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

**NOTE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE."

**NOTE:**  
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.



**VICINITY MAP**

EXISTING CONDITIONS PARKING ANALYSIS			
EXISTING ZONING: MX-L/MIXED USE			
TENANT ESTABLISHMENTS			
ABQ OLIVE OIL CO.	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
H&R BLOCK	1,379 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
KOLACHE FACTORY	2,105 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
DESERT ROSE	1,273 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA	
ALL STATE	1,265 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
VACANT	1,270 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
VACANT	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
VISION WORKS	3,345 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
SHEAR MADNESS	1,631 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
JADE RESTAURANT	1,675 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA	
VACANT	1,606 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
AVEDA	3,960 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
VACANT	2,073 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
CHIROPRACTOR	3,960 SQ. FT.	5 PARKING PER 1,000 SQ. FT. GFA	
MVD EXPRESS	1,753 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
WAKA WAKA	2,458 SQ. FT.	8 PARKING PER 1,000 SQ. FT. GFA	
AT&T	2,440 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
REQUIRED PARKING		155 PARKING SPACES	
PROVIDED PARKING		166 PARKING SPACES	

PROPOSED CONDITIONS PARKING ANALYSIS			
EXISTING ZONING: MX-L/MIXED USE			
TENANT ESTABLISHMENTS			
ABQ OLIVE OIL CO.	1,269 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
H&R BLOCK	1,379 SQ. FT.	3.5 PARKING PER 1,000 SQ. FT. GFA	
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VACANT	2,073 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
CHIROPRACTOR	3,960 SQ. FT.	5 PARKING PER 1,000 SQ. FT. GFA	
MVD EXPRESS	1,753 SQ. FT.	4 PARKING PER 1,000 SQ. FT. GFA	
CHASE BANK	4953 SQ. FT.	3 PARKING PER 1,000 SQ. FT. GFA	
REQUIRED PARKING		141 PARKING SPACES	
PROVIDED PARKING		155 PARKING SPACES	

SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
SITE ACREAGE:	3.09 ACRES (134,600 SF)
LEASE ACREAGE:	0.044 ACRES (1,919 SF)
BUILDING FOOT PRINT (TOTAL):	±4,953 SQUARE FEET
OPEN SPACE PROVIDED:	±36 SQUARE FEET (1.9%)
BUILDING COVERAGE:	4,953 SQUARE FEET
APPROX EX. IMPERVIOUS AREA:	±1,919 SQUARE FEET (100.0%)
APPROX PROPOSED IMPERVIOUS AREA:	±1,883 SQUARE FEET (98.1%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	15 SPACES
PARKING PROVIDED:	20 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	1 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
BICYCLE SPACE: REQUIRED/PROVIDED	3/4 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

**!!! CAUTION !!!**

**UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



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DAYS PRIOR TO ANY  
EXCAVATION

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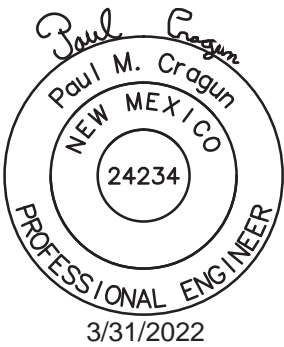
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**REVISIONS**

AS1 #1 03/31/2022

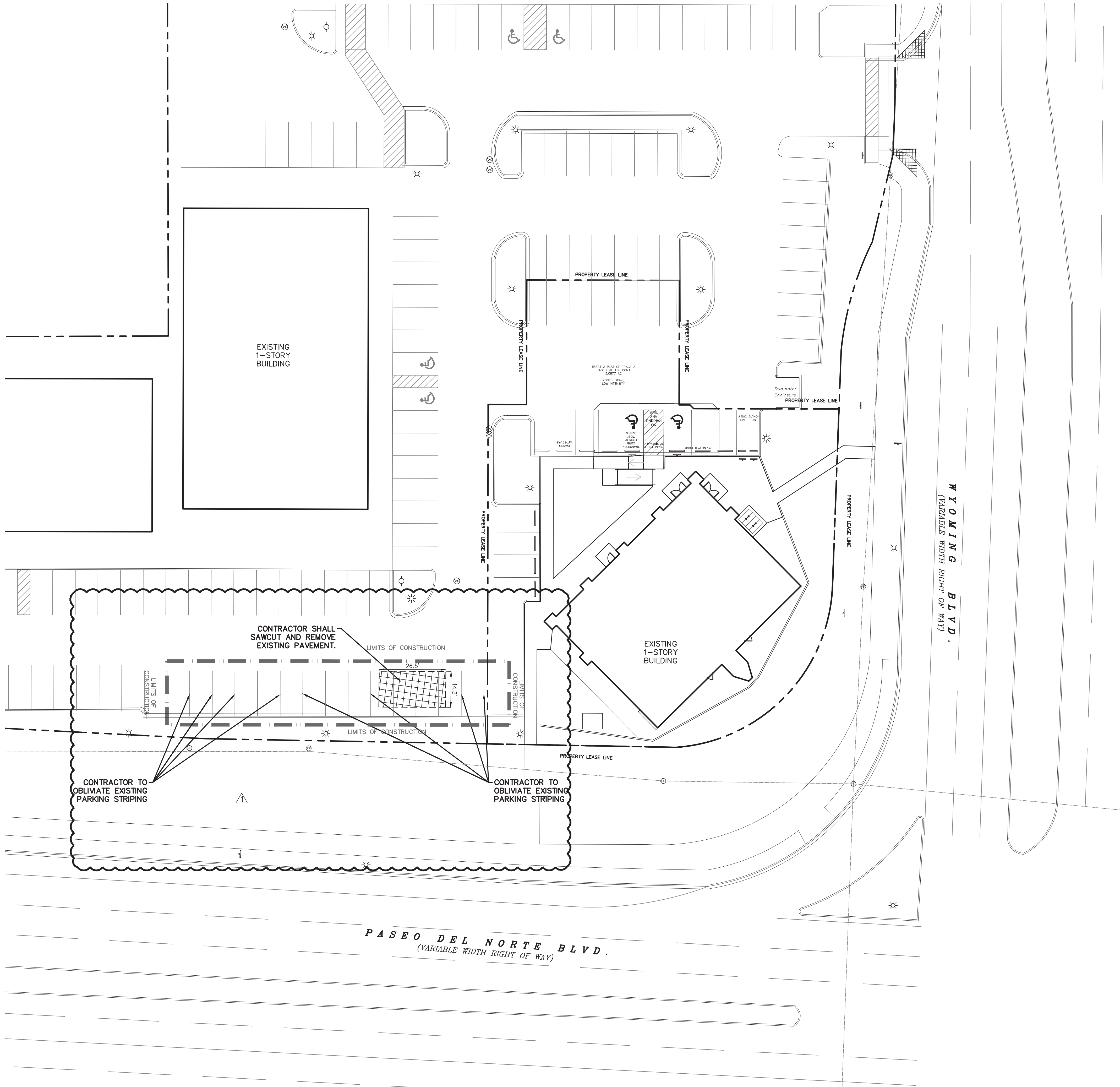
DATE ISSUED: MARCH 12, 2021  
JOB #: 2020047  
SHEET NAME:

SITE PLAN

SHEET :

C1.01





- LEGEND**
- EXISTING CURB
  - PROPOSED SAWCUT
  - EXISTING PAVEMENT, CURB AND GUTTER BUILDING TO BE REMOVED
  - LIMITS OF CONSTRUCTION

- DEMOLITION NOTES:**
1. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
  2. OWNER/DESIGN TEAM ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITIONS OF AREAS TO BE DEMOLISHED. CONTACT ARCHITECT/ENGINEER SHOULD CONFLICTS ARISE.
  3. PERFORM WORK IN MANNER TO ELIMINATE HAZARDS TO PERSONS OR PROPERTY AND AVOID INTERFERENCE WITH ADJACENT AREAS, UTILITIES, AND STRUCTURES.
  4. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, FENCES, WARNING SIGNS, GUARDRAILS, WARNING LIGHTS AS REQUIRED PER O.S.H.A., CITY, AND ALL OTHER APPLICABLE STANDARDS.
  5. PROTECT EXISTING STRUCTURES, LANDSCAPING MATERIALS, AND APPURTENANCES WHICH ARE NOT BEING DEMOLISHED AND REPAIR ANY DAMAGE TO PREVIOUS CONDITIONS OR BETTER.
  6. CONTRACTOR TO BE RESPONSIBLE FOR ALL REQUIRED PERMITS.
  7. CEASE DEMOLITION OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES OR UTILITIES APPEAR TO BE IN DANGER. CONDUCT SAFETY OPERATIONS AS NECESSARY. DO NOT RESUME DEMOLITION OPERATIONS UNTIL DIRECTED TO DO SO BY THE CITY AND/OR OWNER.
  8. SURFACES ARE TO BE BROUGHT TO PLANNED ELEVATION AS SOON AS REASONABLE PER DESIGN PLANS. ALWAYS PROVIDE POSITIVE DRAINAGE.
  9. ALL MATERIALS REMOVED SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER.
  10. CONTRACTOR SHALL PROTECT AND BRACE (IF NEEDED) ALL EXISTING AND ANY PROPOSED POWER POLES DURING DEMOLITION & CONSTRUCTION OPERATIONS.
  11. THE CONTRACTOR (INCLUDING SUB CONTRACTORS) WILL BE RESPONSIBLE FOR COORDINATING WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
  12. REFER TO LANDSCAPE PLAN FOR TREES TO REMAIN OR TO BE REMOVED (IF ANY).
  13. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED TRAFFIC CONTROL PLAN(S).
  14. CONTRACTOR SHALL INSTALL, ADJUST AND REMOVE ANY SECURITY/CONSTRUCTION FENCING PER OWNER'S REPRESENTATIVES DIRECTION.
  15. THE SAWCUT LINES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FOLLOW THE CITY'S PAVEMENT MANUAL/GUIDE FOR CORRECT SAWCUTTING LOCATIONS AND PROCEDURES IF ANY.
  16. ALL SAWCUT LINES ARE SHOWN FOR GENERAL REPRESENTATION ONLY AND MAY VARY DEPENDING ON EXISTING FIELD CONDITIONS OF PAVEMENT JOINTS. CONTRACTOR SHALL REFERENCE CITY PAVEMENT CUT AND REPAIR STANDARDS IF ANY.

**!!! CAUTION !!!**

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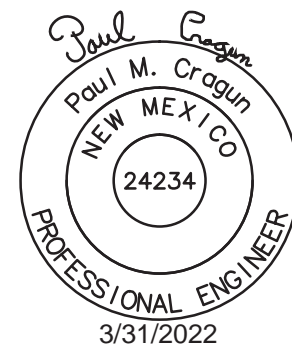
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**REVISIONS**

ASI #1 03/31/2022

DATE ISSUED: MARCH 12, 2021

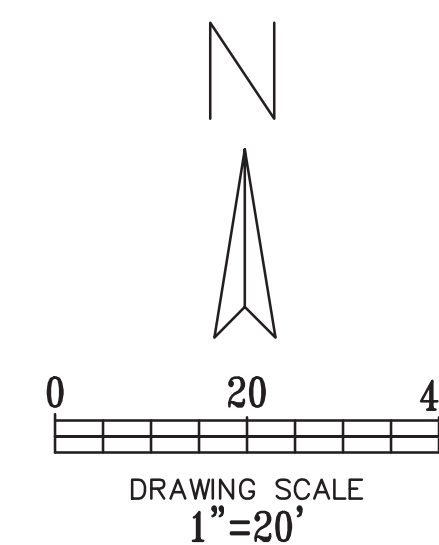
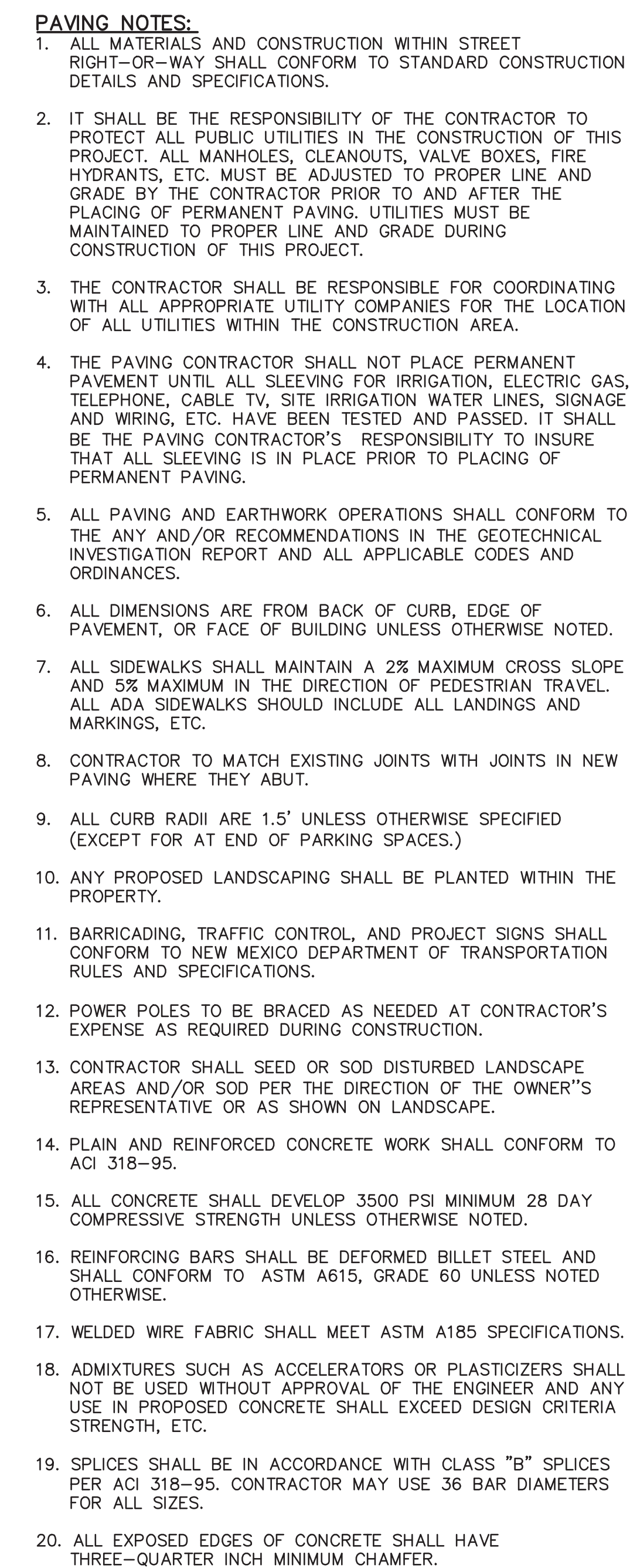
JOB #: 2020047

SHEET NAME: DEMOLITION PLAN






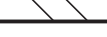


SHEET :

C3.01





LEGEND

- |   |  |
|---|--|
|   | - EXISTING CURB  |
|  | - PROPOSED CURB  |
|  | - PARKING COUNT  |
|  | PROPOSED REINFORCED CONCRETE<br>- PAVEMENT ON AN AGGREGATE<br>SUBGRADE.  |
|  | PROPOSED REINFORCED CONCRETE<br>- PAVEMENT ON AN AGGREGATE<br>SUBGRADE.  |
|  | PROPOSED ASPHALTIC CONCRETE (AC)<br>- NMDOT TYPE SP-III OR IV OR 6"<br>GRANULATED BASE IN MEDIUM DUTY<br>AREAS |
|  | - PROPOSED LIGHT POLE  |
|  | - LIMITS OF CONSTRUCTION   |
|  | - PROPOSED LANDSCAPE AREA  |

**NOTE:**  
NO R.O.W. WORK IS PROPOSED  
FOR THIS PROJECT.

**NOTE:**  
ALL BROKEN OR CRACKED SIDEWALK MUST  
BE REPLACED WITH SIDEWALK AND CURB &  
GUTTER PER CITY STANDARD DRAWING (2430  
& 2415A).

**NOTE:**  
CONTRACTOR SHALL PAINT  
BOLLARDS YELLOW.

PROPOSED STRIPING  
(TYP) REFERENCE  
SHEET C1.03 FOR

PROP. DRIVE UP CLEARANCE  
BAR REFERENCE SHEET  
C1.03 FOR DETAILS

PROPERTY  
LEASE LINE  
NO TRESPASSING  
SIGN REFERENCE  
SHEET C1.03 FOR  
DETAIL

PROP. LIGHT POLE  
REFERENCE SHEET  
C1.03 FOR DETAILS

PROP. SIGNATURE ATM  
CANOPY REFERENCE SHEET  
C1.03 FOR DETAILS

PROPOSED SECURITY  
BARRIER REFERENCE  
SHEET C1.03 FOR  
DETAILS

PROP. "STOP" AND "DO NOT  
ENTER" SIGNAGE PER CHASE  
STANDARDS (TYP) REFERENCE  
SHEET C1.03 FOR DETAILS

PROPOSED STRIPING  
(TYP)  
REFERENCE SHEET

REFERENCE  
CONSTRUCTION NOTES  
FOR LETTER MEANING  
AND DESCRIPTION.

PROP. "STOP" AND "DO NOT  
ENTER" SIGNAGE PER CHASE  
STANDARDS (TYP) REFERENCE  
SHEET C1.03 FOR DETAILS

**!!! CAUTION !!!**

## UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY INFORMATION CONCERNING THE HORIZONTAL AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE ALL PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTED ON THE PLANS, AND TO NOTIFY ALL AFFECTED AGENCIES AND AGENCIES OF THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO ANY UTILITIES OR UNDERGROUND FACILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

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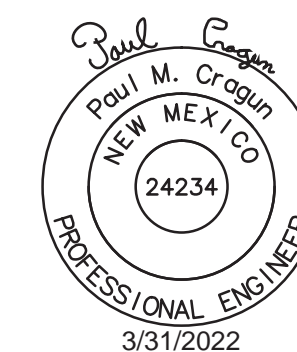
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## REVISIONS

	ASCE #1	03/31/2022
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DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

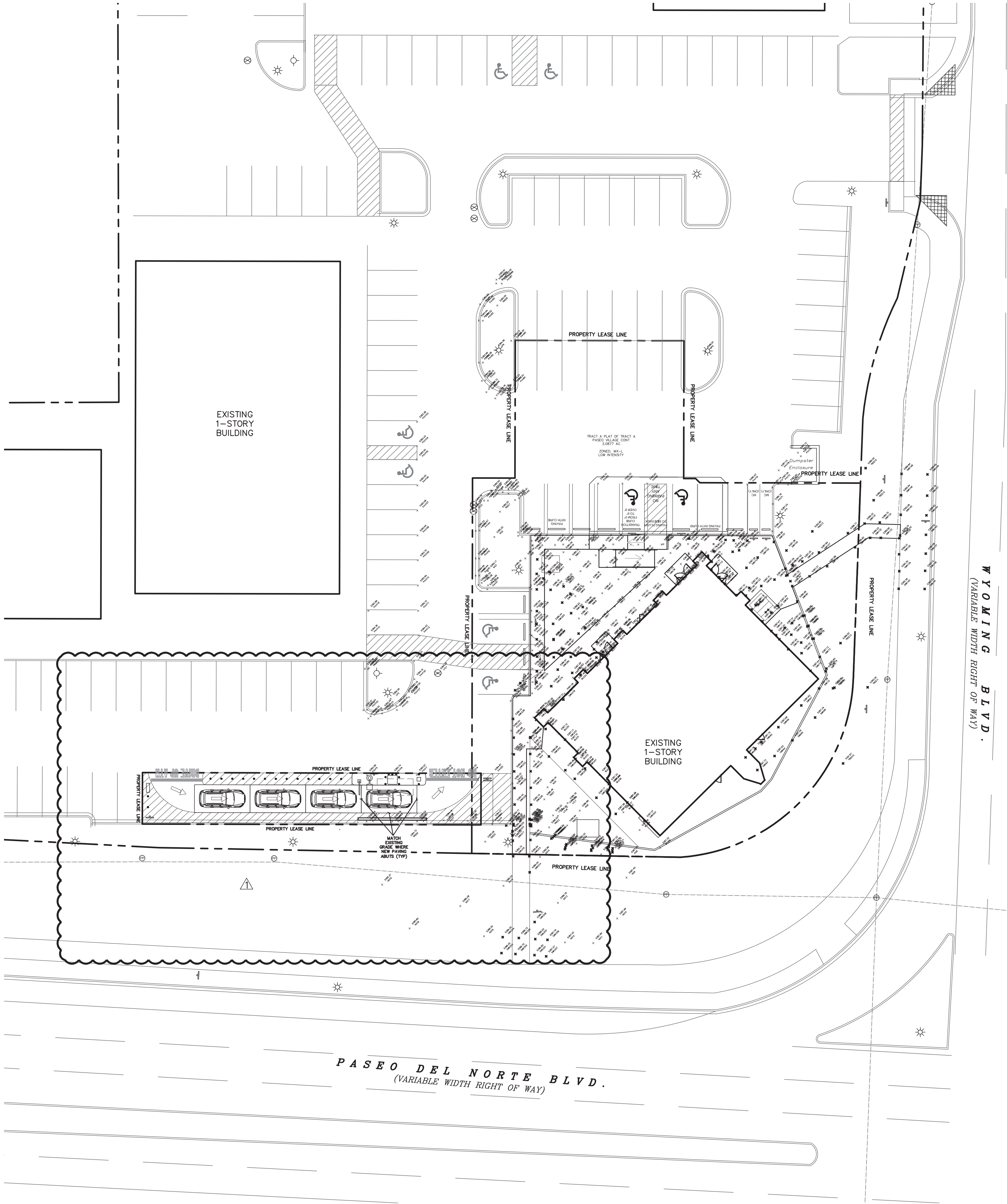
SHEET NAME:

PAVING PLAN

SHEET :

C4.01





LEGEND

- "BFR" RAMP - STANDARD 6 FOOT MAX LENGHT ADA BARRIER FREE RAMP
- ADA RAMP WITH HANDRAILS - STANDARD 30 FOOT MAX LENGHT ADA RAMP WITH HANDRAILS PER CHASE STANDARDS
- GRADE PATH TO ADA STANDARDS - STANDARD ADA SIDEWALK GRADING ALONG THE PATH OF TRAVEL FROM ACCESSIBLE DOORS TO ACCESSIBLE PARKING TO ACCESSIBLE RIGHT OF WAY CONNECTIONS
- "FLAT" LANDING - STANDARD ADA LANDINGS THAT ARE MINIMUM WITH OF 5 FOOT BY 5 FOOT AREA WITH A MAXIMUM SLOPE OF 2.0% IN ANY DIRECTION. NOTE: FLAT LANDING SHOULD BE EXISTING TO MATCH WIDTH OF RAMP, DOORWAY, ETC.

GRADING NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.
3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
4. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.
6. BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKS ARE LOST OR DISTURBED AND NEED OR BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
7. EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
9. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
10. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
11. ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
12. SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
13. PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMPS. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.
15. SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.

!!! CAUTION !!!

UNDERGROUND UTILITIES

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PASEO DEL NORTE AND WYOMING

8001 WYOMING BLVD NE

SUITES #A1 & A2

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ROUGH ARCHITECTS



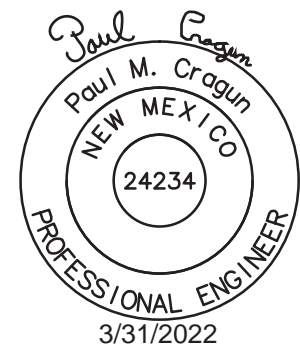
1445 ROSS AVENUE

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REVISIONS

AS1 #1 03/31/2022

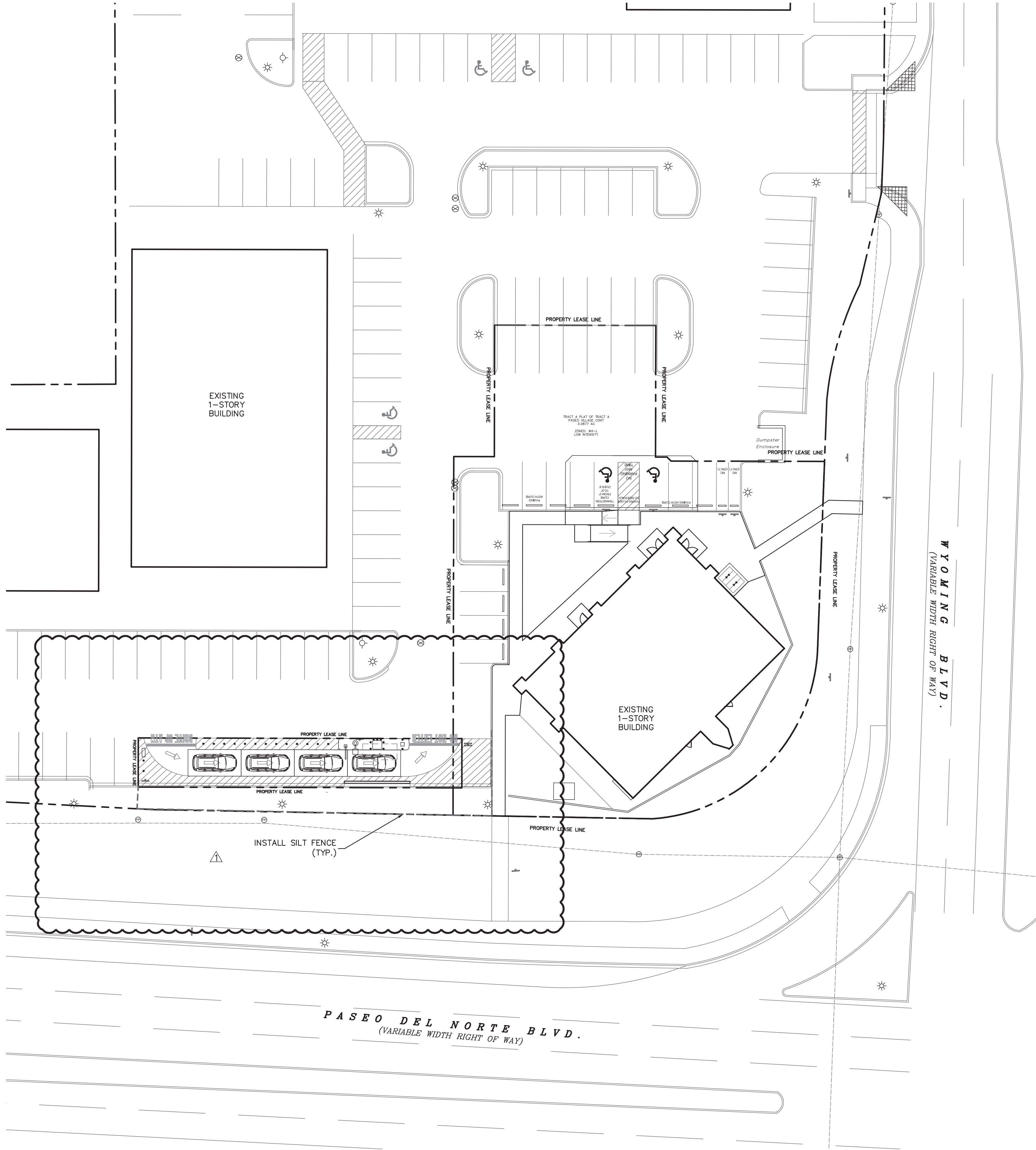
DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

SHEET NAME: GRADING PLAN

SHEET: C5.01



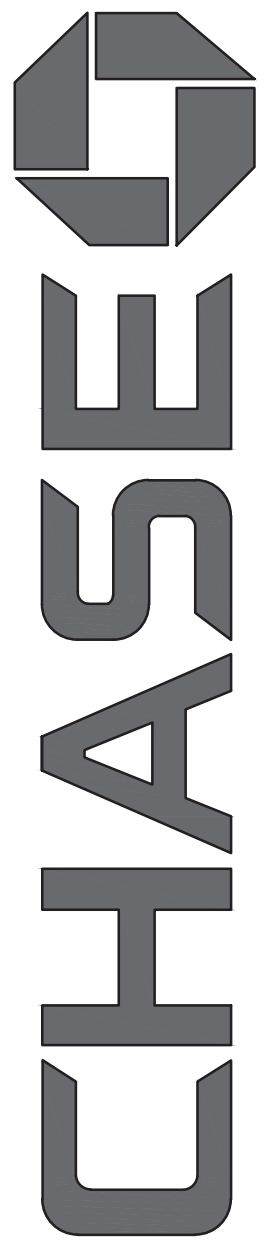
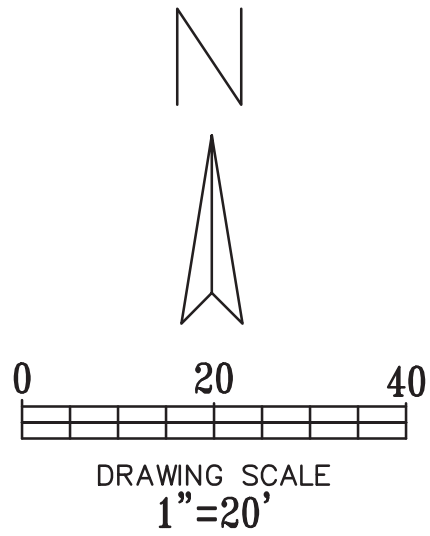


LEGEND

- EXISTING CURB
- PROPOSED CURB
- - - SILT FENCE
- [ ] INLET PROTECTION

EROSION CONTROL NOTES:

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENT FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE STORM WATER POLLUTION AND PREVENTION PLAN (SWPPP) IF REQUIRED.
6. ALL EROSION CONTROL IN THE CITY R.O.W SHALL BE PER CITY/COUNTY STANDARDS AND DETAILS.
7. AREAS DISTURBED DURING CONSTRUCTION SHALL BE HYDRO MULCHED OR SEEDED AS DIRECTED BY REPRESENTATIVE OR BY LANDSCAPING PLAN.
8. CONTRACTOR SHALL COORDINATE SITE EROSION CONTROLS WITH OVERALL SWPPP REQUIREMENTS OF THE ENTIRE DEVELOPMENT (IF PLANS/DOCUMENTS EXIST).
9. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES IN GOOD CONDITIONS AT ALL TIMES.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF WORK.



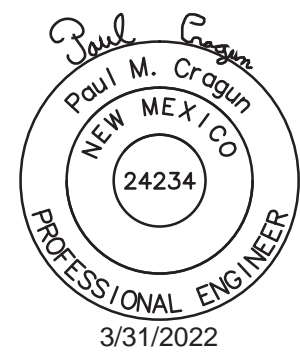
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ASI #1 03/31/2022

DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

SHEET NAME: EROSION CONTROL PLAN

SHEET: C6.01

!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



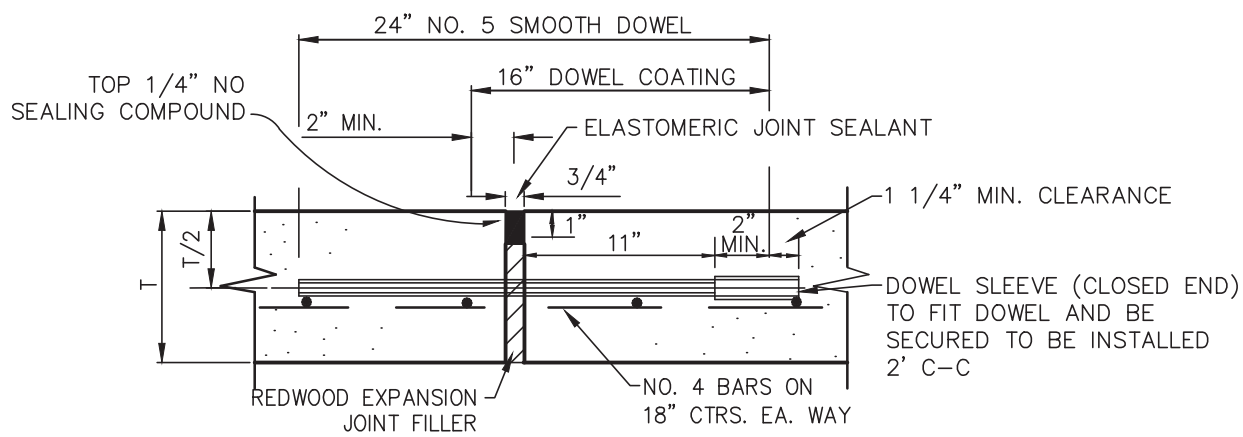
CALL NM ONE-CALL  
SYSTEM SEVEN (7)  
DAYS PRIOR TO ANY  
EXCAVATION

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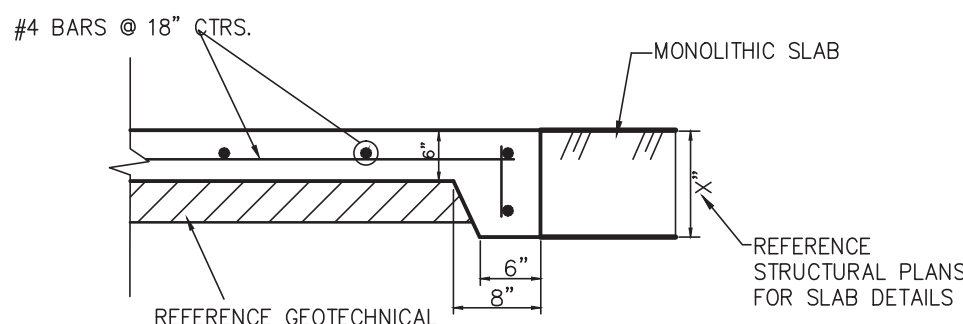
NOTE: DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE, LOCATED AS INDICATED OR AS NEEDED. JOINTS TO BE ON MAXIMUM OF 75' SPACING AND LOCATED AT POINTS OF INFLECTION AND MINIMUM CONCRETE WIDTH WHERE POSSIBLE.

T=THICKNESS OF PAVEMENT

#### EXPANSION JOINT

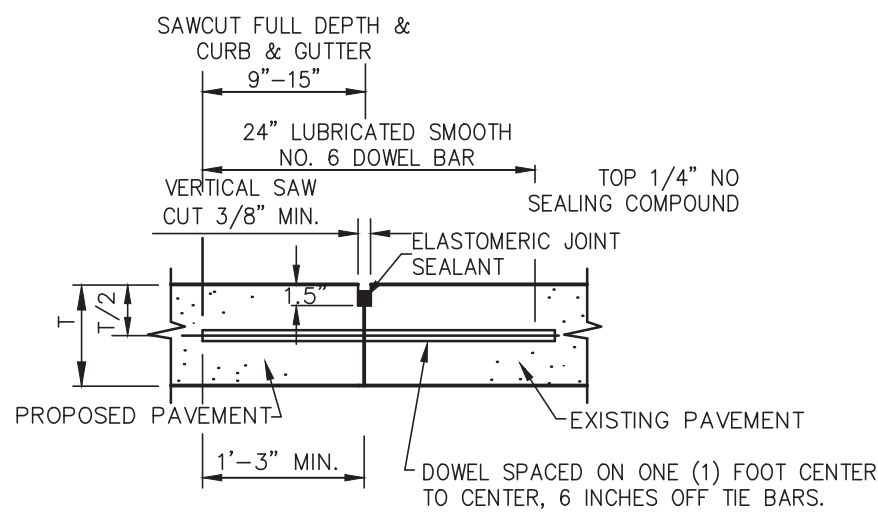
NOTE: PAVEMENT IN CITY R.O.W. AND PRELINES TO BE PER CITY STANDARDS.

NOTE: ALL JOINTS SHALL EXTEND THROUGH AND BE PERPENDICULAR CONCRETE CURBS AND SHALL MATCH SIDEWALK JOINTS WHERE APPLICABLE.



#### THICKENED EDGE SECTION

N.T.S.

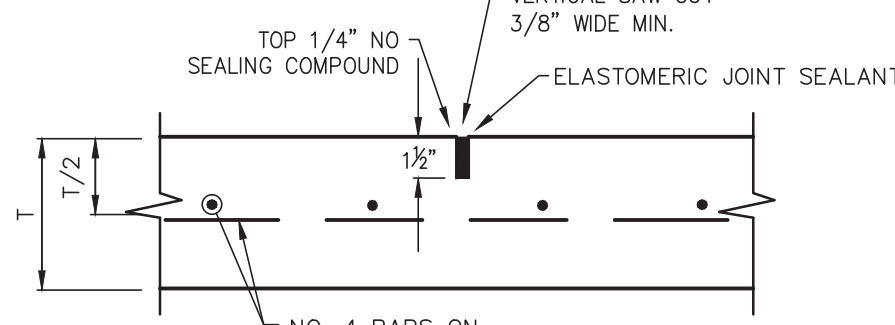


NOTE: DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

#### LONGITUDINAL BUTT JOINT

N.T.S.

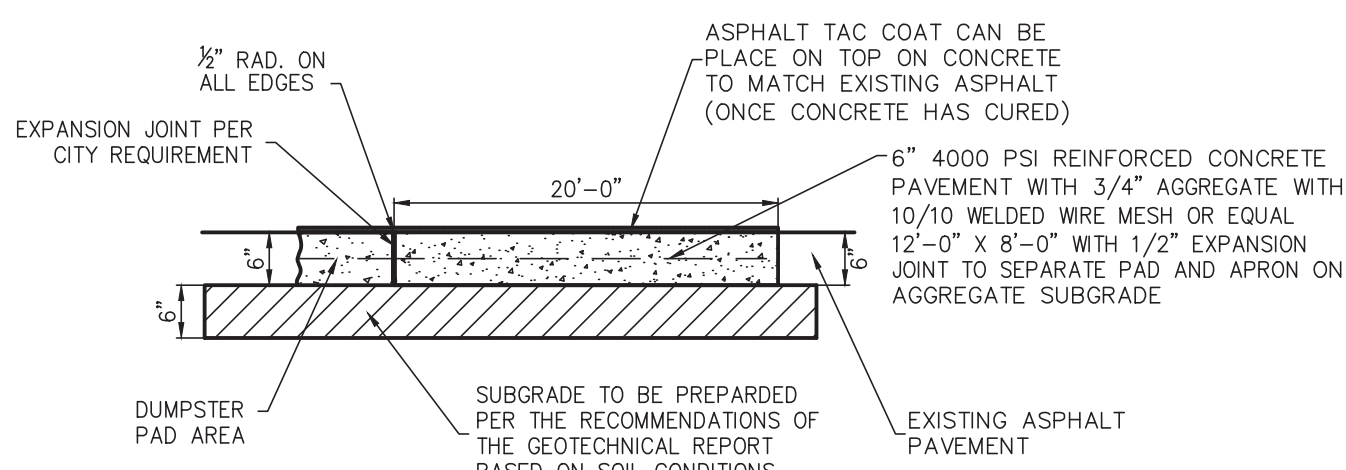
- NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
  2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF PAVEMENT THICKNESS.
  3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
  4. DRILLED BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.



#### SAWED DUMMY (CONTROL) JOINT

NOTE: MAXIMUM SPACING IS 15' CENTERS

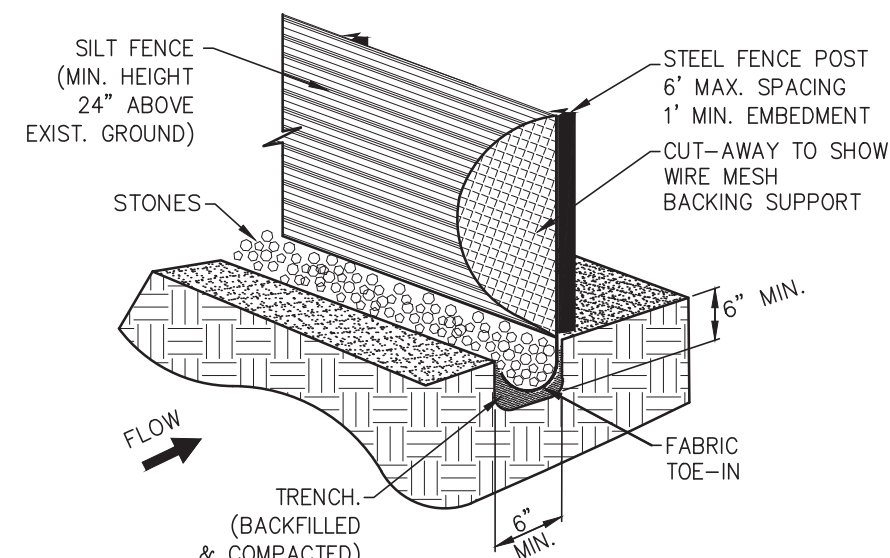
N.T.S.



#### CONCRETE APRON

N.T.S.

#### PAVEMENT DETAILS



NOTES:

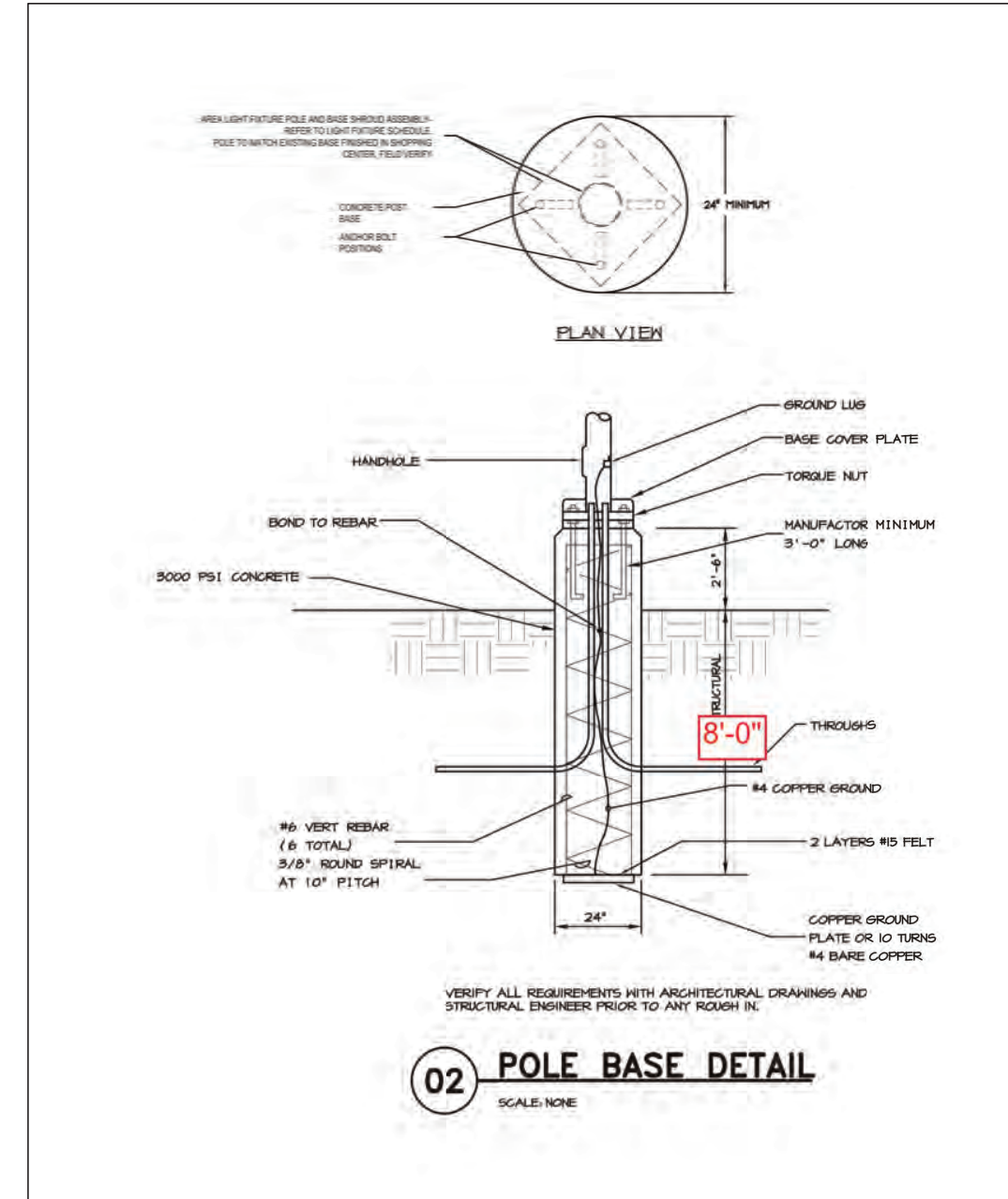
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON THE UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL SUPPORT POST THERE SHALL BE A 6 INCH DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHED A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

#### SILT FENCE

N.T.S.

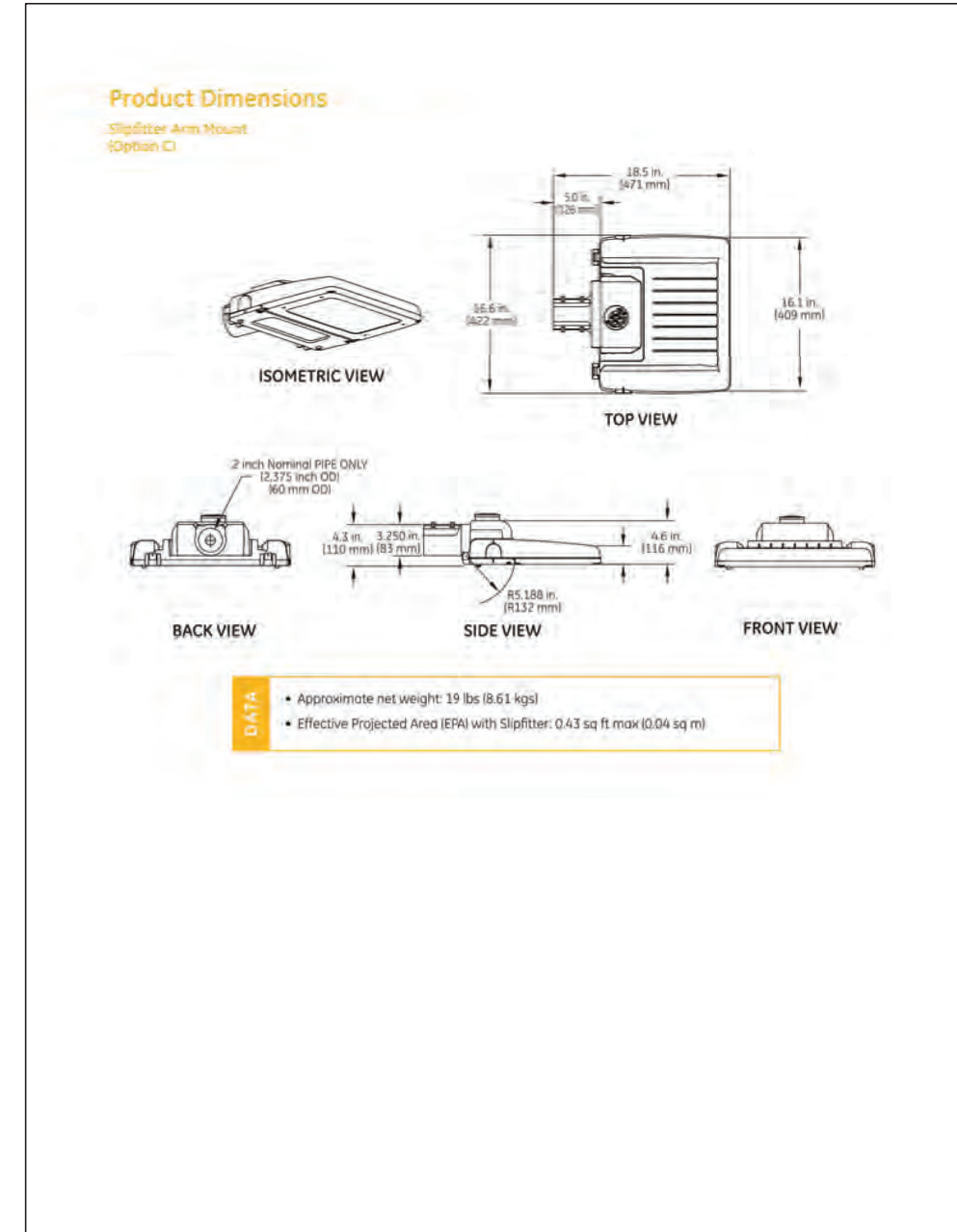
#### EROSION CONTROL

NOTE: DETAILS ON THIS SHEET ARE PRIVATE. ALL WORK WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAY SHALL BE PER CITY (OR STATE, IF APPLICABLE) STANDARD DETAILS. THE CONTRACTOR IS REQUIRED TO HAVE ON-SITE, AT ALL TIMES, A COPY OF THE CITY'S CONSTRUCTION DETAILS.



#### LIGHT POLE BASE DETAIL

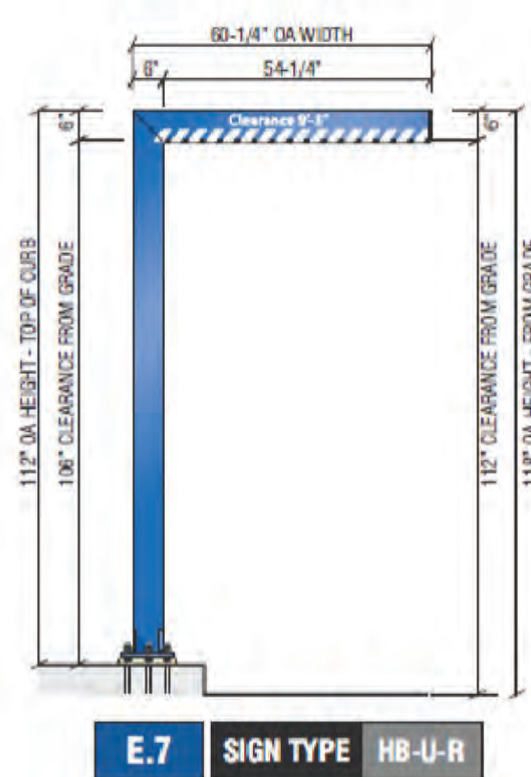
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#### LIGHT FIXTURE \*MANUFACTURER SPECS

N.T.S.

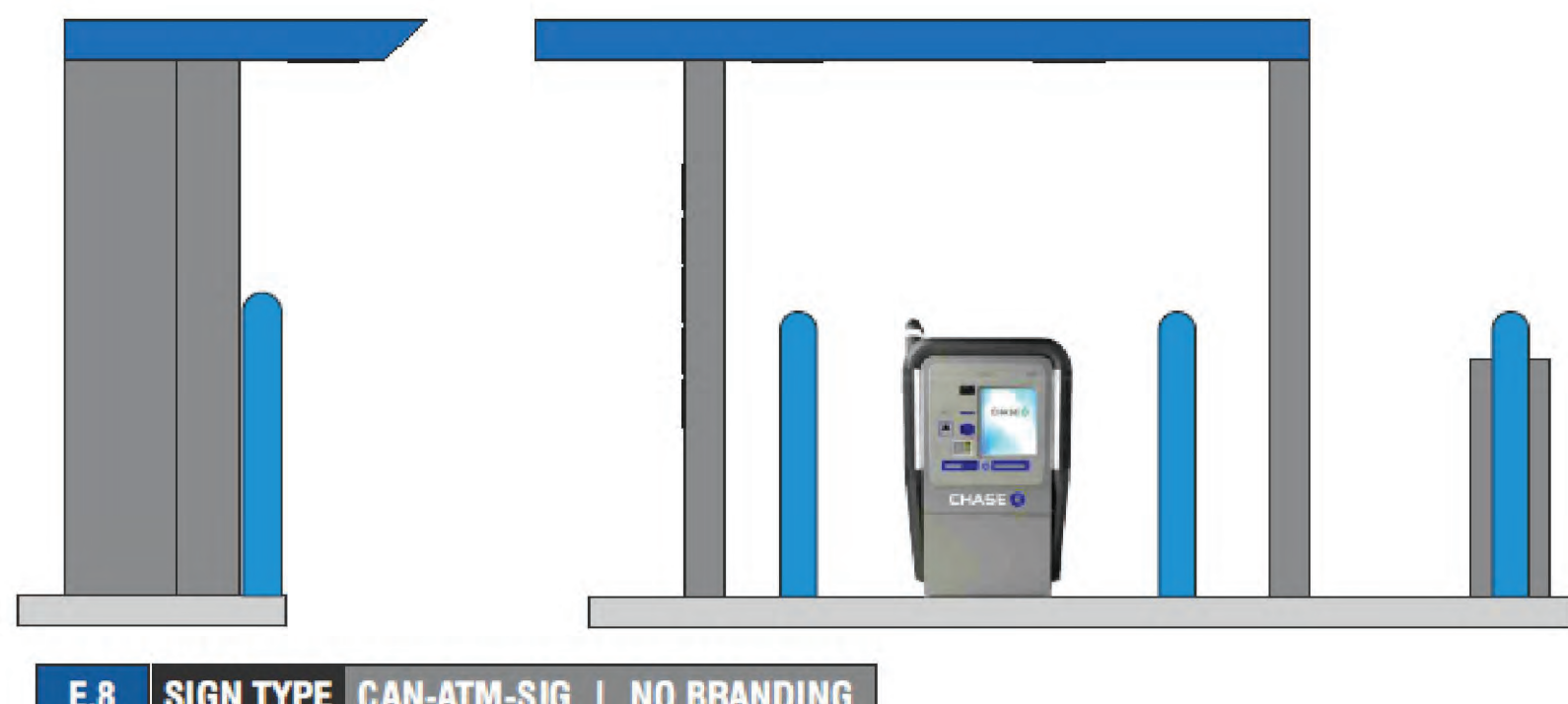
E.7



#### NON-ILLUMINATED DRIVE UP CLEARANCE BAR

N.T.S.

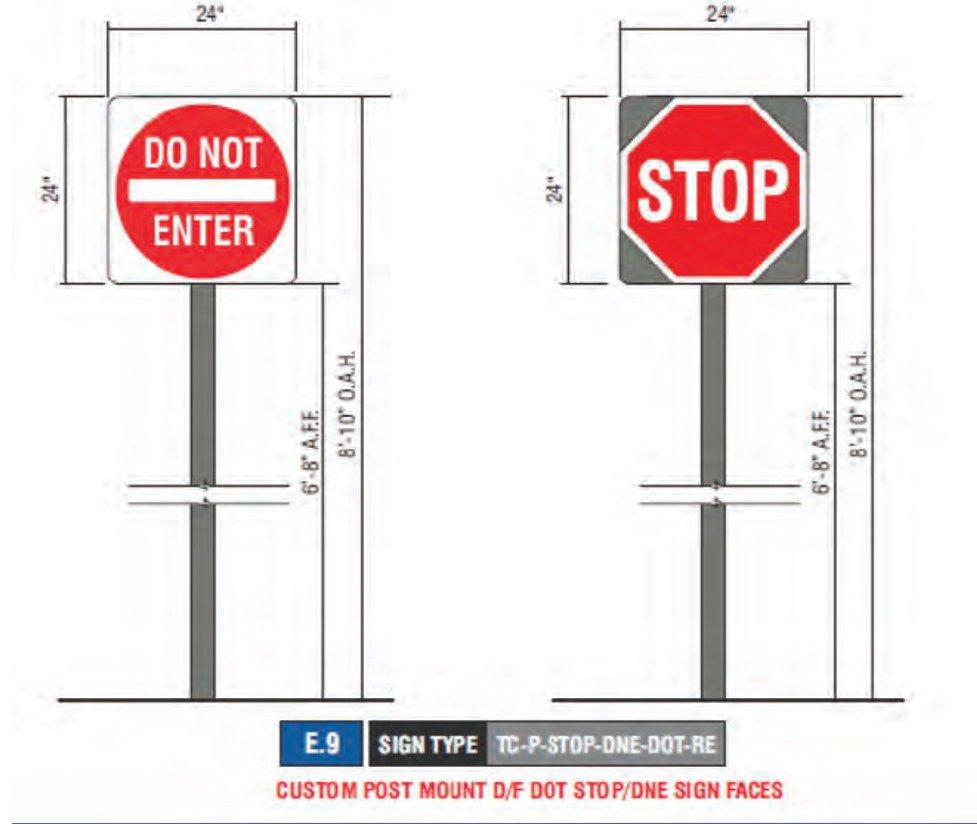
E.8



#### ILLUMINATED SIGNATURE ATM CANOPY WITH OCTAGON

N.T.S.

E.9

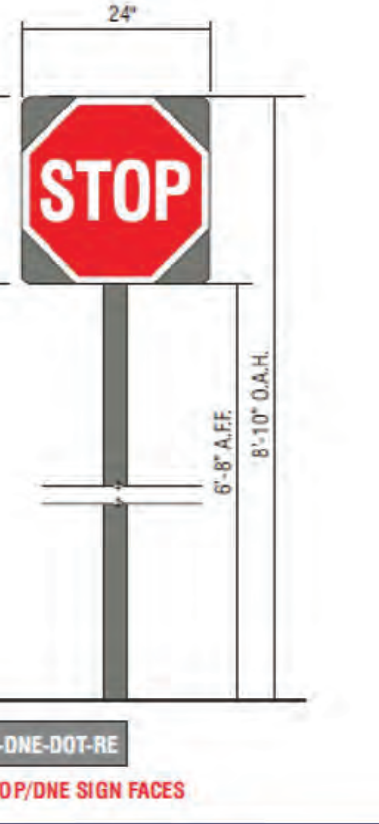


#### DO NOT ENTER SIGN

R5-1

(SIZE: 24"x24")

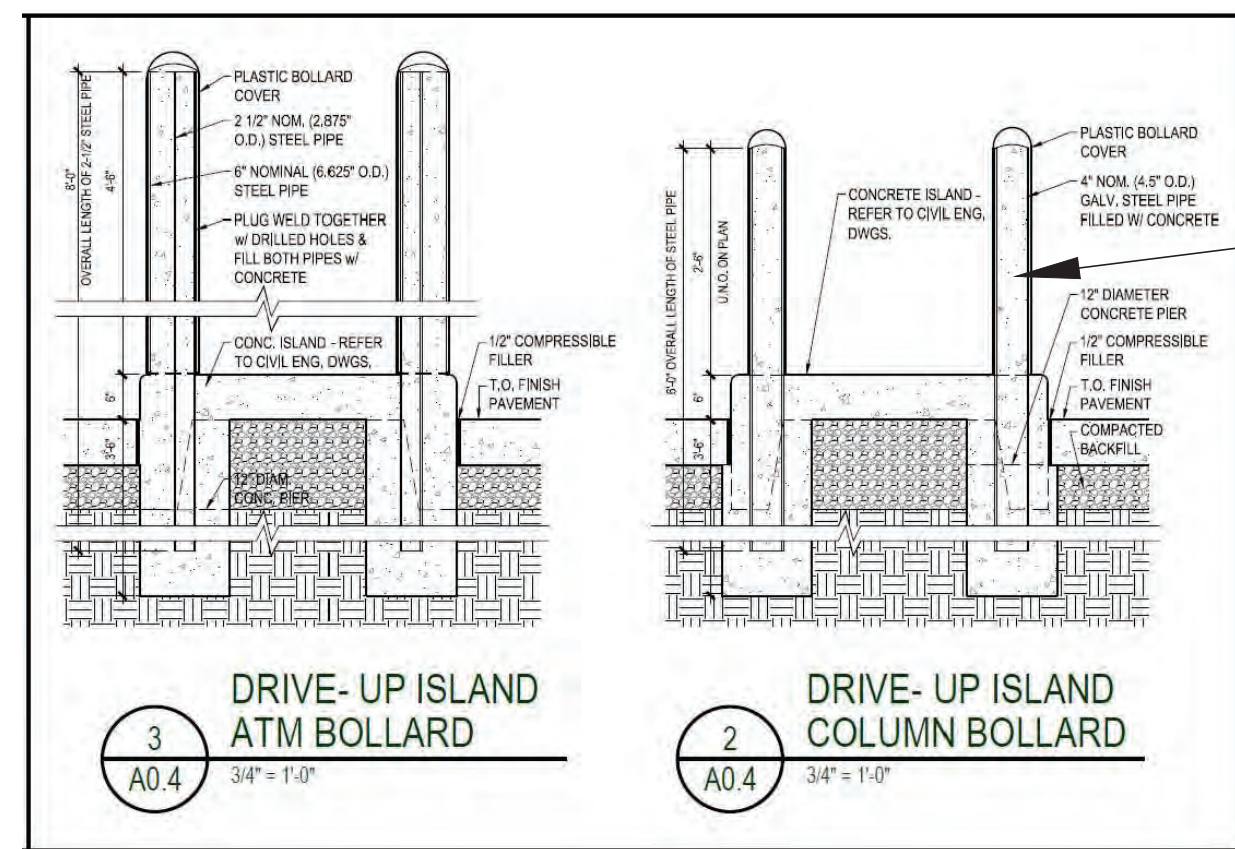
E.10



#### STOP SIGN

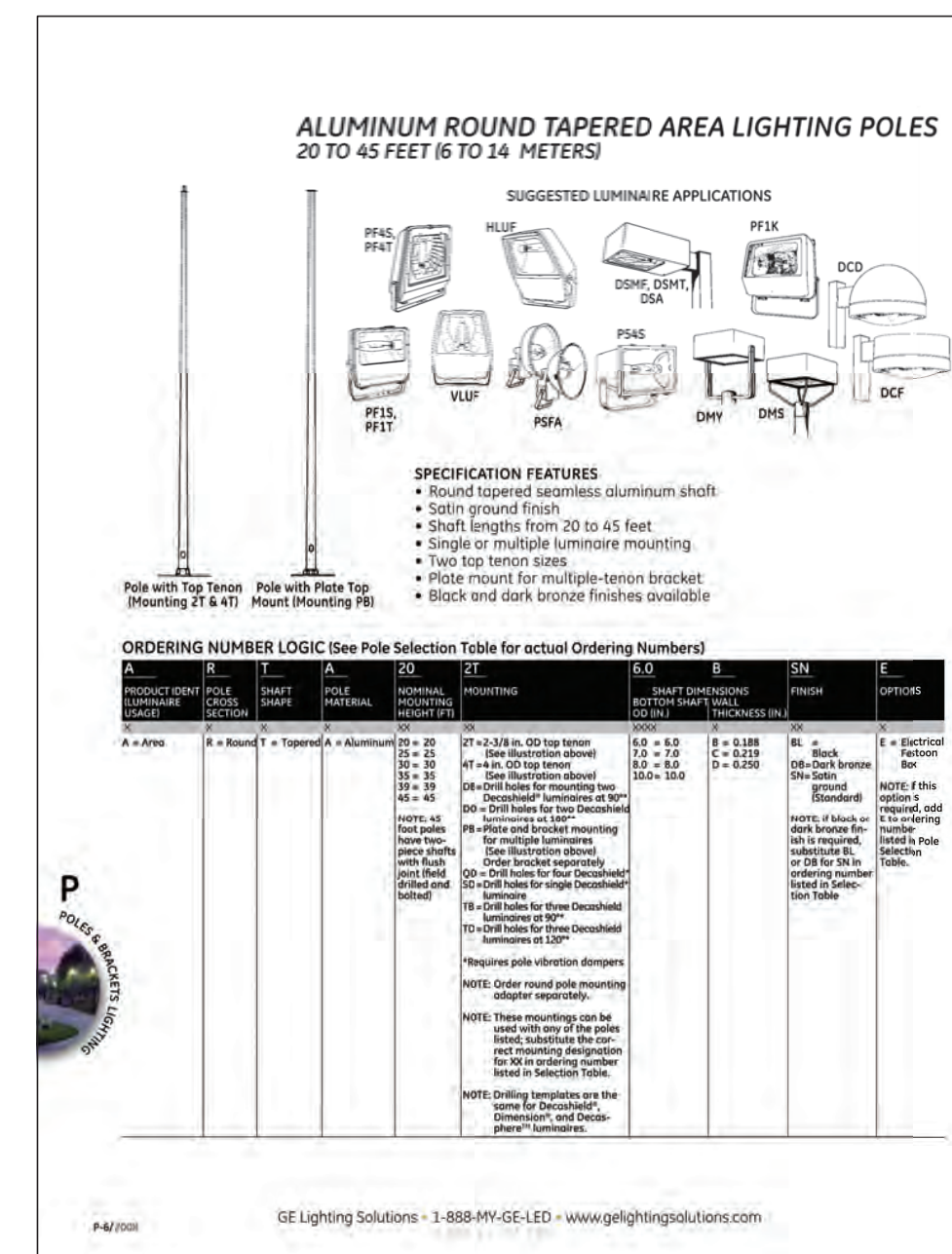
R1-1

(SIZE: 24"x24")



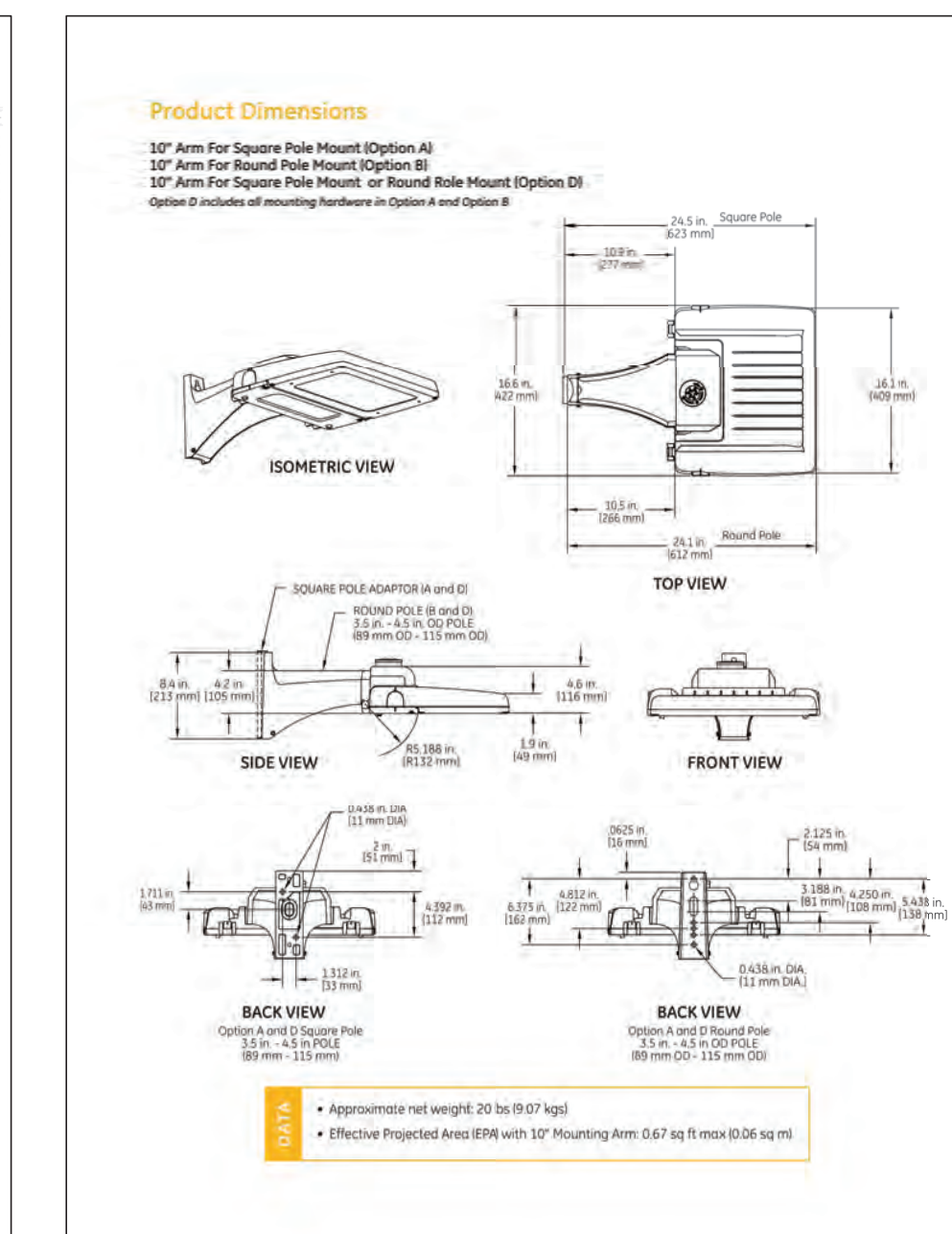
#### BOLLARD DETAIL

N.T.S.



#### LIGHT FIXTURE \*MANUFACTURER SPECS

N.T.S.

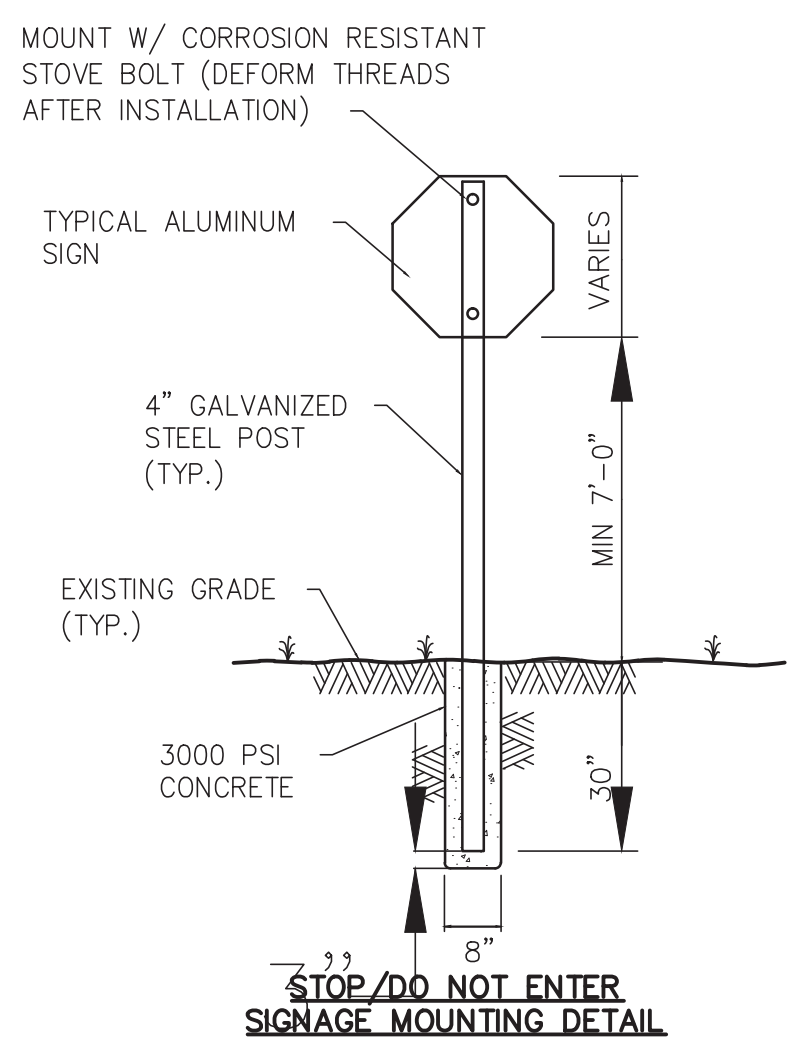


#### LIGHT POLE \*MANUFACTURER SPECS

N.T.S.

#### NO TRESPASSING SIGN

N.T.S.

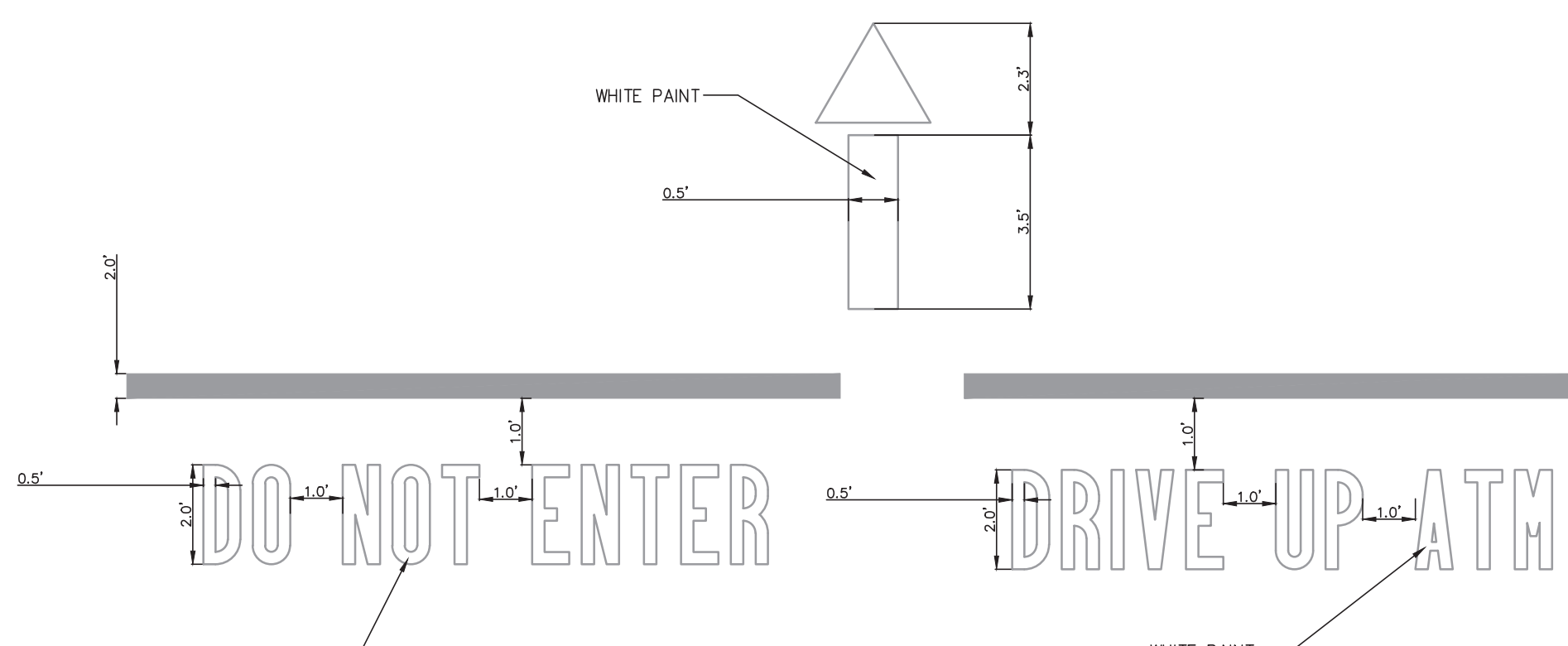


#### STOP/DO NOT ENTER SIGNAGE MOUNTING DETAIL

N.T.S.

#### NO PARKING STRIPING DETAIL

N.T.S.



#### TEXT DETAILS

N.T.S.

CHASE

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Paul M. Crisp  
NEW MEXICO  
24234  
PROFESSIONAL ENGINEER  
3/31/2022

#### REVISIONS

ASH #1 03/31/2022

DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

SHEET NAME: DETAILS (PRIVATE)

SHEET: C7.01

Cumulus Design

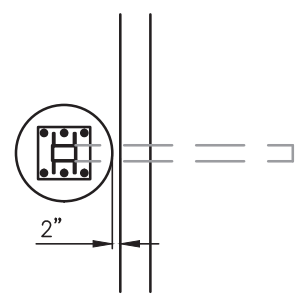
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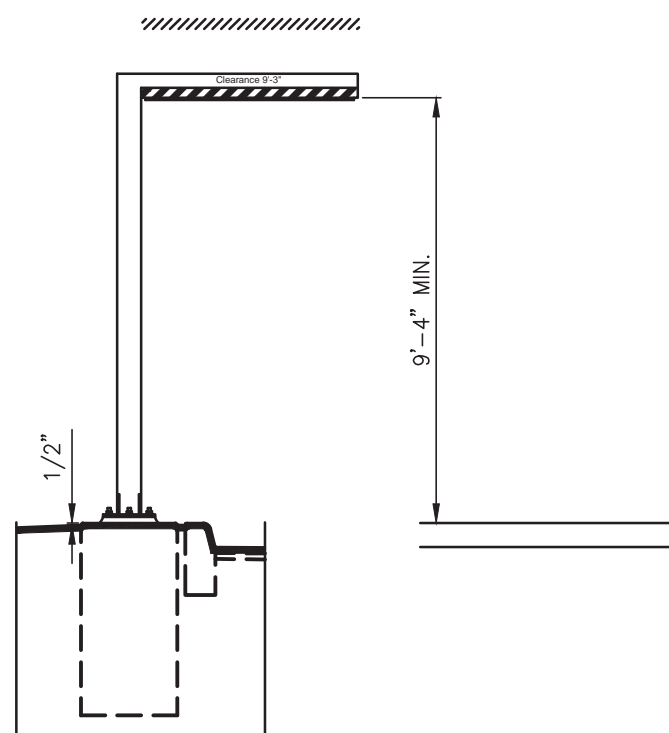
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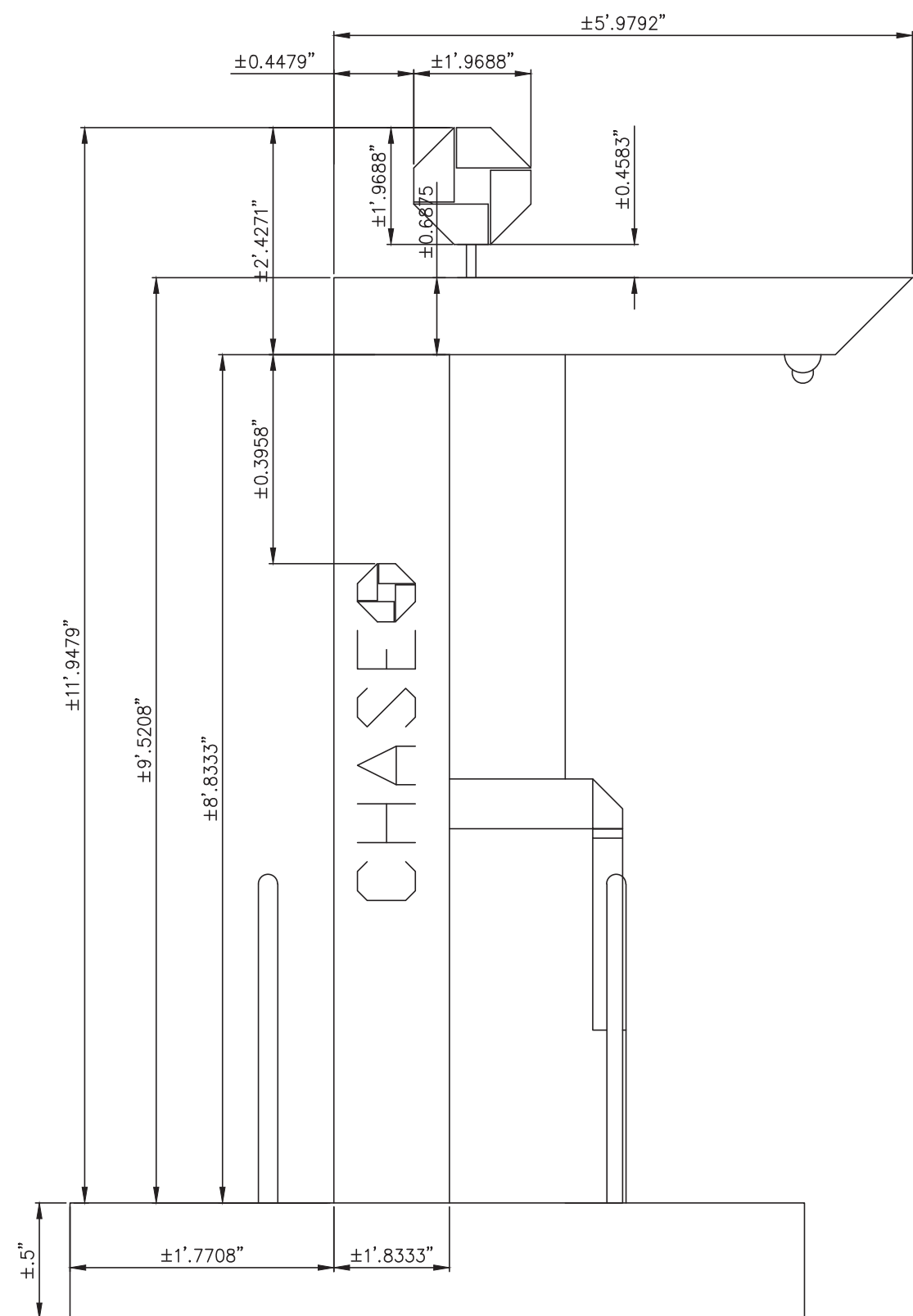




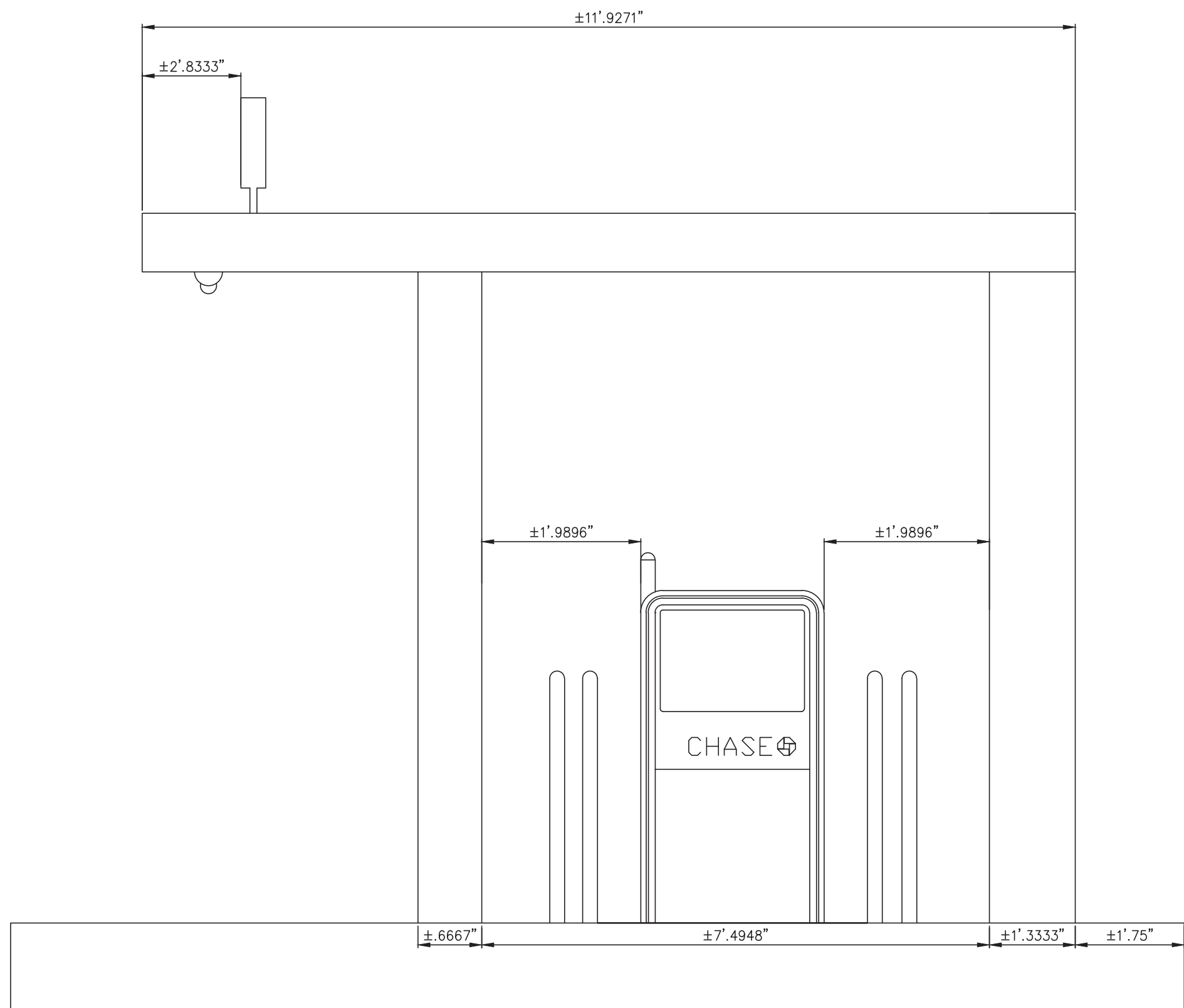
HEADACHE BAR PLAN



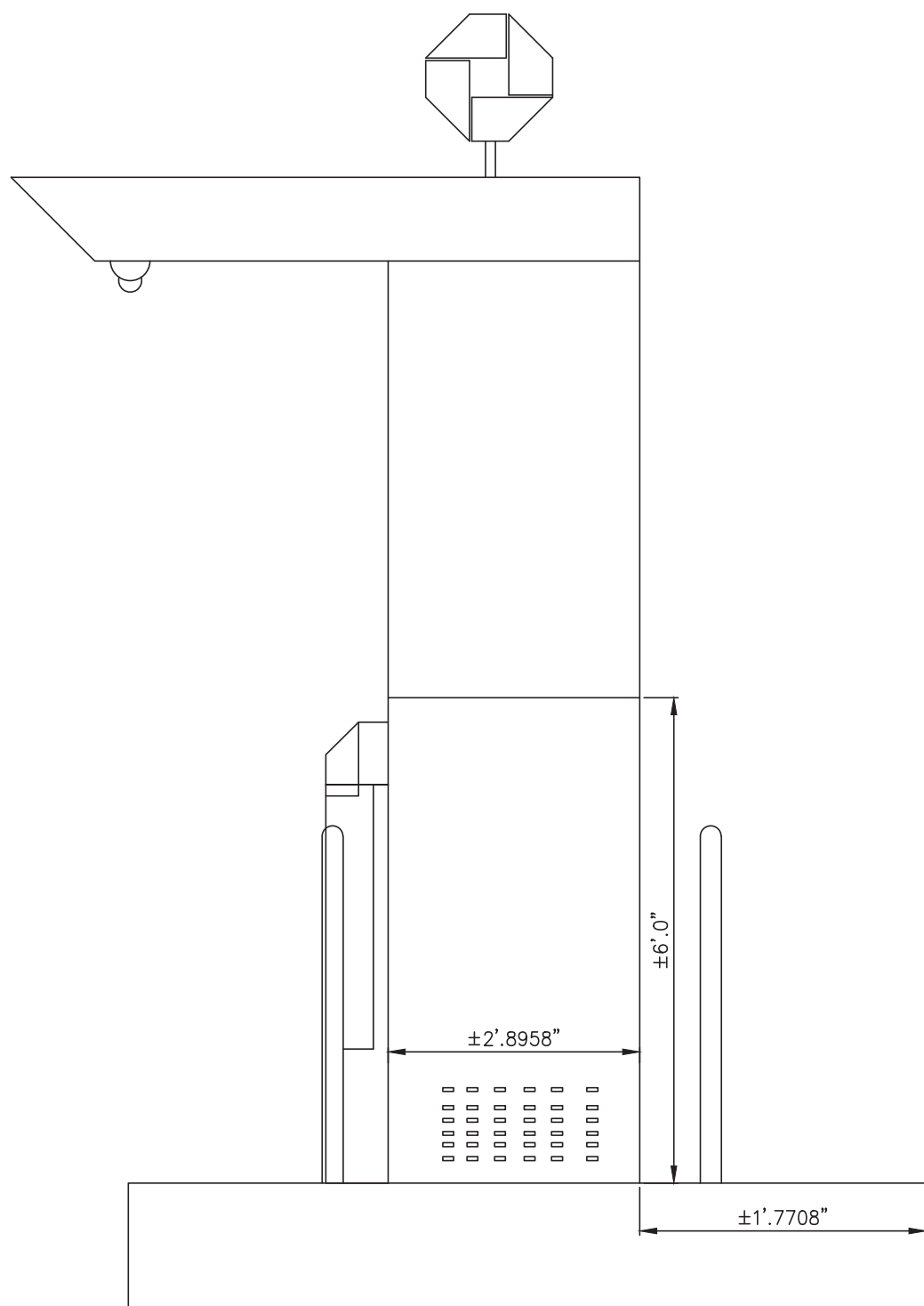
HEADACHE BAR ELEV



APPROACH ELEVATION



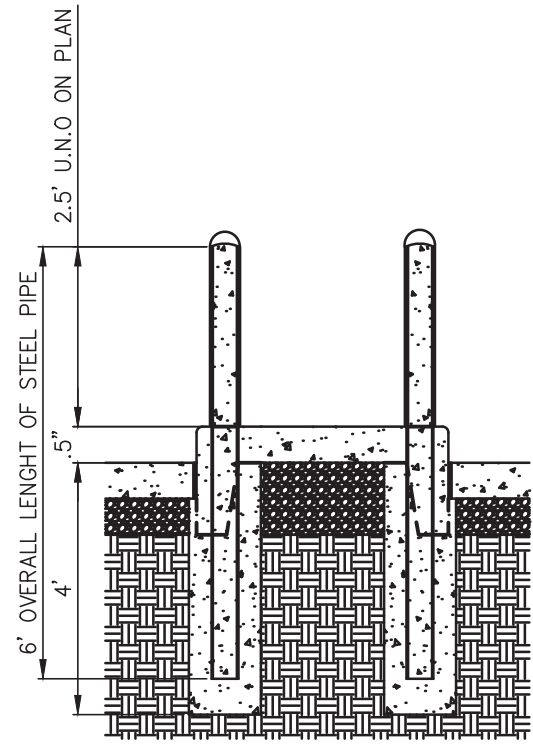
ELEVATION



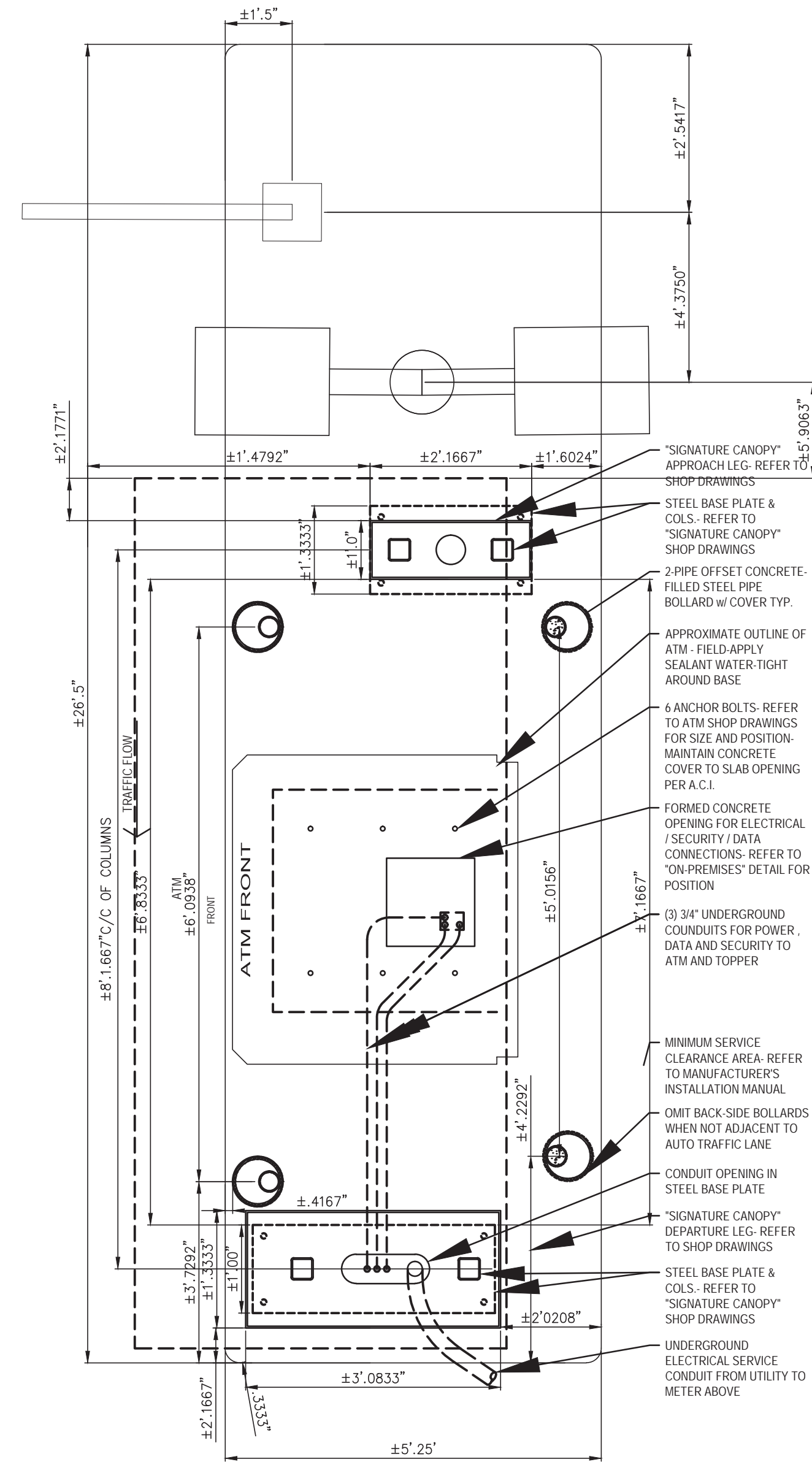
DEPARTURE ELEVATION

ISLAND ELEVATIONS

NOTE:  
1. THE BOLLARD IS DESIGNED AS PER SECTION 1607.8.3 TO RESIST A SINGLE LOAD OF 6,000 POUNDS APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM.



TYP. NEW-BUILD CANOPY PIER BOLLARDS



ATM ISLAND



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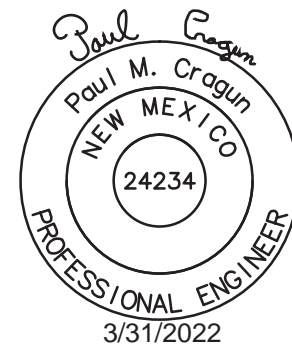
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SHEET :

C8.01



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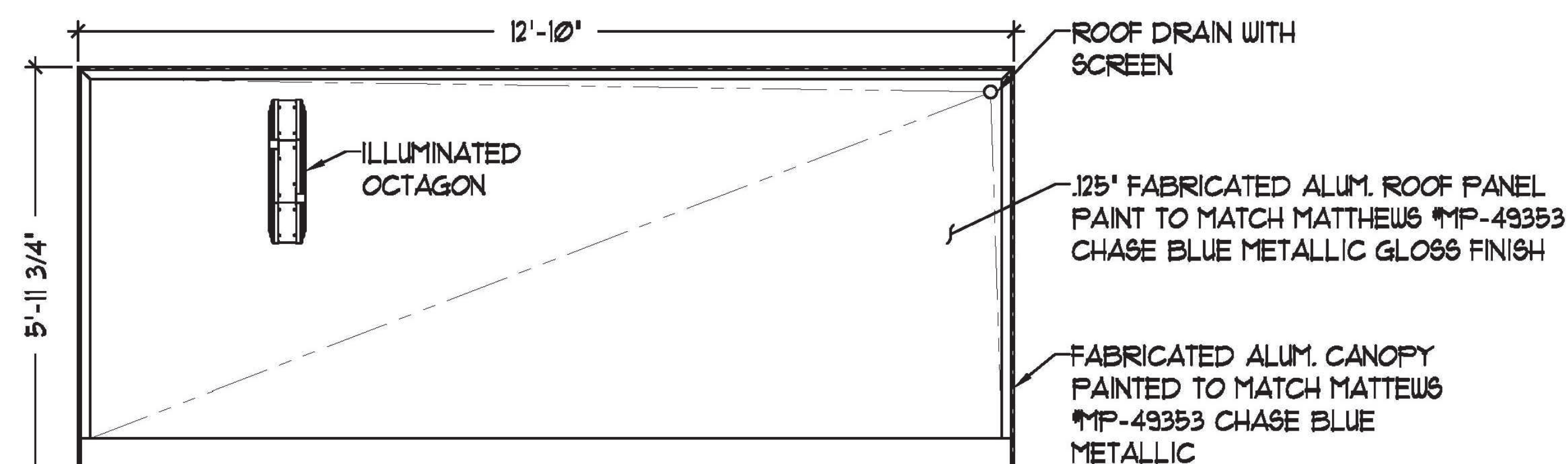
SHEET NAME: ATM FOUNDATION DETAILS

SHEET: C9.01

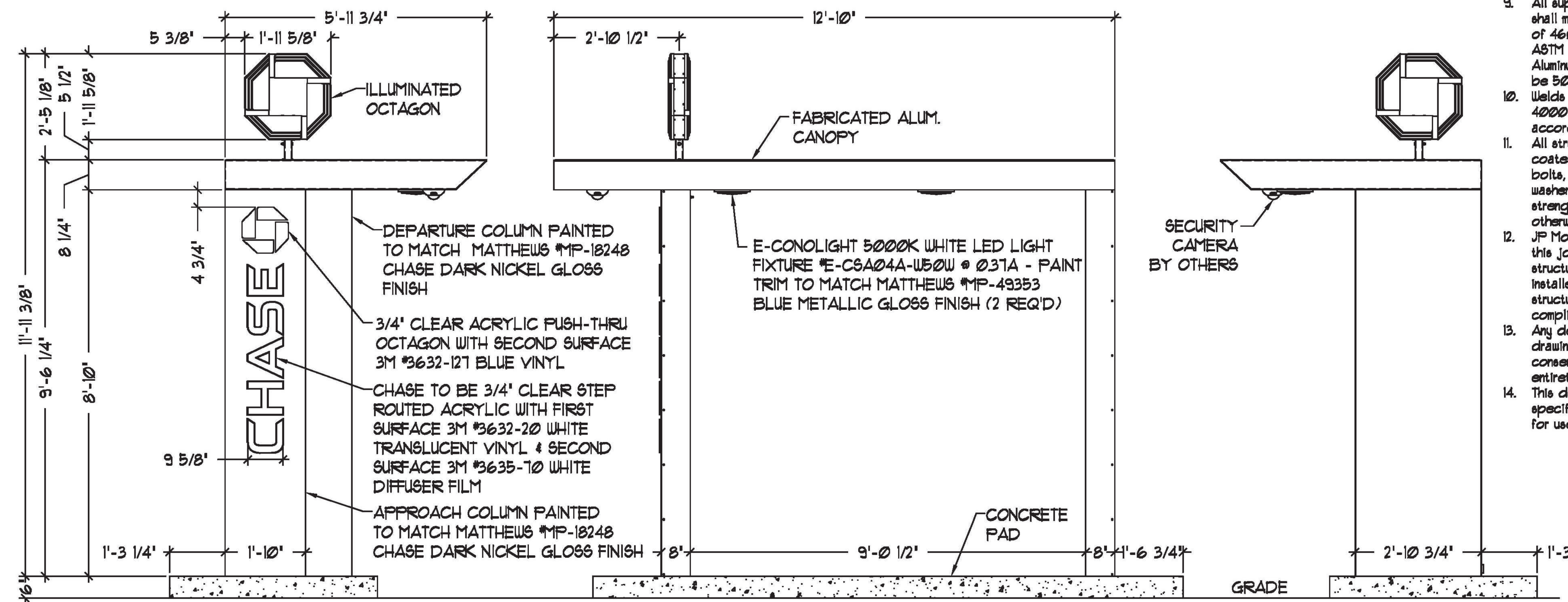
## CANOPY ELECTRICAL REQUIREMENTS (NOT INCLUDING ATM MACHINE, SECURITY CAMERA &amp; RELATED APPLIANCES):

LEDs: (41) 1100°K WHITE SLOAN PRISM #101269-TW6J1-MB  
(42) BLUE SLOAN PRISM #101269-BL6J1-MB  
DOWNLIGHTS: (2) E-CONOLIGHT 5000K WHITE LED LIGHT FIXTURE  
#E-CSA04A-W50W @ Ø31A  
LED POWER SUPPLY: (3) SLOAN #101507-60C1 @ Ø.10A  
TOTAL LOAD: 2.84 AMPS @ 120VAC  
CIRCUITS: (1) 20 AMP REQ'D.

ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-2085P VOC GLOSS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.



TOP VIEW



APPROACH ELEVATION

ELEVATION

DEPARTURE ELEVATION

A 10/21/17 UPDATED E-CO SERIES LIGHT FIXTURES TO THE E-CO SERIES LIGHT FIXTURES JO IK



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1

OF

13

BY:

TRR

DATE:

1/17/12

Project No.

08-1218

Drawing No.

B244343

REV.

DATE

DESCRIPTION

BY:

APR

1/10/17

12/10/14

1/1/13

1/24/12

REVISED FOUNDATION DETAILS &amp; UPDATED LIGHT &amp; DOWNLIGHTS

ADDED HID FIXTURES TO BACK OF CANOPY

ADDED TACK WELD SYMBOL TO AB DETAILS

REVISED APPROACH COLUMN FOR SERVICEABILITY

JO

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DESIGNATION:  
CAN-ATM-SIG-OCT-HW

## General Notes:

- Design is based on a 150/110 mph 3 second gust wind design per IBC 6009.2.2.15, Category II, Exposure C.
- Spread foundation is based on a presumptive safe vertical soil bearing pressure minimum of 2000 psf.
- A soil report was not provided. Foundation analysis assumes Soil Classification 4. Allowable bearing pressure should be verified prior to placement of concrete. In the event that the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact the project manager.
- Foundation shall not be placed at the top of, or on the side of a slope exceeding 3:1, or adjacent to a fill slope unless re-evaluated by a competent Professional Engineer. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psi.
- Steel reinforcing bars shall conform to ASTM A615, Grade 60 with deformations in accordance with ASTM A305. Welding of reinforcing bars is prohibited.
- All voids between column baseplate and foundation surface shall be completely filled with high-strength, non-shrink grout.
- Anchor bolts shall meet ASTM F1554 Grade 36. Exposed surfaces shall be galvanized or coated to prevent corrosion.
- All support members shall be free from defects. Steel tube shall meet ASTM A500 Grade B with a minimum yield strength of 46000 psi. Steel angle, channel and plate shall meet ASTM A36. Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
- Welds shall be made with E70xx electrodes for steel & with a 4000 series filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
- All structural bolts shall conform to ASTM A325, and be zinc coated unless noted otherwise. When used with structural bolts, heavy hex nuts shall conform to ASTM A563, and washers shall conform to ASTM F436. Pretension all high strength bolts using the Turn-of-Nut method unless noted otherwise.
- JP Morgan Chase will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
- Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from JP Morgan Chase voids this drawing in its entirety.
- This design is prototypical and should not be used for site specific applications unless reviewed and deemed suitable for use at that site by a competent Professional Engineer.



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SHT.  
3  
OF  
12

BY:  
TRR  
DATE:  
6/2/15

Project No.  
08-1218  
Drawing No.  
B244713

REV.	DATE	DESCRIPTION	BY:	APPR.
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	JK
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	JK

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DESIGNATION:  
CAN-ATM-SIG-EBDU-OCT-HW



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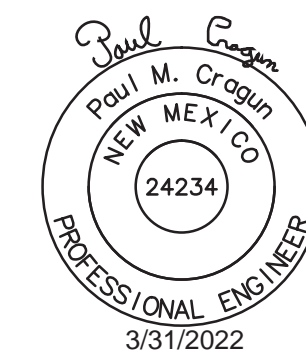
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DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

SHEET NAME: ATM FOUNDATION DETAILS

SHEET: C9.03





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OF  
4  
12

BY:  
DATE:  
TRR  
6/2/15

Project No.  
08-1218  
Drawing No.  
B244T13

REV.	DATE	DESCRIPTION	BY:	APPR.
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	IK
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	IK

GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

DESIGNATION:  
CAN-ATM-SIG-EBDU-OCT-HW

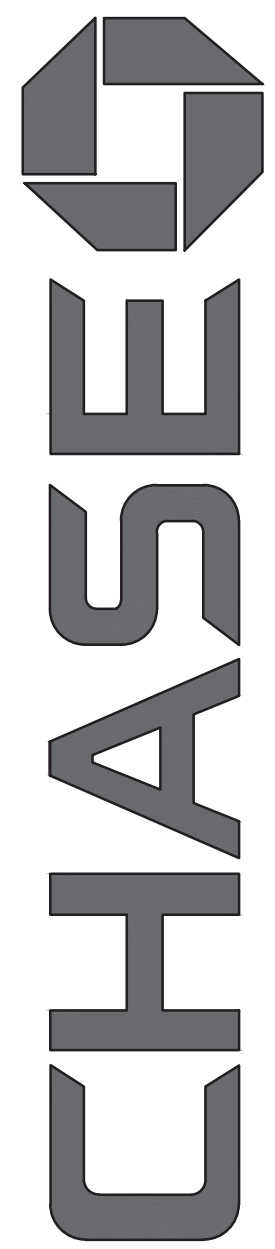


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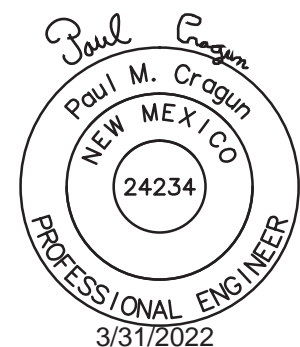
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REVISIONS

AS1 #1 03/31/2022

DATE ISSUED: MARCH 12, 2021

JOB #: 2020047

SHEET NAME: ATM FOUNDATION DETAILS

SHEET: C9.04





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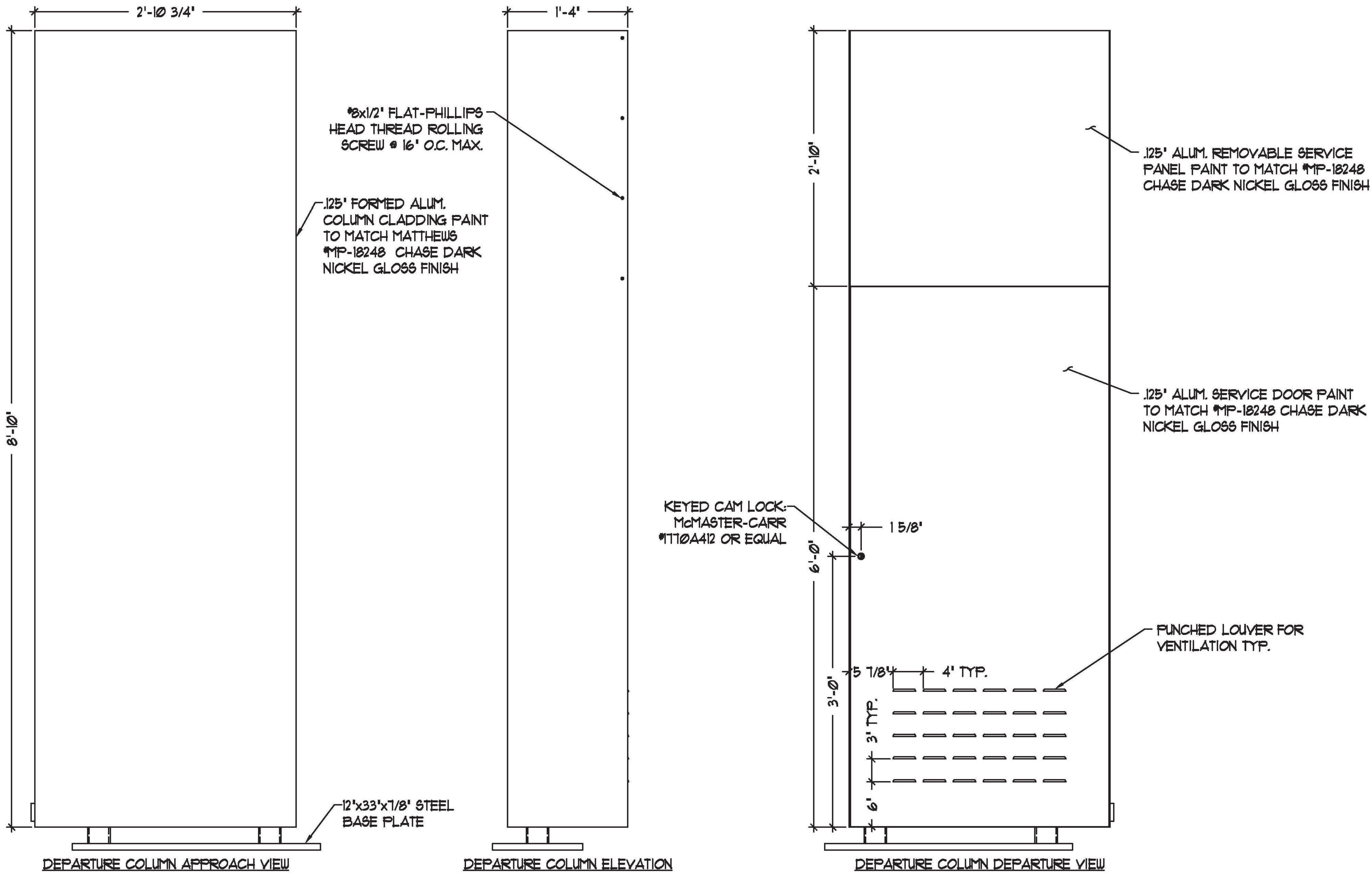
BY:  
TRR  
DATE:  
6/2/15

Project No.  
08-1218  
Drawing No.  
E244713

REV.	DATE	DESCRIPTION	BY:	APP.
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	IK
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	IK

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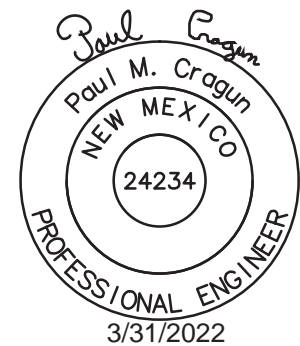
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BY:  
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DATE:  
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Project No.  
08-1218  
Drawing No.  
B244113

REV.	DATE	DESCRIPTION	BY:	APP.
1	6/30/15	SPECIFIED CAM LOCK FOR SERV. DOOR	TRR	K
2	6/15/15	REMOVED METER SOCKET FROM DRAWING	TRR	K

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DESIGNATION:  
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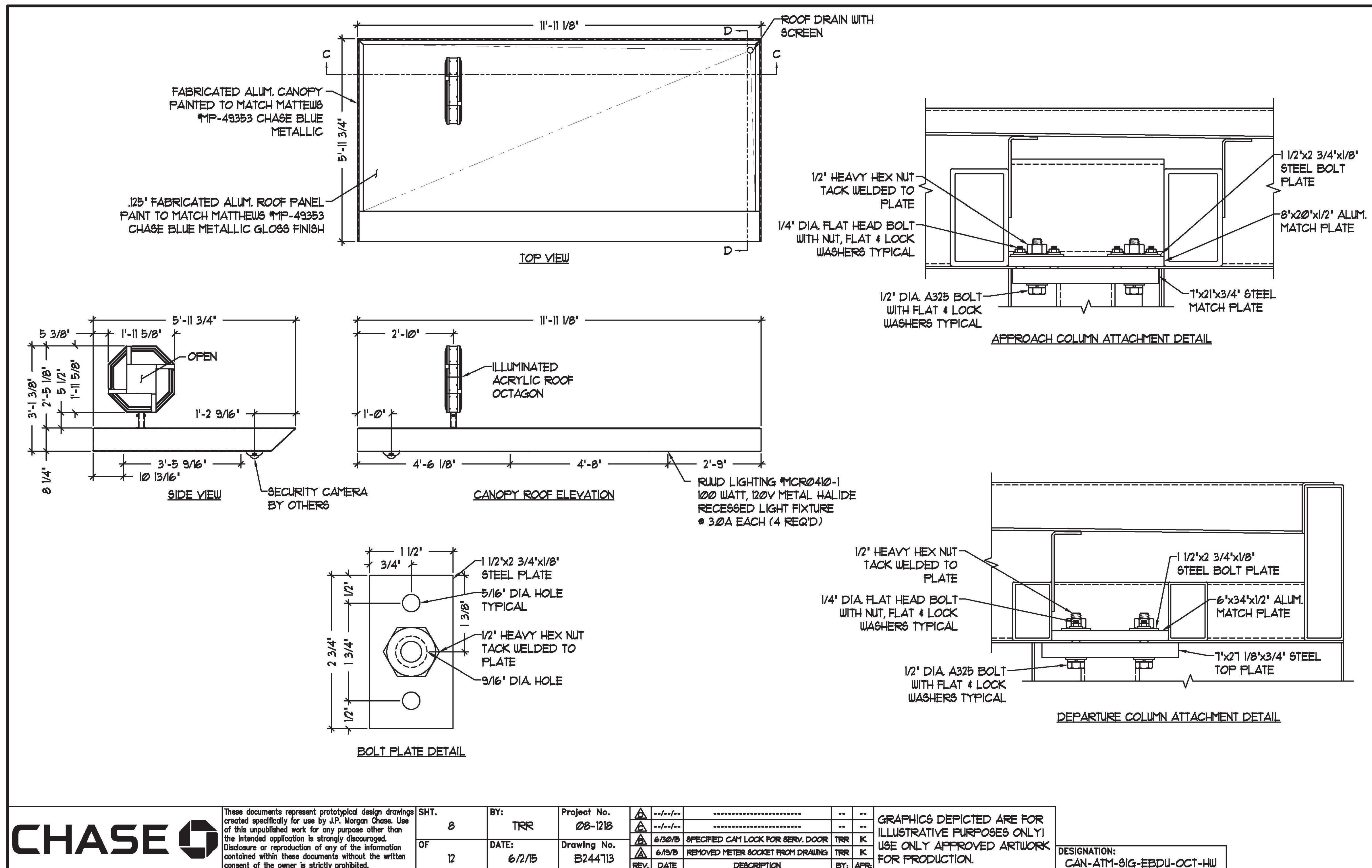
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## REVISIONS

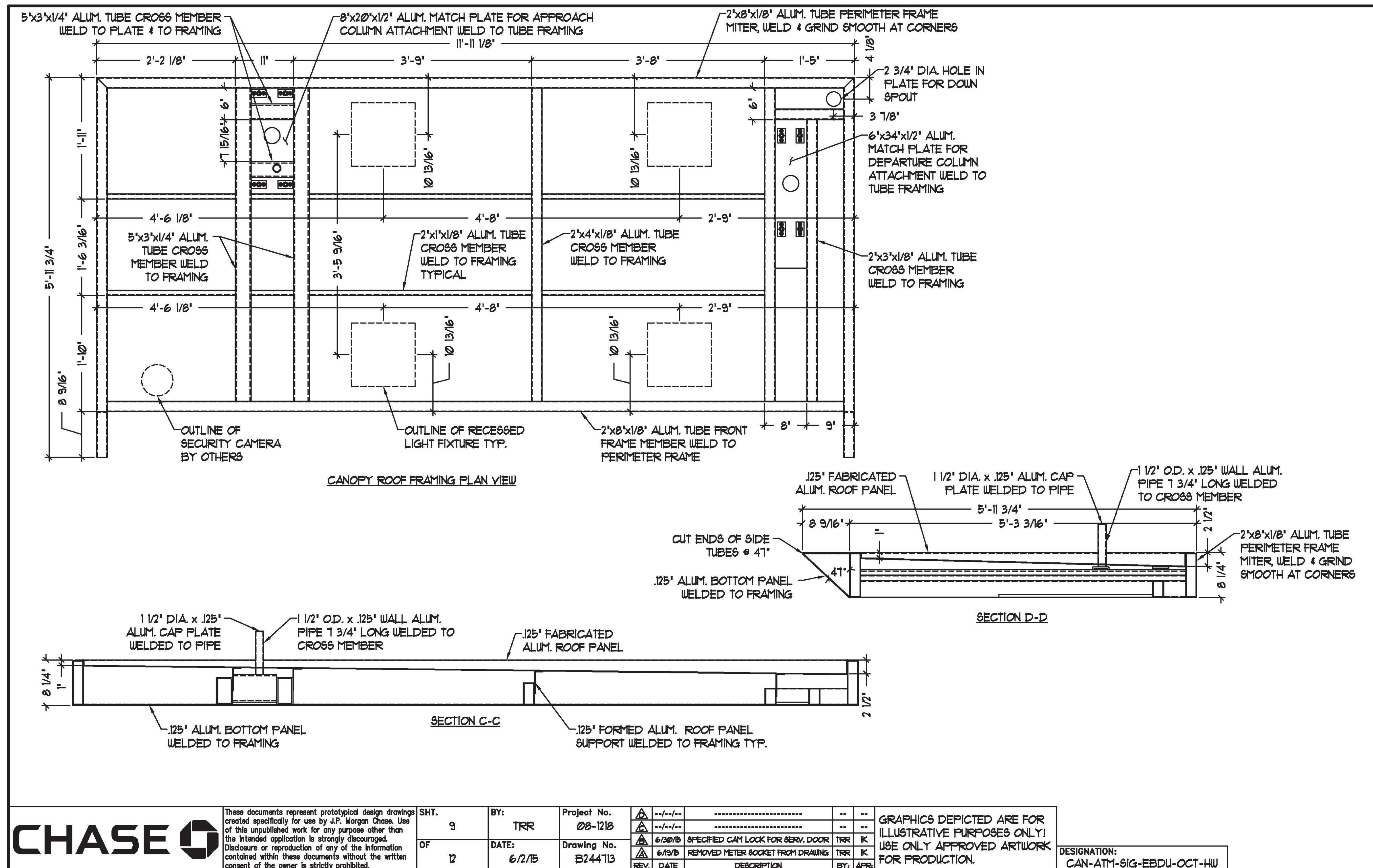
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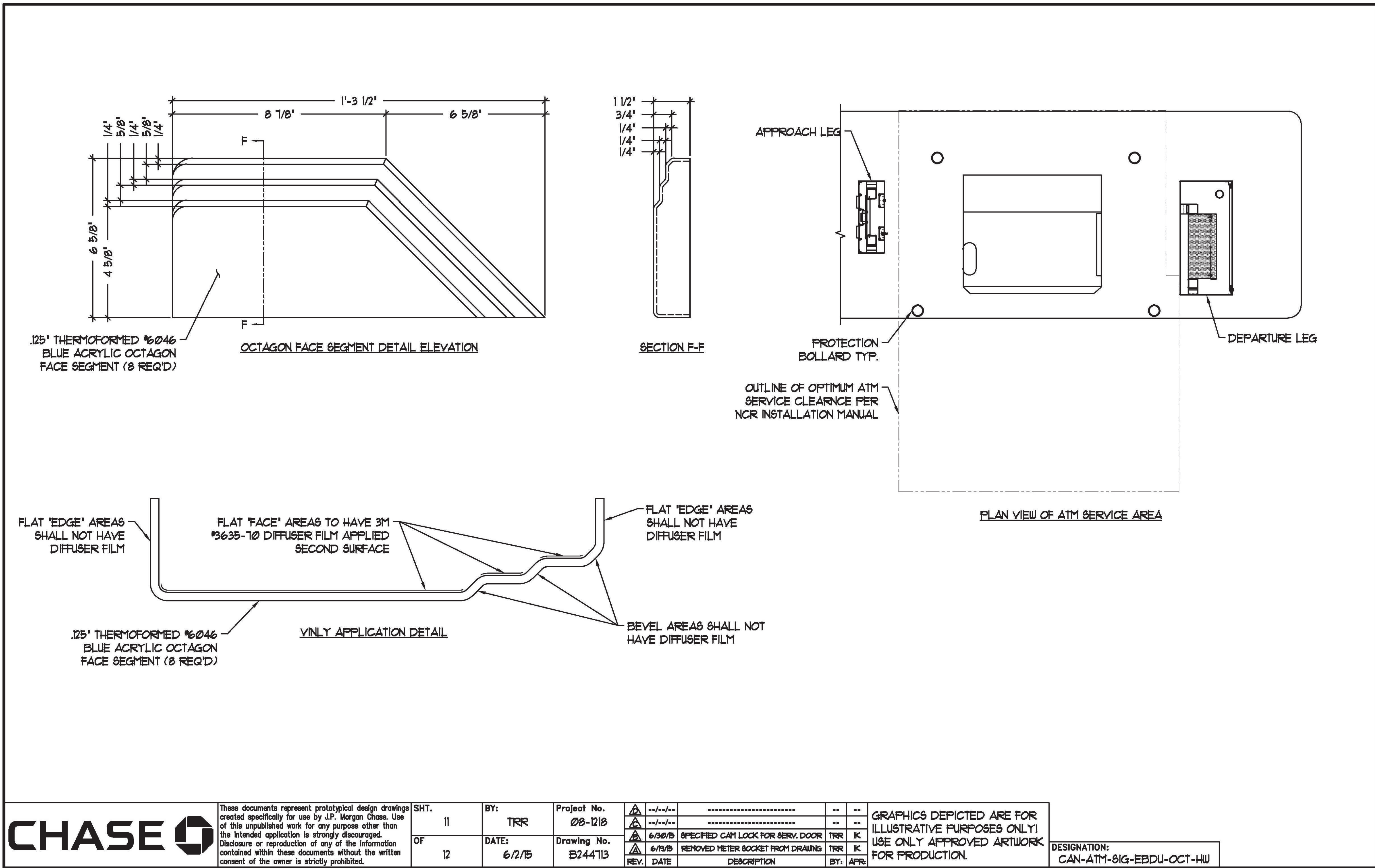


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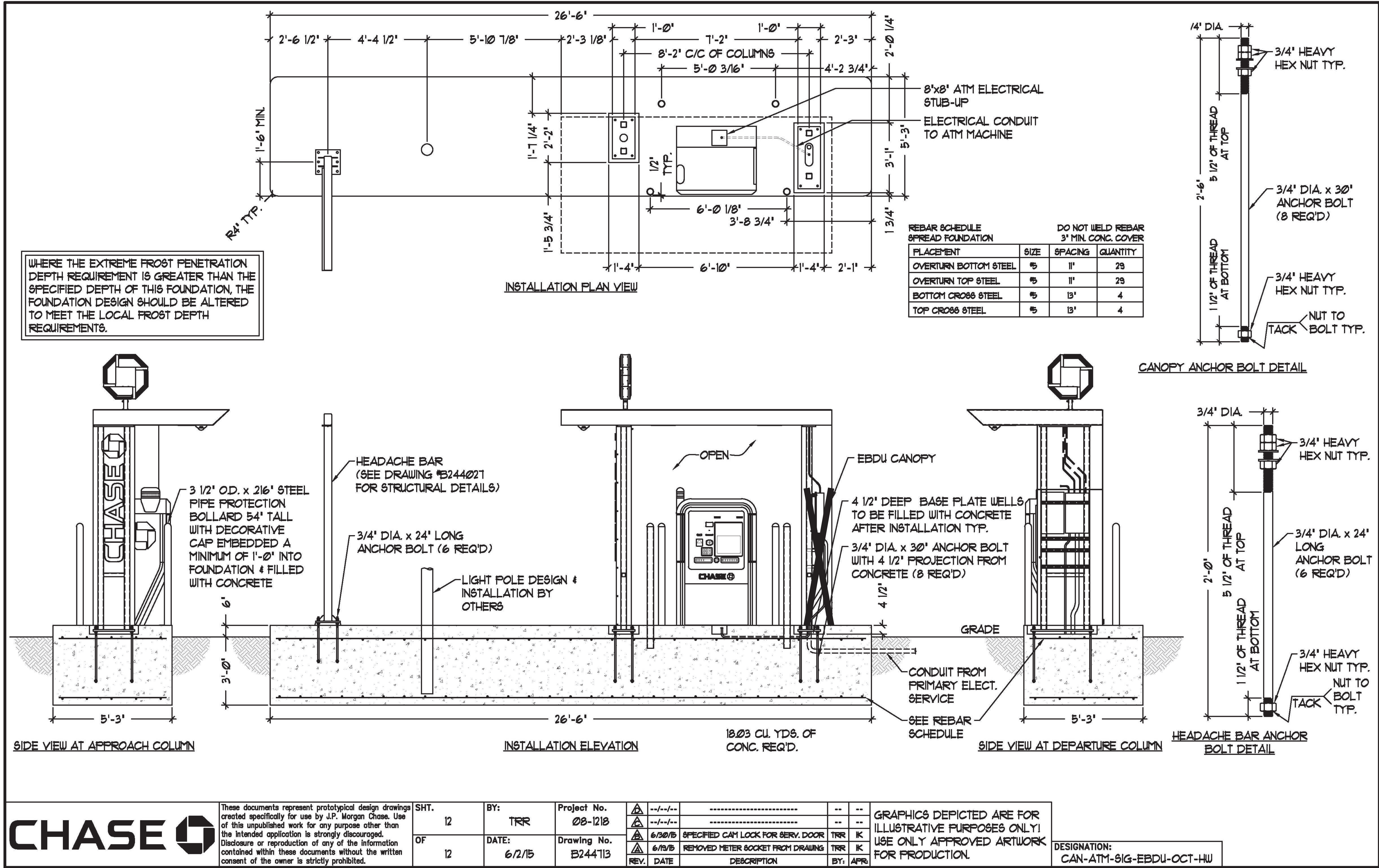
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BY: TRR  
DATE: 6/2/15

Project No. 08-1218  
Drawing No. B244113

REV.	DATE	DESCRIPTION	BY:	APPR.
1	6/2/15	SPECIFIED CAN LOCK FOR SERV. DOOR	TRR	K
2	6/13/15	REMOVED METER SOCKET FROM DRAWING	TRR	K

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NOTE:  
ALL ELECTRIC WORK MUST BE PER ELECTRICAL PLAN.

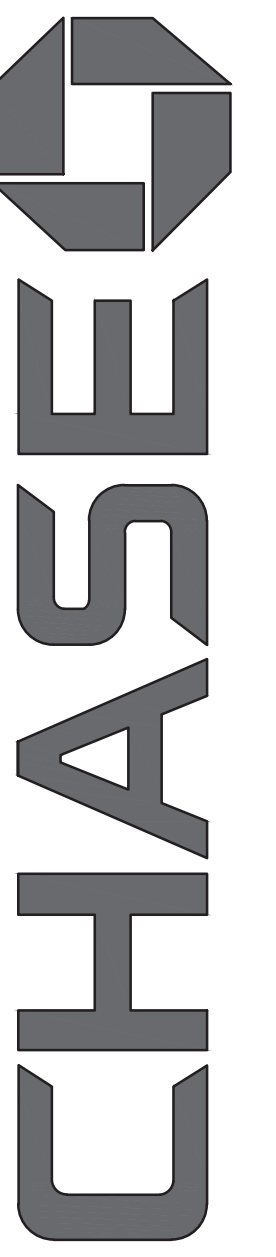


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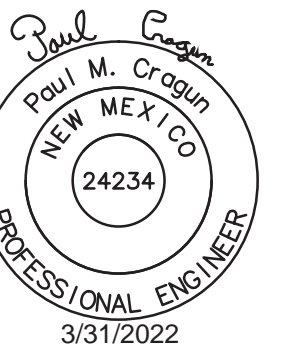


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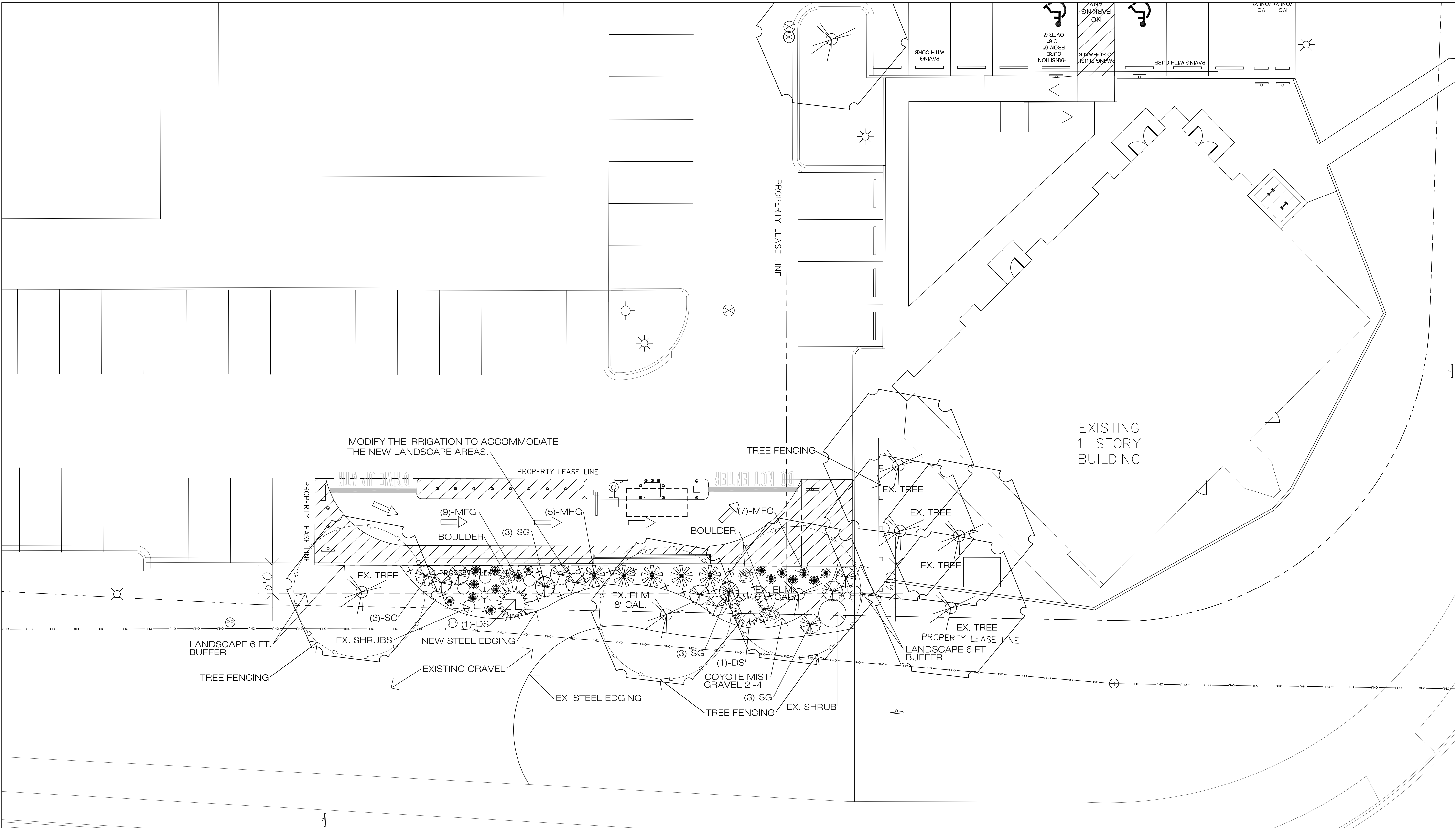
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SHEET NAME: ATM FOUNDATION DETAILS

SHEET: C9.11

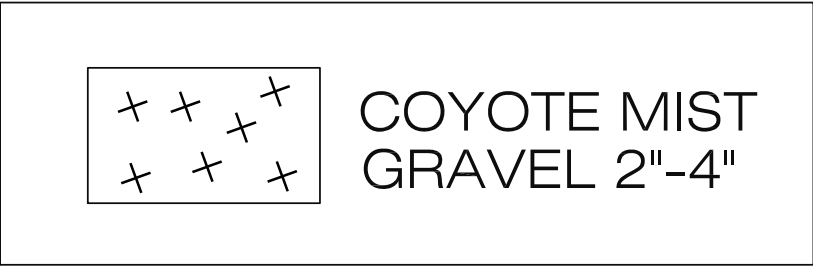




PLANT MATERIAL LIST

KEY	QUANTITY	SHRUBS DESCRIPTION	SIZE
DS	2	DASYLIRON TEXANUM GREEN DESERT SPOON	7 GAL., MIN. 15" HT.
SG	12	SALVIA X ULTRA VIOLET ULTRA VIOLET SAGE	5 GAL., MIN. 12" HT., 24" O.C.
KEY	QUANTITY	ORNAMENTAL GRASSES DESCRIPTION	SIZE
MFG	9	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL., FULL PLANT
MHG	5	MISCANTHUS SINENSIS 'ADAGIO' MAIDEN HAIR GRASS	5 GAL., 20" HT., 20" SPB.

GRAVEL KEY



SHEET NOTES:

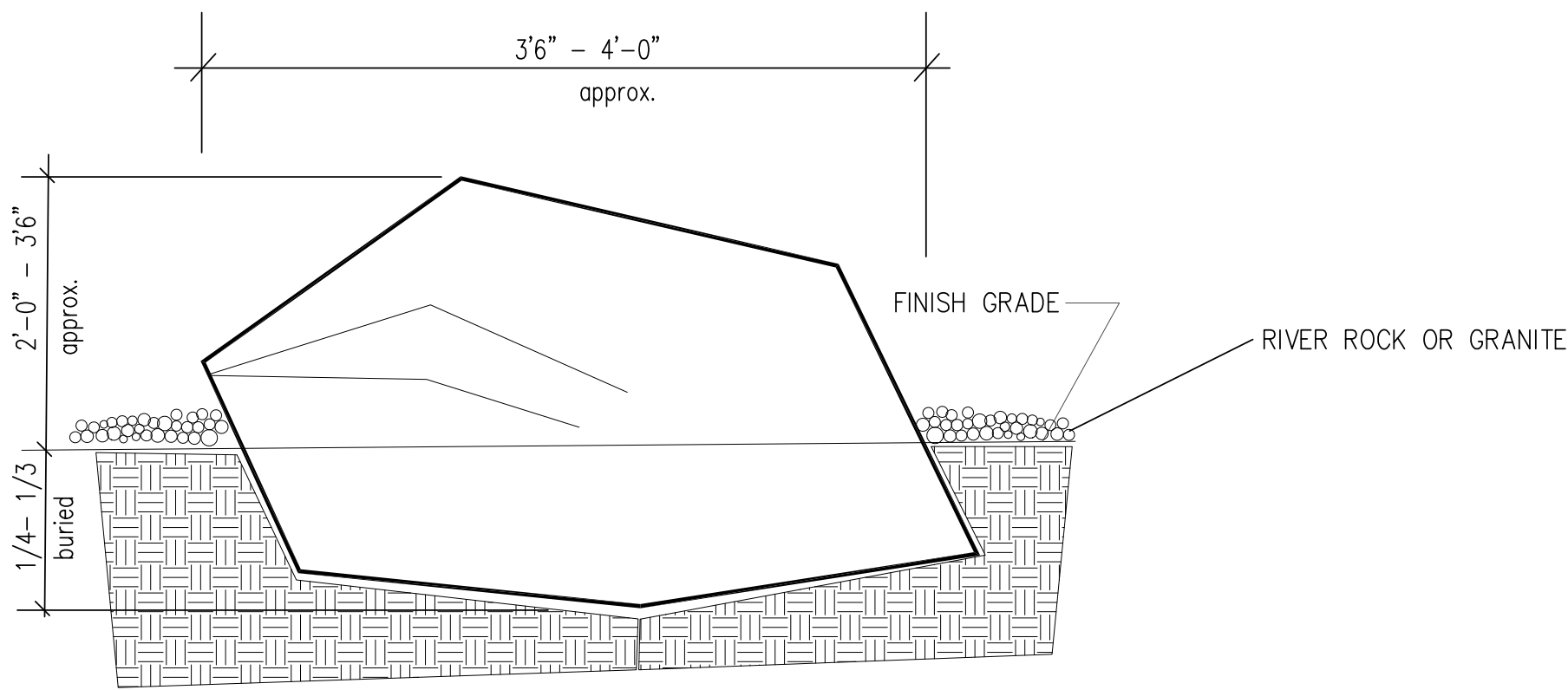
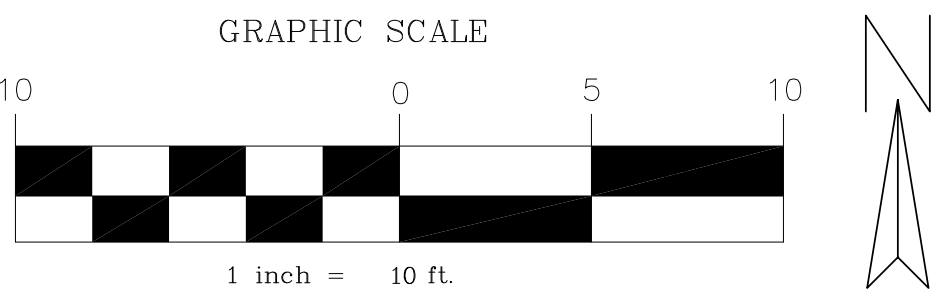
THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY.

PROTECT THE EXISTING LANDSCAPE DURING CONSTRUCTION.

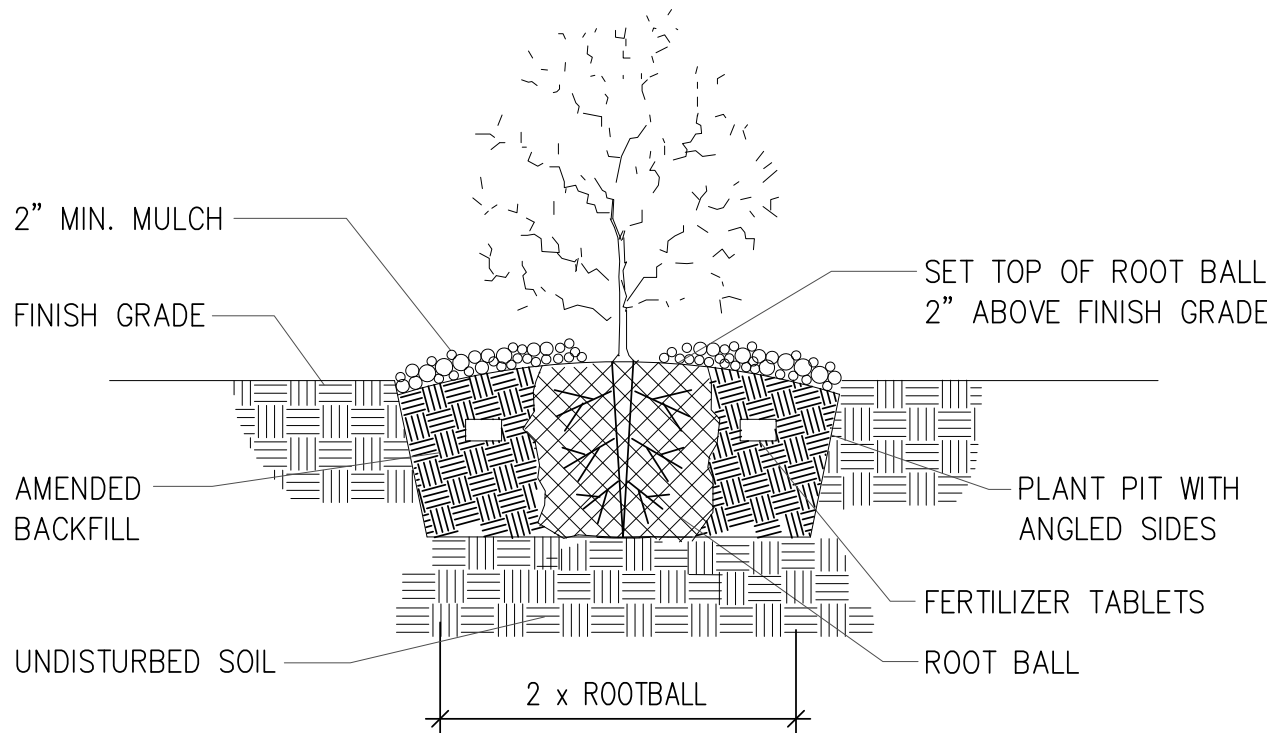
PROVIDE AN ALTERNATE PRICE FOR CLASS A PRUNING THE EXISTING FOUR TREES NEXT TO THE BUILDING.

CONNECT NEW IRRIGATION INTO EXISTING CONTROLLER.

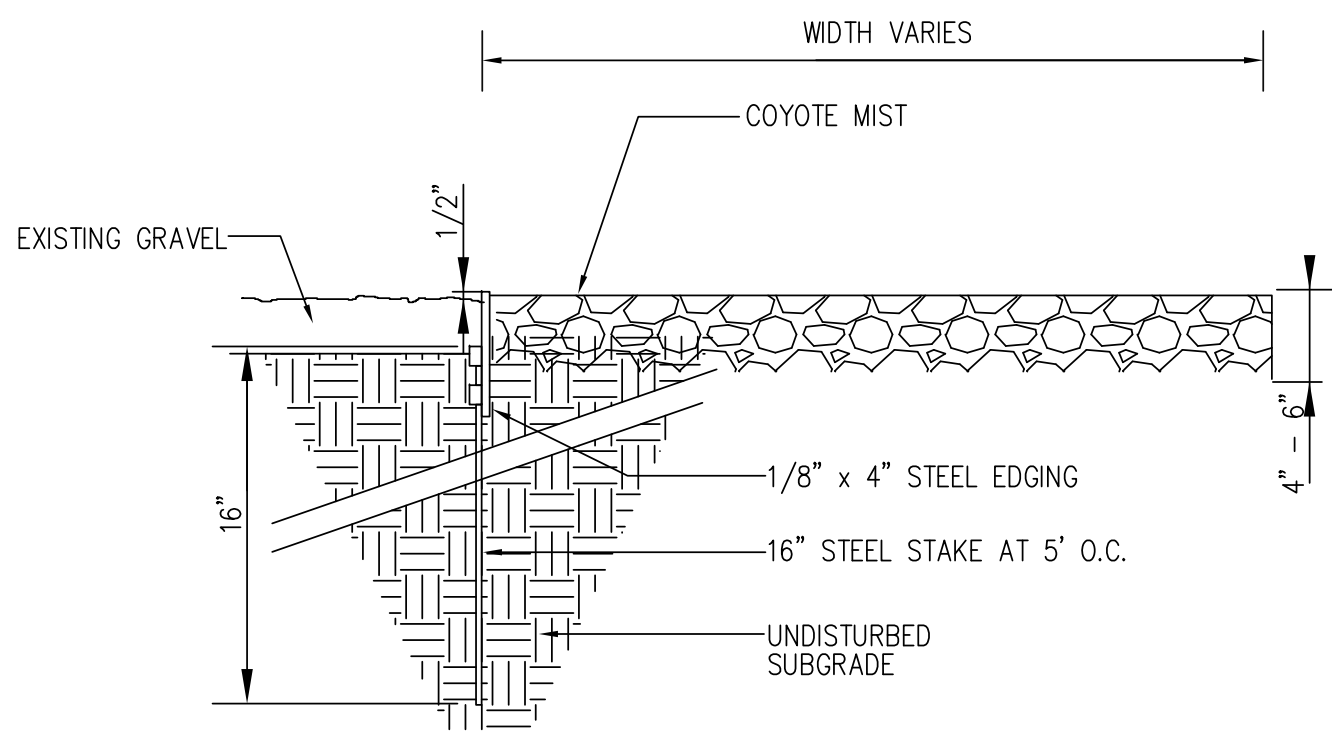
01 LANDSCAPE PLAN  
SCALE: 1" = 10'-0"



A BOULDER PLACEMENT  
DETAIL  
SCALE: NTS



B SHRUB PLANTING DETAIL  
SCALE: NTS



C STEEL EDGING DETAIL  
SCALE: NTS



LANDSCAPE SPECIFICATIONS

Section One – General

A. Requirements

1. All work to be performed in accordance with all applicable laws, codes and regulations by authorities having jurisdiction over such work. Landscape contractor to provide all required permits and inspections as required under the scope of this work.
2. Landscape Contractor is responsible for contacting all utility companies or other such agencies for the location and type of underground utility which may be within the scope of work to be performed by the contractor.
3. Damage to any or all underground utilities is the responsibility of the Landscape Contractor.

- B. Quality Assurance
1. Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing rate.
  2. Plants are subject to inspection and approval by the Landscape Architect. Plants required for the work may be inspected and tagged at the growing site before being dug.
  3. Observation at growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site may be rejected.
  4. Employ only qualified personnel familiar with required work.

5. Off-site topsoil and topsoil on-site testing (paid by Landscape Contractor):
- a. Provide source of off-site soil to the Landscape Architect for purposes of soil investigation.
  - b. Take random representative soil samples from areas to be planted.
  - c. Test soil samples from both sources for pH, alkalinity, total soluble salts, porosity, sodium content, and organic matter.

- C. Referenced Standards
1. American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc. – Plant materials.
  2. Hortus Third, 1976 – Cornell University Plant nomenclature.
  3. ASTM – American Standard Testing Material – Sharp sand.

- D. Submittals
1. Samples: Submit for approval sufficient representative quantities of soil mix, mulch, and peat moss.
  2. Submit one sample of each specified tree and three samples of each specified shrub and groundcover plants for Landscape Architect's approval. When approved tag, install, and maintain as representative samples for final installed plant materials.
  3. File certificate of inspection of plant materials by State and Federal authorities with Landscape Architect, if required by state.

- E. Product delivery, storage, and handling
1. Preparation for delivery:
    - a. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
    - b. Container Grown Plants: Deliver plants in containers sufficiently rigid to hold ball shape and protect root mass during shipping.
  2. Delivery:
    - a. Deliver packaged materials in sealed containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
    - b. Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on job site. Storage of materials and equipment at the job site will be at the risk of the landscape contractor. the owner will not be held responsible for theft or damage.
    - c. If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
    - d. Protect during delivery to prevent damage to root ball or desiccation of leaves.
    - e. Notify Landscape Architect of delivery schedule 48 hours in advance so plant material may be observed upon arrival at job site.

- H. Job conditions:
1. Planting restrictions:
    - a. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice.
  2. Protections:
    - a. Do not move equipment over existing or newly placed structures without approval of Landscape Architect and General Contractor.
    - b. Provide board-roading and sheeting as required to protect paving and other improvements from damage.
    - c. In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
  3. Utilities:
    - a. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities.

- H. Warranty:
1. Warrant plants and trees for one year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and on notification by Landscape Architect. Replace plants, including trees, which in opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
  2. Replace plants and trees with same kind and size as originally planted, at no cost to Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
  3. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects, diseases, owner negligence or acts of God.
  4. At the end of the warranty period, staking, and guying material shall be removed from the site.

L. Maintenance:

1. Water will be available on-site. Provide necessary hoses and other watering equipment required to complete work.
2. Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, cleaning, and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
3. A written notice requesting final inspection and acceptance should be submitted to Landscape Architect seven (7) days prior to completion. At that time Owner and Landscape Architect will prepare a final punch list to be reviewed with Landscape Contractor. When such project is deemed complete by Landscape Architect, an on-site inspection by Owner, Landscape Contractor, and Landscape Architect will be completed prior to written acceptance.
4. Following that acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

Section Two – Products

A. Plants:

1. Quantities: The drawings and specifications are complimentary, anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
2. Plants shall be equal to well formed No. 1 grade or better, symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong, straight, distinct leader where this is characteristic of the species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form, either before or after lanting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
3. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.
4. Plants shall have a well-developed fibrous root system.
5. Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
6. Pruning of all trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the owner.
7. Plants shall meet the sizes indicated on the Plant List. where a size or caliper range is stated, at least 50% of the material shall be closer in size to the top of the range stated.
8. Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.
9. Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to have the planting medium when taken from the container, but not long enough to become root bound.

- B. Soil Preparation Materials:
1. Pre mixed soils will be considered as "approved equals" when samples are submitted with manufacturer's data and laboratory test reports. Approved suppliers include Vital Earth Complete Mix by Vital Earth Resources, Glendwater, Texas and Acid Gro Complete Mix by Soil Building Systems, Inc., Dallas, Texas.
  2. Sandy Loam:
    - a. Friable, fertile, dark, loamy, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Soil containing Dallisgrass or Nutgrass shall be rejected.
    - b. Physical properties as follows:
      - Clay – between 7–27 percent
      - Silt – between 28–50 percent
      - Sand – less than 52 percent
  3. Sharp sand: Clean, washed sand, (fine aggregate) ASTM C–33

- C. Commercial Fertilizers:
1. Fertilizer shall be delivered in manufacturer's standard container printer with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N–P–K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
  2. Commercial fertilizer for planting beds: Complete fertilizer 5–10–5 element ratio with maximum 8% sulfur and 4% iron plus micro-nutrients.
  3. Controlled-Release fertilizer planting tablets for tree planting pits, shall be equal to Agriform 20–10–5 planting tablets as manufactured by Sierra Chemical Co., Milpitas, California 95035 or approved equal.

- D. Mulch:
1. Bark mulch shall be shredded hardwood mulch, medium fine texture.

- E. Water:
1. Water shall be suitable for irrigation and shall be free from ingredients harmful to plant life.

- F. Miscellaneous Materials:
1. Steel edging: Pro-Steel, 16" x 1/8" x 4" painted green or equal.
  2. Bed Preparation: Enriched Planting Mix, Solutions, Albuquerque, NM. Submit sample for approval. 505–877–0220, solutions.net
  3. Staking or Guying Materials:
    - a. Wood Stakes: 2" x 4" x 30" dense pine, untreated.
    - b. T-Shaped Metal Posts: Paint flat black, 8 feet long.
    - c. Turn Buckles: Galvanized steel, 3/8 inch eye, 6-inch opening.
    - d. Tie Wire: 12 gauge galvanized wire.
    - e. Black Hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter.
  4. Weed Mat: Miraf: MSCAPE or equal under all gravel areas. Tencate, 365 South Holland Dr., Pendergrass, GA 30567. Submit sample for approval.

5. Coyote Mist: 2"–4", JPR Gravel, Albuquerque, NM. Submit sample for approval. 505–877–4913, jprgravelnm.com
6. Moss Boulders: Hand selected by Landscape Architect, sizes averaging 4' long x 3' wide x 2' high. JPR Gravel, Albuquerque, NM. Submit pictures for approval. JPR Gravel, Albuquerque, NM.

Section Three – Execution

A. Condition of Surfaces:

1. New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade.
2. Examine subgrade upon which work is to be performed. Notify the Landscape Architect of unsatisfactory conditions.

B. Tree Planting:

1. Stake tree locations for Landscape Architect's approval prior to digging.
2. Plant ornamental trees in pits 12-inches larger than root ball. Plant shade trees in pits two feet greater in diameter than root ball and equal to depth of root ball.
3. After excavation of tree pits, review water percolation with Landscape Architect. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint PVC stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
4. In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6) inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal of the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
5. Prepare soil for planting by thoroughly mixing two parts sandy loam and one part peat moss or other approved organic matter. If planting soil does not fall within the pH range of 5.5 to 7.0 add limestone or aluminum sulphate to bring soil into the specified pH range.
6. Backfill tree pits with a mixture of 1/2 prepared soil and 1/2 existing site soil. Lightly tamp every 6-inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer lanting tablets per manufacturers recommendations. Complete backfilling and form a saucer around the tree. Fill saucer with water and leave to soak in. Fill saucer with water.
7. Completely fill each tree sauce with mulch to a depth of two inches.
8. Contractor shall keep trees plumb until established. Guying and/or staking to maintain that plumb condition shall be at the Contractor's discretion. However, if trees are not plumb, the Contractor will be required to guy and/or stake those trees in a method acceptable to the Landscape Architect at no additional cost to the Owner.
9. Pruning: Prune trees to preserve the natural character of the plant in a manner appropriate to its particular requirements in the landscape design as directed by the Landscape Architect. In general, remove at lease one-third of wood by thinning and pruning. DO NOT cut back terminal branches. Thin native grown plants heavier than nursery grown plants. Remove sucker growth and broken or badly bruised branches.
10. After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep.

C. Shrub Planting:

1. Layout planting beds for Landscape Architect's approval prior to digging.
2. All shrubs to be pocket planted. Excavate planting hole 1–1/2 times the width and height of the root ball. Backfill with 1/3 compost, 1/3 native soil and 1/3 sandy loam.
3. Place plants in position on bed areas before cans have been removed. Obtain approval from Landscape Architect. do not remove burlap from B&B plants. Landscape Architect reserves right to interchange or shift plant prior to plant.
4. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
5. Water each plant thoroughly with hoses to eliminate air pockets.
6. Carefully prune plants to remove dead or broken branches and hand rake bed areas to smooth even surfaces.
7. After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep.

Groundcover Planting:

1. Lay out planting beds for the Landscape Architect's approval prior to digging.
2. Till 2 inches minimum of thoroughly mixed prepared soil in all planting bed areas as follows:
  - a. 1 part sandy loam
  - 1 part approved organic matter
  - 1 part sharp sand
  - Add 4 pounds commercial fertilizer per 100 SF of bed area and mix thoroughly.
  - b. 2 inches of specified "Complete Mix," from Living Earth Technology.
3. Place plants in position on bed areas before cans have been removed. Obtain approval from Landscape Architect. Landscape Architect reserves right to interchange or shift plants prior to planting.
4. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
5. Water each plant thoroughly with hoses to eliminate air pockets.
6. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces.
7. After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep.

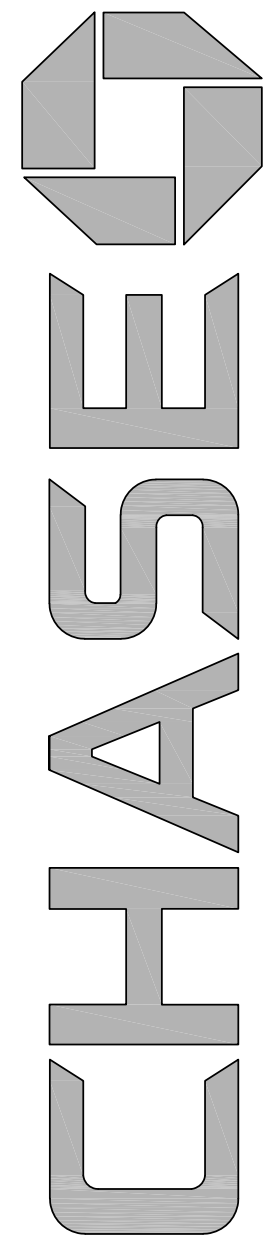
Part Two:

Section One – General

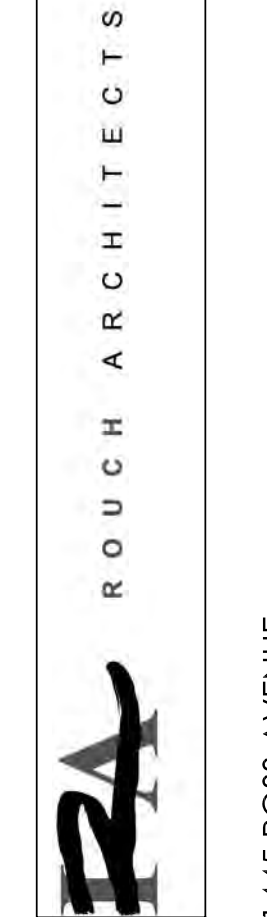
The contractor is to render the following Landscape Maintenance Services during the term of the initial construction contract. In addition, the Contractor is to indicate a price for a one year extended maintenance contract to begin after the construction project is complete and accepted. This price is to be submitted on a separate line item.

A. Scope:

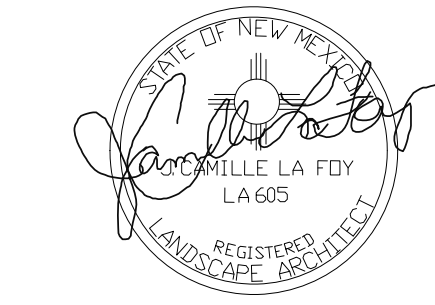
1. Work included in Base Bid. Perform all work necessary utilizing acceptable horticultural practices fro the exterior landscape maintenance of the project as required herein. Such work includes, but is not limited to the following:
  - a. Monitoring adjustment and minor repair of the landscape irrigation system.
  - b. Protection of vacuum breakers against freeze damage.
  - c. Mowing, edging and trimming of trees and shrubs.
  - d. Pruning and trimming of trees and shrubs.
  - e. Resaking and adjustment of stakes and guying if required.
  - f. Approval, by Owner, of material substitutions prior to use.
  - g. Application of fertilizers, insecticides and herbicides
  - h. Replacement of plant material (extra service)
  - i. General site clean up and removal of trash and product of maintenance.
2. Extra Services: The intent of the contract is to provide a comprehensive maintenance program to include all required services, except those services specifically excluded, to perform the work for the state time period.
  1. All services not included in the base bid shall be considered "extra services" and will be charged for separately according to the nature of the item of work. The written consent and authorization of the Owner of their authorized representative must be obtained prior to the performance or installation of such "extra services" items and prior to purchase of any chargeable materials.
  2. Such work may include replacement of dead plant material or major repairs of irrigation system created by acts of vandalism or other contractors or other site related work.
  3. Authorized extra services work must be summarized weekly and submitted with receipts to the Owner.
  4. The Owner is not bound by the specifications or contract to utilize the landscape maintenance contractor in the performance of "extra service work."
  5. The landscape maintenance contractor shall coordinate his activities with other contractors on the site so as to not hinder the performance of any work.
  6. Authorized charges for extra work will be paid monthly.
3. Substitutions:
  1. Specific reference to manufacturer's names and products specified in the Section are used as standards, but this implies the right to substitute other material or methods without written approval of the Owner. Such permission must be secured without additional cost to Owner.
  2. Installation of any approved substitutions Contractor's responsibility. Any changes required for installation of any approved substitution must be made to the satisfaction of any without additional cost to Owner.
4. Schedule:
  1. All work under this Contractor shall be performed in accordance with the Schedule submitted by landscape maintenance Contractor and approved by Owner and/or his representative.
5. Contractor's Performance:
  1. The Contractor's workmen shall be neat in appearance, perform their work in a professional manner, keep noise to a minimum and stage their work from a location on the site out of the way of the mainstream of the uses. In general, the Contractor's presence on the site shall be as inconspicuous as possible.
  2. The intent and spirit of this project manual is to provide a guideline for the contractor to follow in order to provide ownerwith landscape maintenance services of the highest quality. Where the manual refers to "as-needed" or "as-required" the intent is for the contractor to perform the services necessary to maintain the property at the highest possible quality level. Nothing contained within this project manual shall be interpreted as relieving the contractor or his responsibility to perform with work in a professional manner and to the complete satisfaction of the Owner.
  3. If disputes arise as to the quality of the services performed the Owner or Owner's designated representative shall make the final determination of responsibilities.
6. Neglect and Vandalism:
  1. Turf, trees or plants that are damaged or killed due to Contractor's operations, negligence or chemicals shall be replaced at no expense to the Owner. If plant damage or death is caused by conditions beyond the Contractor's control, replacement shall be at the Owner's expense.
  2. Sprinklers or structures that are damaged due to the Contractor's operations must be replaced by the Contractor promptly. Likewise, damage to the irrigation system by others shall be corrected immediately by the Contractor, at the Owner's expense.
  3. All water damage, either natural or man-made, resulting from Contractor's neglect shall be corrected at the Contractor's expense.
  4. All damage to or thefts of landscaping and irrigation installations not caused or allowed by the Contractor shall be corrected by the Contractor at the Owner's expense upon receipt of written authorization to proceed.
7. Job Conditions:
  1. Contractor shall acquaint himself with all site conditions. Should excavation be required, the Contractor shall promptly notify the utility coordination committee for utility locations. Failure to do so will make Contractor liable for any and all damage thereto arising from his operations.
  2. Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, this Contractor shall repair damage to its original condition or furnish and install equal replacement at this expense.
8. Emergencies:
  1. The Contractor shall answer emergency or complaint calls within twelve (12) hours and corrective action shall be complete within 24 hours.
  2. The Contractor shall answer emergency calls regarding the landscape irrigation system failure or need of repair, and take corrective action within eight (8) hours. Such work, unless caused due to neglect on the part of the Landscape



CHASE RETAIL BANKING CENTER  
PASEO DEL NORTE & WYOMING BLVD.  
8001 WYOMING BLVD, NE  
ALBUQUERQUE, NEW MEXICO 87131



1445 ROSS AVENUE  
SUITE 5700  
DALLAS TEXAS 75202  
214.997.6029



01/31/2022

REVISIONS



LANDSCAPE PLANTING NOTES:

1. All proposed landscaping to be installed as per local city ordinances and codes.
2. Contractor shall be responsible for becoming aware of related existing conditions, utilities, pipes, and structures, etc. prior to building and construction. The contractor shall be held responsible for contracting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The contractor shall notify the Owner's Representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/ structures/ etc.
3. The contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/ or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
4. Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and replaced operations.
5. The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings.
6. Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, curb, and related structures. Any damage to existing improvements is the responsibility of the Contractor.
7. Contractor shall notify Owner's Representative 5 business days prior to commencement of work to coordinate project inspection schedules.
8. The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
9. If conflicts arise between size of areas on plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
10. Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/ common names, sizes, estimated quantities (if given) and other remarks.
11. Where provided, area takeoffs and plant quantities estimates in the plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of an discrepancies, plans take precedence over call-outs and/ or the plant list(s).
12. It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to the Owner's approval prior to installation.
13. Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Plant Material List in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".
14. The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates, and species of existing condition, or as specified.
15. All plants shall be nursery grown. Grade I plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60, I-200"1). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until final inspection and final acceptance. Plants shall be installed to present their best side facing the viewer.
16. Required landscape areas shall be maintained free of debris and litter. Required landscape material that dies shall be replaced at the minimum standard required by the city.
17. Warranty: Provide a one-year replacement warranty for all plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

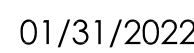
1. Contractor shall be responsible for finished grading of the project. The Contractor shall fine grade, rake and be responsible for positive drainage away from all structures and throughout the site, with accurately set lines. No low spots or ponding of surface water will be accepted in the final work. No rocks or debris will be accepted. Final grade tolerances are + / - 0.1 foot maximum.
2. Prior to preparing Turf Sod, Turf Seed and Plant Bed areas, eradicate all weeds, briars and vines with post-emergent herbicide such as "Round-Up" applied by licensed personnel following manufacturers recommendations and taking all precautions. After weed eradication and removal and the specified waiting period, apply 10 lbs. of Micro-life Hummates Plus per 1,000 sq. ft. to restore soil health.
3. All topsoil areas shall be raked smooth, removing and disposing of stones over 1" diameter and fine graded to feather into natural grade.
4. The Contractor shall excavate Plant Beds as required to accommodate a full 6" of prepared soil and 2" organic hardwood mulch layer. Prepared planting soil shall consist of 4" imported "chocolate" loam topsoil and 2" specified "Living Earth Specialty Planting Mix" tilled to a depth of 6". This mix shall also be used to backfill planting pits of all pit-planted shrubs and trees. In Bid Proposal, furnish a unit price per cubic yard of Prepared Soil placed. This unit price will be used in the adjustment of bed areas. Exception is the planting area to the south for the Purple Wintercreeper. Refer to drawing.

### PLANTING LAYOUT & INSTALLATION NOTES:

1. The Contractor shall be responsible for accurately laying out the planting beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/ stakes/ hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Owner's Representative in the field. Changes affecting quantities will be covered by unit prices.
2. Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout. If conflicts arise between landscape planting and landscape irrigation plans, Contractor is required to contact the Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
3. Install edging following manufacturer's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 2" above soil level of adjacent turf. In Bid Proposal, furnish a unit price per linear foot of edging installed. Bed edges where edging is not specified shall have a "spade edge".
4. Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equaling in rows as shown on drawings. Adjust spacing (to "equal") as necessary, subject to acceptance by the Owner's Representative.
5. Unless otherwise indicated:
  - a. All groupings of groundcover, perennials, ornamental grasses, and annuals shall be triangularly spaced (equal-equal).
  - b. All planting areas including sod, seed and planting beds, shall receive soil amendments per the details, notes and specifications.
  - c. Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be  $\frac{3}{4}$ ".
  - d. Specific plant bed areas may be called out to receive weed barrier fabric, see plans and details.
6. All plant beds and pit planted plants shall receive a layer of hardwood mulch as specified on the plans. Reference plans, planting and soil details and specifications for location and type of mulch used. In Bid Proposal, furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
7. Plants shall be installed to present their best side facing the viewer.
8. Minimum 3' clear space around all fire hydrants.
9. Landscaping will be placed so as not to obstruct vehicular views of streets, drives or parking aisles.
10. Owner's Representative shall have final approval of plant material layout.



PASEO DEL NORTE & WYOMING BLVD.  
8001 WYOMING BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87113

[illegible]

LANDSCAPE PLANTING NOTES  
SHEET :

LAND004





# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 15, 2021

Carlos Iglesias  
Cumulus Design  
2080 N. Highway 360, Ste. 240  
Grand Prairie, TX 75050

**Re: Chase Bank (Wyoming Blvd) ATM  
8001 Wyoming Blvd NE  
Traffic Circulation Layout  
Engineer's Stamp 09-09-2021 (C19-D007A)**

Dear Mr. Carlos Iglesias,

The TCL submittal received 09-09-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

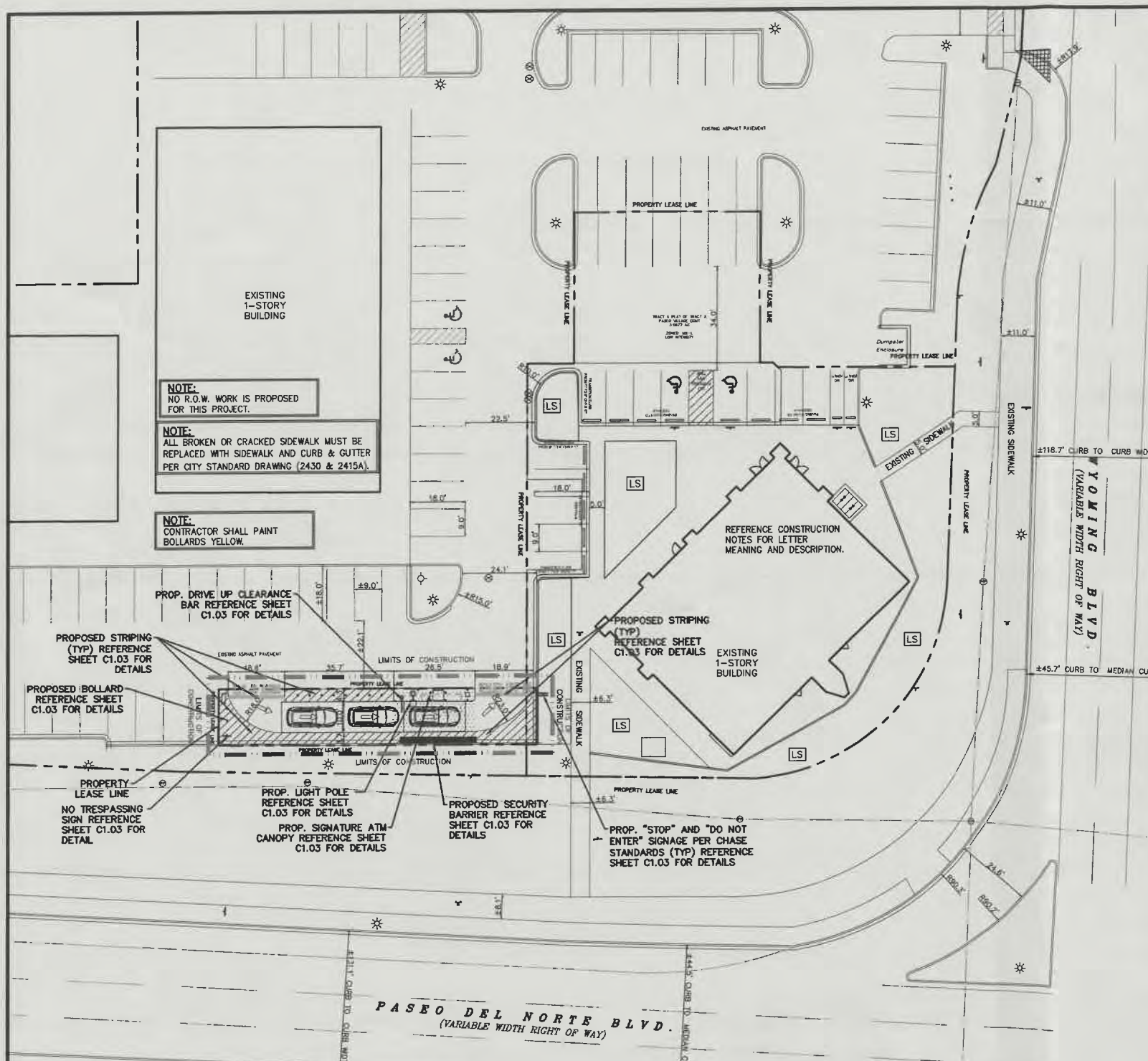
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

  
Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

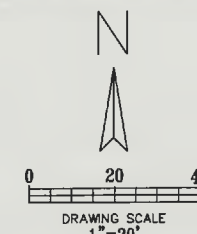
C: CO Clerk, File





SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
SITE ACREAGE:	3.09 ACRES (134,600 SF)
LEASE ACREAGE:	0.044 ACRES (1,919 SF)
BUILDING FOOT PRINT (TOTAL):	±4,953 SQUARE FEET
OPEN SPACE PROVIDED:	±36 SQUARE FEET (1.9%)
BUILDING COVERAGE:	4,953 SQUARE FEET
APPROX EX. IMPERVIOUS AREA:	±1,919 SQUARE FEET (100.0%)
APPROX PROPOSED IMPERVIOUS AREA:	±1,883 SQUARE FEET (98.1%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	15 SPACES
PARKING PROVIDED:	20 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	1 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
BICYCLE SPACE: REQUIRED/PROVIDED	3/4 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPOSED PAVEMENT
  - PROPOSED SIDEWALK
  - PARKING COUNT
  - PROPOSED LANDSCAPE AREA



EXISTING CONDITIONS PARKING ANALYSIS	
EXISTING ZONING: MX-L/MIXED USE	
TENANT ESTABLISHMENTS	
ABQ OLIVE OIL CO.	1,269 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
H&R BLOCK	1,379 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
KOLACHE FACTORY	2,105 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
DESERT ROSE	1,273 SQ. FT. 8 PARKING PER 1,000 SQ. FT. GFA
ALL STATE	1,265 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,270 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,269 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VISION WORKS	3,345 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
SHEAR MADNESS	1,631 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
JADE RESTAURANT	1,675 SQ. FT. 8 PARKING PER 1,000 SQ. FT. GFA
VACANT	1,606 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
AVEDA	3,960 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
VACANT	2,073 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
CHIROPRACTOR	3,960 SQ. FT. 5 PARKING PER 1,000 SQ. FT. GFA
MVD EXPRESS	1,753 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
WAKA WAKA	2,458 SQ. FT. 8 PARKING PER 1,000 SQ. FT. GFA
AT&T	2,440 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
REQUIRED PARKING	155 PARKING SPACES
PROVIDED PARKING	165 PARKING SPACES

PROPOSED CONDITIONS PARKING ANALYSIS	
EXISTING ZONING: MX-L/MIXED USE	
TENANT ESTABLISHMENTS	
ABQ OLIVE OIL CO.	1,269 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
H&R BLOCK	1,379 SQ. FT. 3.5 PARKING PER 1,000 SQ. FT. GFA
KOLACHE FACTORY	2,105 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
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CHIROPRACTOR	3,960 SQ. FT. 5 PARKING PER 1,000 SQ. FT. GFA
MVD EXPRESS	1,753 SQ. FT. 4 PARKING PER 1,000 SQ. FT. GFA
CHASE BANK	4953 SQ. FT. 3 PARKING PER 1,000 SQ. FT. GFA
REQUIRED PARKING	141 PARKING SPACES
PROVIDED PARKING	155 PARKING SPACES

- CONSTRUCTION NOTES**
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
  - 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
  - SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
  - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
  - WALKWAY VARIABLE (4' MINIMUM).
  - PROPERTY LINE.
  - 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
  - HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
  - CONTRACTION JOINTS.
  - FOR CURB ACCESS RAMP, SEE DWGS. 2440 THROUGH 2445.
  - CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
  - RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE. 7% PREFERRED SLOPE.
  - ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
  - FOR SIDEWALKS LESS THAN 60' WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60' X 60' SHALL BE PROVIDED AT LEAST EVERY 200 FT.
  - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
  - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/2" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
  - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
  - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

**BENCHMARK**

ALBUQUERQUE NGS MONUMENT "HEAVEN" STANDARD USC & GS BRASS TABLET NEW MEXICO STATE PLANE COORDINATES CENTRAL ZONE, NAD 27 N=1518737.03 E=40705131 ELEVATION=5378.787 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT PROVIDING BENCHMARKS AND BEARINGS.

**III CAUTION III**  
**UNDERGROUND UTILITIES**

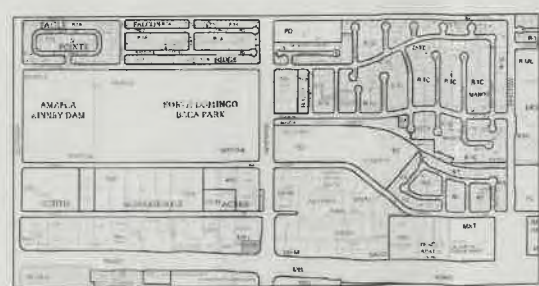
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

**TRAFFIC CIRCULATION LAYOUT APPROVED**

*[Signature]*  
Signed

09/15/21  
Date



**VICINITY MAP**

**Cumulus Design**  
2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367

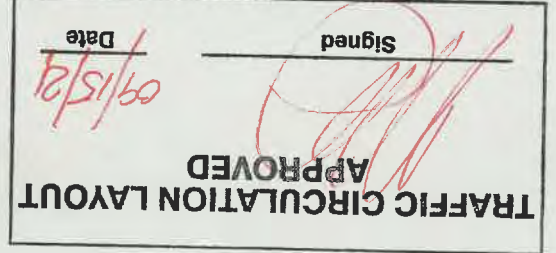
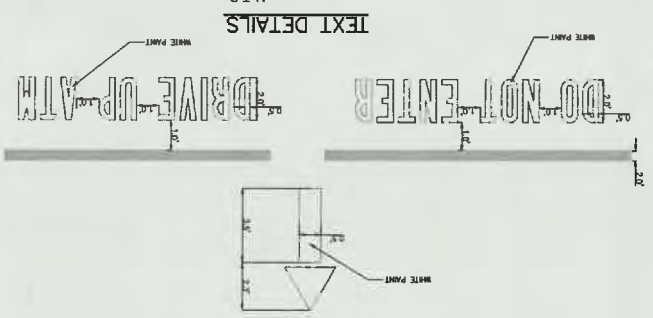
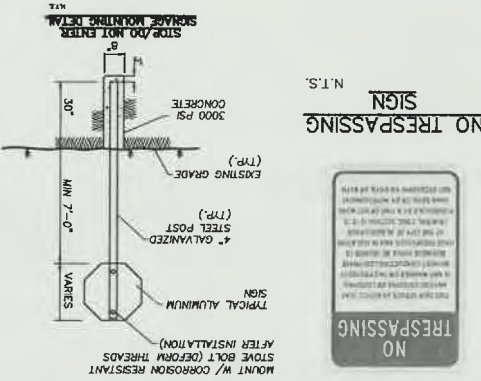
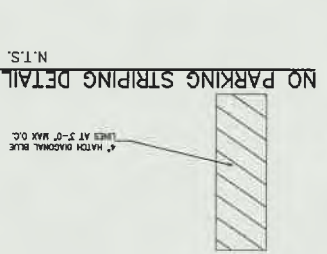
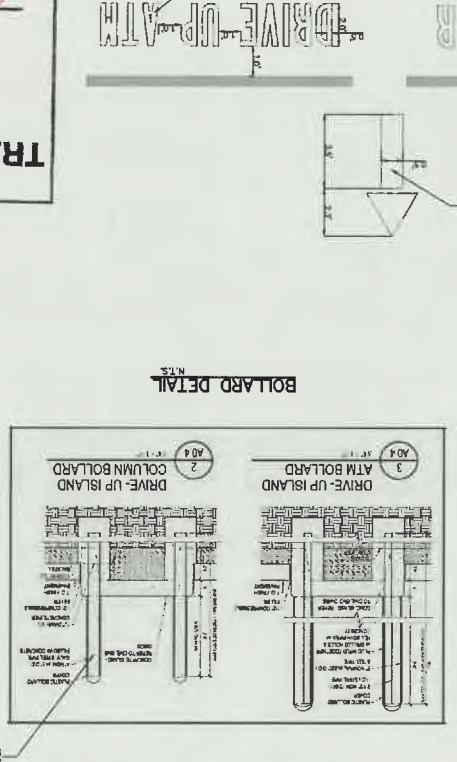
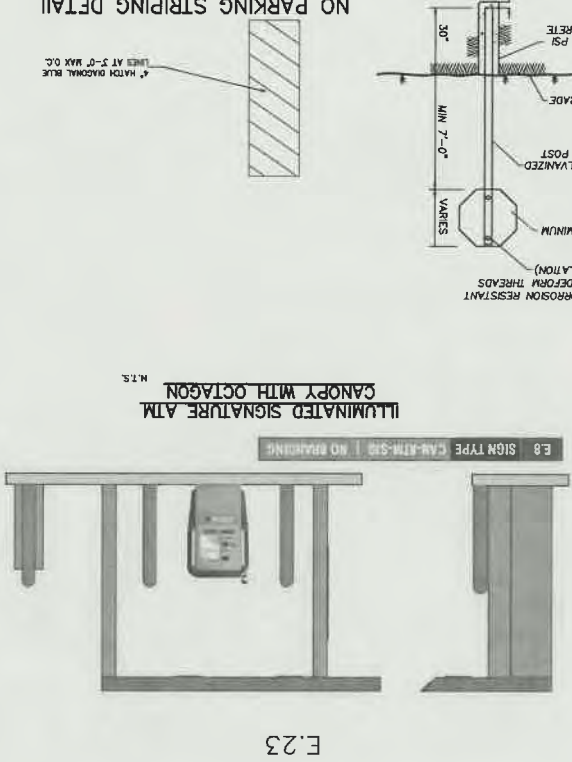
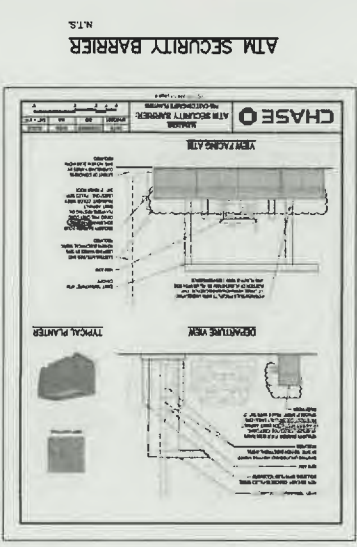
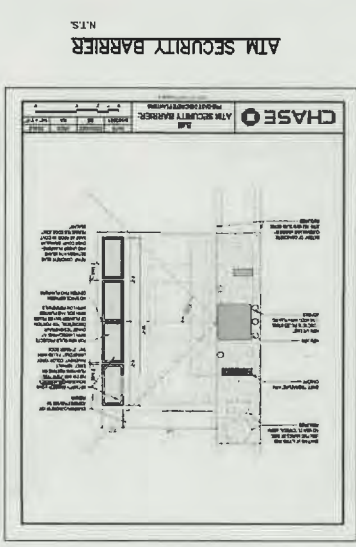
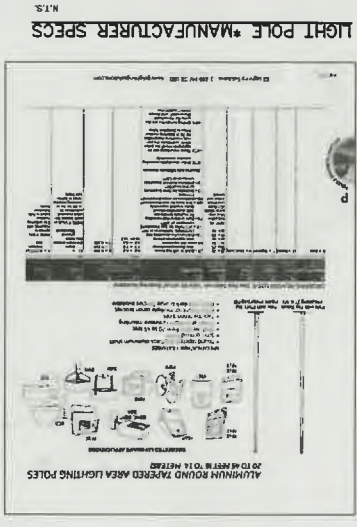
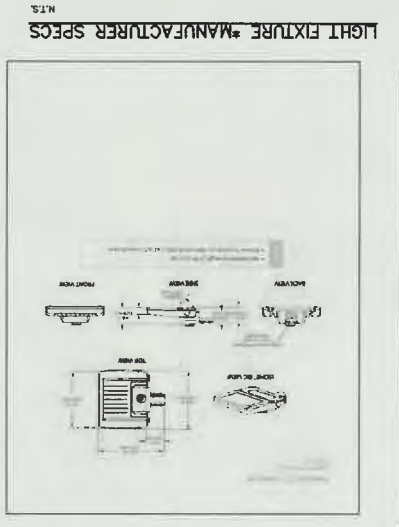
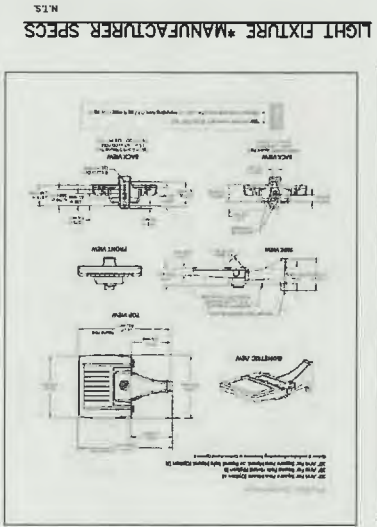
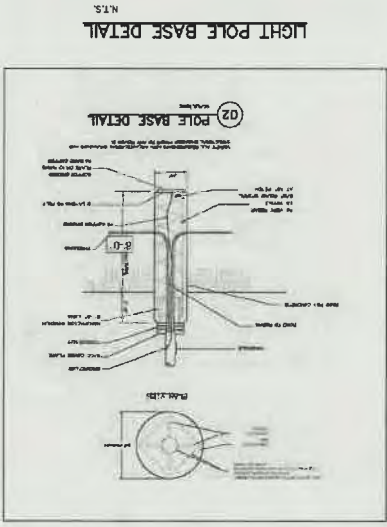


**TRAFFIC CIRCULATION PLAN**  
8001 WYOMING BOULEVARD NE  
CITY OF ALBUQUERQUE, NEW MEXICO  
BERNALILLO COUNTY

<b>CHASE</b>
PLOT DATE
09/09/21
DRAWING SCALE
1" = 20'
PROJECT NUMBER
CDC21001
SHEET NUMBER
C1.02

419-0007A





C1.03  
SHEET NUMBER  
CDC21001  
PROJECT NUMBER  
DRAWING SCALE  
09/09/21  
PLOT DATE

CHASE

TRAFFIC CIRCULATION PLAN

8001 WYOMING BOULEVARD NE  
CITY OF ALBUQUERQUE, NEW MEXICO  
BERNALILLO COUNTY



Cumulus Design  
2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367

C19-D007A