



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Martha Orendain		Phone: 817-474-1379
Address: One Destiny Way, WBGA		Email: martha.orendain@fmr.com
City: Westlake	State: TX	Zip: 76262
Professional/Agent (if any): Kathyriya Kennedy		Phone: 832-545-0978
Address: 777 Main Street		Email: kathyriya.kennedy@jacobs.com
City: Fort Worth	State: TX	Zip: 76102
Proprietary Interest in Site: Leased		List all owners: Unknown

BRIEF DESCRIPTION OF REQUEST

Request for a Minor Administrative Amendment for the renovation of a small courtyard area at the northwest side of an existing site.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1-A	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): Q-16	Existing Zoning: PC	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 0.26

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5401 WATSON DR. Between: Turing Dr. and: Hawking Dr.

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PREVIOUS PROJECT NO: 1006520 | CURRENT PROJECT: BP-2022-16764

Signature: Kathyriya Kennedy	Date: 10/31/2022
Printed Name: Kathyriya Kennedy	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.



INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ The approved Site Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.



☒ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ The approved Site Development Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

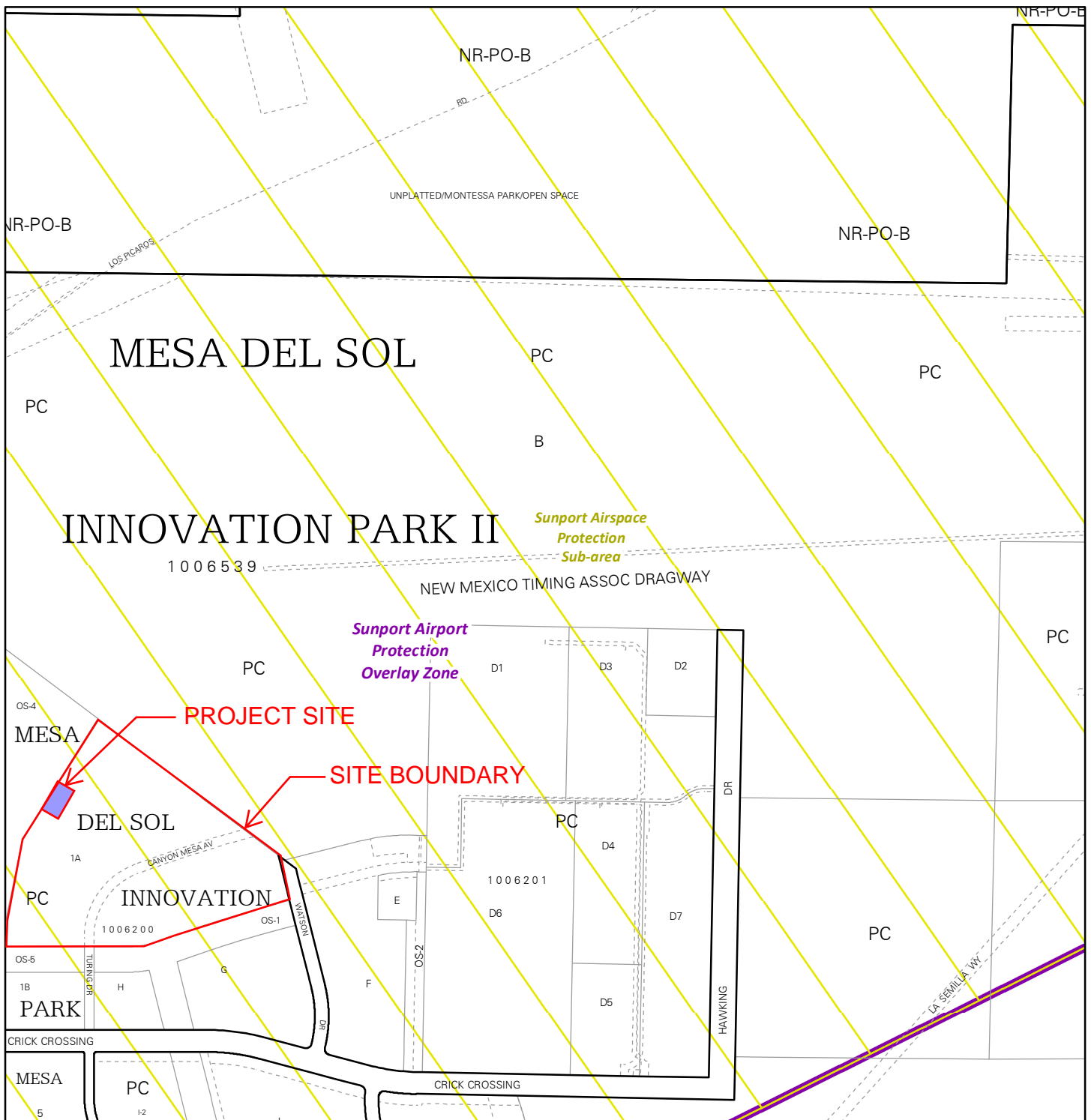
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

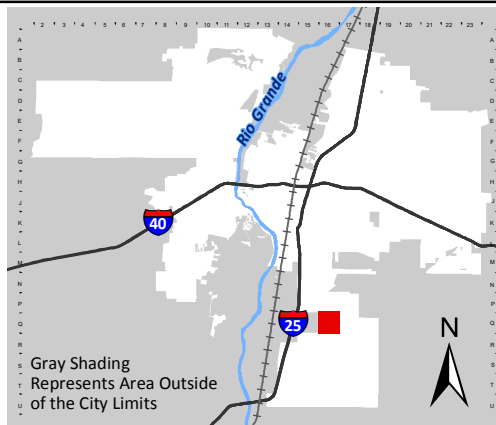


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

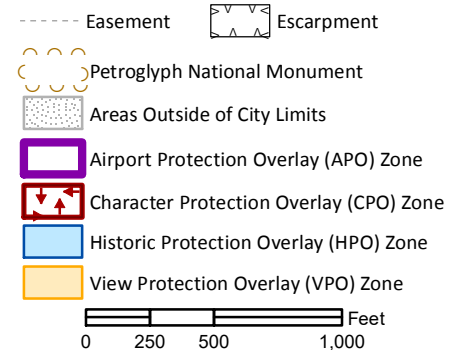
IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
Q-16-Z



Jay Rodenbeck
Planning Manager
Development Review Services
City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

October 31, 2022

Re: Project # 1006250 / 5401 Watson SE / Site Plan

Dear Mr. Rodenbeck;

This letter is Fidelity's authorization to allow Jacobs Engineering Group and Kathyriya Kennedy to act on our behalf with the Administrative Amendment.

Thank you,

Martha Orendain A644535

Martha Orendain
Director, Project Delivery
Fidelity Real Estate Company
One Destiny Way, WBGA | Westlake, TX | 76262
Tel: + 1 817 474 1379 | C: + 1 520 401 2259
Martha.Orendain@fmr.com



Challenging today.
Reinventing tomorrow.

November 1, 2022

Attn: Jay B. Rodenbeck
Planning Manager
City of Albuquerque
Development Review Services

600 2nd St. NW 3rd Floor
Albuquerque NM, 87102

Project name: Fidelity Patio Improvements
Project no: 1006250 / 5401 Watson SE / Site Plan

Subject: Justification Letter for Administrative Amendment

Dear Mr. Rodenbeck;

Please accept this letter of justification as required of a minor amendment for the renovation of a small courtyard area at the northwest side of an existing site at 5401 Watson Drive SE.

This project consists of an existing office building with an existing patio at the rear. The landscape architect is calling it an amphitheater because of the tiered concrete seats. However, there is no electrical work associated with this project. The items that are new are the shade structure and the concrete seating area left of the shade structure. The existing furniture, sidewalk, and plantings are replaced with like items. The existing grass in the center is replaced with turf.

Per 6-4(Z)(1)(a) Minor Amendments:

- The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
- The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.
- The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
- No deviations, Variances, or Waivers are requested or required.
- There are no changes to the building gross floor area, front, side or rear setback, building height, wall or fence height or any other numerical standard.

Attached with this letter are the required documents required for submission of a minor administrative amendment. Staff were unable to find a Copy of the Official Notice of Decision associated with the prior approval.

[Service identifier]

777 Main Street
Fort Worth, TX 76102
United States

T +1.832.545.0978
F +1.817.735.6148
www.jacobs.com



Date: 1 November 2022

Subject: Justification Letter for Administrative Amendment

Please do not hesitate to reach out with any questions.

Kind regards,

A handwritten signature in black ink that reads "Kathyriya Kennedy". The signature is fluid and cursive.

Kathyriya Kennedy
Project Civil Engineer

832.545.0978

Kathyriya.kennedy@jacobs.com

Copies to: Martha Orendain
Director, Project Delivery
Fidelity Real Estate Company

APPROVED SITE DEVELOPMENT PLAN BEING AMENDED

DRAWING INDEX

DWG.No. DESCRIPTIONS

G100 COVER SHEET

SITE
A001 SITE PLAN
A002 PLAZA ENLARGEMENTS
A003 SITE FURNISHINGS AND FINISHES
A091 SITE DETAILS

LANDSCAPE
L001 LANDSCAPE PLAN
L002 COURTYARD LANDSCAPE PLAN & TREE DETAILS
L003 WATER HARVESTING PLAN

CIVIL
C100 CONCEPTUAL ROUGH GRADING & DRAINAGE PLAN
C101 CUT/FILL MAP
C200 SCHEMATIC UTILITY PLAN

ARCHITECTURAL
A301 BUILDING EXTERIOR ELEVATIONS

ELECTRICAL
E001 SITE LIGHTING PHOTOMETRIC PLAN
E002 LUMINAIRE SCHEDULE, CUT SHEETS & SECTION DETAILS



Project No. 1006520

LEVEL C PLAN

PRELIMINARY PLAT
APPROVED BY DRB
ON 4/23/08

Carrie Biesiot

Approved for compliance with PC Zoning Level "A"
and Level "B" Plans and compliance with the Design
Standards of the Mesa del Sol Employment Center
Covenants, Conditions & Restrictions.

Architectural Review Committee
Mesa del Sol Employment Center

By: *Carrie Biesiot*
Carrie Biesiot, Administrator



FIDELITY INVESTMENTS @ MESA DEL SOL

ARC SUBMITTAL

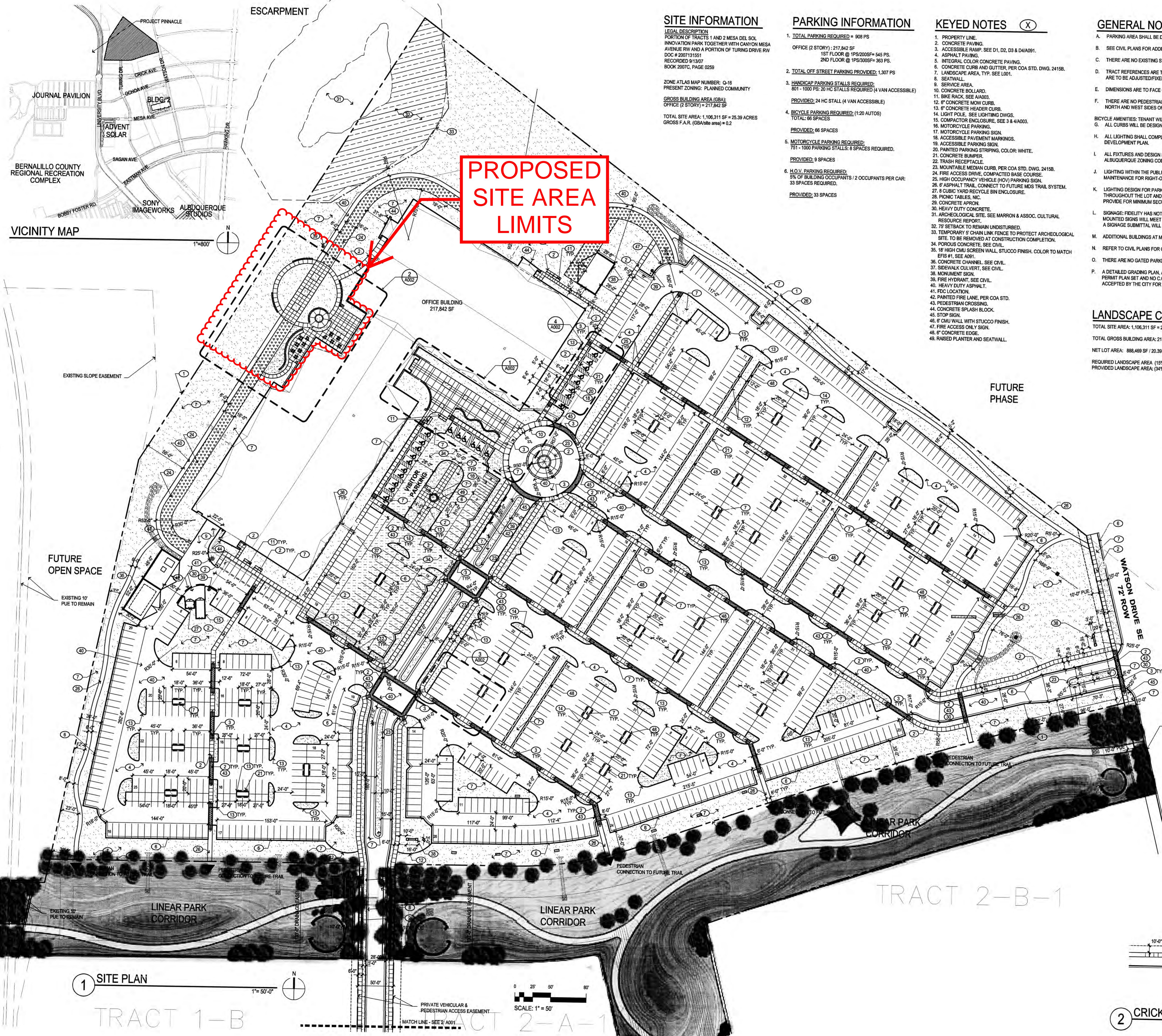
APRIL 18, 2008

FIDELITY INVESTMENTS
MESA DEL SOL - INNOVATION PARK
5401 WATSON DRIVE SE
Mesa del Sol, New Mexico



PROJECT NO. 07-0115
DATE 03/03/2008
ISSUE PURPOSE
ARC
SUBMITTAL
SET

OWNER	TENANT REPRESENTATIVE	ARCHITECT AND STRUCTURAL ENGINEER	CIVIL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER	GENERAL CONTRACTOR
FOREST CITY COVINGTON NM, LLC 801 UNIVERSITY BLVD., SE SUITE 200 ALBUQUERQUE, NM 87106 (505) 400-3021 FAX: (505)	CHRIS EARY 100 MAGELLAN WAY COVINGTON, KENTUCKY 41015 (859) 3867847 FAX: (972)910-4398	DEKKER/PERICH/SABATINI, LTD. 7601 JEFFERSON NE SUITE 100 ALBUQUERQUE, NM 87109 (505) 761-9700 FAX: (505) 761-4222	BOHANNAN HUSTON 7500 JEFFERSON NE ALBUQUERQUE, NM 87109 (505) 823-1000 FAX: (505) 821-0892	CCI ENGINEERING 320 CENTRAL AVENUE SUITE102 ALBUQUERQUE, NM 87125 (505) 242-8046 FAX: (505) 242-8060	ALLIED ENGINEERING AND DESIGN 5101 COORS BLVD NW ALBUQUERQUE, NM 87120 (505) 262-1766 FAX: (505) 255-0466	KLINGER CONSTRUCTORS LLC 8701 WASHINGTON NE ALBUQUERQUE, NM 87113 (505) 822-9990 FAX: (505) 821-0439



SITE INFORMATION

LEGAL DESCRIPTION
PORTION OF TRACTS 1 AND 2 MESA DEL SOL
INNOVATION PARK TOGETHER WITH CANYON MESA
AVENUE RW AND A PORTION OF TURNING DRIVE RW
DOC # 2007131501
RECORDED 9/15/07
BOOK 2007C, PAGE 0259

ZONE: ATLAS MAP NUMBER: C-16
PRESENT ZONING: PLANNED COMMUNITY

GROSS BUILDING AREA (GBA):
OFFICE (2 STORY) = 217,842 SF

TOTAL SITE AREA: 1,106,311 SF = 25.39 ACRES
GROSS F.A.R. (GBA/site area) = 0.2

PARKING INFORMATION

- 1. TOTAL PARKING REQUIRED = 908 PS
- OFFICE (2 STORY): 217,842 SF
1ST FLOOR @ 1PS/200SF = 545 PS
2ND FLOOR @ 1PS/300SF = 363 PS
- 2. TOTAL OFF STREET PARKING PROVIDED: 1,307 PS
- 3. HANDICAP PARKING STALLS REQUIRED:
801 - 1000 PS: 20 HC STALLS REQUIRED (4 VAN ACCESSIBLE)
PROVIDED: 24 HC STALL (4 VAN ACCESSIBLE)
- 4. BICYCLE PARKING REQUIRED: (1:20 AUTOS)
TOTAL: 66 SPACES
PROVIDED: 66 SPACES
- 5. MOTORCYCLE PARKING REQUIRED:
751 - 1000 PARKING STALLS: 8 SPACES REQUIRED.
PROVIDED: 9 SPACES
- 6. H.O.V. PARKING REQUIRED:
5% OF BUILDING OCCUPANTS / 2 OCCUPANTS PER CAR:
33 SPACES REQUIRED.
PROVIDED: 33 SPACES

KEYED NOTES (X)

- 1. PROPERTY LINE.
- 2. CONCRETE PAVING.
- 3. ACCESSIBLE RAMP: SEE D1, D2, D3 & D4/A091.
- 4. ASPHALT PAVING.
- 5. INTEGRAL COLOR CONCRETE PAVING.
- 6. CONCRETE CURB AND GUTTER, PER COA STD. DWG. 2415B.
- 7. LANDSCAPE AREA, TYP. SEE L001.
- 8. SEATWALL.
- 9. SERVICE AREA.
- 10. CONCRETE BOLLARD.
- 11. BIKE RACK, SEE A1003.
- 12. 6" CONCRETE MOW CURB.
- 13. 6" CONCRETE HEADER CURB.
- 14. LIGHT POLE, SEE LIGHTING DWGS.
- 15. COMPACTOR ENCLOSURE, SEE 3 & 4/A003.
- 16. MOTORCYCLE PARKING.
- 17. MOTORCYCLE PARKING SIGN.
- 18. ACCESSIBLE PAVEMENT MARKINGS.
- 19. ACCESSIBLE PARKING SIGN.
- 20. PAINTED PARKING STRIPING, COLOR: WHITE.
- 21. CONCRETE BUMPER.
- 22. TRASH RECEPTACLE.
- 23. MOUNTABLE MEDIAN CURB, PER COA STD. DWG. 2415B.
- 24. FIRE ACCESS DRIVE, COMPACTED BASE COURSE.
- 25. HIGH OCCUPANCY VEHICLE (HOV) PARKING SIGN.
- 26. 6" ASPHALT TRAIL, CONNECT TO FUTURE MEDS TRAIL SYSTEM.
- 27. 8 CUBIC YARD RECYCLE BIN ENCLOSURE.
- 28. PICNIC TABLES, NIC.
- 29. CONCRETE APRON.
- 30. HEAVY DUTY CONCRETE.
- 31. ARCHEOLOGICAL SITE, SEE MARRON & ASSOC. CULTURAL RESOURCE REPORT.
- 32. 12" SETBACK TO REMAIN UNDISTURBED.
- 33. TEMPORARY 5' CHAIN LINK FENCE TO PROTECT ARCHEOLOGICAL SITE, TO BE REMOVED AT CONSTRUCTION COMPLETION.
- 34. POROUS CONCRETE, SEE CIVIL.
- 35. 18" HIGH CMU SCREEN WALL, STUCCO FINISH, COLOR TO MATCH EFIS #1, SEE A091.
- 36. CONCRETE CHANNEL, SEE CIVIL.
- 37. SIDEWALK CURB, SEE CIVIL.
- 38. MONUMENT SIGN.
- 39. FIRE HYDRANT, SEE CIVIL.
- 40. HEAVY DUTY ASPHALT.
- 41. FDC LOCATION.
- 42. PAINTED FIRE LANE, PER COA STD.
- 43. PEDESTRIAN CROSSING.
- 44. CONCRETE SPLASH BLOCK.
- 45. STOP SIGN.
- 46. 6" CMU WALL WITH STUCCO FINISH.
- 47. FIRE ACCESS ONLY SIGN.
- 48. 6" CONCRETE EDGE.
- 49. RAISED PLANTER AND SEATWALL.

GENERAL NOTES

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. THERE ARE NO EXISTING STRUCTURES WITHIN 20 FEET OF THE SITE.
- D. TRACT REFERENCES ARE TO THE TRACTS AS CONFIGURED AND ALIGNED IN THE SITE DEVELOPMENT PLAN. TRACT LINES ARE TO BE ADJUSTED/FIXED WITH REQUIRED REPEAT.
- E. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- F. THERE ARE NO PEDESTRIAN TRAILS CURRENTLY LOCATED IN THE VICINITY. A FUTURE TRAIL MAY BE LOCATED ON THE NORTH AND WEST SIDES OF THE PROPERTY.
- G. ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- H. ALL LIGHTING SHALL COMPLY TO LIGHTING STANDARDS OF THE MESA DEL SOL EMPLOYMENT CENTER MASTER DEVELOPMENT PLAN.
- I. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-5.9 AREA LIGHTING REGULATIONS. SEE ELECTRICAL PLANS.
- J. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PFM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- K. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- L. SIGNAGE: FIDELITY HAS NOT DECIDED ON THE EXTENT OF SIGNAGE, FREE STANDING AND MONUMENT, AND BUILDING MOUNTED SIGNS WILL MEET ALL MESA DEL SOL LEVEL REQUIREMENTS, AS THE SIGNAGE IS MORE DEFINED BY FIDELITY, A SIGNAGE SUBMITTAL WILL BE SUPPLIED TO THE ARC FOR REVIEW.
- M. ADDITIONAL BUILDINGS AT MESA DEL SOL WILL REQUIRE NEW ELECTRIC FACILITIES TO BE DEVELOPED.
- N. REFER TO CIVIL PLANS FOR CURB CUT LOCATIONS.
- O. THERE ARE NO GATED PARKING AREAS.
- P. A DETAILED GRADING PLAN, APPROVED BY THE CITY, WILL BE REQUIRED PRIOR TO THE APPROVING OF THE BUILDING PERMIT PLAN SET AND NO C.O. WILL BE GRANTED UNTIL THERE IS ADEQUATE PERMANENT ROADWAYS COMPLETED AND ACCEPTED BY THE CITY FOR THIS SITE.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 1,106,311 SF = 25.39 ACRES
TOTAL GROSS BUILDING AREA: 217,842 SF
NET LOT AREA: 888,469 SF / 20.39 ACRES
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA): 133,270 SF / 3.06 ACRES
PROVIDED LANDSCAPE AREA: (34% OF NET LOT AREA): 308,780 SF / 7.1 ACRES

LEGEND

- PROPERTY LINE
- LIGHT POLE (COORDINATE LOCATIONS W/ ELEC.)
- FIRE HYDRANT
- LANDSCAPE AREA
- UNDISTURBED AREA
- POROUS CONCRETE
- HEAVY DUTY ASPHALT
- COMPACTED BASE COURSE

SITE FURNISHINGS LEGEND

- BIKE RACK, QUANTITY: 6
Manufacturer: Dumor Inc. Model: 130-60
Embedded, Powercoat Finish, Color: Argent.
- TRASH RECEPTACLE, QUANTITY: 3
Manufacturer: Dumor Inc. Model: 89 - 32 (32 Gal.)
Surface Mount, Powercoat Finish, Color: Argent.
- CONCRETE BOLLARD, QUANTITY: 36
Manufacturer: Materials Inc. Model: 12x36
Integral Color: Flagstone Brown.
- PICNIC TABLE (NIC), QUANTITY: 10
Manufacturer: Dumor Inc. Model: 127-40, Perforated metal seats, 4-seats
Surface Mount, Powercoat Finish, Color: Argent.
- PICNIC TABLE (NIC), QUANTITY: 2
Manufacturer: Dumor Inc. Model: 127-30, Perforated metal seats, 3-seats
Surface Mount, Powercoat Finish, Color: Argent.

architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

7601 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9708
fax 761-4272
dps@dpsdesign.org

ARCHITECT

**ARC
SUBMITTAL**

ENGINEER

PROJECT

FIDELITY INVESTMENTS
@MESA DEL SOL
5401 Watson Drive
Albuquerque, NM.



REVISIONS

02.18.08	ARC Preliminary Review
02.21.08	ARC Review - Second Submittal
4.15.08	City Comments Incorporated

DRAWN BY: SY, CH
REVIEWED BY: MB
DATE: 04-18-08
PROJECT NO.: 07-0115
DRAWING NAME: SITE PLAN

SHEET NO. **A001**

ARCHITECT

ARC
SUBMITTAL

ENGINEER

PROJECT

**FIDELITY INVESTMENTS
@MESA DEL SOL**
5401 Watson Drive
Albuquerque, NM.



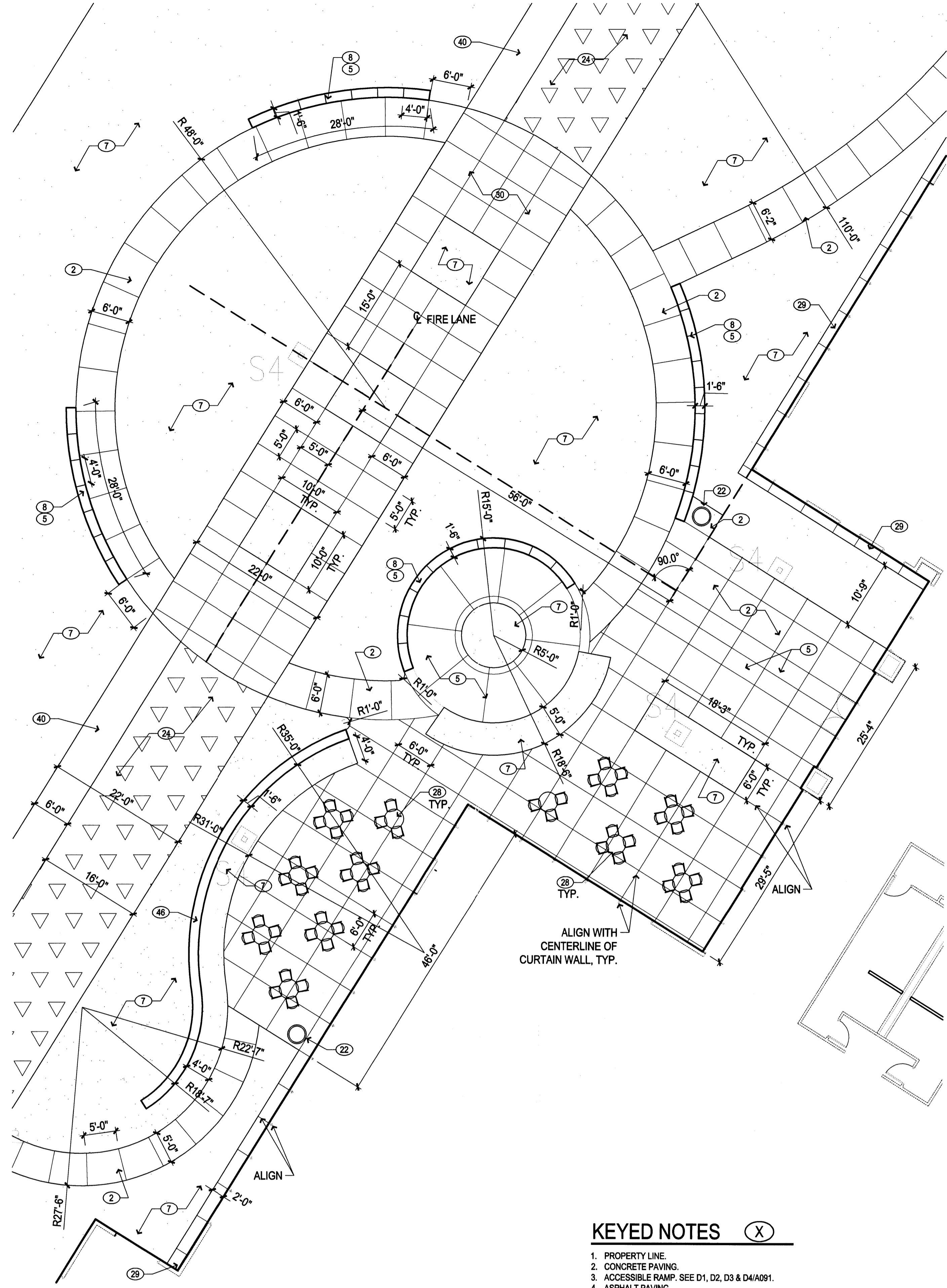
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4.15.08	City Comments Incorporated

DRAWN BY SY, CH
REVIEWED BY MB
DATE 04-18-08
PROJECT NO. 07-0115
DRAWING NAME

PLAZA
ENLARGEMENTS



**1 ENTRY PLAZA
ENLARGEMENT PLAN**
1" = 10'-0"



**2 REAR PLAZA
ENLARGEMENT PLAN**
1" = 10'-0"

LEGEND

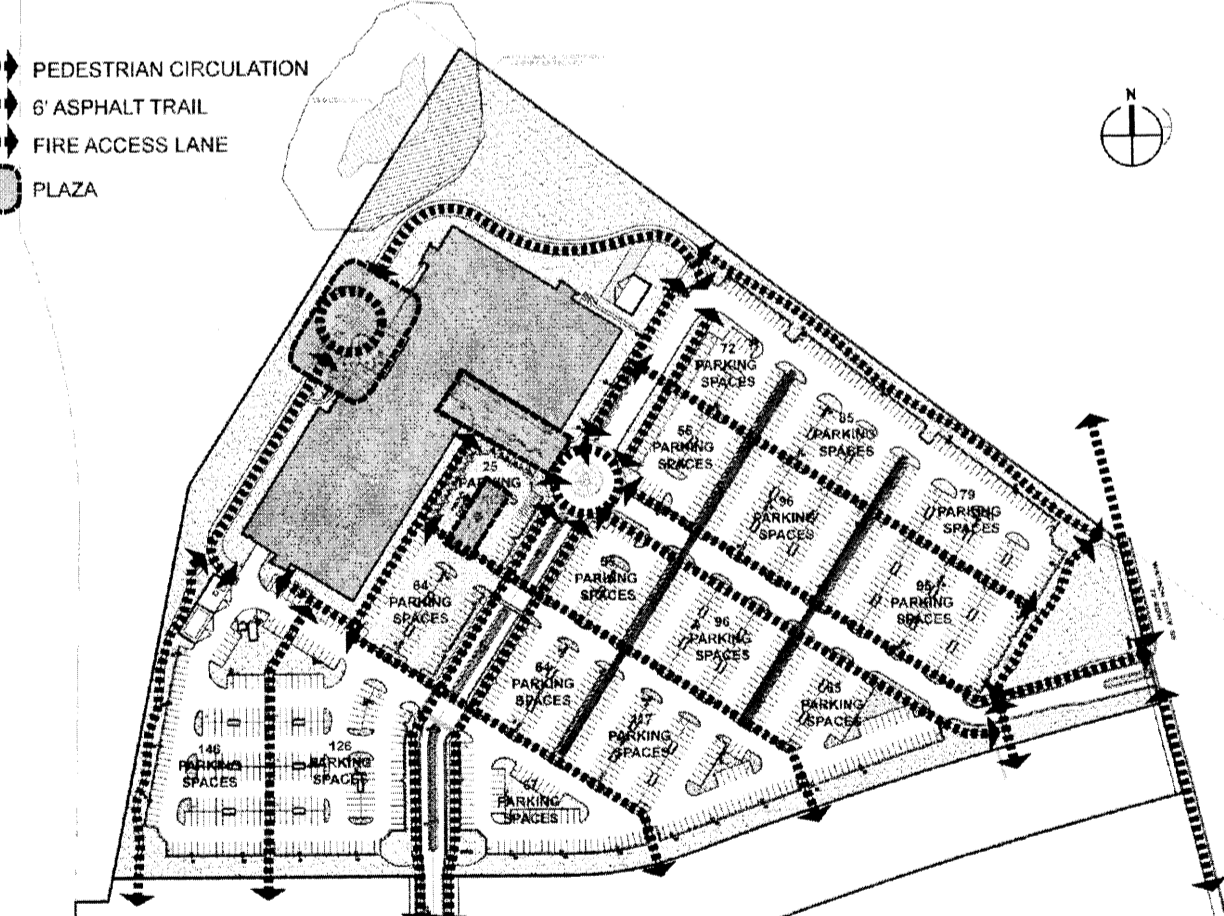
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SITE FURNISHINGS LEGEND

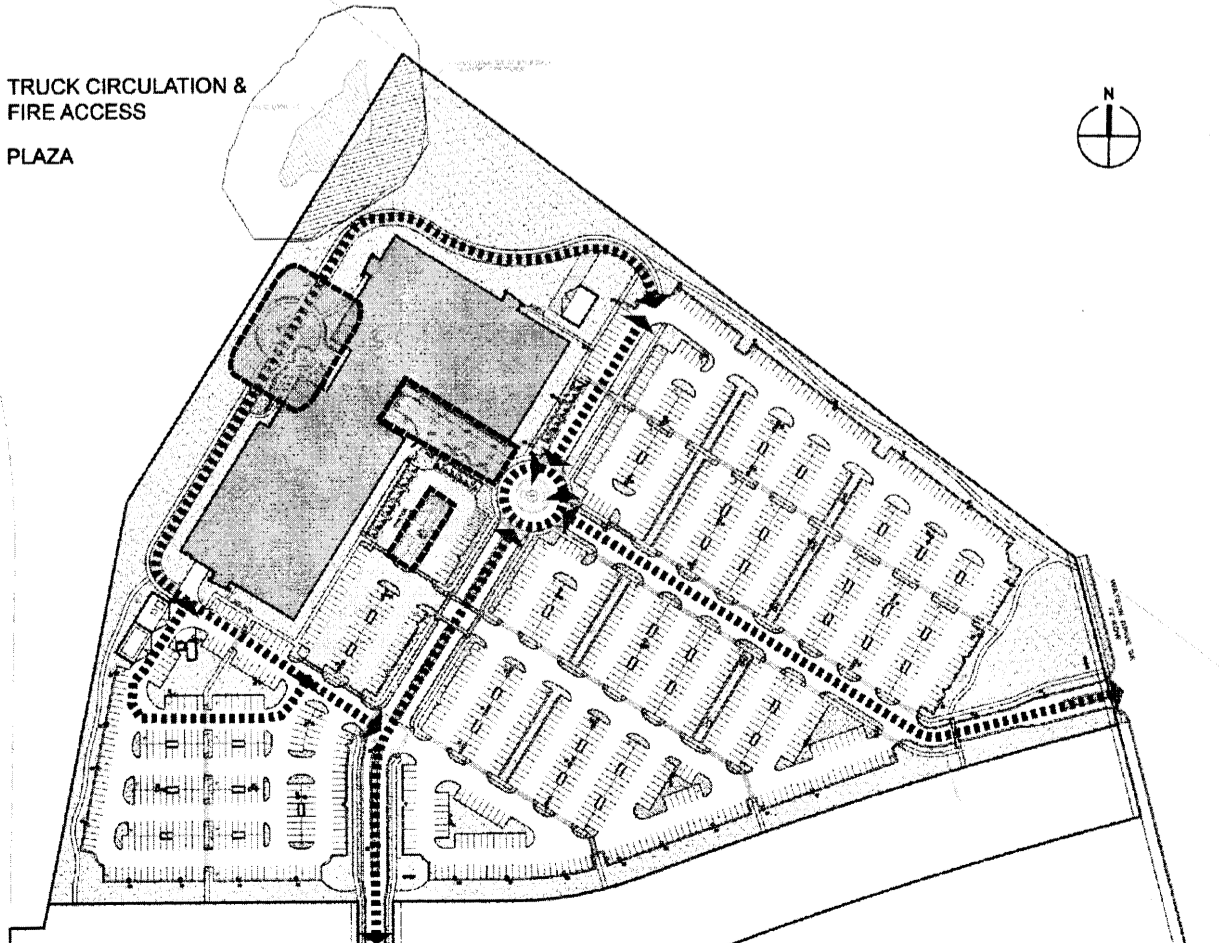
- BIKE RACK, QUANTITY: 6
Manufacturer: Durnor Inc. Model: 130-60
Embedded, Powercoat Finish, Color: Argento.
- TRASH RECEPTACLE, QUANTITY: 3
Manufacturer: Durnor Inc. Model: 89 - 32 (32 Gal.)
Surface Mount, Powercoat Finish, Color: Argento.
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Manufacturer: Materials Inc. Model: 12-36
Integral Color: Flagstone Brown.
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KEYED NOTES (X)

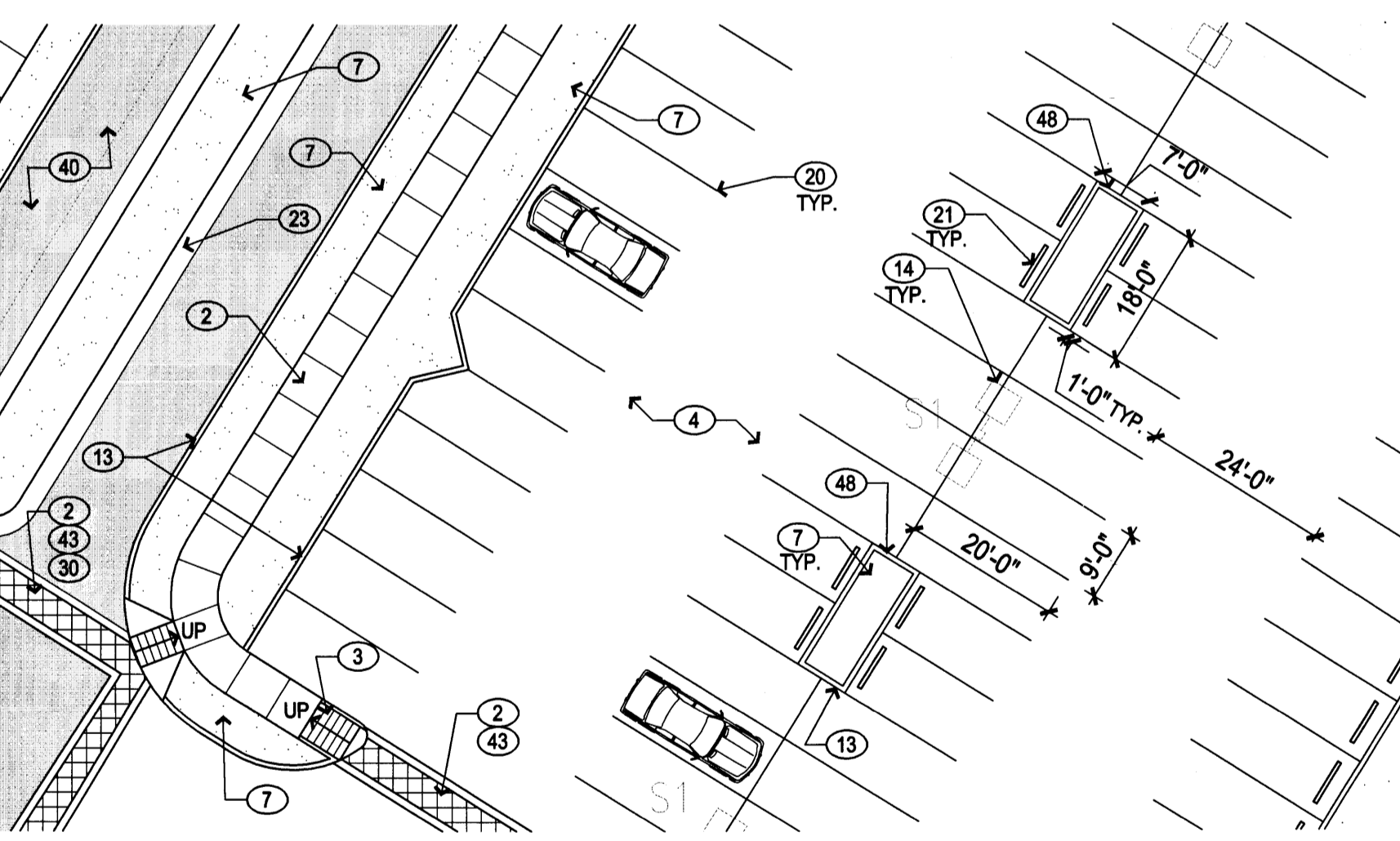
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- LANDSCAPE AREA, TYP. SEE L001.
- SEATWALL.
- SERVICE AREA.
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- ACCESSIBLE PAVEMENT MARKINGS.
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- ASPHALT TRAIL, CONNECT TO FUTURE MDS TRAIL SYSTEM.
- 8 CUBIC YARD RECYCLE BIN ENCLOSURE.
- PICNIC TABLES, NIC.
- CONCRETE APRON.
- HEAVY DUTY CONCRETE.
- ARCHAEOLOGICAL SITE. SEE MARRON & ASSOC. CULTURAL RESOURCE REPORT.
- 7' SETBACK TO REMAIN UNDISTURBED.
- TEMPORARY 6' CHAIN LINK FENCE TO PROTECT ARCHEOLOGICAL SITE. TO BE REMOVED AT CONSTRUCTION COMPLETION.
- POROUS CONCRETE. SEE CIVIL.
- 18" HIGH CMU SCREEN WALL, STUCCO FINISH. COLOR TO MATCH EFIS #1, SEE A091.
- CONCRETE CHANNEL. SEE CIVIL.
- SIDEWALK CULVERT, SEE CIVIL.
- MONUMENT SIGN.
- FIRE HYDRANT. SEE CIVIL.
- HEAVY DUTY ASPHALT.
- FDG LOCATION.
- PAINTED FIRE LANE, PER COA STD.
- PEDESTRIAN CROSSING.
- CONCRETE SPLASH BLOCK.
- STOP SIGN.
- CMU WALL WITH STUCCO FINISH.
- FIRE ACCESS ONLY SIGN.
- 6" CONCRETE EDGE.
- RAISED PLANTER AND SEATWALL.



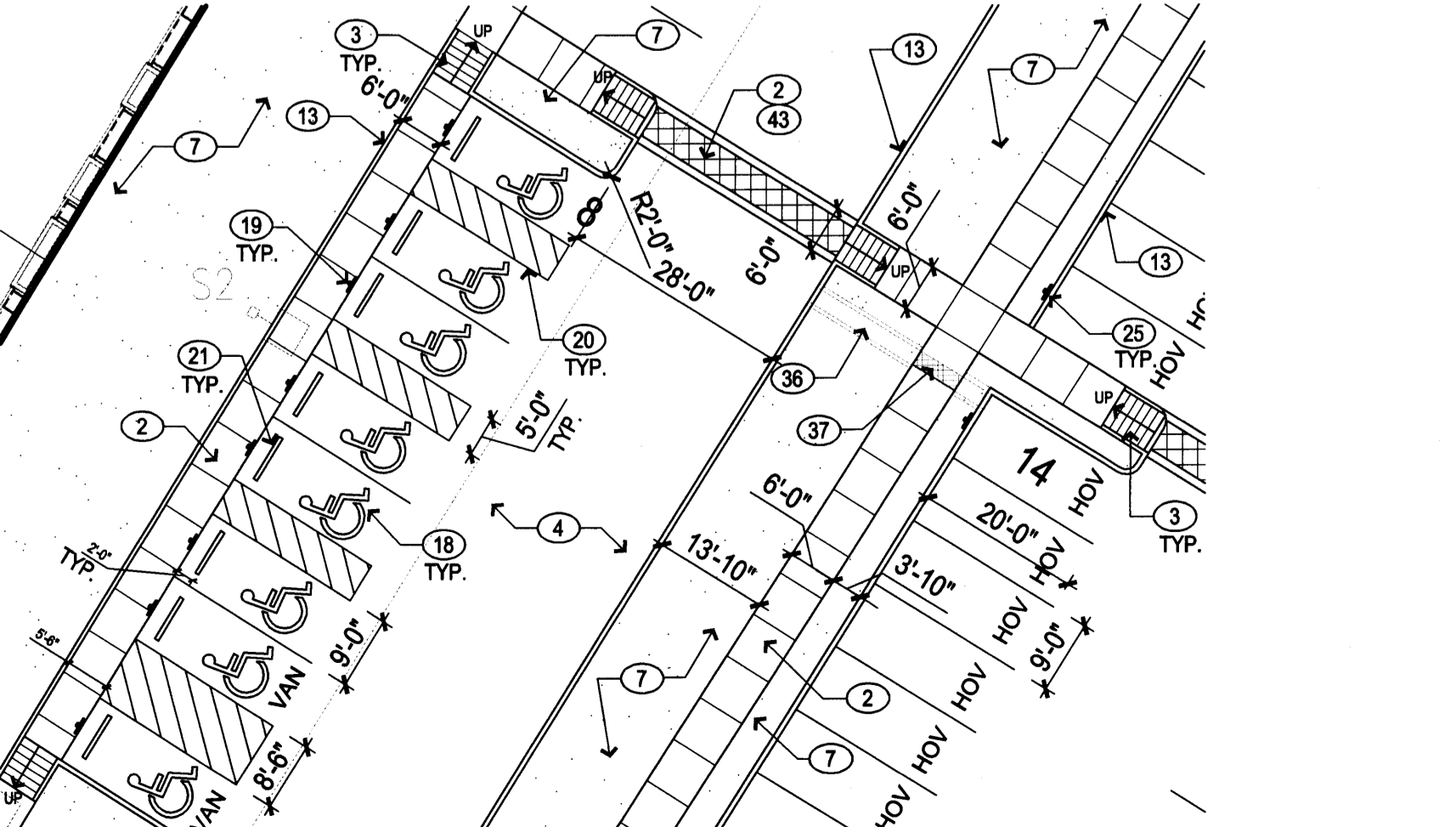
3 PEDESTRIAN CIRCULATION DIAGRAM
NTS



4 TRUCK CIRCULATION DIAGRAM
NTS



5 TYPICAL PARKING SPACES
1" = 20'-0"



6 TYP. ACCESIBLE PARKING SPACES
1" = 20'-0"

ARCHITECT

ARC
SUBMITTAL

ENGINEER

PROJECT

FIDELITY INVESTMENTS
@MESA DEL SOL
5401 Watson Drive
Albuquerque, NM.



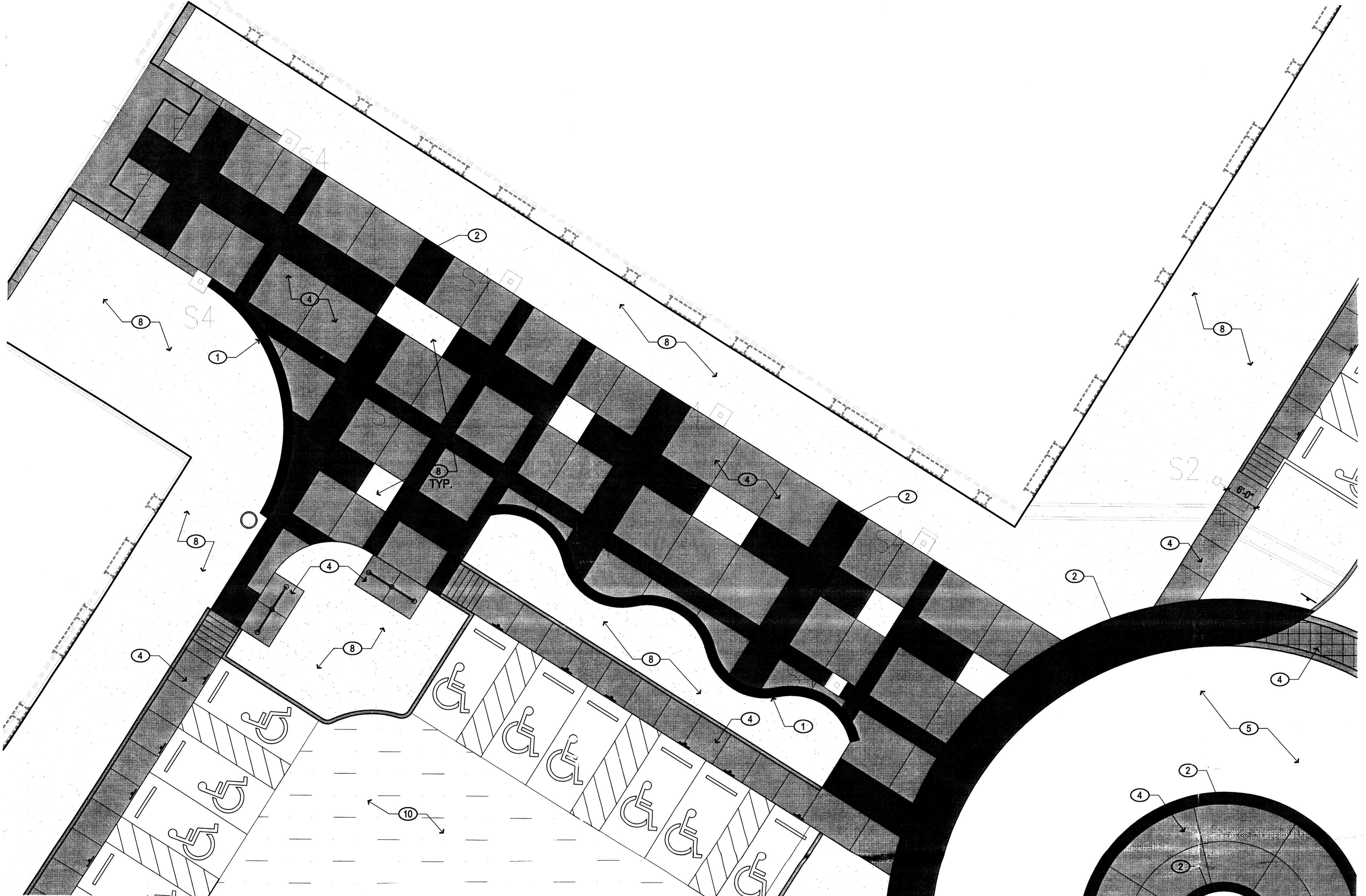
REVISIONS	
02.19.08	ARC Preliminary Review
02.21.08	ARC Review - Second Submittal
4.15.08	City Comments Incorporated

DRAWN BY	SY, CH
REVIEWED BY	MB
DATE	04-18-08
PROJECT NO.	07-0115
DRAWING NAME	

FINISHES

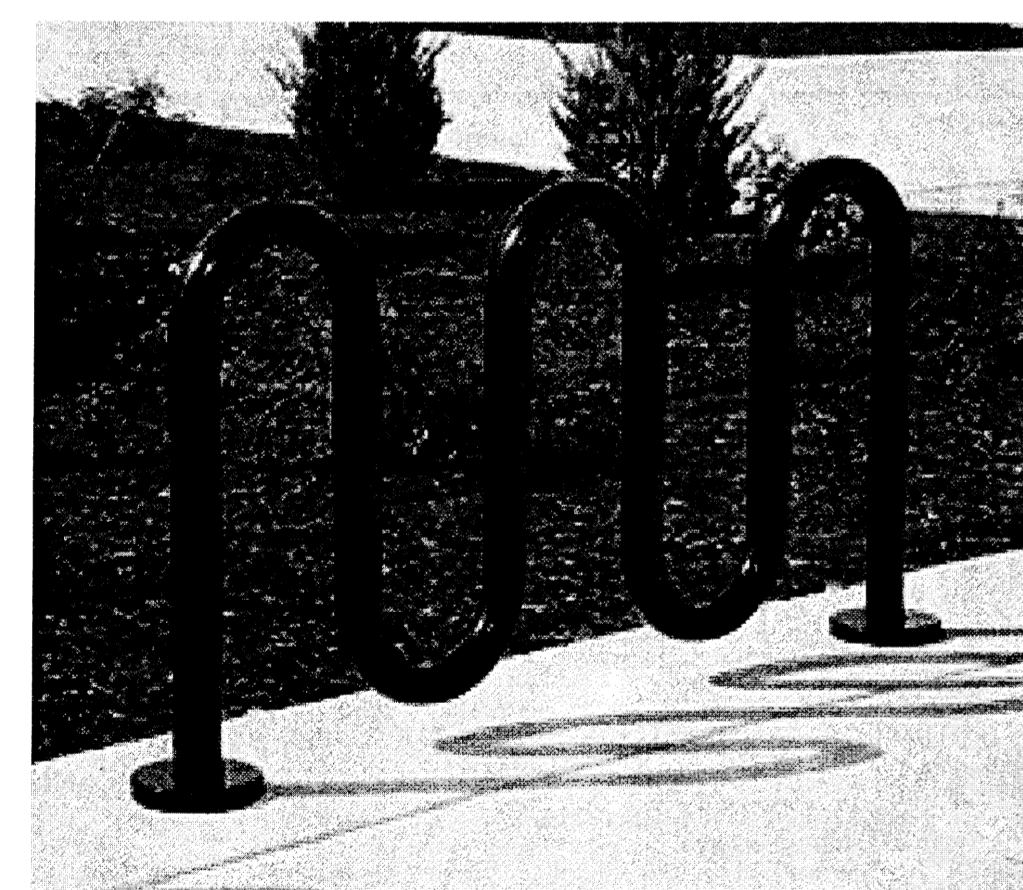
SHEET NO.

A003
OF



1 ENTRY PLAZA
ENLARGEMENT PLAN

1" = 10'-0"



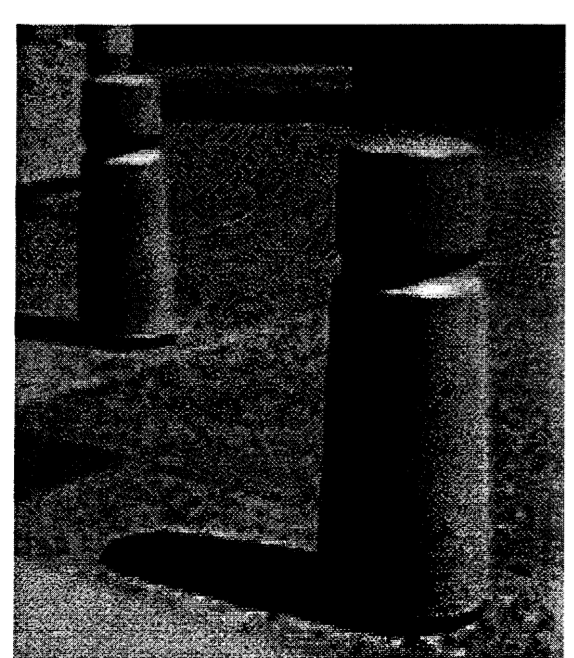
A BIKE RACK

NTS



B TRASH RECEPTACLE

NTS



C BOLLARD

NTS



D PICNIC TABLE

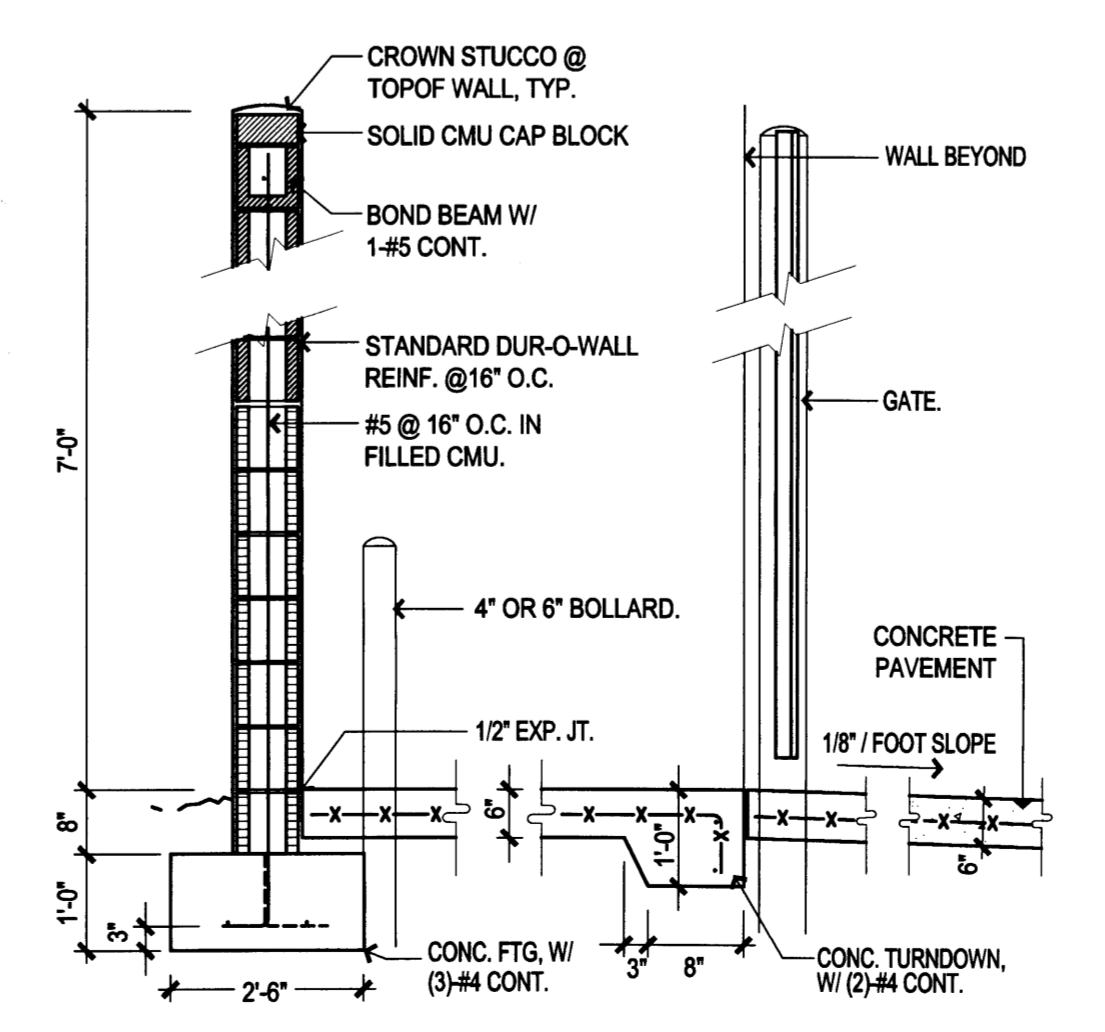
NTS

(X) MATERIALS

- SEATWALL INTEGRALLY COLORED CONCRETE - COLOR: SAN DIEGO BUFF, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL.
- INTEGRALLY COLORED CONCRETE - COLOR: KAHLUA, AVAIL. FROM DAVIS COLORS OR APPROVED EQUAL.
- 8" HIGH CMU WALL WITH STUCCO FINISH. STUCCO COLOR TO MATCH SAN DIEGO BUFF.
- CONCRETE PAVING - NO COLOR.
- ASPHALT PAVING.
- SOD PLANTING AREA - SEE L001 AND L002.
- NOT USED.
- ROCK MULCH - SEE L001 AND L002.
- NOT USED.
- POROUS CONCRETE.
- COMPACTED BASE COURSE.
- NATIVE BLEND SEEDING.
- REVEGETATION SEEDING.

SITE FURNISHINGS LEGEND

- BIKE RACK, QUANTITY: 6
Manufacturer: Dumor Inc. Model: 130-60
Embedded. Powercoat Finish, Color: Argentio.
- TRASH RECEPTACLE, QUANTITY: 3
Manufacturer: Dumor Inc. Model: 89 - 32 (32 Gal.)
Surface Mount. Powercoat Finish, Color: Argentio.
- CONCRETE BOLLARD, QUANTITY: 36
Manufacturer: Materials Inc. Model: 12x36
Integral Color: Flagstone Brown.
- PICNIC TABLE (NIC), QUANTITY: 10
Manufacturer: Dumor Inc. Model: 127-40, Perforated metal seats, 4-seats
Surface Mount. Powercoat Finish, Color: Argentio.
- PICNIC TABLE (NIC), QUANTITY: 2
Manufacturer: Dumor Inc. Model: 127-30, Perforated metal seats, 3-seats
Surface Mount. Powercoat Finish, Color: Argentio.

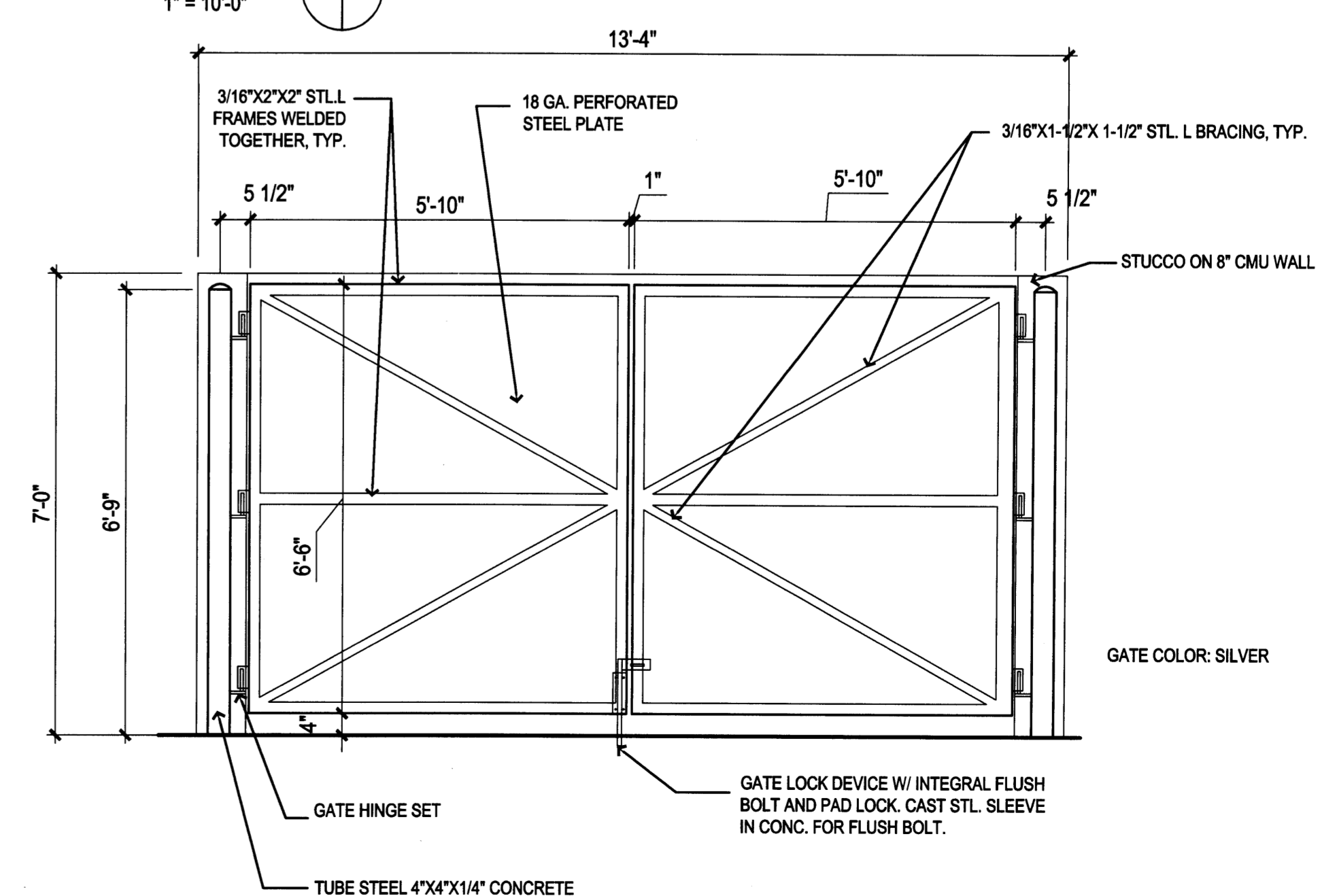
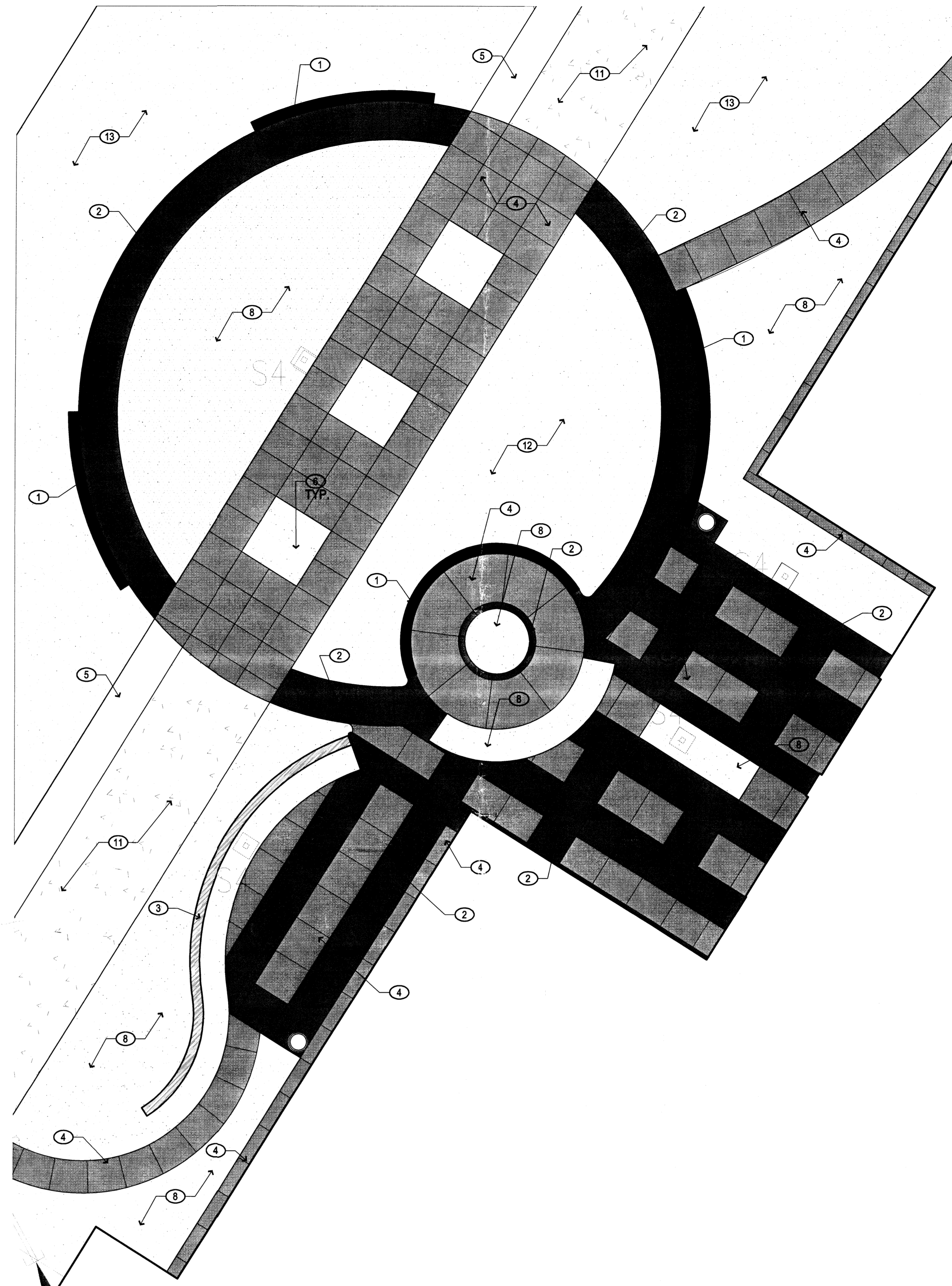
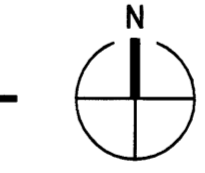


3 ENCLOSURE SECTION

1/2" = 1'-0"

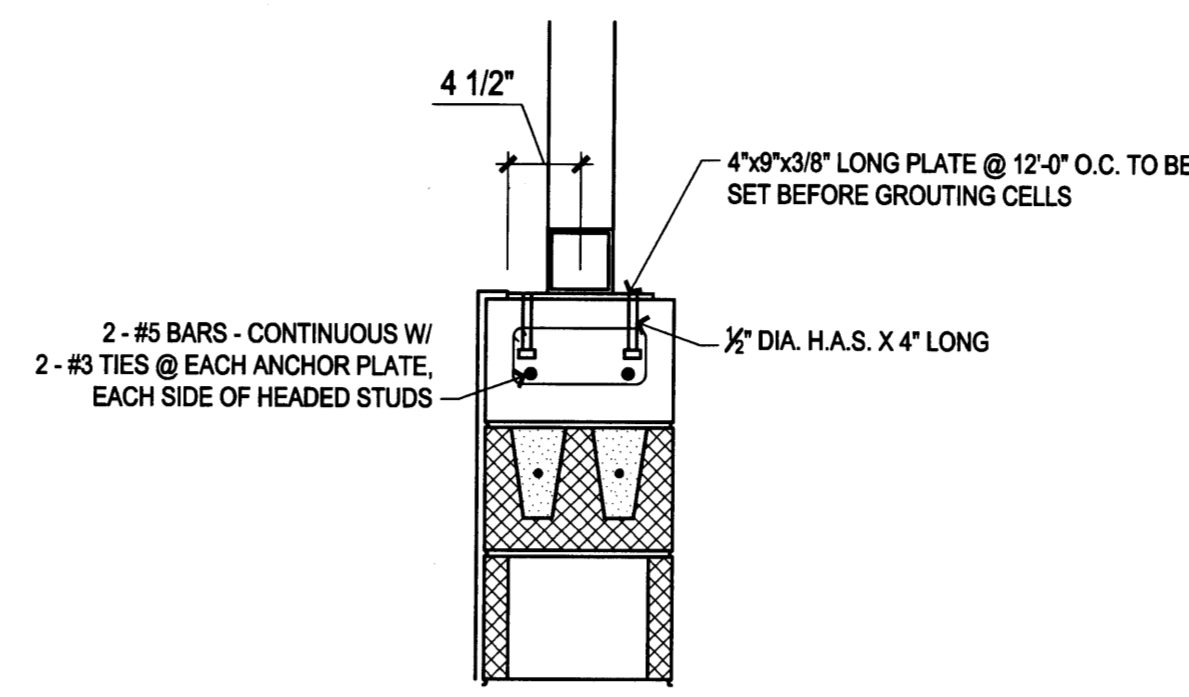
2 REAR PLAZA
ENLARGEMENT PLAN

1" = 10'-0"



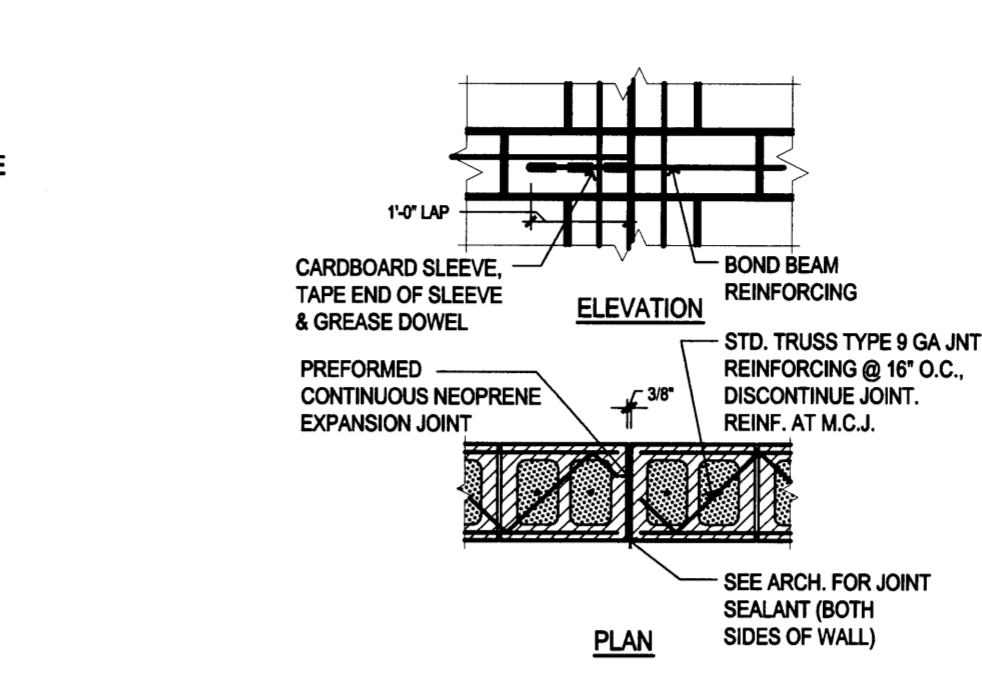
4 COMPACTOR ENCLOSURE GATE

N.T.S.



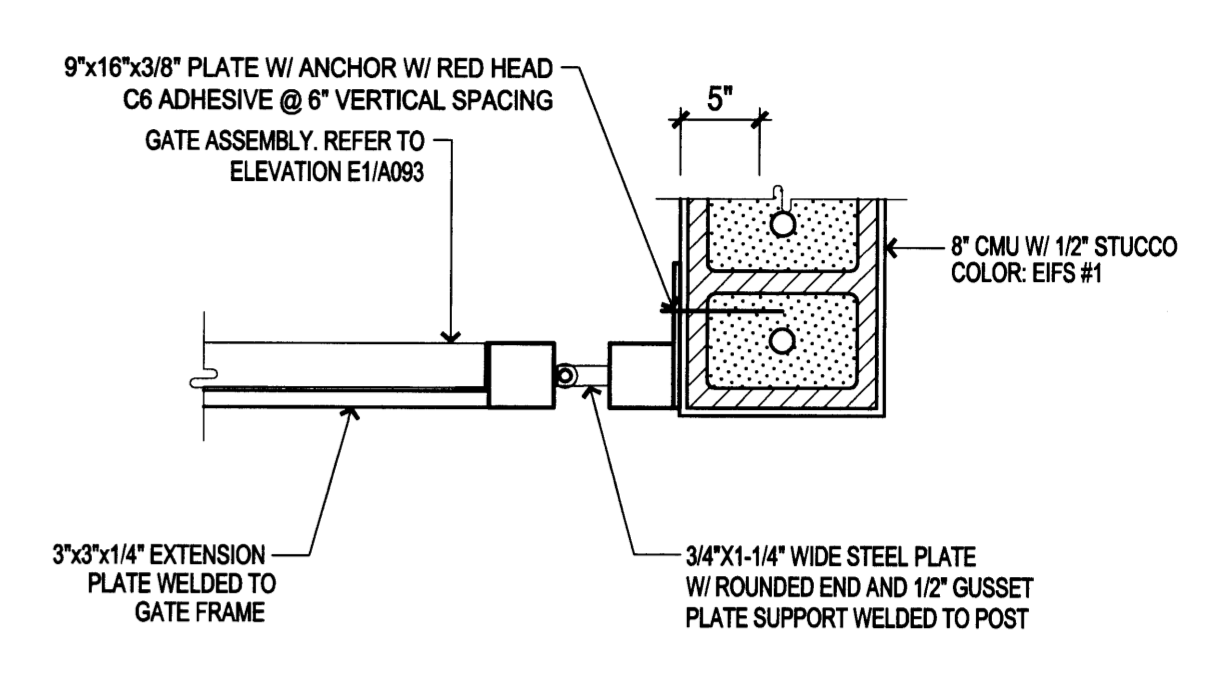
A4 ENCLOSURE GATE HINGE

1" = 1'-0"



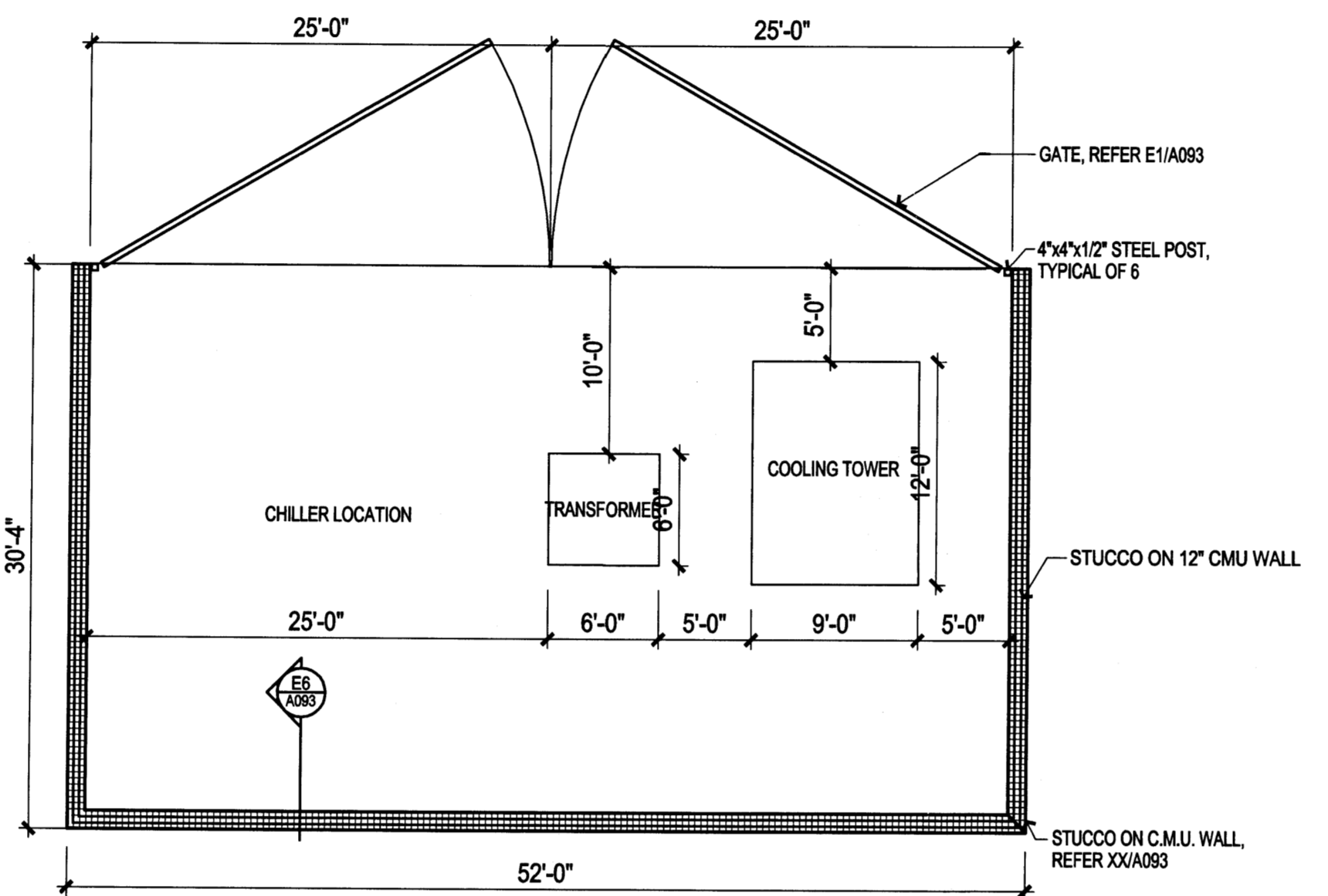
A5 MCJ - MASONRY CONTROL JOINT

N.T.S.



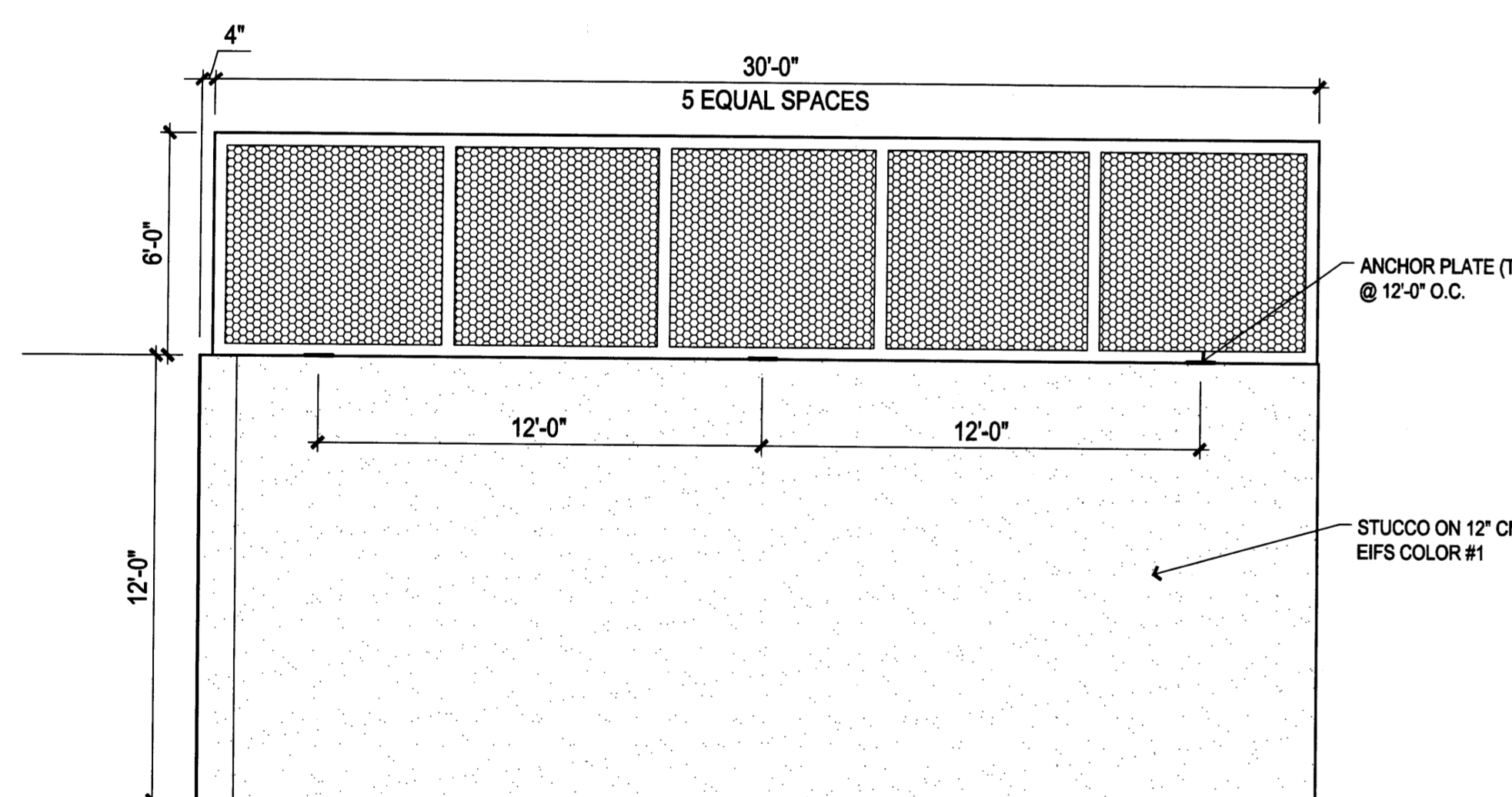
A6 ENCLOSURE GATE HINGE

1" = 1'-0"



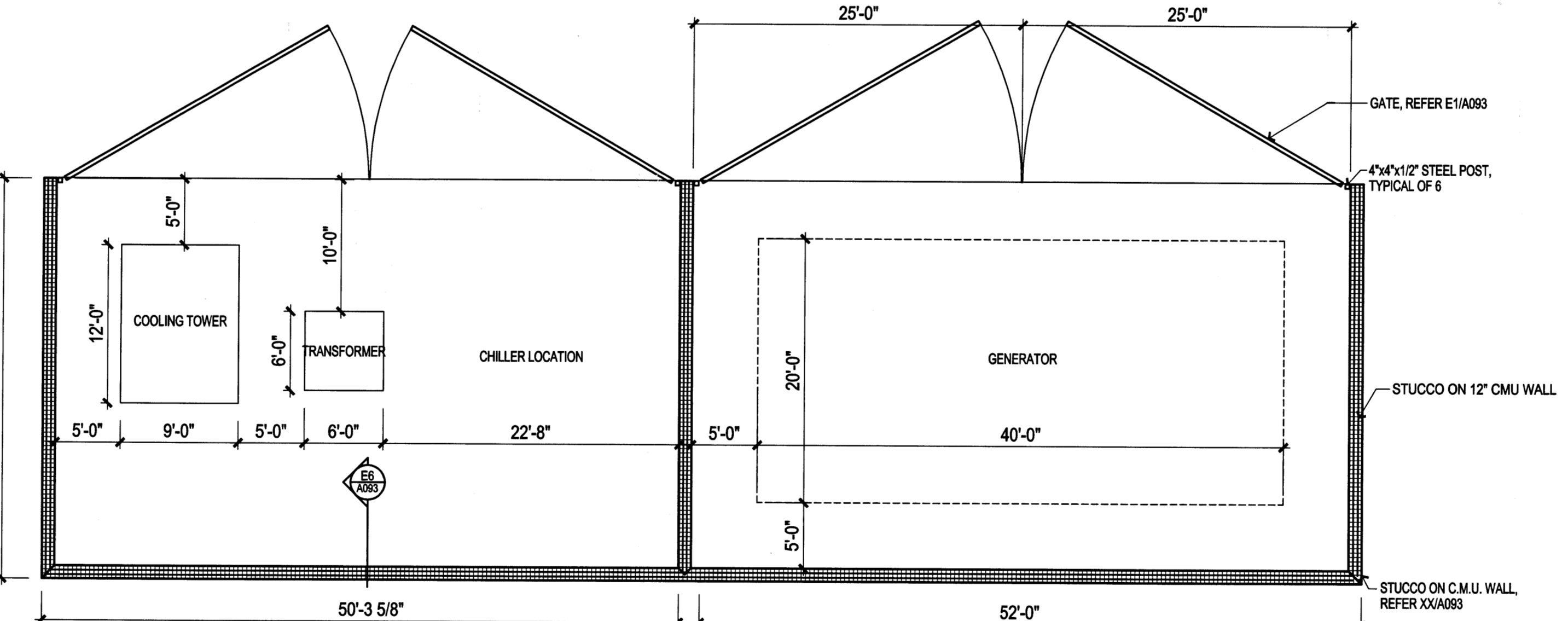
C3 UTILITY YARD ENCLOSURE PLAN

1/8" = 1'-0"



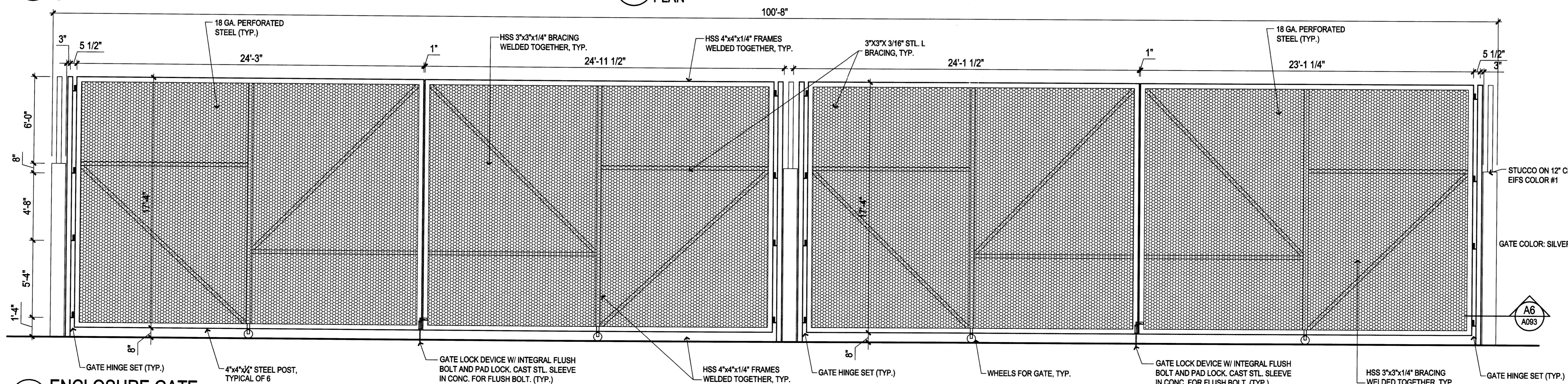
D1 ENCLOSURE ELEVATION @ UTILITY YARD

1/4" = 1'-0"



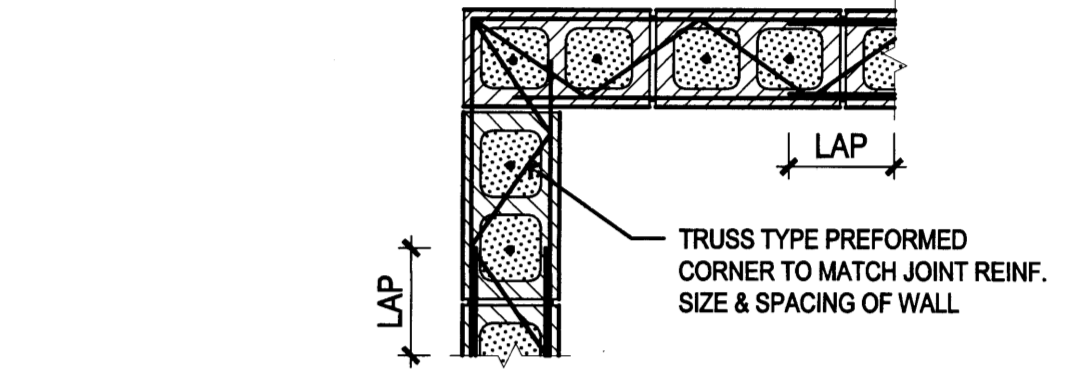
D3 UTILITY YARD ENCLOSURE PLAN

1/8" = 1'-0"



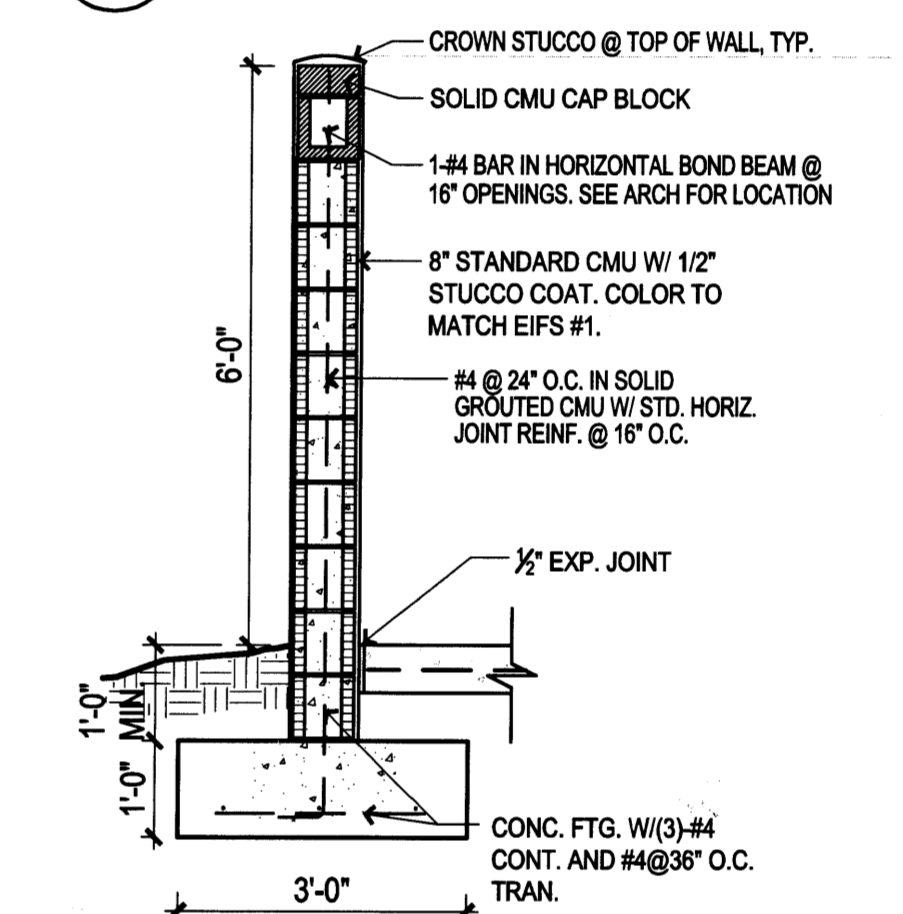
E1 ENCLOSURE GATE @ UTILITY YARD

1/4" = 1'-0"



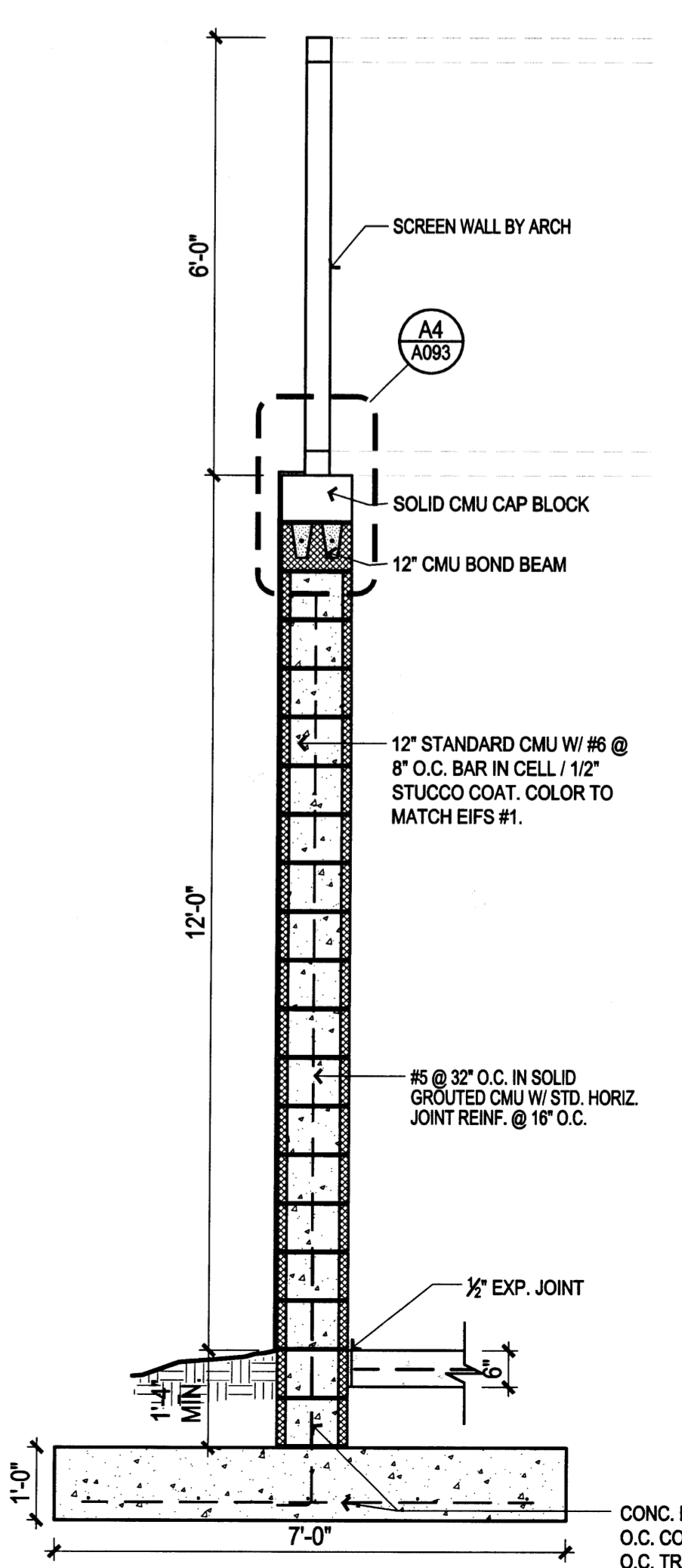
B6 12" CMU CORNER

3/4" = 1'-0"



C6 SECTION @ SITE WALL

1/2" = 1'-0"



E6 SECTION @ UTILITY YARD ENCLOSURE

1/2" = 1'-0"

KEYED NOTES (X)

1. PROPERTY LINE
2. CONCRETE PAVING
3. CLEAR SITE TRIANGLE
4. ASPHALT PAVING
5. NOT USED
6. LANDSCAPE AREA, TYP., SEE SHEET L002
7. SEATWALL
8. SERVICE AREA
9. CONCRETE BOLLARD
10. BIKE RACK
11. MONUMENT SIGN
12. LIGHT POLE, SEE ELECTRICAL
13. TRASH RECEPTACLE
14. 22" FIRE ACCESS DRIVE, COMPACTED BASE COURSE
15. 6" ASPHALT TRAIL, CONNECT TO FUTURE MDS TRAIL SYSTEM
16. HEAVY DUTY CONCRETE
17. PICNIC TABLES, NIC
18. HEAVY DUTY ASPHALT
19. 6" CONCRETE MOW CURB
20. ARCHEOLOGICAL SITE. SEE MARRON & ASSOC. CULTURAL RESOURCE REPORT
21. 75' SETBACK TO REMAIN UNDISTURBED
22. WATER HARVESTING AREA
23. POROUS CONCRETE. SEE CIVIL
24. LANDSCAPE BOULDER
25. 6" GCM WALL WITH STUCCO FINISH

IRRIGATION NOTES

1. THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL, ALTHOUGH THE SYSTEM IS NOT ANTICIPATED TO UTILIZE NON-POTABLE WATER IN THE FUTURE, THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACCOMMODATE NON-POTABLE WATER. IRRIGATION SHALL BE PROVIDED TO ALL CONTAINER PLANTS, SOIL, AND POTENTIALLY TO SEEDS AREAS TO ENCOURAGE ESTABLISHMENT.

2. IRRIGATION: WE ARE NOT SHOWING AN IRRIGATION PLAN FOR THE FOLLOWING REASONS:
1) AN IRRIGATION PLAN AT THIS LEVEL OF SUBMISSION WOULD ONLY REFLECT A CONCEPTUAL DESIGN, AND NOT A CONSTRUCTION DOCUMENT LEVEL. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR DESIGNING THE IRRIGATION PLAN TO MEET THE ARCHITECT'S SPECIFICATIONS.
2) THE CITY OF ALBUQUERQUE DOES NOT REQUIRE AN IRRIGATION PLAN AT THIS LEVEL OF DOCUMENTATION.

3. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, ADDITIVE ALTERNATES, SEASON, LOCATION, AND PLANT PERFORMANCE.

4. THE CONTRACTOR SHALL COORDINATE POWER DELIVERY TO CONTROLLER AND BACKFLOW PREVENTER LOCATIONS.

5. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL OTHER THAN SEEDS OR SOODED AREAS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 1,106,311 SF = 25.39 ACRES

TOTAL GROSS BUILDING AREA: 217,842 SF

NET LOT AREA: 888,469 SF / 20.39 ACRES

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA): 133,270 SF / 3.06 ACRES
PROVIDED LANDSCAPE AREA: (34% OF NET LOT AREA): 308,780 SF / 7.1 ACRES

PLANTING NOTES

1. LANDSCAPE DESCRIPTION
THE LANDSCAPE DESIGN UTILIZES NATIVE PLANTS AND OTHER LOW-WATER-USE PLANTS THAT WILL REINFORCE THE SPECIAL LOCATION OF THE PROJECT - ON A HIGH DESERT GRASSLAND MESA. THE SELECTED SHRUBS, TREES AND ACCENTS ADD SEASONAL COLOR AND SCALE TO THE PROJECT, FOLLOW THE MESA DEL SOL DESIGN GUIDELINES, AND ESTABLISH AREAS OF WILDLIFE HABITAT.

2. EXISTING PLANT MATERIAL
THERE IS NO LARGE SIZE VEGETATION ON THE SITE. THE EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AND SOME SHRUBS AT LOW DENSITIES.

3. INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

4. AFTER SUBSTANTIAL COMPLETION, THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING APPROPRIATE BRANCH CLEARANCES OVER WALKS AND STREETS WHERE MULTI-TRUNK TREES ARE USED.

5. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.

6. WATER USE DESCRIPTION:
PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES, A MINIMAL AMOUNT OF TURF IS USED IN THIS DESIGN.

7. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.

8. SOIL BOND SHALL BE ADDED TO SEED INSTALLATION IN WATER HARVESTING AREAS AND ON SLOPES GREATER THAN 5%.

9. LANDSCAPE FABRIC: ALL LANDSCAPE AREAS, EXCEPT FOR SEEDS AND SOODED AREAS, SHALL BE COVERED WITH LANDSCAPE WEED BARRIER FABRIC PRIOR TO MULCHING, IN ORDER TO MINIMIZE WEED GROWTH AND HELP MAINTAIN SOIL MOISTURE.

10. LANDSCAPE AREAS SHALL BE COVERED WITH EITHER SEED, SOIL, OR ROCK MULCH. SEE LANDSCAPE LEGEND, L001. PLANT QUANTITIES AND AREA SQUARE FOOTAGES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES FOR FINAL PRICING.

11. SOIL PREPARATION WITHIN ROW IS REQUIRED TO CLEAR DEBRIS AND DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING. SEE SPECIFICATIONS.

12. ALL LANDSCAPING WITHIN THE R.O.W. MUST CONFORM TO THE MESA DEL SOL LANDSCAPE MASTER PLAN.

13. SOIL SECRETS SOIL BIOLOGY AMENDMENTS SHALL BE USED ON ALL PLANTING, SOODED, AND SEEDS AREAS. (SOIL SECRETS: 505-550-3246 OR WWW.SOILSECRETS.COM).
A. PRODUCTS AND RATES SHALL BE AS FOLLOWS:
1. SOIL INNOVULUM: TERRA PRO-COMMERCIAL OR APPROVED EQUAL. TERRA PRO-COMMERCIAL IS A FULL SPECTRUM ORGANIC SOIL INNOVULUM WITH BACTERIA, ENZYMES, COENZYMES, MYCORRHIZAE, AND PROTOZOA. TERRA PRO-COMMERCIAL IS PRODUCED BY SOIL SECRETS (505-550-3246, WWW.SOILSECRETS.COM). APPLY AT A RATE OF 2000 LBS. PER ACRE, WHICH IS ONE 6 CUBIC FOOT BAG PER 1000 SF OR 43 BAGS PER ACRE.

2. CATALYST: PROTEIN CRUMBLES OR APPROVED EQUAL. PROTEIN CRUMBLES IS A NATURAL SOURCE OF CRUDE PROTEIN. PROTEIN CRUMBLES IS PRODUCED BY SOIL SECRETS. APPLY AT A RATE OF 800 LBS. PER ACRE, WHICH IS ONE 3 CUBIC FOOT BAG PER 2000 SF OR 22 BAGS PER ACRE.

B. APPLICATIONS OF SOIL AMENDMENTS ARE REQUIRED AT INSTALLATION AND AGAIN DURING THE WARRANTY PERIOD.

C. APPLICATION OF SOIL AMENDMENTS FOR TREES, GROUND COVERS, SHRUBS, AND SUCCULENTS IS TO BE MADE OVER EACH PLANT PIT, FOR PURPOSES OF BIDDING, ASSUME THE FOLLOWING AREAS:

TREES: 78.5 SF EACH
SHRUBS, GRASSES, GROUND COVERS, SUCCULENTS: 5 GAL.: 28 SF EACH; 1 GAL.: 12 SF EACH

D. FOLLOWING PLANTING AND SEEDING, SOIL AMENDMENTS SHALL BE SPREAD UNIFORMLY OVER PLANTING PIT AND SEEDS AREAS. CONTRACTOR SHALL WATER AMENDMENTS INTO SOIL PER MANUFACTURER'S INSTRUCTIONS.

14. NATIVE SOILS SHALL BE USED FOR LANDSCAPE INSTALLATION. IMPORT OF PLANTING MIX OR HIGH QUALITY TOPSOIL IS NOT REQUIRED UNLESS THE SOILS HAVE BEEN CONTAMINATED DURING THE CONSTRUCTION PROCESS.

15. PASSIVE WATER HARVESTING: SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, IS UTILIZED WHERE FEASIBLE. SEE KEYED NOTES.

16. THIS LANDSCAPE PLAN IS COMPLIANT WITH THE REQUIREMENTS SET FORTH BY THE MESA DEL SOL DESIGN GUIDELINES BOOK.

TREES - SEE DETAILS A1 & A1.003

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
21	1 Gal.	1 Gal.	NETLEAF HACKBERRY	Celtis occidentalis	20.00	25.00	Low Water Use
5	40" Box	40" Box	CHITLPA (Mdb-Tree)	Chitipa x lasiocarpa	25.00	30.00	Medium Water Use
12	40" Box	40" Box	DESERT OLIVE (Mdb-Tree)	Forbesia neoveboracea	12.00	12.00	Medium Water Use
31	2.5" Gal.	2.5" Gal.	RAYWOOD ASH	Nedus arizonae Raywood	35.00	30.00	Medium Water Use
80	2.5" Gal.	2.5" Gal.	MOOSEBUSH	Ficus velutina 'Moosebush'	40.00	40.00	Medium Water Use
4	8" Tail mts.	8" Tail mts.	ALLIGATOR JUNIPER (Non-Allergic)	Juniperus scopulorum	90.00	35.00	Drought Tolerant
60	8" Tail mts.	8" Tail mts.	ROCKY MTH JUNIPER (Non-Allergic)	Juniperus scopulorum	25.00	18.00	Medium Water Use
68	8" Tail mts.	8" Tail mts.	AFGHAN OR MONTELL PINE	Pinus edulis	50.00	20.00	Low Water Use
58	2.5" Gal.	2.5" Gal.	CHINESE PISTACHE	Platanus chinensis	35.00	30.00	Low Water Use
20	2.5" Gal.	2.5" Gal.	RIO GRANDE COTTONWOOD (2 Trunk)	Populus wislizeni 'Rio Grande'	35.00	45.00	Heavy Water Use
18	40" Box	40" Box	TEXAS HONEY MESQUITE	Prosopis glandulosa	25.00	30.00	Low Water Use
50	2.5" Gal.	2.5" Gal.	TEXAS RED OAK	Quercus buckleyi	35.00	30.00	Low Water Use

GRASSES - SEE DETAILS A1 & B1.003

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
271	1 Gal.	1 Gal.	SIDEWAYS GRAMA	Bouteloua curtipendula	2.00	1.00	Low Water Use
79	1 Gal.	1 Gal.	KARL FORESTER REED GRASS	Calamagrostis x acutifolia 'Karl Forester'	5.00	2.00	Low Water Use
36	1 Gal.	1 Gal.	BLUE FESCUE	Festuca ovina glauca	1.00	1.00	Medium Water Use
296	5 Gal.	5 Gal.	EL TORO MULEY	Muhlenbergia emersleyi 'El Toro'	3.00	3.00	Low Water Use
191	5 Gal.	5 Gal.	REGAL MIST GRASSES	Muhlenbergia capillaris 'Regal Mist'	3.00	3.00	Medium Water Use
132	5 Gal.	5 Gal.	DEER GRASS	Muhlenbergia spicata	3.00	4.00	Medium Water Use
571	1 Gal.	1 Gal.	THREADGRASS	Nassella tenuissima	2.00	2.00	Low Water Use
37	5 Gal.	5 Gal.	BLUE SWITCHGRASS	Panicum virgatum 'Heavy Metal'	4.00	3.00	Low Water Use
203	1 Gal.	1 Gal.	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hummel'	3.00	3.00	Medium Water Use

GROUND COVER - SEE DETAILS A1 & B1.003

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
19	1 Gal.	1 Gal.	MOONSHINE YARROW	Achillea filipendula 'Moonshine'	1.50	2.00	Low Water Use
80	1 Gal.	1 Gal.	WHEATGRASS	Callitriche ilicifolia	1.00	2.50	Low Water Use
80	1 Gal.	1 Gal.	GUAVA	Galearia brachyloba	3.00	4.00	Medium Water Use
102	1 Gal.	1 Gal.	BLANKET FLOWER	Gallardia puberula	1.50	1.00	Medium Water Use
110	1 Gal.	1 Gal.	ANGELITA DAISY	Hymenocorys acutula	1.50	2.00	Low Water Use
41	1 Gal.	1 Gal.	BLUE CHIP JUNIPER (Non-Allergic)	Juniperus horizontalis 'Blue Chip'	1.00	6.00	Medium Water Use
58	1 Gal.	1 Gal.	DESERT FOUR CYCLOCK	Mimulus multicolor	1.00	4.00	Low Water Use
153	1 Gal.	1 Gal.	MEXICAN HAT	Ratibida columnaris	2.50	1.00	Low Water Use
189	1 Gal.	1 Gal.	SANDPAPER VERBENA	Verbena rigida	1.50	3.50	Low Water Use

SHRUB - SEE DETAILS A1 & A1.003

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
75	5 Gal.	5 Gal.	THOMPSON BROOM	Baccharis x stans	2.00	6.00	Low Water Use
11	5 Gal.	5 Gal.	YELLOW BIRD OF PARADISE	Canavalia glabra	10.00	8.00	Low Water Use
35	40" Box	40" Box	DESERT WILLOW (Mdb-Tree)	Chilopsis linearis	20.00	25.00	Low Water Use
100	5 Gal.	5 Gal.	TURPENTINE BUSH	Eriocarpus laurifolia	2.00	3.00	Low Water Use
117	5 Gal.	5 Gal.	APACHE PLUME	Fallugia paradoxa	5.00	6.00	Low Water Use
39	5 Gal.	5 Gal.	ENGLISH LAVENDER	Lavandula angustifolia	3.00	3.50	Medium Water Use
58	1 Gal.	1 Gal.	CINQUEFOIL	Potentilla fruticosa 'Vividissima'	3.00	3.00	Medium Water Use
67	5 Gal.	5 Gal.	ENCHANTRESS HAWTHORN	Raphanopis indica 'Enchantress'	3.00	3.00	Medium Water Use
38	5 Gal.	5 Gal.	GRO-LOW SUMAC	Rhus aromatica 'Gro Low'	3.00	6.00	Medium Water Use
49	5 Gal.	5 Gal.	THREELEAF SUMAC	Rhus trilobata	6.00	8.00	Low Water Use
14	15 Gal.	15 Gal.	THREELEAF SUMAC	Rhus trilobata	6.00	8.00	Low Water Use
68	5 Gal.	5 Gal.	SEMI-PROSTRATE ROSEMARY	Rosmarinus officinalis 'Cajigüero Negro'	2.50	4.00	Medium Water Use
158	5 Gal.	5 Gal.	MEXICAN BLUE SAGE	Salvia chamaedryfolia	1.50	2.00	Low Water Use
94	5 Gal.	5 Gal.	PINK AUTUMN SAGE	Salvia greggii	2.50	3.00	Medium Water Use

SEED / SOIL / MULCH

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
31	5 Gal.	5 Gal.	HARVARD AGAVE	Agave americana	3.00	4.00	Low Water Use
28	5 Gal.	5 Gal.	PARRY'S AGAVE	Agave parryi 'Neomexicana'	1.50	2.00	Low Water Use
251	5 Gal.	5 Gal.	BLUE SOTOL	Dasylirion wheeleri	5.00	6.00	Low Water Use
58	5 Gal.	5 Gal.	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Low Water Use
72	5 Gal.	5 Gal.	BEARGRASS	Nolina texana	4.00	5.00	Low Water Use
19	5 Gal.	5 Gal.	BEAVERTAIL PRICKLY PEAR	Opuntia basilaris	2.00	4.00	Low Water Use
51	25 Gal.	25 Gal.	BEAWEED YUCCA (75% w/ 2 heads)	Yucca rostrata	12.00	4.00	Low Water Use

SEED / SOIL / MULCH

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
1,877 SF	1,877 SF	1,877 SF	SCD	Park Blend Sod Turfgrass Gardner Turfgrass, Inc.	N/A	N/A	N/A
186,344 SF TOTAL	186,344 SF	186,344 SF	NATIVE SEEDING	East Side Mix Curbs & Curbs	Seed Rate: 2 lbs / 1000 SF, DRI Seed.	Seed Rate: 4 lbs / 1000 SF, DRI Seed.	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.
20,107 SF OF TOTAL	20,107 SF	20,107 SF	NATIVE SEEDING W/ IRRIGATION	East Side Mix Curbs & Curbs	N/A	N/A	N/A
1,615 SF	1,615 SF	1,615 SF	NATIVE SEEDING & WILDOVER MIX W/ IRRIGATION	Homestead's Choice Grass Blend Lana Colorado Wildflower Blend Curbs & Curbs	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.
63,065 SF	63,065 SF	63,065 SF	ROCK MULCH	2" Rock Mulch, 2" min. Depth Colors: Santa Fe Brown - Large Materials	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.
22,942 SF	22,942 SF	22,942 SF	CRUISER FINES	Crusher Fines Rock Mulch, 2" min. Depth Colors: Santa Fe Brown - Large Materials	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.
21,107 SF	21,107 SF	21,107 SF	COBBLE	2-4" Cobble Rock Mulch, 2" min. Depth Colors: Santa Fe Tan - Large Materials	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.

SEED / SOIL / MULCH

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
31	5 Gal.	5 Gal.	HARVARD AGAVE	Agave americana	3.00	4.00	Low Water Use
28	5 Gal.	5 Gal.	PARRY'S AGAVE	Agave parryi 'Neomexicana'	1.50	2.00	Low Water Use
251	5 Gal.	5 Gal.	BLUE SOTOL	Dasylirion wheeleri	5.00	6.00	Low Water Use
58	5 Gal.	5 Gal.	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Low Water Use
72	5 Gal.	5 Gal.	BEARGRASS	Nolina texana	4.00	5.00	Low Water Use
19	5 Gal.	5 Gal.	BEAVERTAIL PRICKLY PEAR	Opuntia basilaris	2.00	4.00	Low Water Use
51	25 Gal.	25 Gal.	BEAWEED YUCCA (75% w/ 2 heads)	Yucca rostrata	12.00	4.00	Low Water Use

SEED / SOIL / MULCH

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
1,877 SF	1,877 SF	1,877 SF	SCD	Park Blend Sod Turfgrass Gardner Turfgrass, Inc.	N/A	N/A	N/A
186,344 SF TOTAL	186,344 SF	186,344 SF	NATIVE SEEDING	East Side Mix Curbs & Curbs	Seed Rate: 2 lbs / 1000 SF, DRI Seed.	Seed Rate: 4 lbs / 1000 SF, DRI Seed.	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.
20,107 SF OF TOTAL	20,107 SF	20,107 SF	NATIVE SEEDING W/ IRRIGATION	East Side Mix Curbs & Curbs	N/A	N/A	N/A
1,615 SF	1,615 SF	1,615 SF	NATIVE SEEDING & WILDOVER MIX W/ IRRIGATION	Homestead's Choice Grass Blend Lana Colorado Wildflower Blend Curbs & Curbs	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.	Seed Rate: 2 lbs / 1000 SF, Seed Rate: 4 lbs / 1000 SF, DRI Seed.
63,065 SF	63,065 SF	63,065 SF	ROCK MULCH	2" Rock Mulch, 2" min. Depth Colors: Santa Fe Brown - Large Materials	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.
22,942 SF	22,942 SF	22,942 SF	CRUISER FINES	Crusher Fines Rock Mulch, 2" min. Depth Colors: Santa Fe Brown - Large Materials	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.
21,107 SF	21,107 SF	21,107 SF	COBBLE	2-4" Cobble Rock Mulch, 2" min. Depth Colors: Santa Fe Tan - Large Materials	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.	For use in designated landscape areas, with weed barrier fabric.

SEED / SOIL / MULCH

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
31	5 Gal.	5 Gal.	HARVARD AGAVE	Agave americana	3.00	4.00	Low Water Use
28	5 Gal.	5 Gal.	PARRY'S AGAVE	Agave parryi 'Neomexicana'	1.50	2.00	Low Water Use
251	5 Gal.	5 Gal.	BLUE SOTOL	Dasylirion wheeleri	5.00	6.00	Low Water Use
58	5 Gal.	5 Gal.	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Low Water Use
72	5 Gal.	5 Gal.	BEARGRASS	Nolina texana	4.00	5.00	Low Water Use
19	5 Gal.	5 Gal.	BEAVERTAIL PRICKLY PEAR	Opuntia basilaris	2.00	4.00	Low Water Use
51	25 Gal.	25 Gal.	BEAWEED YUCCA (75% w/ 2 heads)	Yucca rostrata	12.00	4.00	Low Water Use

SEED / SOIL / MULCH

SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
31	5 Gal.	5 Gal.	HARVARD AGAVE	Agave americana	3.00	4.00	Low Water Use
28	5 Gal.	5 Gal.	PARRY'S AGAVE	Agave parryi 'Neomexicana'	1.50	2.00	Low Water Use
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19	5 Gal.	5 Gal.	BEAVERTAIL PRICKLY PEAR	Opuntia basilaris	2.00	4.00	Low Water Use
51	25 Gal.	25 Gal.	BEAWEED YUCCA (75% w/ 2 heads)	Yucca rostrata	12.00	4.00	Low Water Use

architecture
interiors
planning
engineering

Dekker
Perich
Sabatini

7601 Jefferson NE
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Albuquerque, NM 87109
505 761-9700
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dps@dpsdesign.org

ARCHITECT

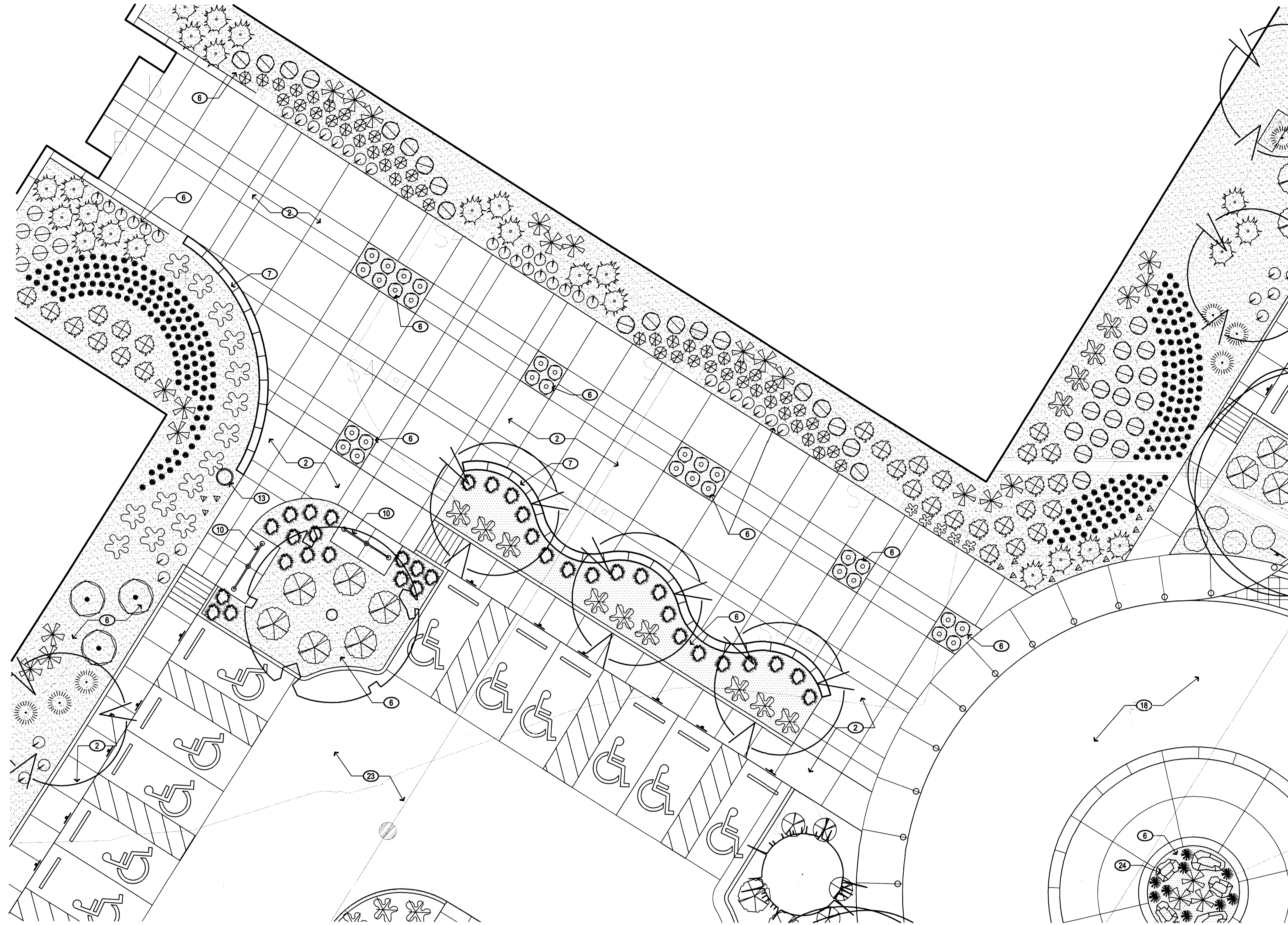
ARC
SUBMITTAL

ENGINEER

PROJECT

FIDELITY INVESTMENTS
@MESA DEL SOL
5401 Watson Drive
Albuquerque, NM.





**1 ENTRY PLAZA
LANDSCAPE ENLARGEMENT**

1" = 10'-0"



SYMBOL	COMMON NAME	Botanical name
	NETLEAF HACKBERRY	<i>Celtis reticulata</i>
	CHITALPA (Multi-Trunk)	<i>Chilopsis linearis</i>
	DESERT OLIVE (Multi-Trunk)	<i>Forestiera neomexicana</i>
	RAYWOOD ASH	<i>Fraxinus viridis 'Raywood'</i>
	MODESTO ASH	<i>Fraxinus velutina 'Modesto'</i>
	ALLIGATOR JUNIPER (Non-Albergo)	<i>Juniperus depressa</i>
	ROCKY MTN JUNIPER (Non-Albergo)	<i>Juniperus scopulorum</i>
	AFGHAN OAK (Modell Pine)	<i>Pinus eldarica</i>
	CHINESE PISTACHE	<i>Pistacia chinensis</i>
	RIO GRANDE COTTONWOOD (2 Trunk)	<i>Populus wislizeni 'Rio Grande'</i>
	TEXAS HONEY MESQUITE	<i>Prosopis glandulosa</i>
	TEXAS RED OAK	<i>Quercus buckleyi</i>

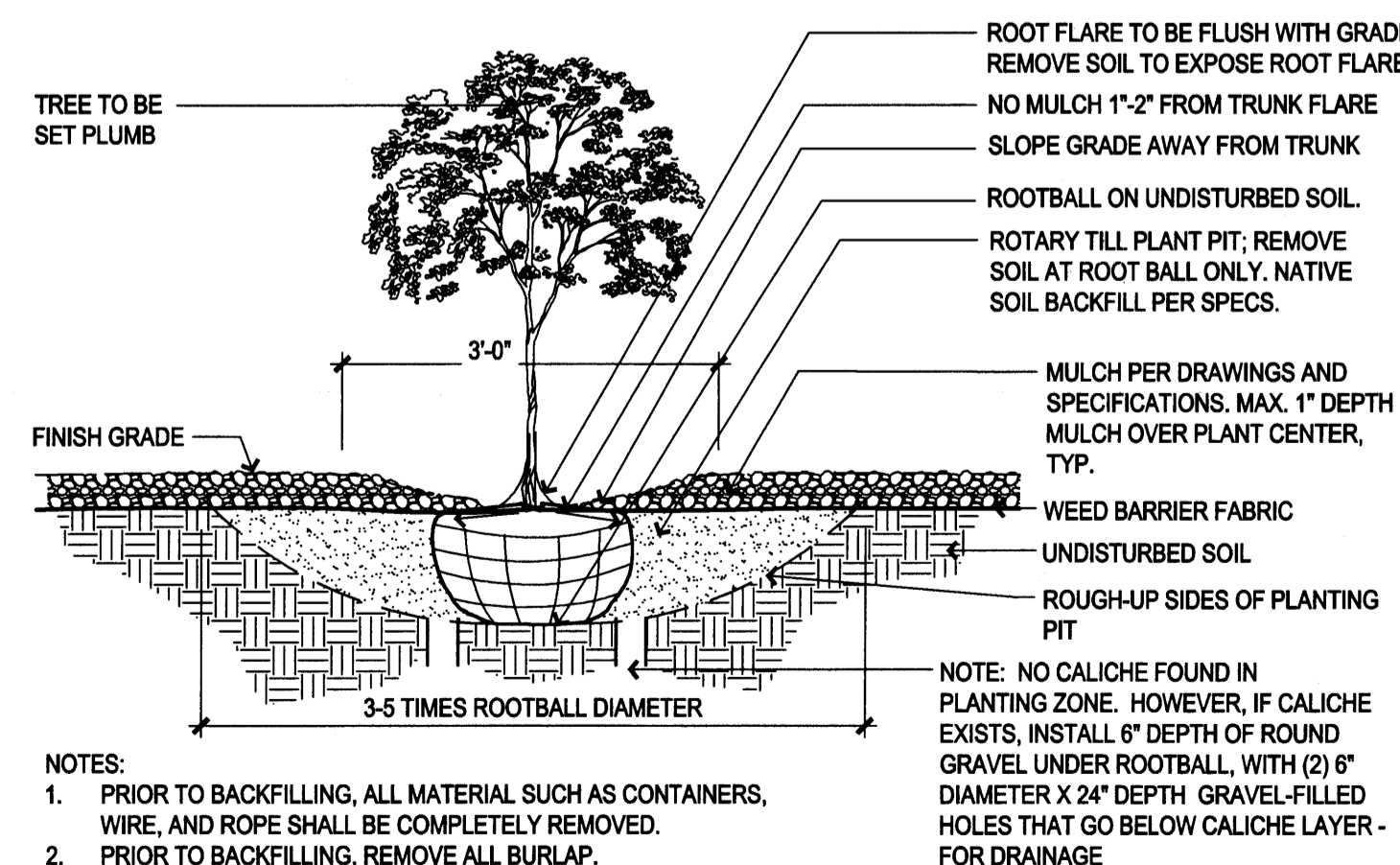
SYMBOL	COMMON NAME	Botanical name
	SIDEOATS GRAMA	<i>Bouteloua curtipendula</i>
	KARIL FORRESTER REED GRASS	<i>Calamagrostis x scottii 'Karil Forrester'</i>
	BLUE FESCUE	<i>Festuca ovina glauca</i>
	EL TORO MUHLY	<i>Muhlenbergia emersleyi 'El Toro'</i>
	REGAL MIST GRASS	<i>Muhlenbergia capillaris 'Regal Mist'</i>
	DEER GRASS	<i>Muhlenbergia rigens</i>
	THREGRASS	<i>Hesperaloe parviflora</i>
	BLUE SWITCHGRASS	<i>Panicum wrightii 'Heavy Metal'</i>
	DWARF FOUNTAIN GRASS	<i>Pennisetum alopecuroides 'Firetail'</i>

SYMBOL	COMMON NAME	Botanical name
	MOONSHINE YARROW	<i>Achillea filipendula 'Moonshine'</i>
	WINECUP	<i>Cathoe involucrata</i>
	GUARA	<i>Gaura lindheimeri</i>
	BLANKET FLOWER	<i>Gaillardia pinnatifida</i>
	ANGELITA DAISY	<i>Hymenocorys scutellaria</i>
	BLUE CHIP JUNIPER (Non-Albergo)	<i>Juniperus horizontalis 'Blue Chip'</i>
	DESERT FOUR O'CLOCK	<i>Mimulus multiflorus</i>
	MEXICAN HAT	<i>Ratibida columnaris</i>
	SANDPAPER VERBENA	<i>Verbena rigida</i>

SYMBOL	COMMON NAME	Botanical name
	THOMPSON BROOM	<i>Baccharis x Stam</i>
	YELLOW BIRD OF PARADISE	<i>Oenothera glaziovii</i>
	DESERT WILLOW (Multi-Trunk)	<i>Chilopsis linearis</i>
	TURPENTINE BUSH	<i>Eriogonum fasciculatum</i>
	APACHE PLUME	<i>Falsipyrus paradoxa</i>
	ENGLISH LAVENDER	<i>Lavandula angustifolia</i>
	CINQUFOIL	<i>Polemonium fruticosum 'Middenswood'</i>
	ENCHANTRESS HAWTHORN	<i>Raphanocarpus indica 'Enchantress'</i>
	GRO-LOW SUMAC	<i>Rhus aromatica 'Gro Low'</i>
	THREELEAF SUMAC	<i>Rhus trilobata</i>
	SEMI-PROSTRATE ROSEMARY	<i>Rosmarinus officinalis 'Collingwood Ingram'</i>
	MEXICAN BLUE SAGE	<i>Salvia chamaedryoides</i>
	PINK AUTUMN SAGE	<i>Salvia greggii</i>

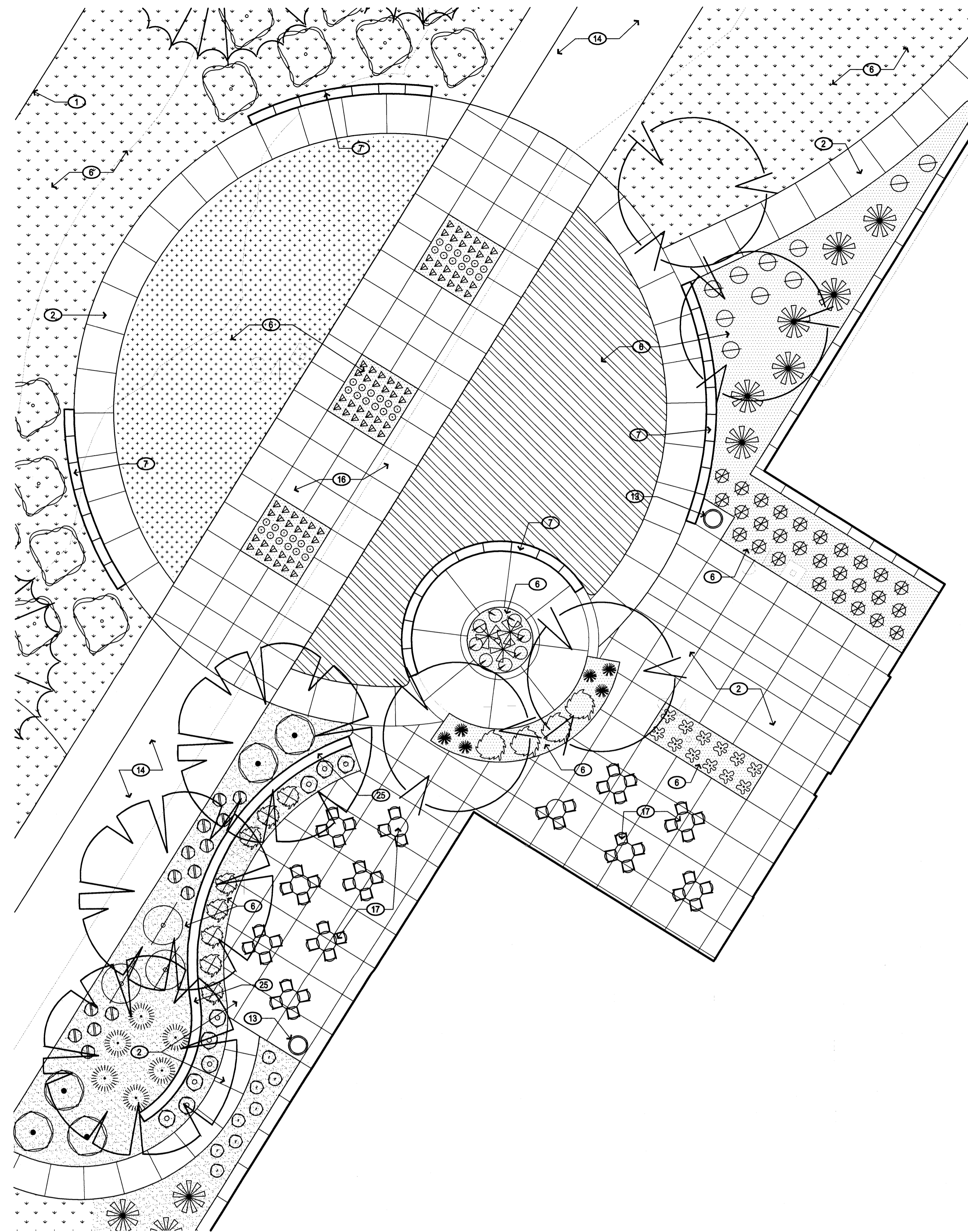
SYMBOL	COMMON NAME	Botanical name
	HARWARD AGAVE	<i>Agave hardaviana</i>
	PARRY'S AGAVE	<i>Agave parryi 'Neomexicanus'</i>
	BLUE SOTOL	<i>Dasylirion wheeleri</i>
	RED HESPERALOE	<i>Hesperaloe parviflora</i>
	BEARGRASS	<i>Nolina texana</i>
	BEAVERTAIL PRICKLY PEAR	<i>Opuntia basilaris</i>
	SEAMED YUCCA (75% w/ 2 heads)	<i>Yucca rostrata</i>

SYMBOL	COMMON NAME	Botanical name
	NATIVE SEEDING	
	NATIVE SEEDING w/ IRRIGATION	
	NATIVE SEEDING & WILDFLOWER MIX w/ IRRIGATION	
	ROCK MULCH	
	GRUBSTER FINES	
	COBBLE	



A1 TREE IN PLANTING BED

3/4" = 1'-0"



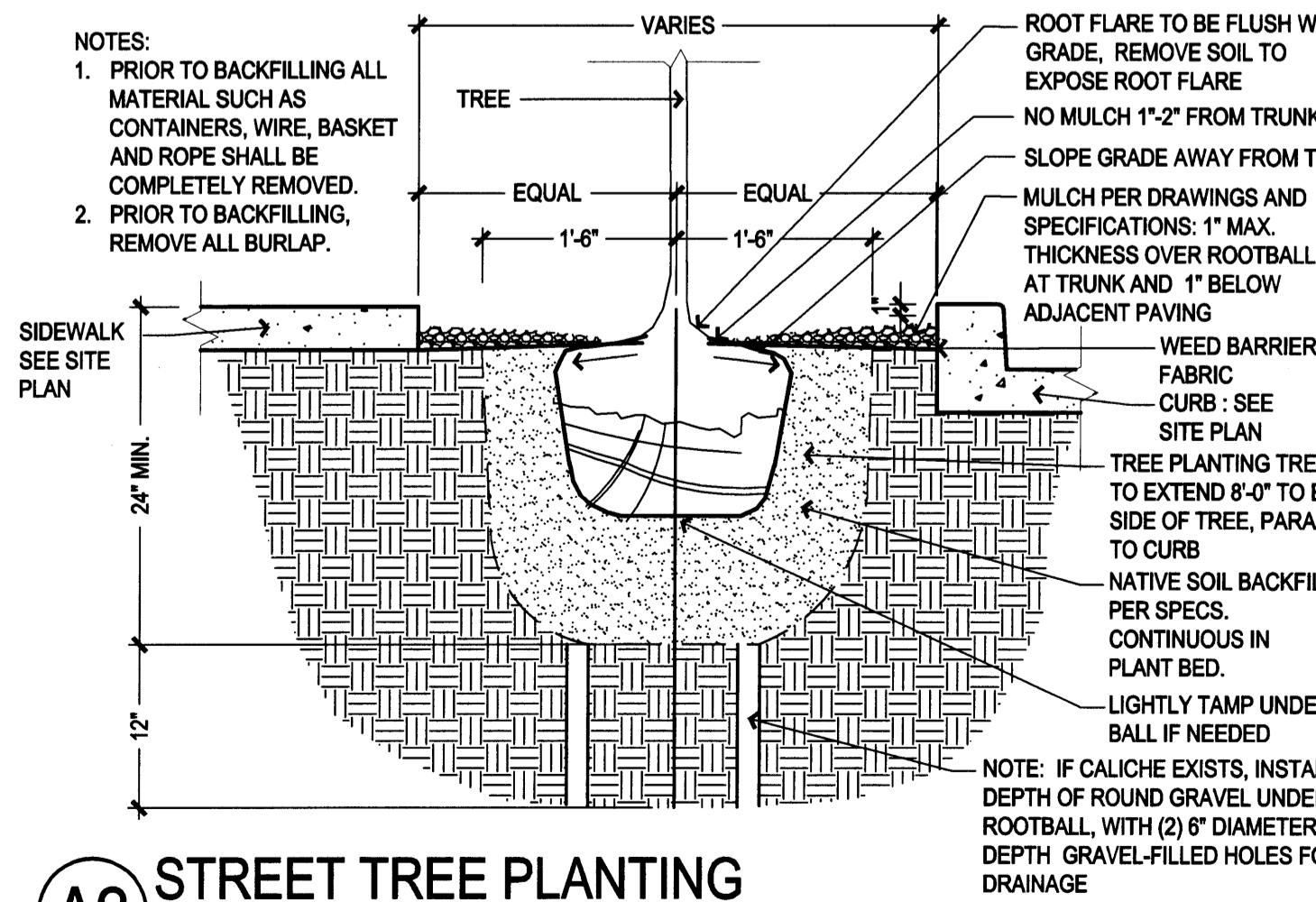
**2 REAR PLAZA
LANDSCAPE ENLARGEMENT**

1" = 10'-0"



KEYED NOTES

- PROPERTY LINE
- CONCRETE PAVING
- CLEAR SITE TRIANGLE
- ASPHALT PAVING
- NOT USED
- LANDSCAPE AREA, TYP., SEE SHEET L002
- SEATWALL
- SERVICE AREA
- CONCRETE BOLLARD
- BIKE RACK
- MONUMENT SIGN
- LIGHT POLE, SEE ELECTRICAL
- TRASH RECEPTACLE
- 22' FIRE ACCESS DRIVE, COMPACTED BASE COURSE
- 6" ASPHALT TRAIL, CONNECT TO FUTURE MDS TRAIL SYSTEM.
- HEAVY DUTY CONCRETE
- PICNIC TABLES, NIC
- HEAVY DUTY ASPHALT
- 6" CONCRETE MOW CURB
- ARCHAEOLOGICAL SITE, SEE MARRON & ASSOC. CULTURAL RESOURCE REPORT
- 75' SETBACK TO REMAIN UNDISTURBED
- WATER HARVESTING AREA
- POROUS CONCRETE, SEE CIVIL
- LANDSCAPE BOULDERS
- 6" CMU WALL WITH STUCCO FINISH



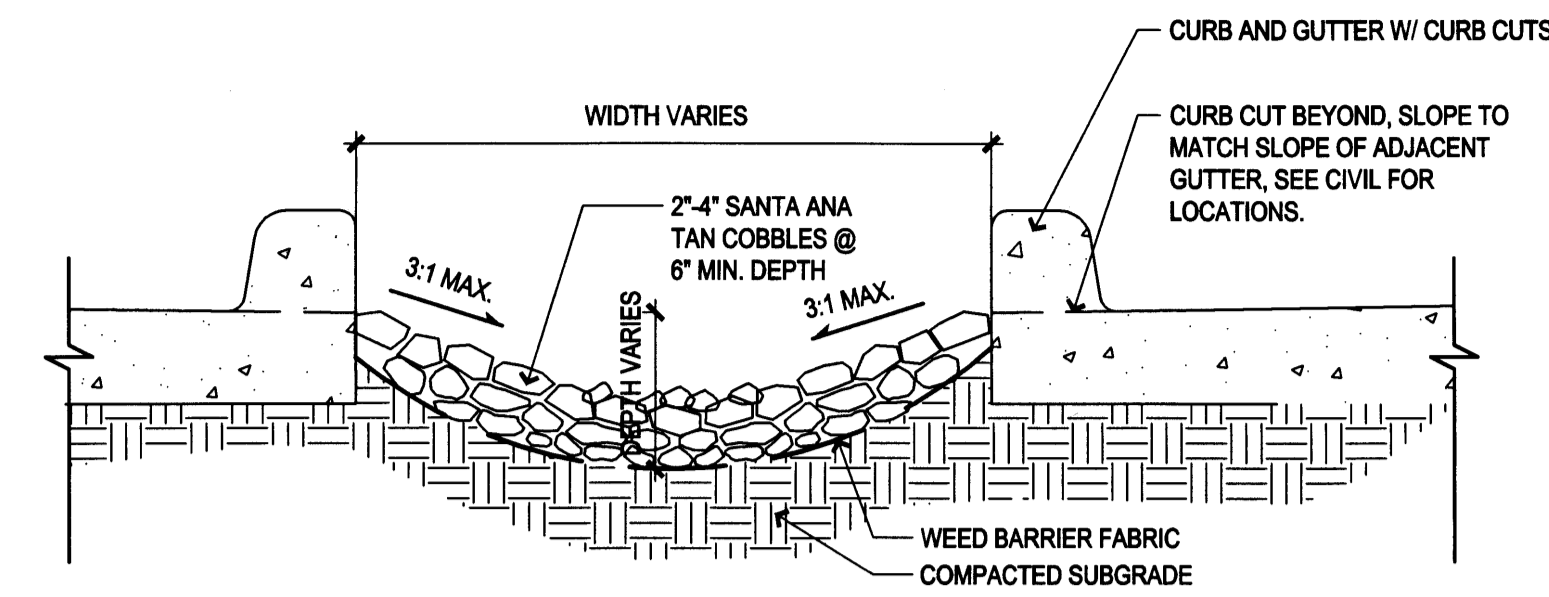
A2 STREET TREE PLANTING

3/4" = 1'-0"

REVISIONS	DATE	BY	REVISION
	02.18.08	ARC Preliminary Review	
	02.21.08	ARC Review - Second Submittal	
	4.15.08	City Comments Incorporated	

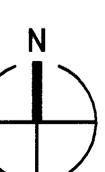
DRAWN BY	SY, CH
REVIEWED BY	MB
DATE	04-18-08
PROJECT NO.	07-0115
DRAWING NAME	

LANDSCAPE PLAN
ENLARGEMENTS



1 WATER HARVESTING AREA - CURB CUT
SEE CIVIL FOR LOCATIONS
1" = 1'-0"

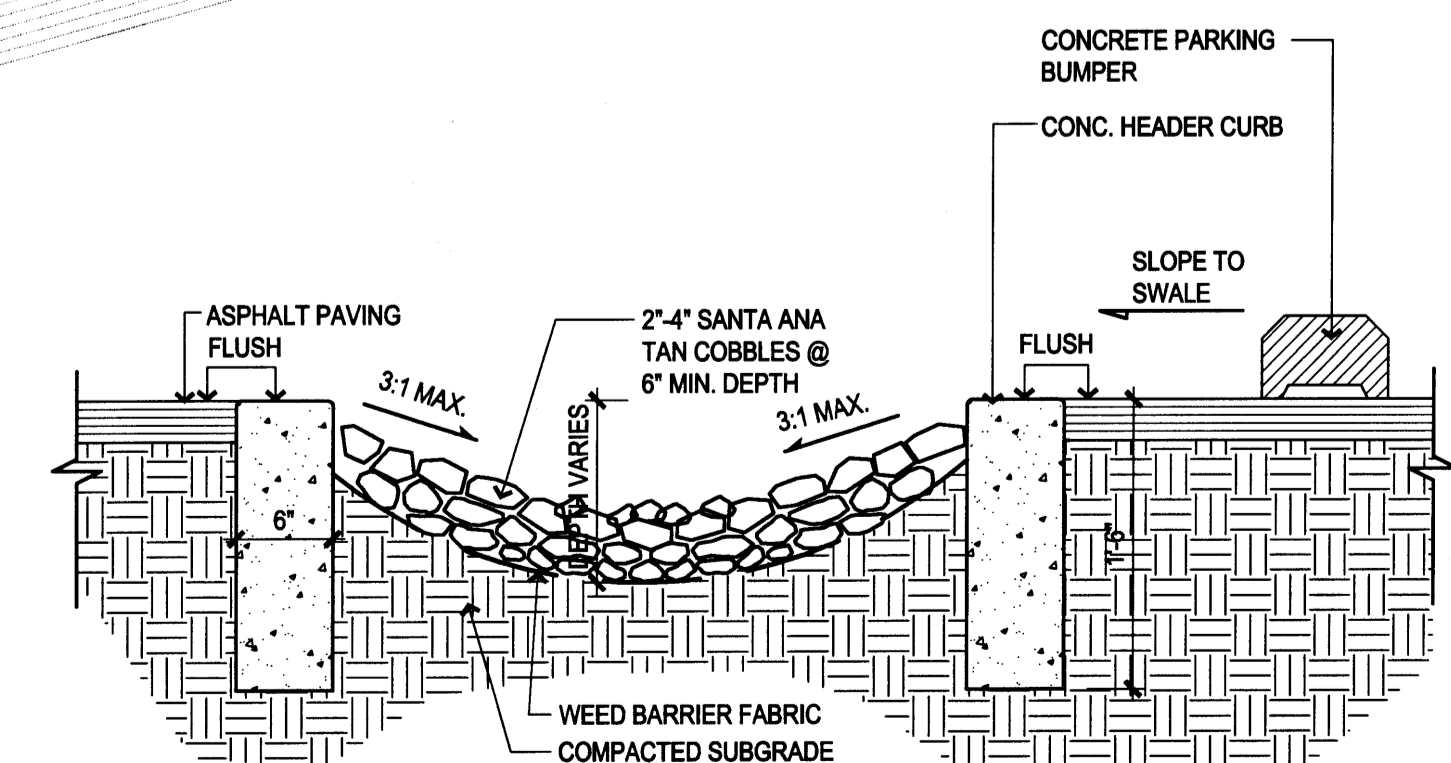
Fidelity Water Harvesting Calcs			
Site Acreage		25.40	
Site Area (square feet)		1,106,311.00	
1/2" Rainfall		46,096.29 cubic feet	
Site Features			
Building Footprint (SF)	Area (SF)	Run-off Co-efficient	Impervious Area (SF)
109,762.00	109,762.00	0.95	104,273.90
Landscaped Area (SF)	308,780.00	0.2	61,756.00
Porous Pavement (SF)	29,500.00	0.6	17,700.00
Asphalt / Concrete (SF)	658,269.00	0.95	625,355.55
Subtotal			809,085.45
Percentage Impervious Surfaces			
(Site Area - Bldg. Footprint - Landscaped Area)			0.73
Water Harvesting Calculations:			
Total Impervious Area:		809,085.45	
Cubic Volume of 1/2" rainfall event:		33,711.89 cubic feet	
Average depth in inches required to harvest:		1.31 inches	
Water Harvesting Areas			
	Slope of Pond Area	Top Rim SF	Bottom Rim SF
A	3 to 1	10390	7508
B	3 to 1	16460	13618
C	3 to 1	1604	1145
D	3 to 1	1380	977
E	3 to 1	1555	1098
F	3 to 1	1555	1098
G	3 to 1	6316	5186
H	3 to 1	1548	1063
I	3 to 1	1548	1063
J	3 to 1	1805	1110
K	3 to 1	1812	1334
L	3 to 1	1099	570
M	3 to 1	3738	1795
N	3 to 1	4053	1949
O	3 to 1	1596	939
P	3 to 1	2659	1713
Q	3 to 1	2642	1717
R	3 to 1	2351	1447
S	3 to 1	743	409
T	3 to 1	3667	1444
		61860	1444
			2555.5
			1,277.75
			62,997.50 cubic feet



LANDSCAPE PLAN

0 25' 50' 80'
1" = 50'
SCALE: 1" = 50'

3 WATER HARVESTING AREA - FLUSH CURB
1" = 1'-0"



FUTURE
OPEN SPACE

LINEAR PARK
CORRIDOR

LINEAR PARK
CORRIDOR

LINEAR PARK
CORRIDOR

ESCAPMENT

ARCHED COGICAL SH
NO GRADING WITHIN BUI

ARCHED COGICAL SH

WATER
HARVESTING
AREA B: 16,460 SF
(18" DEPTH)
SEE CIVIL

WATER
HARVESTING
AREA A: 10,390 SF
(10" DEPTH)
SEE CIVIL

WATER
HARVESTING
AREA C: 1,604 SF
(6" DEPTH)

WATER
HARVESTING
AREA E: 1,555 SF
(6" DEPTH)

WATER
HARVESTING
AREA D: 1,380 SF
(6" DEPTH)

WATER
HARVESTING
AREA F: 1,555 SF
(6" DEPTH)

WATER
HARVESTING
AREA G: 6,316 SF
(12" DEPTH)
SEE CIVIL

WATER
HARVESTING
AREA J: 1,805 SF
(6" DEPTH)

WATER
HARVESTING
AREA I: 1,548 SF
(6" DEPTH)

WATER
HARVESTING
AREA L: 1,099 SF
(12" DEPTH)

WATER
HARVESTING
AREA M: 3,738 SF
(18" DEPTH)
SEE CIVIL

WATER
HARVESTING
AREA O: 1,596 SF
(12" DEPTH)

WATER
HARVESTING
AREA N: 4,053 SF
(18" DEPTH)
SEE CIVIL

WATER
HARVESTING
AREA S: 743 SF
(12" DEPTH)

WATER
HARVESTING
AREA T: 3,667 SF
TYP. OF 38
(6" DEPTH)
SEE A2/L003

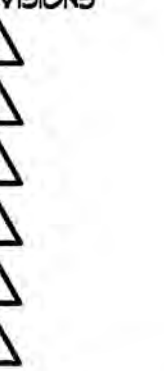
WATER
HARVESTING
AREA R: 2,351 SF
(12" DEPTH)

WATER
HARVESTING
AREA P: 2,659 SF
(12" DEPTH)
SEE CIVIL

WATER
HARVESTING
AREA Q: 2,642 SF
(12" DEPTH)
SEE CIVIL

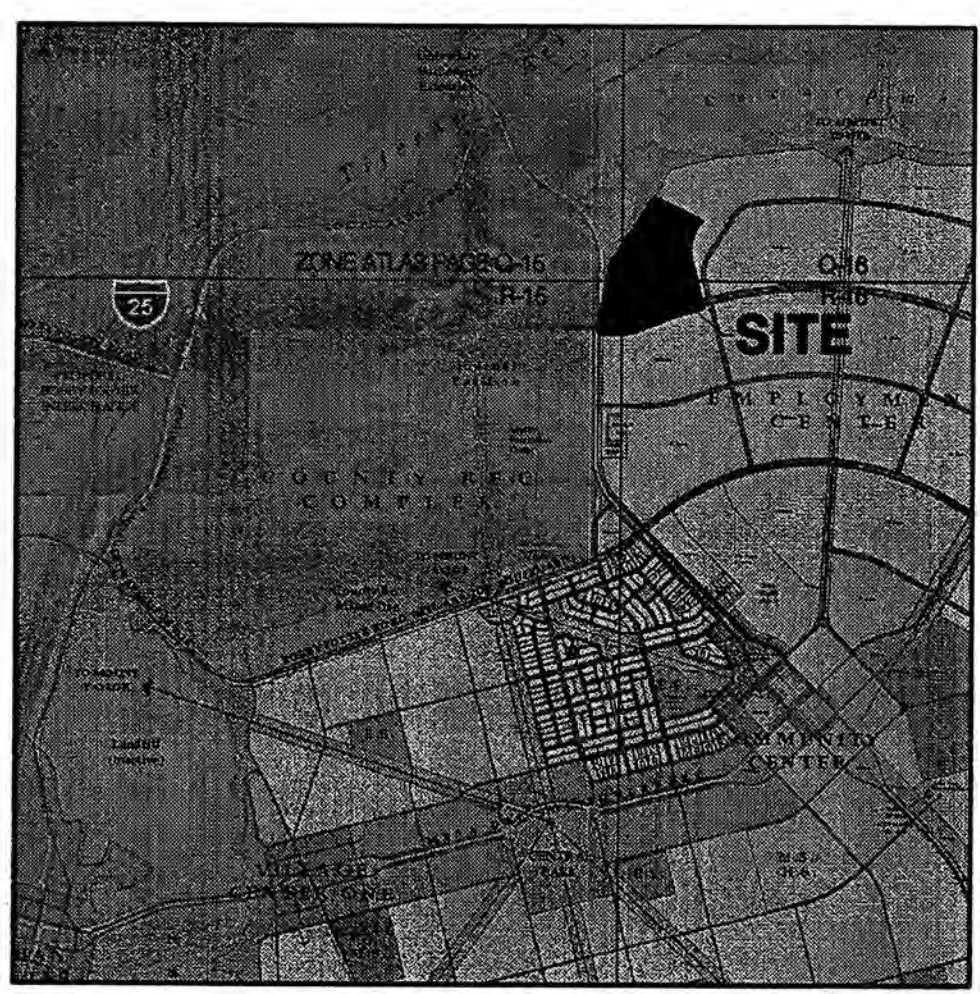


Fidelity Investments
Mesa del Sol - Innovation Park
Albuquerque, New Mexico



DRAWN BY	BHM
REVIEWED BY	GB
DATE	4/18/08
PROJECT NO.	07-0115
DRAWING NAME	

CONCEPTUAL
ROUGH GRADING
AND
DRAINAGE PLAN



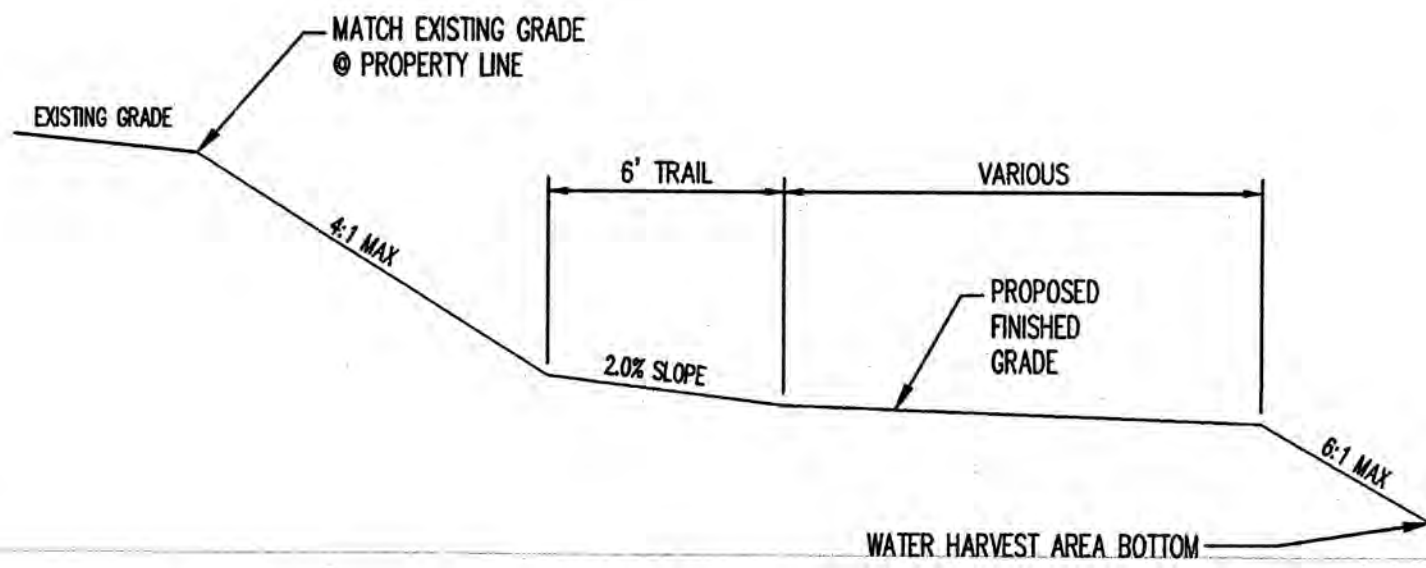
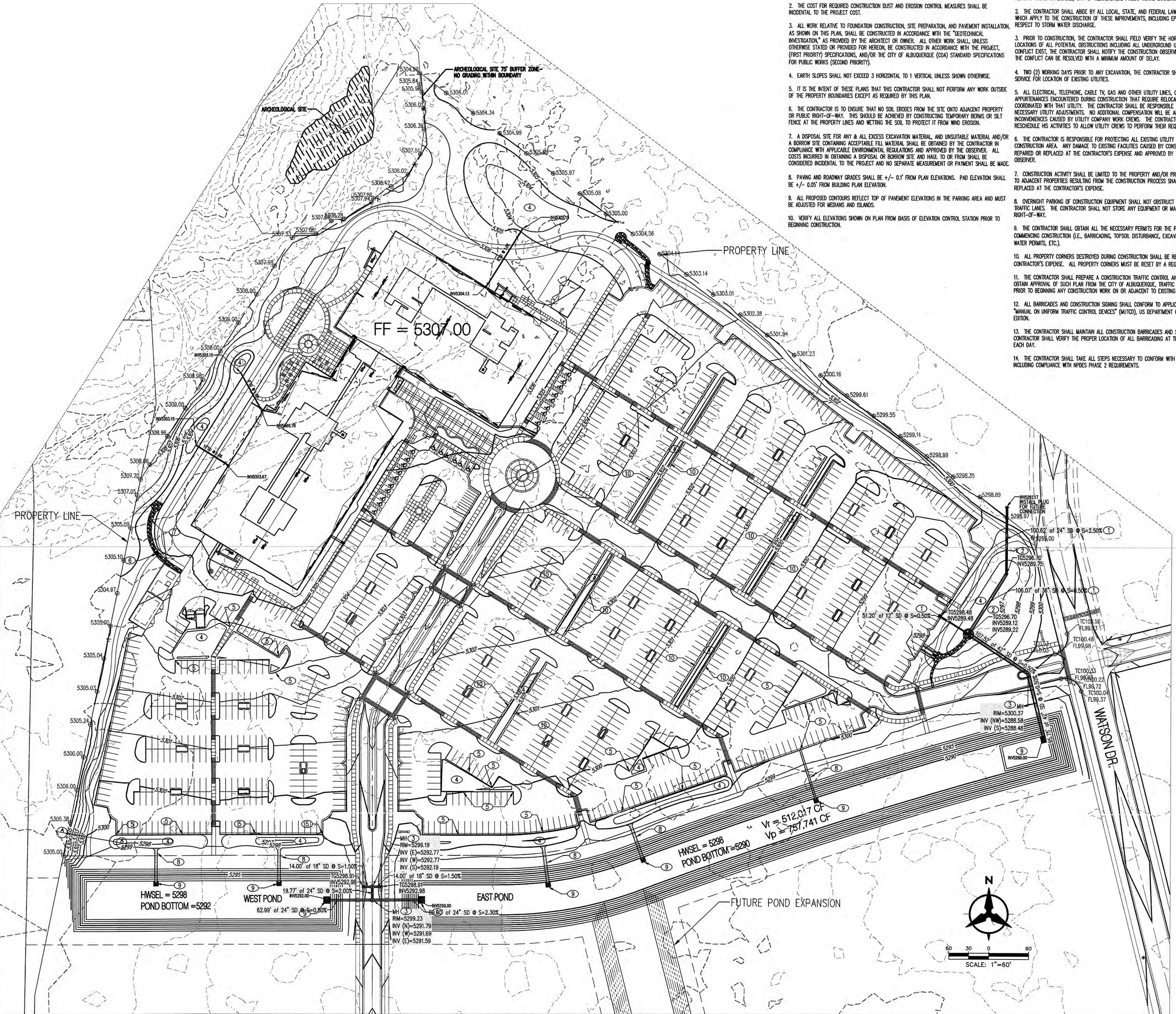
LOCATION MAP
ZONE ATLAS INDEX MAP Q-15, Q-16, R-15, R-16

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



A PROPOSED GROUND
NTS

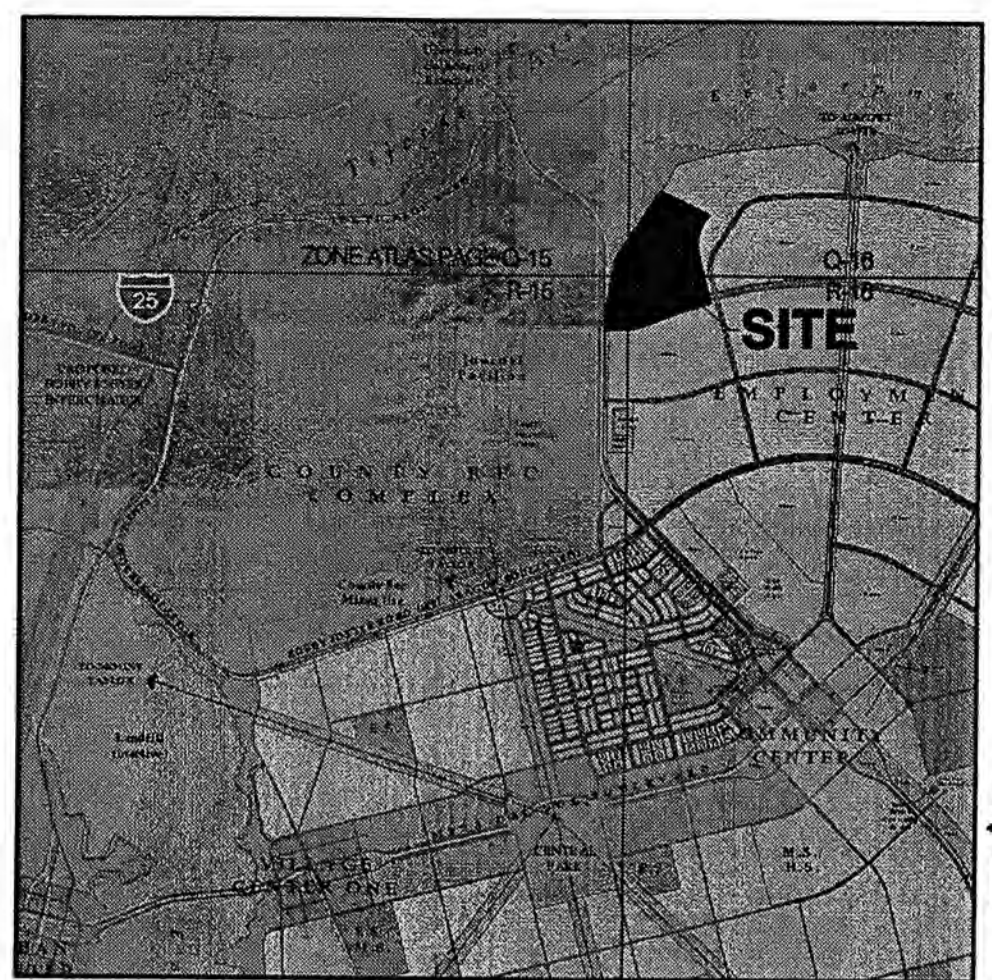
GRADING KEYED NOTES

1. NEW STORM DRAIN
2. NEW STORM DRAIN INLET TYPE D
3. NEW STORM DRAIN MANHOLE
4. WATER HARVESTING AREA
5. NEW CURB OPENING
6. NEW SIDEWALK CULVERT
7. 6" RIP RAP CHANNEL
8. 4' CONCRETE RUNDOWN
9. 6'x6' RIP RAP BLANKET
10. FLUSH CURB W/ PARKING BUMPERS @ SPACES

Mesa del Sol

Bohannon & Huston

17500 Jefferson St. NE Albuquerque, NM 87109-4335
Engineering • Spatial Data • Advanced Technologies



LOCATION MAP
ZONE ATLAS INDEX MAP Q-15, Q-16, R-15, R-16

architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

7801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-8700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

**ARC
SUBMITTAL**

ENGINEER



PROJECT

**Fidelity Investments
Mesa del Sol - Innovation Park**
Albuquerque, New Mexico



REVISIONS

△
△
△
△
△
△

DRAWN BY: BHN
REVIEWED BY: SB
DATE: 4/18/08
PROJECT NO.: 07-0115
DRAWING NAME:

CUT/FILL
MAP

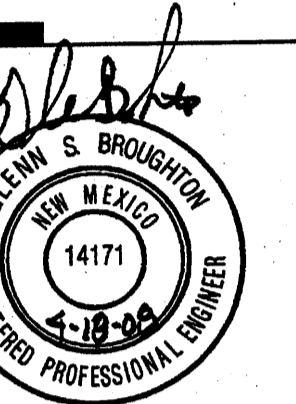
SHEET NO.

C101
OF

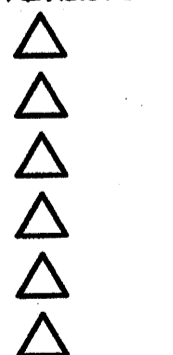
Mesa del Sol

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**Fidelity Investments
Mesa del Sol - Innovation Park**
Albuquerque, New Mexico



DRAWN BY	BHW
REVIEWED BY	GB
DATE	4/18/08
PROJECT NO.	07-0115
DRAWING NAME	

UTILITY NOTES

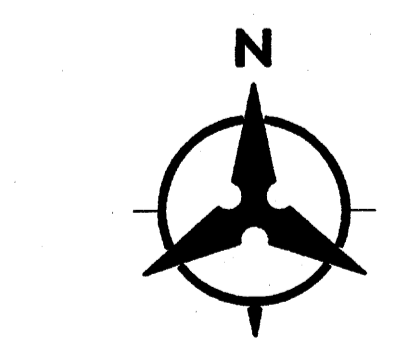
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PIPS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INHERITS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

SANITARY SEWER KEYED NOTES

1. INSTALL 6" SANITARY SEWER LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
2. INSTALL SANITARY SEWER CLEAN OUT PER DETAIL THIS SHEET.
3. INSTALL 6"x6" DIRECTIONAL WYE.
4. REMOVE CAP & CONNECT TO EXISTING SAS STUB OUT.
5. INSTALL 4" DIA MANHOLE TYPE "C" PER COA STD DWG 2101.

WATER LINE KEYED NOTES

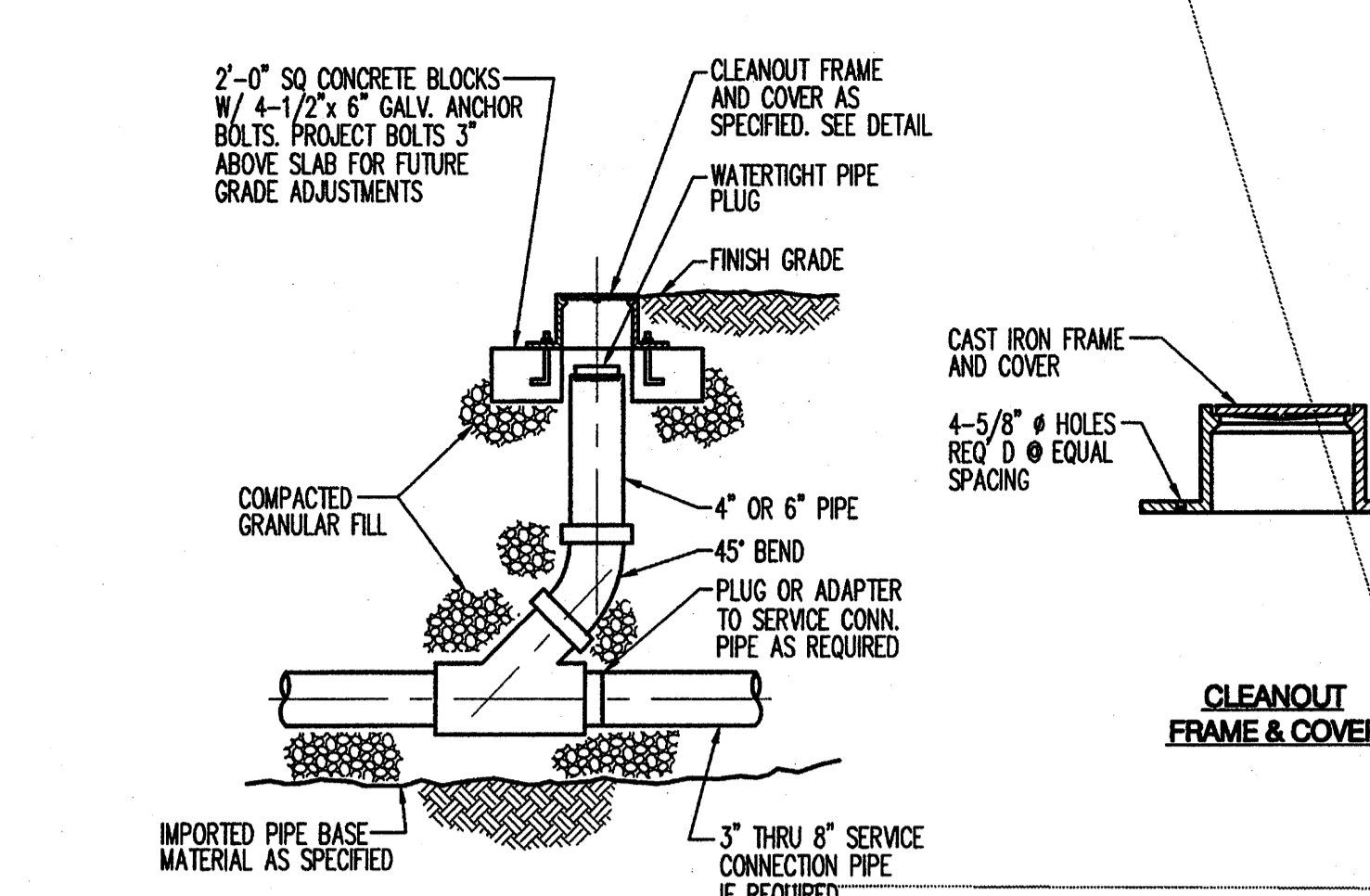
1. INSTALL 3" WATER SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
2. INSTALL 6" FIRE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
3. INSTALL 3" DOMESTIC WATER METER & BOX. INSTALL 3" LINE TO MAIN AND CONNECT WITH 3" TAPPING SADDLE PER COA STD DWG 2363.
4. INSTALL 8" FIRE LINE.
5. INSTALL 6" FIRE LINE.
6. INSTALL 8"x6" TEE W/ RESTRAINED JOINTS.
7. INSTALL 8"x8" TEE W/ RESTRAINED JOINTS.
8. INSTALL 8"x6" REDUCER W/ RESTRAINED JOINTS.
9. INSTALL 11.25" BEND W/ RESTRAINED JOINTS.
10. INSTALL 22.5" BEND W/ RESTRAINED JOINTS.
11. INSTALL 45" BEND W/ RESTRAINED JOINTS.
12. INSTALL 90" BEND W/ RESTRAINED JOINTS.
13. INSTALL 6" GATE VALVE W/BOX & LID PER COA STD DWG 2326.
14. INSTALL 8" GATE VALVE W/BOX & LID PER COA STD DWG 2326.
15. INSTALL FIRE HYDRANT COMPLETE PER COA STD DWG 2340.
16. INSTALL 8" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER COA STD DWG 2385.
17. REMOVE CAP & CONNECT TO EXISTING WATER LINE STUB OUT.
18. INSTALL POST INDICATOR VALVE PER DETAIL THIS SHEET.
19. INSTALL 10"x8" REDUCER W/ RESTRAINED JOINTS.



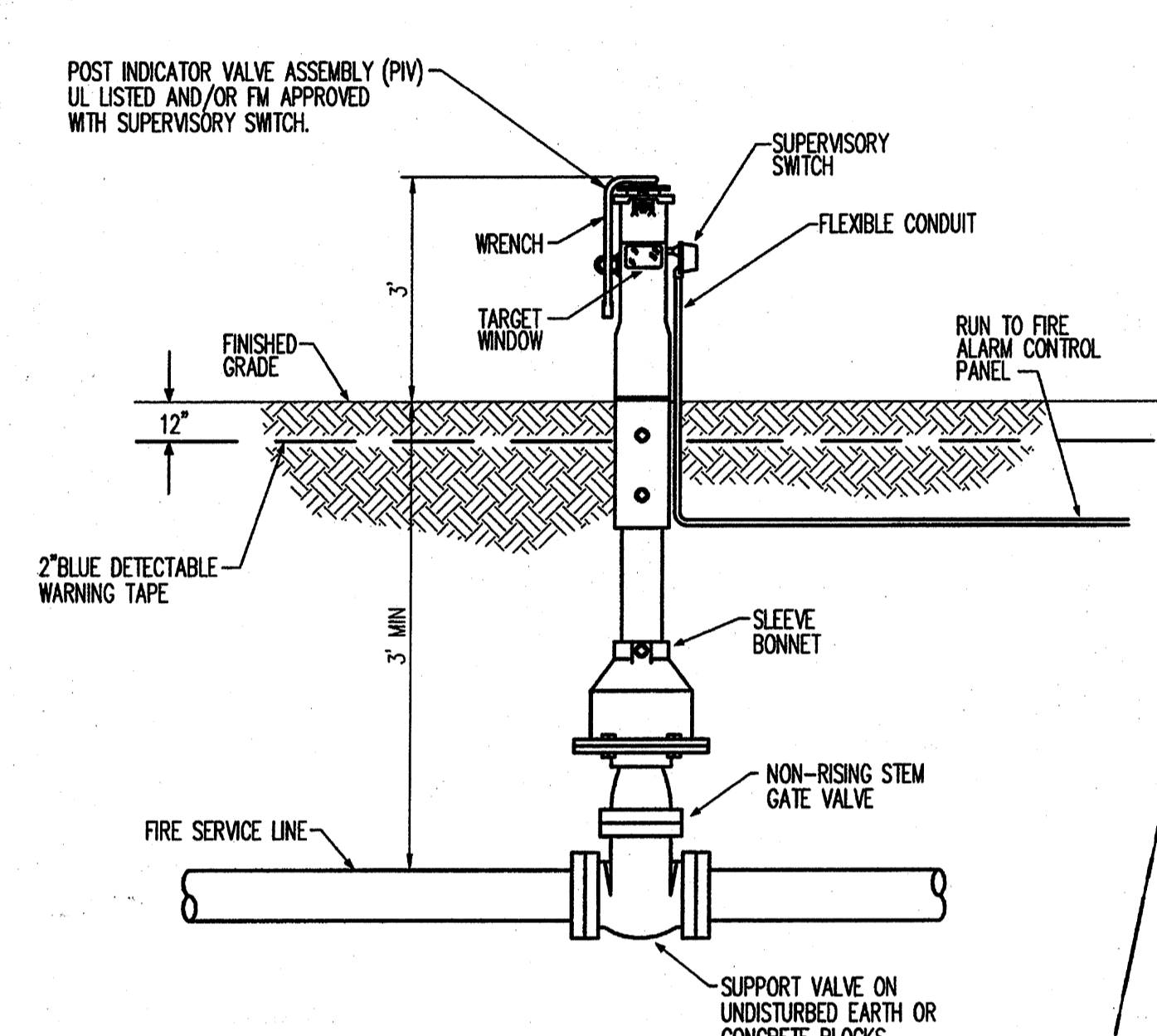
SCALE: 1"=40'

NOTE: CONTRACTOR SHALL VERIFY DEPTH AND LOCATIONS OF ALL EXISTING UTILITIES AND CONTACT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.

Bohannon & Huston
Courtney 17600 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



SANITARY SEWER CLEAN OUT
NOT TO SCALE



POST INDICATOR VALVE DETAIL
NOT TO SCALE

LEGEND

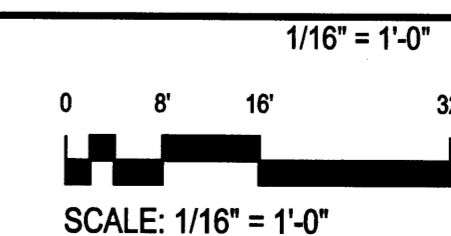
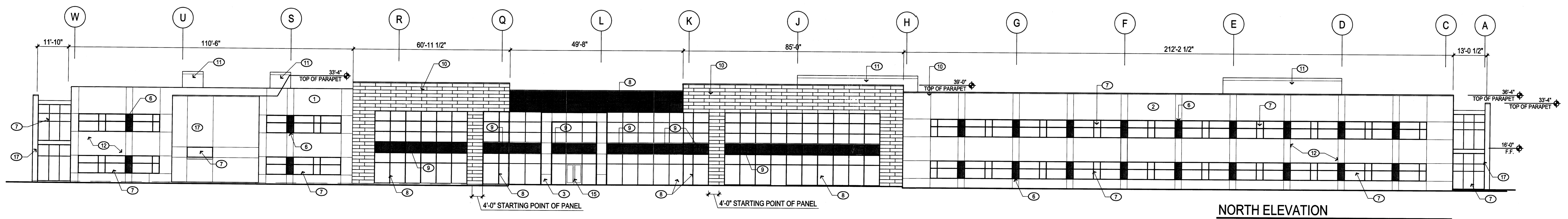
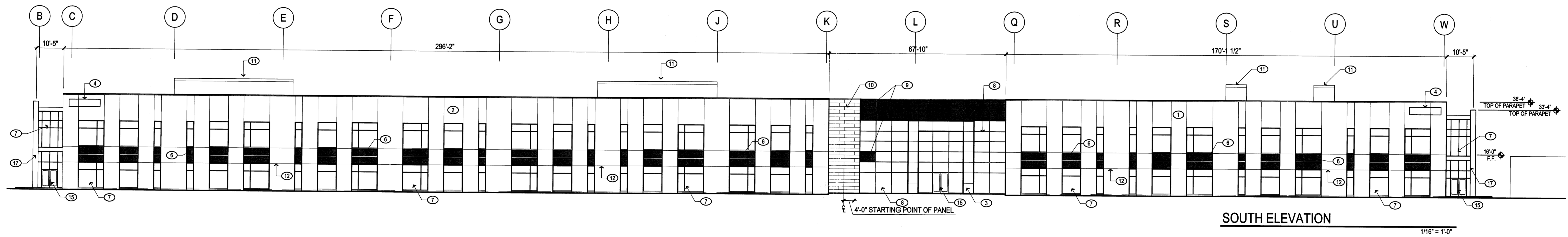
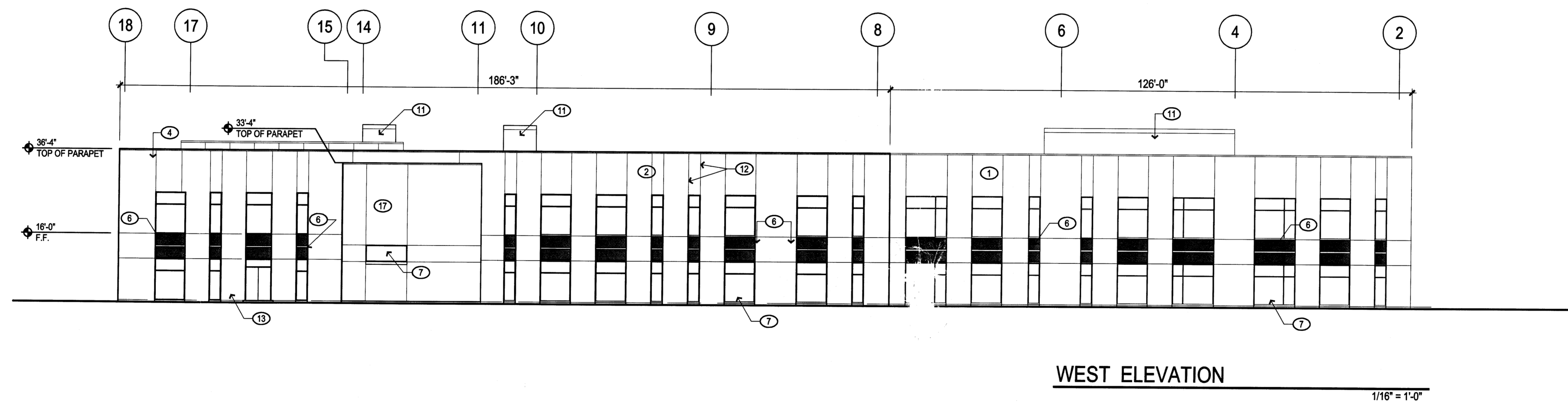
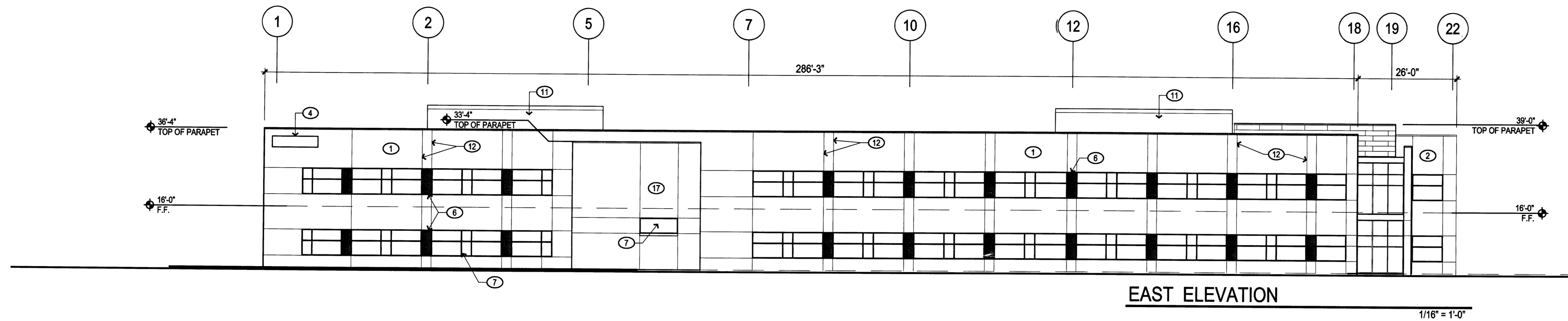
---	PROPERTY LINE
---	EXISTING EASEMENT
SAS	EXISTING SANITARY SEWER
WL	EXISTING WATER LINE
□	EXISTING WATER METER
○	EXISTING CAP
×	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊗	EXISTING STORM DRAIN MANHOLE
□	EXISTING INLET
---	PROPOSED EASEMENT
SAS	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
WL	PROPOSED WATER LINE
×	PROPOSED VALVE
FL	PROPOSED FIRE LINE
⊕	PROPOSED HYDRANT
○	PROPOSED CAP
■	PROPOSED WATER METER

KEYED NOTES

- EIFS - COLOR #1.
- EIFS - COLOR #2.
- METAL WALL PANEL SYSTEM - COLOR #2.
- ACRYLIC DIE CUT CHANNEL LETTERS / COLOR TO MATCH METAL PANEL 1 / FONT TAHOMA TRUE-TYPE / 6" HIGH VERIFY STREET ADDRESS
- BUILDING SIGNAGE LOCATION / ACRYLIC DIE CUT CHANNEL LETTERS / 4" x 18" TOTAL AREA
- ALUMINUM COMPOSITE PANEL AS SPANDREL PANEL.
- INSULATED, TINTED GLAZING IN ALUMINUM STOREFRONT.
- INSULATED, TINTED GLAZING IN ALUMINUM CURTAINWALL.
- SPANDREL GLASS.
- METAL WALL PANEL SYSTEM - COLOR #1.
- MECHANICAL ROOF TOP UNITS / PAINT ACCENT GREY
- AESTHETIC JOINT, TYP. / RE: A6/A191
- HOLLOW METAL DOOR AND FRAME, PAINTED.
- NOT USED
- ALUMINUM ENTRANCE DOOR.
- PATIO CANOPY.
- EIFS - COLOR #3

EXTERIOR MATERIALS LEGEND

- EIFS-1 - LIGHT BROWN COLOR: STO 20310 / MOJAVE (MJ)
MFR: STO
- EIFS-2 - TAN COLOR: STO 20412 / MOJAVE (MJ)
MFR: STO
- EIFS-3 - BLUE COLOR: MATCH ICI PAINTS THE BLUES
#50BG 30/235
- COMPOSITE METAL PANEL SYSTEM 1 / DRI-DESIGN 16" x 72"
PANEL TO MATCH CLEAR ANODIZED ALUMINUM
STOREFRONT
- COMPOSITE METAL PANEL SYSTEM 2 / DRI-DESIGN PANEL / COLOR:
WHITE



FIDELITY INVESTMENTS
MESA DEL SOL - INNOVATION PARK
5401 WATSON DRIVE SE
Mesa del Sol, New Mexico



REVISIONS

3/15/08	CHANGE GRID LABELS / SHOW DRI-DESIGN STARTING POINTS

DRAWN BY
REVIEWED BY
DATE 04/18/08
PROJECT NO. 07-0115
DRAWING NAME

**BUILDING EXTERIOR
ELEVATIONS**



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	S1	41	KAD 400M SR3	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICS, CLEAR FLAT GLASS.	ONE 400-WATT CLEAR ED-38 METAL HALIDE, HORIZONTAL POSITION.	119478.lws	32000	0.72	924
	S2	4	KAD 400M SR3	AREA LIGHT WITH HIGH PERFORMANCE SR3 OPTICS, CLEAR FLAT GLASS.	ONE 400-WATT CLEAR ED-38 METAL HALIDE, HORIZONTAL POSITION.	119478.lws	32000	0.72	462
	S3	32	KAD 250M SR3 HS	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR3 REFLECTOR, BLACK INTERNAL HOUSE SIDE SHIELD.	ONE 250-WATT CLEAR ED-38 METAL HALIDE, HORIZONTAL POSITION.	LTL12416.IES	20000	0.72	297
	S4	12	KVE2 250M SYMC	PREMIUM SQUARE AREA LIGHT WITH SYMMETRIC CUTOFF DISTRIBUTION.	ONE 250-WATT CLEAR ED-38 METAL HALIDE, VERTICAL BASE-UP POS.	98081013.lws	22000	0.72	310
	A	3	WST 42TRT MD	ARCHITECTURAL SCIENCE WITH MEDIUM THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS.	ONE 42-WATT TRIPLE TUBE COMPACT FLUORESCENT, HORIZONTAL POSITION.	LTL11109.IES	3200	0.81	45
	B	56	APRH P3070MHC/SP 44R	APRH 4" APERTURE PAR30 DOWNLIGHT 70MKC SPOT	ONE 70-WATT CLEAR PAR30 CERAMIC METAL HALIDE, VERTICAL BASE UP POS.	ledfiles_Gotham_Architectural_Lighting-Downlighting-HCO-APRH-PAR Downlight-L812587.lws	4400	0.72	49

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BACK ENTRY	+	2.5 fc	4.9 fc	0.7 fc	7.0:1	3.6:1
ENTRY ROAD	+	1.2 fc	2.5 fc	0.3 fc	8.3:1	4.0:1
FRONT ENTRY	+	7.5 fc	9.7 fc	4.2 fc	2.3:1	1.8:1
PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
SITE	+	2.4 fc	6.8 fc	0.2 fc	34.0:1	12.0:1

7801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ARC SUBMITTAL

ENGINEER

PROJECT

FIDELITY INVESTMENTS
@MESA DEL SOL
5401 Watson Drive
Albuquerque, NM.

REVISIONS

02-18-08ARC Preliminary Review

02-21-08ARC Review - Second Submittal

4-17-08ARC Review - Third Submittal

DRAWN BYAEDI

REVIEWED BYDJS/DWS

DATE03-03-08

PROJECT NO.07-0115

DRAWING NAME

SITE LIGHTING
PHOTOMETRIC
PLAN

5101 Coors Blvd. NW
Suite 1P
Albuquerque, New Mexico 87120
(505)252-1788
(505)255-0488 fax

5101 Coors Blvd. NW
Suite 1P
Albuquerque, New Mexico 87120
(505)252-1788
(505)255-0488 fax

PHOTOMETRIC SITE PLAN

0 25 50 80
1" = 50'
SCALE: 1" = 50'

PROPOSED SITE DEVELOPMENT PLAN

FIDELITY INVESTMENTS
ALBUQUERQUE AMPHITHEATER
5401 WATSON DR SE
ALBUQUERQUE, NM 87106

LANDSCAPE CONSTRUCTION PLANS

SITE LOCATION



PROPOSED SITE
AREA LIMITS

SHEET INDEX

L0.000	COVER	L2.000	CONSTRUCTION NOTES
L1.000	DEMOLITION NOTES	L2.001	CONSTRUCTION LEGEND
L1.100	DEMOLITION PLAN	L2.100	CONSTRUCTION PLAN
C1.000	GENERAL NOTES	L2.400	CONSTRUCTION DETAILS
C1.100	EXISTING CONDITIONS PLAN	L2.401	CONSTRUCTION DETAILS
C2.000	ABBREVIATIONS	L3.100	IRRIGATION PLAN
C2.100	SITE, PAVING AND GRADING PLAN	L4.000	PLANTING NOTES
C2.101	EROSION CONTROL PLAN	L4.001	PLANTING LEGEND
C2.400	SITE DETAILS	L4.100	PLANTING PLAN
C2.401	SITE DETAILS	L4.400	PLANTING DETAILS
C2.402	EROSION CONTROL DETAIL		

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY WITH OWNER'S REPRESENTATIVE THAT PLANS ARE CURRENT AND APPROVED.
2. WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE, NEW MEXICO.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY AND/OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND/OR TAXES REQUIRED TO INSTALL THE WORK ON THESE PLANS.
4. THE CONTRACTOR SHALL BE APPROPRIATELY LICENSED AS REQUIRED BY THE STATE IN WHICH THE WORK TAKES PLACE.
5. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES IN EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING THE WORK.
6. DETERMINATION OF "EQUAL" SUBSTITUTIONS SHALL BE MADE ONLY BY THE OWNER
9. SITE OBSERVATION BY THE LANDSCAPE ARCHITECT DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND GOVERNING CODES.
10. THIS FIRM DOES NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THIS FIRM DOES NOT DIRECT THE CONTRACTOR'S OBSERVATIONS, AND IS NOT RESPONSIBLE FOR THE SAFETY OF PERSONNEL OTHER THAN OUR OWN ON THE SITE; THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS PRESENTED HEREIN TO BE UNSAFE.

NOTIFICATIONS

CLIENT

FIDELITY REAL ESTATE COMPANY
5401 WATSON DR SE
ALBUQUERQUE, NM 87106
CONTACT: MARTHA ORENDAIN
EMAIL: MARTHA.ORENDAIN@FMR.COM
PHONE: 817.474.1379

CIVIL ENGINEER

JACOBS
777 MAIN ST
FORT WORTH, TX 76102
CONTACT: KATE KENNEDY
EMAIL: KATHYRIYA.KENNEDY@JACOBS.COM
PHONE: 817.735.7051

GENERAL CONTRACTOR

TO BE DETERMINED

LANDSCAPE ARCHITECT


BRIGHTVIEW DESIGN GROUP
1645 GRANT STREET
DENVER, CO 92618
CONTACT: RYAN SAND
EMAIL: RYAN.SAND@BRIGHTVIEW.COM
PHONE: 303.328.7056

APPROVALS


PLAN CHECK #

DEPARTMENT OF BUILDING AND SAFETY
ALBUQUERQUE, NM

ACCEPTED (PRINT NAME) SIGNATURE DATE



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1645 GRANT ST
DENVER, CO 80203
(303) 825-2010



STATE OF NEW MEXICO
GLEN P. SHARPE
#330
REGISTERED
LANDSCAPE ARCHITECT
06/20/2022

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PLAN REVISION DESCRIPTION

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△

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REFER TO THE SHEET INDEX ON SHEET L0.000 FOR A COMPLETE LIST OF DRAWINGS.

FIDELITY INVESTMENTS
ALBUQUERQUE AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PLAN SET	ISSUE DATE	PROJECT STATUS LOG:
A	03/15/2022	OWNER PROGRESS REVIEW #1
B	03/25/2022	60% PRICING SET
C	06/20/2022	VE SET
D	09/14/2022	AGENCY SUBMITTAL #1

BVDG JOB NUMBER: 1730678
DRAWN BY: DB/RS
PLAN CHECK NO: PENDING

SHEET TITLE

COVER

SHEET NUMBER

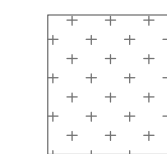
L0.000

BRIGHTVIEW DESIGN GROUP

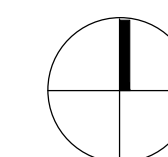
CONSTRUCTION DOCUMENTS



1. SEE SHEET L1.000 FOR GENERAL DEMOLITION NOTES.
2. TRANSPLANTED SOTOLS: DIG OUT AROUND EXISTING PLANT MATERIAL UNDER CROWN AND APPLY SUPER THRIVE TRANSPLANT AMENDMENT TO CUTS AND ABRASIONS ON THE STEM FROM REMOVAL. STORE ON SITE FOR REPLANTING, WATER WEEKLY.
3. TRANSPLANTED/PROTECTED PLANT MATERIAL: WORK IS TO BE DONE UNDER SUPERVISION OF PROFESSIONAL ARBORIST/HORTICULTURIST. IF DEATH OF PLANT MATERIAL IS DETERMINED FAULT BY CONTRACTOR, CONTRACTOR IS TO PROVIDE LIKE SIZE REPLACEMENT OR CREDIT OF EQUAL VALUE OF LOST PLANT MATERIAL. REPLACEMENT VALUE TO BE DETERMINED BY ARBORIST / HORTICULTURIST.



EXISTING SOFTSCAPE/PLANTING TO BE REMOVED



SCALE: 1" = 10'-0"

GENERAL NOTES

- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH THE GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE CITY AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE, AND DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT CONTRACTOR'S EXPENSE, WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE STATE OF NEW MEXICO OSHA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY, TRAFFIC CONTROL, AND ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE NMDOT STANDARD SPECIFICATIONS, LATEST EDITION.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR THE MAINTENANCE OF UTILITIES IN THE JOBSITE.
- ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON THE HORIZONTAL MEASUREMENTS.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.
- IF ARCHAEOLOGICAL MATERIAL IS UNCOVERED DURING DEMOLITION, GRADING, TRENCHING, OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (ISPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- WORK SHALL CONFORM WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL(DPM), NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT), AND ANY REVISIONS MADE BY THE CITY OF THE ALBUQUERQUE AVAILABLE AT THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT LOCATED AT 600 2ND NW AS WELL AS THE APPLICABLE UTILITY PROVIDER STANDARDS, THE INTERNATIONAL BUILDING CODE (IBC), AND THE UNIFORM PLUMBING CODE (UPC).
- NO WORK SHALL DEViate FROM THESE PLANS UNLESS PRIOR APPROVAL IS OBTAINED FROM THE PROJECT ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROCURE FROM THE CITY OF ALBUQUERQUE AND ALL OTHER APPLICABLE AGENCIES, ALL PERMITS AND LICENSES, PAY ALL CHARGES AND FEES AND GIVE ALL NOTICES NECESSARY (2 WORKING DAYS MIN.) FOR THE INSTALLATION OF APPLICABLE IMPROVEMENTS DELINEATED HEREON.
- UNDERGROUND UTILITIES: PRIOR TO FINAL PREPARATION OF SUBGRADE AND PLACEMENT OF BASE MATERIAL, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED, COMPACTION TESTED SHALL BE PASSED AND SERVICE CONNECTIONS STUBBED OUT OR INSTALLED AS SHOWN ON APPLICABLE DRAWINGS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.
- THE TOPOGRAPHIC SURVEY INCLUDING HORIZONTAL AND VERTICAL DATUMS FOR THIS PROJECT WERE PROVIDED BY JACOBS DATED, FEBRUARY 2022.
- EXISTING UTILITIES SHOWN ON THE PLANS ARE PER SURFACE LOCATIONS AND AS-BUILT DRAWINGS. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE REQUIRED TO VERIFY ALL EXISTING INVERT ELEVATIONS PRIOR TO MAKING CONNECTIONS TO EXISTING STRUCTURES OR CONSTRUCTING NEW MANHOLES OVER EXISTING PIPES. ANY REQUIRED CHANGES TO THE PLAN MUST BE APPROVED THROUGH THE ENGINEER.
- TRAFFIC CONTROL DEVICES, FLAG PERSONS, ETC. SHALL BE IN PLACE PRIOR TO INITIATION OF CONSTRUCTION WORK AND SHALL BE EFFECTIVELY MAINTAINED.
- ALL TRAFFIC CONTROL DEVICES TO CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), (CURRENT EDITION).
- EXCAVATOR(S) MUST COMPLY WITH NEW MEXICO EXCAVATION LAW; EXCAVATOR(S) SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MIN.) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- CONSTRUCTION NOISE AND PROJECT WORK TIMES SHALL COMPLY WITH CURRENT LOCAL AND STATE REGULATIONS.
- ALL MANHOLES AND VALVE LIDS SHALL BE CONSTRUCTED LEVEL WITH THE FIRST LIFT OF PAVEMENT. WHEN THE SECOND LIFT OF PAVEMENT IS PLACED THE MANHOLE LIDS AND VALVE COVERS SHALL BE ADJUSTED TO FINISH GRADE. MANHOLES TO BE ADJUSTED WITH STEEL OR C.I. 1-1/2" RISER RING.
- ALL WASTE MATERIALS INCLUDING STRIPING MUST BE DISPOSED IN A MANNER CONFORMING TO LOCAL, STATE AND FEDERAL REQUIREMENTS. STRIPING SHALL BE STOCKPILED OR DISPOSED OF ON LOTS. ANY EXCESS EXCAVATED MATERIAL DEEMED SUITABLE FOR CONSTRUCTION OF STRUCTURAL FILLS BY THE PROJECT GEOTECHNICAL ENGINEER SHALL BE COMPACTED TO PROJECT SPECIFICATIONS. STOCKPILED MATERIALS SHALL BE COVERED WITH BLACK PLASTIC OR STRAW AND SURROUNDED BY STRAW BALES TO ELIMINATE SEDIMENT AND TRANSPORT.
- CATCH BASIN AND MANHOLE STATIONING PROVIDED AT STRUCTURE CENTER; ROTATE ALL MANHOLE CONES OR FLATTOPS TO AVOID ACCESS LID BEING IN TIRE PATH AND GRATES TO MATCH FLOWLINE.
- A PRE-CONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION TAKING PLACE. THE PRE-CONSTRUCTION MEETING SHOULD INCLUDE AT A MINIMUM THE CONTRACTOR, CITY ENGINEER, AND CITY DEVELOPMENT INSPECTOR. IT IS RECOMMENDED THAT THE DEVELOPER/PROPERTY OWNER AND PROJECT ENGINEER/MANAGER BE PRESENT AS WELL.

COMPLETE CODE CRITERIA

1. PROJECT AREA: 11,318 SF
2. OCCUPANCY TYPE: COMMERCIAL
3. OCCUPANCY LOAD: 36
4. CONSTRUCTION TYPE: RENOVATION

EROSION/SEDIMENTATION CONTROL NOTES

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTROL OF EROSION AND SEDIMENT TRANSPORT WITHIN PROJECT LIMITS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS DURING CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION. IF THE EROSION CONTROL SYSTEM DOES NOT ADEQUATELY CONTAIN SEDIMENT ON SITE, THEN EROSION CONTROL MEASURES MUST BE ADDED OR FIELD ADJUSTED BY THE CONTRACTOR AS NECESSARY FOR EXPECTED CONSTRUCTION METHODS, STAGING, SITE CONDITIONS, WEATHER, AND SCHEDULING TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE. THE DEVELOPER SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL (ESCP) FACILITY MAINTENANCE AFTER THE PROJECT IS APPROVED BY THE LOCAL JURISDICTION UNTIL THE LOTS ARE SOLD.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTION OF ALL ADJACENT PROPERTIES AND DOWNSTREAM FACILITIES FROM EROSION AND SILTATION DURING THE COURSE OF THE WORK. ANY DAMAGE RESULTING FROM SUCH EROSION AND SILTATION SHALL BE CORRECTED AT THE SOLE EXPENSE OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO DO SO.
4. THE ESCP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESCP FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. THE ESCP FACILITIES ON INACTIVE PORTIONS OF THE SITE(S) SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH, OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
6. CONSTRUCTION TIMING AND PHASING SHALL MINIMIZE THE POTENTIAL FOR EROSION.
7. BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE GRADING PLAN SHALL BE CLEARLY MARKED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE MARKINGS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. TREE PROTECTION INCLUDES THE TREE AND ALL PLANTS WITHIN ITS DRIP LINE EXCEPT FOR PLANTS LISTED AS NON-NATIVE, INVASIVE PLANTS.
9. INSTALL SILT FENCES AT THE TOE OF ALL FILL SLOPES BEFORE CONSTRUCTION STARTS. REMOVE ALL SILT WHEN IT BECOMES GREATER THAN 12" AT THE SILT FENCE. REMOVE ALL SILT AND SILT FENCES AFTER COMPLETION OF THE PROJECT AND AFTER VEGETATION HAS BEEN PERMANENTLY ESTABLISHED.
10. STABILIZED GRAVEL CONSTRUCTION ENTRANCE(S) WHICH WILL BE THE SOLE MEANS OF INGRESS AND EGRESS FROM THE SITE SHALL BE INSTALLED AT THE BEGINNING OF THE CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL THE PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL INSPECT AND WASH AS NEEDED THE ROADS WITHIN THE PROJECT AREA TO ENSURE THAT NO SEDIMENTS ARE CARRIED OFF THE PROJECT SITE.
11. PRIOR TO ANY SITE EXCAVATION, ALL EXISTING AND NEWLY CONSTRUCTED STORM DRAINAGE INLETS, BASINS AND AREA DRAINS SHALL BE PROTECTED AS SHOWN IN THE DETAILS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF ALL DISTURBED AREAS. CLEAN THE FILTER AS NECESSARY TO MAINTAIN DRAINAGE. PROVIDE APPROVED TRAFFIC CONTROL DEVICES AS NECESSARY. REMOVE FILTER AND CLEAN CATCH BASINS FOLLOWING COMPLETION OF ALL SITEWORK.
12. ALL STOCKPILES AND STAGING AREAS SHALL BE STABILIZED SUCH THAT NO MATERIAL ERODES INTO THE ADJOINING PROPERTY.
13. SLOPE STABILIZATION MEASURES (FOR ALL SLOPES H:1V AND STEEPER) SHALL BE INITIATED WITHIN 7 CALENDAR DAYS AFTER EARTH MOVING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED IN THAT PORTION OF THE SITE.
14. IN AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST, ONE OR MORE OF THE FOLLOWING PREVENTATIVE MEASURES SHALL BE TAKEN FOR DUST CONTROL:
 - i. MINIMIZE THE PERIOD OF SOIL EXPOSURE THROUGH THE USE OF TEMPORARY GROUND COVER AND OTHER TEMPORARY STABILIZATION PRACTICES.
 - ii. SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS WET, REPEAT AS NEEDED.
 - iii. SPRAY EXPOSED SOILS WITH AN APPROVED DUST PALLIATIVE. NOTE: USED OIL IS PROHIBITED AS A PALLIATIVE.
15. THE CONTRACTOR SHALL SEED AND MULCH ALL CUT AND FILL SLOPES, AND ALL DISTURBED GROUND AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEEDED AREAS UNTIL VEGETATION UPON THEM IS ESTABLISHED. ANY ADDITIONAL SEEDING NECESSARY TO VEGETATE SHALL BE DONE BY THE CONTRACTOR. IF THE AREA IS/NT OR CANNOT BE ADEQUATELY SEEDEN THEN THE AREA SHALL BE COVERED BY A PROTECTIVE MATERIAL SUCH AS STRAW OR MULCH TO PREVENT EROSION.
16. CONTRACTOR SHALL STABILIZE ALL DISTURBED SOIL PRIOR TO LOCAL JURISDICTION'S FINAL CONSTRUCTION APPROVAL.
17. PAVEMENT SURFACES AND VEGETATION ARE TO BE PLACED AS RAPIDLY AS POSSIBLE.
18. CONTRACTOR SHALL REMOVE ESCP MEASURES WHEN VEGETATION IS FULLY ESTABLISHED.
19. CATCH BASIN INLETS WITHIN THE PROJECT AREA SHALL HAVE FILTER FABRIC OR OTHER CITY APPROVED INLET PROTECTION INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT ANY ACCUMULATION OF SEDIMENTS FROM ENTERING THE STORM WATER SYSTEM. ANY ACCUMULATION OF SEDIMENT WITHIN THE STORM WATER SYSTEM AS A RESULT OF THE PROJECT MAY REQUIRE THE CONTRACTOR TO CLEAN THE EFFECTED STORM WATER STRUCTURE. CLEANING OF THE STORM WATER STRUCTURES SHALL BE DONE IN A MANNER AS TO NOT FLUSH THE SEDIMENTS INTO A DOWNSTREAM SYSTEM.
20. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM SIX INCH (6") OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
21. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS, WHERE FEASIBLE, THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF SIX FEET (6') APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 30 INCHES.
22. A TRENCH SHALL BE EXCAVATED, ROUGHLY 8 INCHES WIDE BY 12 INCHES DEEP (8"x12"), UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.
23. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST ONE INCH (1") LONG. THE WIRE OR HOG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF FOUR INCHES (4") AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
24. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
25. SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS PERMANENTLY STABILIZED.
26. SEDIMENT FENCES SHALL BE INSPECTED BY THE CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
27. STRAW BALES SHALL NOT BE USED IN NEWLY CONSTRUCTED OR EXISTING DITCHES, SWALES, STREAMS, CREEKS NOR FOR CATCH BASIN PROTECTION.
28. AT NO TIME SHALL MORE THAN 12" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITH IN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
29. CONTRACTOR TO ENSURE SILT FENCES SURROUND ALL BIOSWALES.

GRADING AND COMPACTION NOTES

1. ON-SITE GRANULAR OR APPROVED IMPORTED FILL SOILS SHALL BE COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR EQUIVALENT STANDARD (AASHTO T-180).
2. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR RETAIN A LICENSED GEOTECHNICAL ENGINEER TO PERFORM REGULAR ONSITE INSPECTION DURING GRADING AND EXCAVATION ACTIVITY.

EXCAVATION AND GRADING REQUIREMENTS

1. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, LATEST EDITION DATE JANUARY, 9, 2019 AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. ALL SPECIFICATIONS REFERENCED HEREIN REFER TO THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL UNLESS INDICATED OTHERWISE.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL, THROUGHOUT CONSTRUCTION, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD, LATEST EDITION) AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION TRAFFIC CONTROL STANDARDS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS AND CODES. THE CONTRACTOR SHALL FENCE AND/OR BARRICADE THE CONSTRUCTION AREA AS REQUIRED TO PROTECT ADJACENT SITES, VEHICULAR TRAFFIC AND PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF OSHA AND NRS CHAPTER 618, IN THE CONSTRUCTION PRACTICES FOR ALL EMPLOYEES DIRECTLY ENGAGED IN THE CONSTRUCTION OF SAID PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PIPING, UTILITIES, STRUCTURES ADJACENT TO STREETS AND ALL OTHER EXISTING IMPROVEMENTS.
5. THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE PONDING AND/OR EROSION. THE CONTRACTOR SHALL ALSO INSTALL EROSION AND RUN-OFF CONTROL MEASURES AT PUBLIC ROADS AND DRAINAGE WAYS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A NEAT AND ORDERLY MANNER THROUGHOUT THE CONSTRUCTION PROCESS. ALL MATERIALS SHALL BE STORED WITHIN APPROVED CONSTRUCTION AREAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR CLEANING OF ALL MUD, DIRT, DEBRIS, ETC. FROM ANY AND ALL ADJACENT STREETS AND SIDEWALKS.
8. NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES.
9. CONSTRUCTION OF STREET IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS.
10. INSPECTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE UNIFORM ADMINISTRATIVE CODE 2020 EDITION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAYOUTS OF LINES AND GRADES PROVIDED BY A NEW MEXICO LICENSED SURVEYOR.

EARTH WORK REQUIREMENTS

1. CLEARING AND GRUBBING, SUB-GRADE PREPARATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.
2. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
3. NO FENCE OR OTHER OBSTRUCTION WHICH INTERFERES WITH DISCHARGE SHALL BE CONSTRUCTED WITHIN THE DRAINAGE OR STORM DRAIN EASEMENTS. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF ALBUQUERQUE REGULATIONS.

PAVING NOTES










1. THE CONTRACTOR SHALL PROVIDE A FULL DEPTH CUT AND SMOOTH TRANSITION AT CONNECTIONS TO EXISTING PAVEMENT AND CURB.
2. ALL SIDEWALKS AND ACCESSIBLE PATHS SHALL CONFORM TO THE NEW MEXICO A.D.A. TRANSITION PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE
3. THE CONTRACTOR SHALL NOT STAND, PARK, DRIVE ON, OR IN ANY WAY DISTURB OR DAMAGE STEEL REINFORCING FOR SITE WORK. ALL REINFORCING SHALL BE INSTALLED WITH CHAIRS PER THE PLANS AND SPECIFICATIONS.
4. SUBGRADE SHALL BE MAINTAINED TO WITHIN THE SPECIFIED REQUIREMENTS OF MOISTURE AND DENSITY UNTIL PAVING IS PLACED. PRIOR TO PLACING PAVEMENT, THE CONTRACTOR SHALL RE-TEST THE AREAS SELECTED BY THE CONSTRUCTION MATERIALS TESTING LAB PERSONNEL AT THE CONTRACTOR'S EXPENSE OR IF REQUESTED BY THE OWNER, ARCHITECT OR ENGINEER, AND IF THE SUBGRADE HAS BEEN PLACED AND ACCEPTED FOR LONGER THAN TEN (10) DAYS AND NO PAVEMENT HAS BEEN CONSTRUCTED.
5. RADIAL JOINTS SHALL BE NO SHORTER THAN 1.5'.
6. CONTRACTOR SHALL AVOID CONSTRUCTING IRREGULAR SHAPED PANELS AN IRREGULAR SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE, WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 25%, OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR

ACCESS NOTES

1. CONTRACTOR TO MAINTAIN ACCESS TO ALL EXISTING BUSINESSES AND RESIDENTIAL PROPERTIES AT ALL TIMES.
2. CONTRACTOR SHALL SUBMIT A PHASING AND TRAFFIC CONTROL PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION IF APPLICABLE.

SURVEY NOTES

1. THIS TOPOGRAPHIC SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY JACOBS TO DETERMINE OWNERSHIP, RIGHTS OF WAY OR EASEMENTS OF RECORD, NO CURRENT TITLE POLICY, COMMITMENT OR REPORT WAS PROVIDED TO AID IN THE PREPARATION OF THIS SURVEY. THIS DOCUMENT DOES NOT REPRESENT A BOUNDARY SURVEY.
2. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF ONE INCH EQUALS 60 FEET WITH A ONE FOOT CONTOUR INTERVAL.
3. COORDINATE DATUM: PROJECT COORDINATES ARE MODIFIED NEW MEXICO STATE PLANE CENTRAL ZONE (3002) NAD83(2011) COORDINATES. THE COMBINED ELEVATION/SCALE FACTOR USED TO MODIFY THE COORDINATES FROM STATE PLANE TO PROJECT COORDINATES IS 1.0003363728.
4. MODIFIED STATE PLANE SCALE FACTOR WAS DERIVED FROM THE RECIPROCAL OF THE COMBINED FACTOR FOR NGS HORIZONTAL CONTROL MONUMENT LOUDON (PID: E00887), AS MONUMENTED BY A BRONZE STATION DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "LOUDON 1946", WITH A NAVD(88) PROJECT ELEVATION OF 5316.26'. STATION IS LOCATED, AIRLINE, ABOUT 4 MILES SOUTH OF THE ALBUQUERQUE MUNICIPAL AIRPORT, 4 MILES EAST OF U.S. HIGHWAY 85, 3/4 MILES NORTH-NORTHWEST OF A RADIO RANGE STATION, ON FLAT SANDY PASTURE LAND ABOUT 30 FEET EAST OF THE EDGE WHERE IT BREAKS OFF INTO THE RIO GRANDE VALLE.
5. HORIZONTAL POSITIONS ARE TIED TO NGS CONTROL POINT LOUDON: LATITUDE 34-59-53.65713 N, LONGITUDE 106-37-40.21246 W. HORIZONTAL POSITIONS WERE ESTABLISHED WITH REDUNDANT GPS OBSERVATIONS OF POINTS 700-712.
6. BASIS OF BEARINGS: BEARING USED IN THE CALCULATION OF COORDINATES ARE BASED ON A GRID BEARING OF N10°19'06"E FROM POINT 7001 (CITY OF ALBUQUERQUE 2-R15), AS MONUMENTED BY A 3.25" BRASS CAP STAMPED 2_R15 2006, TO 7002 (CITY OF ALBUQUERQUE 4_Q15), AS MONUMENTED BY A 3.25" BRASS CAP STAMPED 4_Q15 2006.
7. BASIS OF ELEVATIONS: PROJECT ELEVATIONS ARE BASED ON NGS BENCHMARK S 224, AS MONUMENTED BY A 3 INCH BRASS CAP, WITH A PUBLISHED ELEVATION OF 4843.26. MONUMENT IS LOCATED 6.3 MILES FROM ALBUQUERQUE, 0.3 MILES SOUTH ALONG THE ATCHISON, TOPEKA AND SANTA FE RAILROAD FROM THE STATION AT ALBUQUERQUE, AT A ROAD CROSSING, 227 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF TRESTLE 908 A, 89 FEET SOUTH OF THE CENTER LINE OF A ROAD, 36 FEET WEST OF THE CENTER LINE OF A DIRT ROAD, 48.4 FEET EAST OF THE EAST RAIL, 10.8 FEET EAST OF A TELEPHONE POLE, 2 FEET WEST OF A FENCE, 1.2 FEET NORTH OF A WITNESS POST, SET IN TOP OF CONCRETE POST WHICH PROJECTS 0.3 FOOT ABOVE THE GROUND. ELEVATIONS WERE ESTABLISHED WITH DIFFERENTIAL LEVELS.
8. CONTROL MONUMENTS WERE SET AND OBSERVED ON APRIL 13, 2021, AND ADJUSTED ON APRIL 14, 2021.
9. LINEAR AND ELEVATION UNITS FOR THIS SURVEY ARE U.S. SURVEY FEET.

 BrightView Design Group		
PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN 1645 GRANT ST DENVER, CO 80203 (303) 825-2010		
	1/06/22 <small> I HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THE PROJECTS DESCRIBED IN THE ATTACHED LIST OF PROJECTS WAS COMPLETED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO. I HAVE REVIEWED THE DRAWINGS AND SPECIFICATIONS AND HAVE MADE THE NECESSARY CORRECTIONS AND AMENDMENTS AND I AM THEREFORE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECTS DESCRIBED IN THE ATTACHED LIST OF PROJECTS. </small>	
PLAN REVISION DESCRIPTION		
		
		
		
		
<div style="display: flex; justify-content: space-between; align-items: center;">  <div style="text-align: center;"> <p>Know what's below.</p> <p>Call 811 before you dig.</p> </div> </div>		
REFER TO THE SHEET INDEX ON SHEET L0000 FOR A COMPLETE LIST OF DRAWINGS.		
 JACOBS Jacobs Engineering Group Inc. 3721 Rutledge Road Albuquerque, NM 87109		







FIDELITY INVESTMENTS
AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO














PLAN SET	ISSUE DATE	PROJECT STATUS LOG:
A	03/15/2022	OWNER PROGRESS REVIEW #1
B	03/25/2022	60% PRICING SET

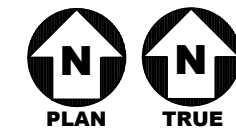
BVDG JOB NUMBER:		1730678
DRAWN BY:		DB/RS
PLAN CHECK NO:		DS
SHEET TITLE		
GENERAL NOTES		
SHEET NUMBER		
C1.000		
BRIGHTVIEW DESIGN GROUP		



EXISTING SITE
PER SURVEY.

LEGEND	
	EDGE OF CONCRETE
	EDGE OF ASPHALT
	WATERLINE QUALITY LEVEL D
	RIP RAP LINE
	BUSH OUTLINE
	CONTOUR LINE

	ALUMINUM CAP
	BRASS CAP
	FIRE HYDRANT
	TEST HOLE
	ELECTRIC INLET
	LIGHT
	TREE DECIDUOUS
	TREE CONIFEROUS
	BUSH CONIFEROUS
	IRRIGATION VALVE
	PATIO TABLE SET
	DOG TRASH CAN
	SIGN



FIDELITY INVESTMENTS
AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PLAN SET	ISSUE DATE	PROJECT STATUS LOG:
A	03/15/2022	OWNER PROGRESS REVIEW #1
B	03/25/2022	60% PRICING SET

BVDG JOB NUMBER:	1730678
DRAWN BY:	DB/RS
PLAN CHECK NO:	DS
SHEET TITLE	

EXISTING CONDITIONS PLAN

C1.100

BRIGHTVIEW DESIGN GROUP

CONSTRUCTION DOCUMENTS

BVDG JOB NUMBER:		1730678
DRAWN BY:		DB/RS
PLAN CHECK NO:		DS
SHEET TITLE		
ABBREVIATIONS		
SHEET NUMBER		
C2.000		
BRIGHTVIEW DESIGN GROUP		

NEW SITE IMPROVEMENTS.

GENERAL NOTES

- A BEARINGS ARE APPROXIMATE, NEW MEXICO STATE PLANE COORDINATE SYSTEM, NORTH ZONE GRID, NAD83.
- B CITY OF THE ALBUQUERQUE ZONING IS PLANNED COMMUNITY (PC) EXISTING UTILITY LINES SHOWN ARE APPROXIMATE ONLY BASED ON JACOBS SURVEY DATED 2/27/2022.
- C PROMPTLY INFORM THE OWNER OF ANY DISCREPANCY DISCOVERED OR CONFLICT BETWEEN THE DRAWINGS OR SPECIFICATIONS.
- D SHADE SAIL STRUCTURES ARE DESIGN INTENT AND INTENDED TO BE A DEFERRED SUBMITTAL.
- E PROJECT SITE IS LAND TREATMENT D.

KEYNOTES

- 200 SIDEWALK, RE: 1/C2.400 AND L2.100
- 201 PLANTING BED, RE: L2.100
- 202 LIGHT DUTY CONCRETE PAVEMENT, RE: 3/C2.400
- 203 SYNTHETIC TURF DRIVE LANE, RE: 2/C2.400
- 204 SYNTHETIC TURF, RE: 4/C2.400
- 205 COLORED CONCRETE PAVING, RE: L2.100
- 206 DECOMPOSED GRANITE, RE: L2.100
- 207 AMPHITHEATER SEATING, RE: C2.401 AND L2.100
- 208 AMPHITHEATER STAIRS, RE: C2.401 AND L2.100
- 209 POND A, WITH 2 INCH MAXIMUM DEPTH
- 210 POND B, WITH 2 INCH MAXIMUM DEPTH
- 211 POND C, WITH 2 INCH MAXIMUM DEPTH
- 212 POND D, WITH 2 INCH MAXIMUM DEPTH

LEGEND

- EXISTING EDGE OF CONCRETE
- EXISTING EDGE OF ASPHALT
- EXISTING RIP RAP LINE
- EXISTING BUSH OUTLINE
- EXISTING CONTOUR
- CONTOUR
- MATCH EXISTING ELEVATION
- ALUMINUM CAP
- BRASS CAP
- EXISTING FIRE HYDRANT
- EXISTING TEST HOLE
- EXISTING ELECTRIC INLET
- EXISTING LIGHT
- EXISTING TREE DECIDUOUS
- EXISTING TREE CONIFEROUS
- EXISTING BUSH CONIFEROUS
- EXISTING DOG TRASH CAN
- EXISTING SIGN
- PIER
- DECOMPOSED GRANITE RE: L2.100
- LIGHT DUTY CONCRETE PAVEMENT, RE: 3/C2.400
- VEHICULAR-RATED SYNTHETIC TURF, RE: 2/C2.400
- SIDEWALK, RE: 1/C2.400
- SYNTHETIC TURF, RE: 4/C2.400
- ROCK MULCH
- COLORED CONCRETE PAVING, RE: L2.100

POND CALCULATIONS: REQUIRED INFILTRATION VOLUME = 70.45 CU FT

NAME	KEYNOTE	AREA (SQ FT)	INFILTRATION VOLUME (CU FT)
POND A	209	150.06	25.06
POND B	210	152.23	25.42
POND C	211	21.50	3.59
POND D	212	111.52	18.62
TOTAL		435.31	72.69

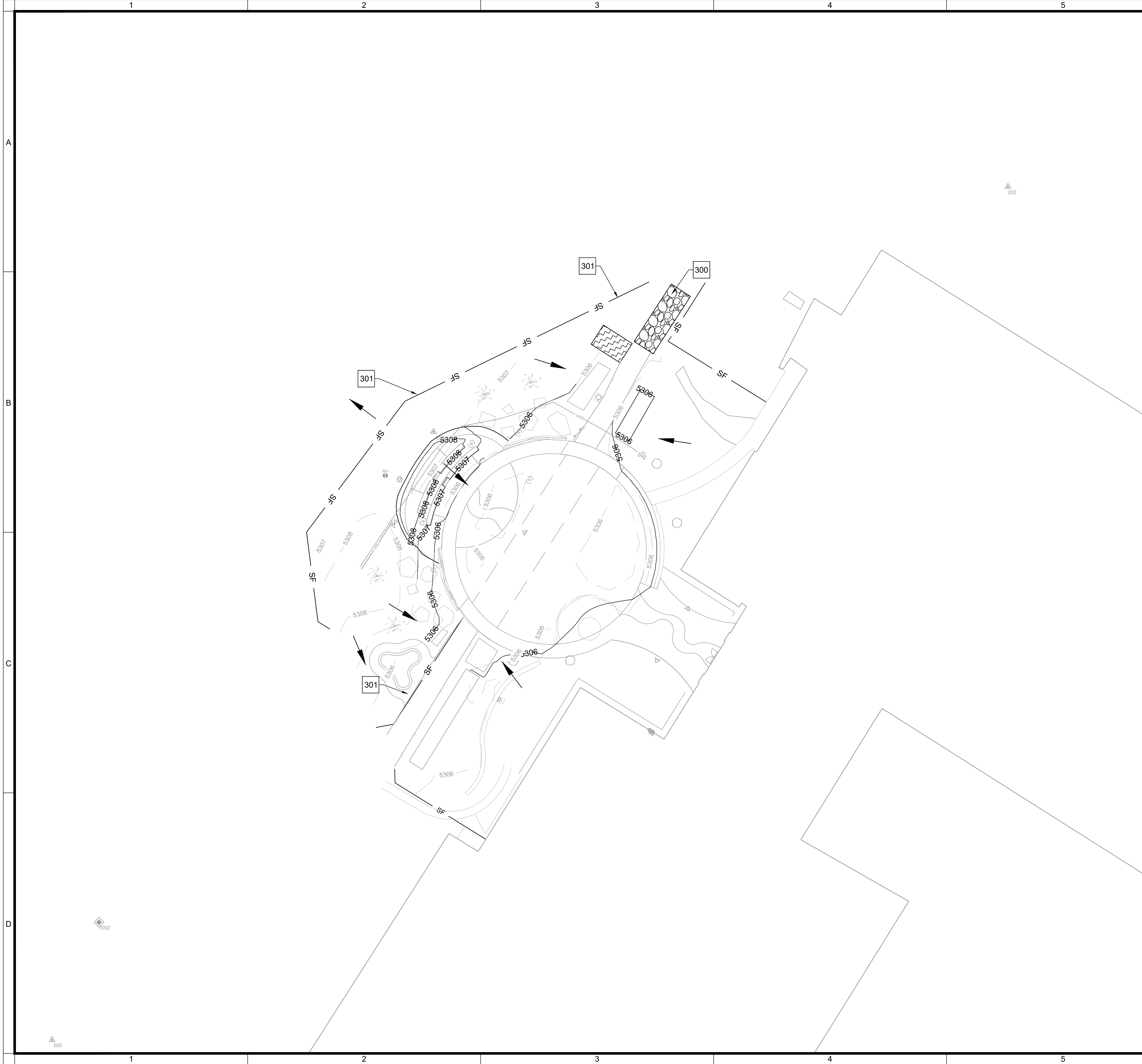
PLAN REVISION DESCRIPTION
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PROJECT STATUS LOG:		
PLAN SET	ISSUE DATE	OWNER PROGRESS REVIEW #1
A	03/15/2022	60% PRICING SET
B	03/25/2022	

BVDG JOB NUMBER:	1730678
DRAWN BY:	DB/RS
PLAN CHECK NO:	DS
SHEET TITLE	

SITE, PAVING, AND GRADING PLAN

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GENERAL NOTES

A

CONTOURS ARE AT 1' INTERVALS

B

REFER TO SHEET C2.402 FOR EROSION CONTROL DETAILS

KEYNOTES

300

CONSTRUCTION ENTRANCE, RE: 3/C2.402

301

SILT FENCE, RE: 4/C2.402

LEGEND

99


EXISTING CONTOUR

99

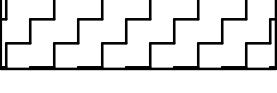
CONTOUR

SF


SILT FENCE, RE: 4/C2.402




CONSTRUCTION ENTRANCE, RE: 3/C2.402



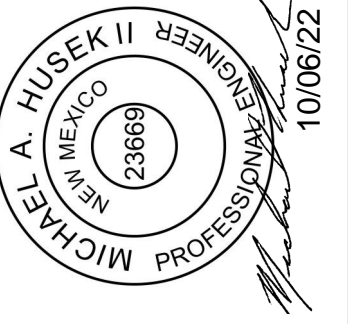
CONCRETE WASHOUT, RE: 5/C2.402



PRE-CONSTRUCTION GRADING
FLOW DIRECTION





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LANDSCAPE ARCHITECTURE
URBAN DESIGN
1645 GRANT ST
DENVER, CO 80203
(303) 825-2010





PROFESSIONAL ENGINEER
MICHAEL A. HUSEK
NEW MEXICO
2366
10/06/22

PLAN REVISION DESCRIPTION










Know what's below.
Call 811 before you dig.

REFER TO THE SHEET INDEX ON SHEET
C2.402 FOR A COMPLETE LIST OF
DRAWINGS.



JACOBS

Jacobs Engineering Group Inc.
3721 Rutledge Road
Albuquerque, NM 87109

FIDELITY INVESTMENTS
AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:

PLAN SET	ISSUE DATE	OWNER PROGRESS REVIEW #1	60% PRICING SET
A	03/15/2022		
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BVDG JOB NUMBER: 1730678

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SHEET TITLE

EROSION CONTROL PLAN

SHEET NUMBER


C2.101

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




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PLAN REVISION DESCRIPTION





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L2.000 FOR A COMPLETE LIST OF
DRAWINGS.

FIDELITY INVESTMENTS
ALBUQUERQUE AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

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A	03/15/2022	OWNER PROGRESS REVIEW #1
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C	06/20/2022	VE SET
D	09/14/2022	AGENCY SUBMITTAL #1

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DRAWN BY: DB/RS
PLAN CHECK NO: PENDING

SHEET TITLE

CONSTRUCTION
LEGEND

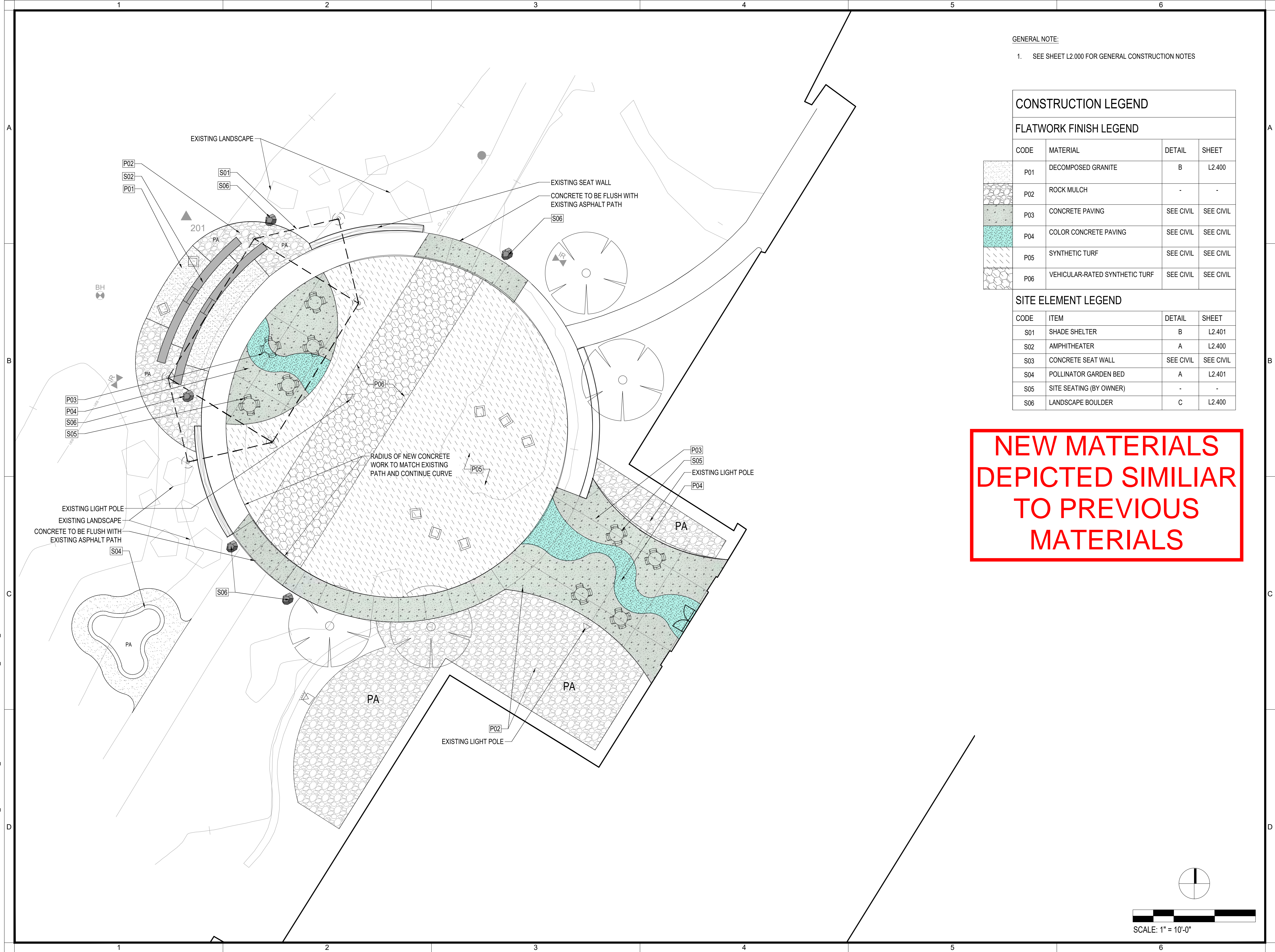
SHEET NUMBER

L2.001

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CONSTRUCTION DOCUMENTS

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GENERAL NOTE:

1. SEE SHEET L2.000 FOR GENERAL CONSTRUCTION NOTES

CONSTRUCTION LEGEND

FLATWORK FINISH LEGEND

CODE	MATERIAL	DETAIL	SHEET
P01	DECOMPOSED GRANITE	B	L2.400
P02	ROCK MULCH	-	-
P03	CONCRETE PAVING	SEE CIVIL	SEE CIVIL
P04	COLOR CONCRETE PAVING	SEE CIVIL	SEE CIVIL
P05	SYNTHETIC TURF	SEE CIVIL	SEE CIVIL
P06	VEHICULAR-RATED SYNTHETIC TURF	SEE CIVIL	SEE CIVIL

SITE ELEMENT LEGEND

CODE	ITEM	DETAIL	SHEET
S01	SHADE SHELTER	B	L2.401
S02	AMPHITHEATER	A	L2.400
S03	CONCRETE SEAT WALL	SEE CIVIL	SEE CIVIL
S04	POLLINATOR GARDEN BED	A	L2.401
S05	SITE SEATING (BY OWNER)	-	-
S06	LANDSCAPE BOULDER	C	L2.400

NEW MATERIALS
DEPICTED SIMILIAR
TO PREVIOUS
MATERIALS



PLAN REVISION DESCRIPTION

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REFER TO THE SHEET INDEX ON SHEET
L2.000 FOR A COMPLETE LIST OF
DRAWINGS.

FIDELITY INVESTMENTS
ALBUQUERQUE AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:

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OWNER PROGRESS REVIEW #1

60% PRICING SET

VE SET

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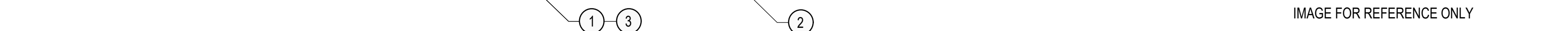
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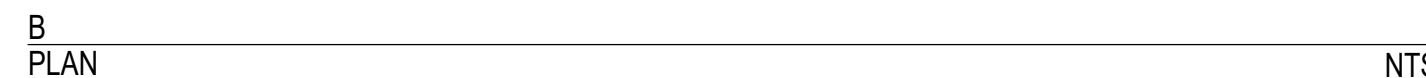
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SHEET TITLE

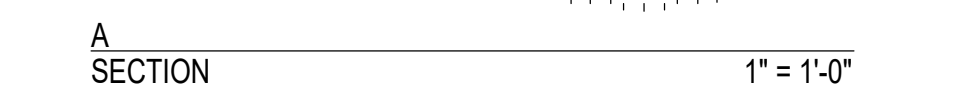




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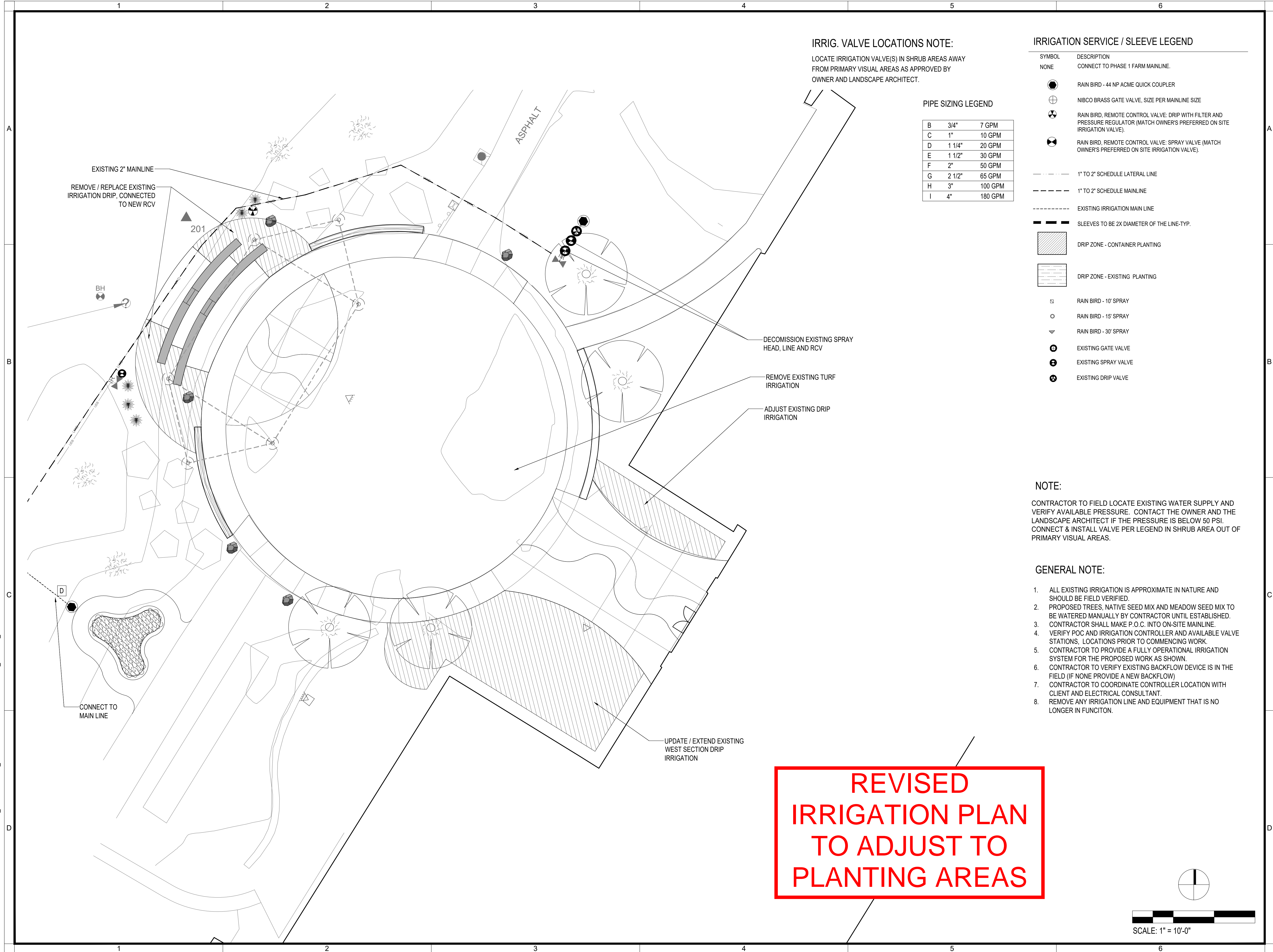


- ## NOTES
1. DETAILS ARE FOR DESIGN INTENT ONLY. SHADE SAIL IS NOT A PART OF DOCUMENT SET SUBMITTAL. SHADE SAIL DRAWINGS ARE TO BE DEFERRED SUBMITTAL.
 2. SHOP DRAWINGS ARE TO BE REVIEWED AND STAMPED/APPROVED BY STRUCTURAL ENGINEER. TO BE PROVIDED BY SHADE SAIL STRUCTURE MANUFACTURER.
 3. SEE SHEET L2.000 CONSTRUCTION NOTES FOR SHOP DRAWINGS/SUBMITTAL NOTES.
 4. SEE SHEET L2.001 FOR CONSTRUCTION LEGEND AND SHADE SAIL INFORMATION.



- NOTES**
1. SEE SHEET L2.001 FOR CONSTRUCTION LEGEND AND SHADE SAIL INFORMATION.
 2. REFER TO LEGEND FOR MATERIAL, COLOR AND FINISH
 3. PITCH TOP OF WALL CAP TO DRAIN.
 4. ALL STONES AT JOINTS SHALL BE SAWCUT FOR CLEAN, TIGHT FIT.
 5. ALL STONES SHALL BE LAID IN LEVEL HORIZONTAL PLANKS, PLUMB VERTICAL PLAINES.

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IRRIG. VALVE LOCATIONS NOTE:

LOCATE IRRIGATION VALVE(S) IN SHRUB AREAS AWAY FROM PRIMARY VISUAL AREAS AS APPROVED BY OWNER AND LANDSCAPE ARCHITECT.

PIPE SIZING LEGEND

B	3/4"	7 GPM
C	1"	10 GPM
D	1 1/4"	20 GPM
E	1 1/2"	30 GPM
F	2"	50 GPM
G	2 1/2"	65 GPM
H	3"	100 GPM
I	4"	180 GPM

IRRIGATION SERVICE / SLEEVE LEGEND

SYMBOL	DESCRIPTION
NONE	CONNECT TO PHASE 1 FARM MAINLINE.
	RAIN BIRD - 44 NP ACME QUICK COUPLER
	NIBCO BRASS GATE VALVE, SIZE PER MAINLINE SIZE
	RAIN BIRD, REMOTE CONTROL VALVE: DRIP WITH FILTER AND PRESSURE REGULATOR (MATCH OWNER'S PREFERRED ON SITE IRRIGATION VALVE).
	RAIN BIRD, REMOTE CONTROL VALVE: SPRAY VALVE (MATCH OWNER'S PREFERRED ON SITE IRRIGATION VALVE).

	1" TO 2" SCHEDULE LATERAL LINE
	1" TO 2" SCHEDULE MAINLINE
	EXISTING IRRIGATION MAIN LINE
	SLEEVES TO BE 2X DIAMETER OF THE LINE-TYP.
	DRIP ZONE - CONTAINER PLANTING
	DRIP ZONE - EXISTING PLANTING
	RAIN BIRD - 10' SPRAY
	RAIN BIRD - 15' SPRAY
	RAIN BIRD - 30' SPRAY
	EXISTING GATE VALVE
	EXISTING SPRAY VALVE
	EXISTING DRIP VALVE

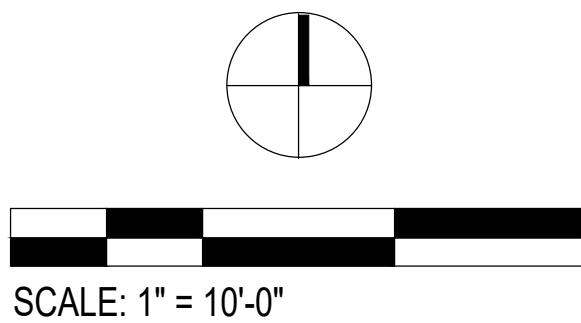
NOTE:

CONTRACTOR TO FIELD LOCATE EXISTING WATER SUPPLY AND VERIFY AVAILABLE PRESSURE. CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT IF THE PRESSURE IS BELOW 50 PSI. CONNECT & INSTALL VALVE PER LEGEND IN SHRUB AREA OUT OF PRIMARY VISUAL AREAS.

GENERAL NOTE:

- ALL EXISTING IRRIGATION IS APPROXIMATE IN NATURE AND SHOULD BE FIELD VERIFIED.
- PROPOSED TREES, NATIVE SEED MIX AND MEADOW SEED MIX TO BE WATERED MANUALLY BY CONTRACTOR UNTIL ESTABLISHED.
- CONTRACTOR SHALL MAKE P.O.C. INTO ON-SITE MAINLINE.
- VERIFY POC AND IRRIGATION CONTROLLER AND AVAILABLE VALVE STATIONS, LOCATIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROVIDE A FULLY OPERATIONAL IRRIGATION SYSTEM FOR THE PROPOSED WORK AS SHOWN.
- CONTRACTOR TO VERIFY EXISTING BACKFLOW DEVICE IS IN THE FIELD (IF NONE PROVIDE A NEW BACKFLOW)
- CONTRACTOR TO COORDINATE CONTROLLER LOCATION WITH CLIENT AND ELECTRICAL CONSULTANT.
- REMOVE ANY IRRIGATION LINE AND EQUIPMENT THAT IS NO LONGER IN FUNCTION.

REVISED
IRRIGATION PLAN
TO ADJUST TO
PLANTING AREAS



PLAN REVISION DESCRIPTION

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REFER TO THE SHEET INDEX ON SHEET
L300 FOR A COMPLETE LIST OF
DRAWINGS.

FIDELITY INVESTMENTS
ALBUQUERQUE AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:

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BVDG JOB NUMBER:	1730678
DRAWN BY:	DB/RS
PLAN CHECK NO:	PENDING

SHEET TITLE

IRRIGATION PLAN





























































SHEET NUMBER

L3.100

BRIGHTVIEW DESIGN GROUP

CONSTRUCTION DOCUMENTS

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	1	2	3	4	5	6																																																																																																																																																												
A	I. CONTRACTOR'S LANDSCAPE WORK RESPONSIBILITIES:			IV. GENERAL PLANTING NOTES:																																																																																																																																																														
	<p>A. SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL PLANTING ELEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.</p> <p>B. CONFORMANCE: ALL PLANTING WORK SHALL CONFORM TO APPLICABLE LOCAL, COUNTY AND/OR STATE CODES, REGULATIONS AND RULES.</p> <p>C. LICENSE: ALL WORK SHALL BE PERFORMED BY STATE LICENSED CONTRACTOR.</p> <p>D. PERMITS AND INSPECTIONS: THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL PERMITS, AND AGENCY INSPECTIONS AS REQUIRED.</p> <p>E. INSURANCE: THE CONTRACTOR SHALL CARRY ALL WORKMENS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY ALL APPLICABLE CODES, REGULATIONS AND BY THE OWNER (JOB SUPERINTENDENT).</p> <p>F. SITE VERIFICATION: PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AFFECTING THE INTENDED DESIGN OF THE LANDSCAPE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) IMMEDIATELY.</p> <p>G. LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SETBACKS OR ANY OTHER LEGAL PROPERTY RESTRICTION EITHER MARKED OR UNMARKED.</p> <p>H. COORDINATION OF ACTIVITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF REQUIRED ACTIVITIES WITH ALL OTHER TRADES THROUGH THE OWNER (JOB SUPERINTENDENT).</p> <p>I. FIELD STAKING: PRIOR TO INSTALLATION, THE CONTRACTOR SHALL LOCATE BY STAKES, OR OTHER MEANS, ALL CONTAINER TREES, SHRUBS AND VINE LOCATIONS AND HEADER BOARD/MOW CURB LAYOUT FOR APPROVAL BY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT.</p> <p>J. NOTIFICATION OF DISCREPANCIES: ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ALL WORK RELATED TO THE PROBLEM AREA SHALL CEASE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED BY THE OWNER (JOB SUPERINTENDENT) OR LANDSCAPE ARCHITECT IN WRITING. ANY CONTINUATION OF WORK IS AT THE CONTRACTOR'S RISK AND EXPENSE.</p> <p>K. LIABLE FOR DAMAGE: THE CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ALL UTILITIES, CONSTRUCTION, IRRIGATION AND PLANTING ELEMENTS, EXISTING OR NEW, MARKED OR UNMARKED, AND SHALL REPAIR OR REPLACE ANY DAMAGED IMPROVEMENTS IN MANNER ACCEPTABLE TO THE OWNER (JOB SUPERINTENDENT).</p> <p>L. LIABLE FOR LOSS: THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY LOSS TO EQUIPMENT, PARTS AND MATERIALS ON THIS PROJECT UNTIL COMPLETION AND ACCEPTANCE OF THE JOB IN WRITING FROM THE OWNER (JOB SUPERINTENDENT).</p> <p>M. WRITTEN GUARANTEE: ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF PROJECT. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE ON HIS LETTERHEAD AT THE TIME OF THE FINAL INSPECTION.</p> <p>N. WRITTEN CERTIFICATION: THE CONTRACTOR SHALL PROVIDE A WRITTEN CERTIFICATION THAT THE PLANTING WORK IS INSTALLED IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS, ANY APPROVED SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS OR SPECIFICATIONS SHALL BE NOTED. THIS CERTIFICATION SHALL BE ON THE CONTRACTOR'S LETTERHEAD WITH HIS SIGNATURE AND CONTRACTOR'S LICENSE NUMBER.</p> <p>O. PLANT MATERIALS APPROVAL: THE CONTRACTOR SHALL, WITHIN FIFTEEN (15) WORKING DAYS FOLLOWING AWARD OF CONTRACT, SUBMIT TO THE OWNER AND LANDSCAPE ARCHITECT A COMPLETE LIST OF REQUIRED CONTAINER AND FLATTED GROUNDCOVER MATERIAL. THE LIST SHALL INCLUDE EACH TREE, SHRUB AND GROUNDCOVER: THEIR BOTANICAL AND COMMON NAME, EACH REQUIRED QUANTITY AND SIZE, THEIR NURSERY SOURCE LOCATIONS AND NURSERY SALES PERSON TO CONTACT; THEIR SPECIFICATIONS AS TO HEIGHT, SPREAD AND TRUNK CALIPER AT ONE FOOT (1') ABOVE GRADE (FOR TREES); A REPRESENTATIVE PHOTO OF EACH REQUIRED TREE SHALL ACCOMPANY THE SUBMITTAL.</p>			<p>1. SITE PREPARATION: PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT, THE CONTRACTOR SHALL REMOVE ALL ROCKS, WEEDS, DEBRIS, AND OTHER EXTRANEOUS MATERIAL FROM THE JOB SITE AND DISPOSE OF IT OFF-SITE IN A SUITABLE AND LAWFUL MANNER.</p> <p>2. PLANTING AREAS: UPON COMPLETION OF ALL IRRIGATION WORK, ALL PLANTING AREAS SHALL BE SPRAYED WITH A SYSTEMIC HERBICIDE, CLEARED AND GRUBBED OF SURFACE WEED GROWTH; AND SHALL BE WEED FREE PRIOR TO PROCEEDING WITH ANY PLANTING WORK.</p> <p>3. FINISH GRADE: THE CONTRACTOR SHALL ESTABLISH FINISH GRADE A MINIMUM OF SIX INCHES (6") BELOW THE FINISH FLOOR OF BUILDINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SMOOTH EVEN FINISH GRADES AT BUILDINGS, WALKS, OTHER PERMANENT OBJECTS AND LIMITS OF WORK. ALL CHANGES IN GRADE SHALL BE BLENDED UNIFORM VERTICAL CURVES. ALL AREAS TO BE PLANTED IN TURF SHALL BE SMOOTHED WITH RAKES AND FLOATS TO THE OWNER'S (JOB SUPERINTENDENT) SATISFACTION. OBJECTS SUCH AS ROCKS, DEBRIS, CLOOS OR OTHER EXTRANEOUS MATERIAL SHALL BE STOCK-PILED AND REMOVED.</p> <p>4. DRAINAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRAINAGE IN ALL PLANTING AREAS IN ACCORDANCE WITH THE PLANS, DETAILS, AND SPECIFICATIONS AT A MINIMUM 2% GRADIENT UNLESS OTHERWISE SPECIFIED ON CIVIL PLANS.</p> <p>5. IMPORT SOIL: ON-SITE SOIL SHALL BE USED FOR ALL LANDSCAPE BERMS AND MOUNDING. WHEN ON-SITE SOIL IS NOT AVAILABLE, IMPORT SOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:</p> <p>A. SILT PLUS CLAY CONTENT OF THE IMPORT SOIL SHALL NOT EXCEED 20% BY WEIGHT WITH A MINIMUM 95% PASSING THE 2.0 MM. SIEVE. THE SODIUM ABSORPTION RATIO (SAR) SHALL NOT EXCEED 6.0 MM. AND THE ELECTRICAL CONDUCTIVITY (EC) OF THE SATURATION EXTRACT OF THIS SOIL SHALL NOT EXCEED 3.0 MMHOS/CM AT 250C. THE BORON CONTENT OF THIS SOIL SHALL BE NO GREATER THAN 1 PPM AS MEASURED ON THE SATURATION EXTRACT. IN ORDER TO INSURE CONFORMANCE, SAMPLES OF THE IMPORT SOIL SHALL BE SUBMITTED TO THE SOIL LABORATORY FOR ANALYSIS PRIOR TO IMPORT ON SITE.</p> <p>6. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE OF A SIZE, CHARACTER AND QUALITY WHICH MEETS THE ACCEPTED INDUSTRY STANDARDS FOR THAT PLANT AND BE FREE FROM INSECTS, THEIR EGGS, DISEASE, WEEDS, OR OTHER DETRIMENTAL CHARACTERISTICS.</p> <p>7. HANDLING/STORAGE: ALL PLANTS SHALL BE HANDLED AND STORED SO THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, SUN, WINDBURN, VANDALISM OR ANY OTHER INJURY. FOR REJECTION OF PLANT MATERIAL, THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT MAY REJECT ANY AND ALL PLANT MATERIAL REGARDED AS UNSUITABLE AT ANY TIME. SUCH PLANTS SHALL BE REMOVED FROM THE JOB SITE IMMEDIATELY AND BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.</p> <p>9. PLANTING: ALL PLANT MATERIAL SHALL BE AS SPECIFIED AND PLANTED AS DETAILED AND NOTED HEREIN.</p> <p>10. GROUNDCOVER PLANTING: ALL GROUNDCOVER AREAS NOTED ON THE PLANS SHALL BE PLANTED WITH ROOTED CUTTINGS FROM FLATS IN STAGGERED ROWS CONTINUOUSLY UNDER TREES AND SHRUBS AT THE SPACING INDICATED ON THE PLANS.</p> <p>11. SOIL PREPARATION: ALL PLANTING AREAS TO RECEIVE GROUNDCOVER FROM FLATS AND/OR TURF (EXCEPT GROUNDCOVER AREAS ON SLOPES 3:1 OR GREATER) SHALL RECEIVE AMENDMENTS PER HORTICULTURAL SOILS REPORT AND SHALL BE UNIFORMLY BLENDED INTO THE UPPER SURFACE SOIL TO A DEPTH AS REQUIRED IN THE HORTICULTURAL SOILS REPORT. FOR AMENDMENT AMT./PER 1000 SQ. FT. REFER TO HORTICULTURAL SOILS REPORT.</p> <p>12. BACKFILL MIX: BACKFILL MIX AROUND ALL CONTAINER PLANT MATERIALS SHALL CONSIST OF THE FOLLOWING UNIFORMLY BLENDED MATERIALS:</p> <p>REFER TO HORTICULTURAL SOILS REPORT</p> <p>13. PLANTING TABLETS: AS INDICATED ON THE DETAILS, PLANT TABLETS SHALL BE 'GRO-POWER' PLANTING TABLETS 12-8-8 (7 GRAM OR EQUAL) AND SHALL BE FURNISHED IN THE FOLLOWING RATES. PLANT TABLETS SHALL BE PLACED AT THE TOP OF THE ROOTBALL, APPROXIMATELY TWO INCHES (2") FROM ROOT TIP AT EVEN SPACING AROUND THE PLANT.</p> <p>A. THREE (3) TABLETS PER ONE (1) GALLON CONTAINER</p> <p>B. NINE (9) TABLETS PER FIVE (5) GALLON CONTAINER</p> <p>C. FIFTEEN (15) TABLETS PER FIFTEEN (15) GALLON CONTAINER</p> <p>D. SIXTEEN (16) TABLETS PER TWENTY INCH (20") BOX AND TWENTY-FOUR INCH (24") BOX</p> <p>E. TWENTY (20) TABLETS PER THIRTY INCH (30") BOX AND THIRTY-SIX INCH (36") BOX</p> <p>F. TWENTY-TWO (22) TABLETS PER FORTY-TWO INCH (42") BOX AND FORTY-EIGHT INCH (48") BOX</p> <p>G. THIRTY-SIX (36) TABLETS PER SIXTY INCH (60") BOX</p> <p>H. FORTY-FIVE (45) TABLETS PER SEVENTY-TWO INCH (72") BOX</p> <p>I. FORTY-EIGHT (48) TABLETS PER EIGHTY-FOUR INCH (84") BOX</p> <p>14. VINES: ALL VINES SHALL BE PLANTED AS HAVE PER THE SHRUB/VINE PLANTING DETAIL AND SHALL THE WOOD SUPPORT STAKE CAREFULLY REMOVED WITHOUT DAMAGE TO THE PLANT OR ROOTBALL.</p> <p>A. MASONRY WALLS: ON MASONRY WALLS, USE ADHESIVE TYPE</p> <p>B. VINE SUPPORTS WITH SILICONE ADHESIVE AND HEAVY DUTY VINE TIES. ON MASONRY WALLS, INSTALL A MINIMUM OF FIVE (5) LOCATIONS PER EACH FIVE (5) GALLON VINE AND TEN (10) LOCATIONS PER EACH FIFTEEN (15) GALLON VINE.</p>																																																																																																																																																														
	II. OWNER'S CONSTRUCTION WORK RESPONSIBILITIES:			V. ESTABLISHMENT MAINTENANCE NOTES:																																																																																																																																																														
	<p>A. CONSTRUCTION RESPONSIBILITIES: THE OWNER WILL BE DIRECTLY RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING ALL LANDSCAPE INSPECTIONS. ALL FIELD MEETINGS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT) TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE IN A SUPPORT OBSERVATION ROLE TO THE OWNER (JOB SUPERINTENDENT) PROVIDING INTERPRETIVE ADVICE ONLY IN ACCORDANCE WITH THE OBSERVATION SCHEDULE AS NOTED.</p> <p>B. DETERMINING LEGAL AND PHYSICAL ELEMENTS: OWNER (JOB SUPERINTENDENT) SHALL BE RESPONSIBLE FOR DETERMINING PROPERTY LINES, RIGHT-OF-WAYS, TRACT BOUNDARIES, GRADES, EASEMENTS, UTILITY LOCATIONS (ABOVE AND BELOW GRADE) AND ANY OTHER LEGAL OR PHYSICAL ELEMENTS AS REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE WORK. CONTRACTOR SHALL NOT BE PERMITTED TO PROCEED WITH ANY WORK WITHOUT DETERMINATION OF THE ABOVE INFORMATION.</p> <p>C. ROUGH GRADE: OWNER (JOB SUPERINTENDENT) SHALL PROVIDE ROUGH GRADE TO WITHIN 1/16TH OF ONE FOOT FROM FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE AND DRAINAGE OF ALL CONSTRUCTION ELEMENTS AT SPECIFIED GRADIENT.</p> <p>D. SITE DISCREPANCIES: ALL DISCREPANCIES IN SITE CONDITIONS, DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. IT IS THE OWNERS (JOB SUPERINTENDENTS) RESPONSIBILITY TO CONSULT THE LANDSCAPE ARCHITECT PRIOR TO ANY FURTHER WORK IN THE DISCREPANCY AREA. ANY UNREPORTED DISCREPANCY AND CONTINUED WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND LANDSCAPE ARCHITECT SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE.</p> <p>E. CONTRACT FULFILLMENT: ALL QUESTIONS RELATING TO INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS, QUALITY OF WORK AND ACCEPTABLE FULFILLMENT OF INTENT OF THE CONTRACT DOCUMENTS SHALL BE DECIDED BY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT CONCURRENTLY.</p>			<p>1. ESTABLISHMENT MAINTENANCE PERIOD: THE MAINTENANCE PERIOD SHALL COMMENCE UPON THE OWNER'S WRITTEN APPROVAL OF ALL PHASES OF PLANTING INSTALLATION AND SHALL BE FOR THE PERIOD OF TIME AS FOLLOWS:</p> <p>NINETY (90) CONTINUOUS CALENDAR DAYS MIN. OR AS SPECIFIED BY THE OWNER.</p> <p>2. MAINTENANCE PROCEDURES:</p> <p>A. GENERAL: THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, RODENT CONTROL, CLEANUP AND AS NOTED BELOW.</p> <p>B. GROUNDCOVER FROM FLATS WITHOUT OVERSEED: APPLY PRE-EMERGENT HERBICIDE AT THE START OF MAINTENANCE IN ACCORDANCE WITH THE MANUFACTURERS PRINTED INSTRUCTIONS.</p> <p>C. FERTILIZATION: MAINTENANCE WORK SHALL INCLUDE FERTILIZATION WITH THE FOLLOWING FERTILIZER AT THIRTY (30) DAY INTERVALS AFTER PLANTING. REFER TO HORTICULTURAL SOILS REPORT.</p> <p>D. WEEDING: ANY CONCENTRATED DEVELOPMENT OF WEED GROWTH THAT MAY APPEAR IN PLANTING AREAS DURING THE MAINTENANCE PERIOD SHALL BE REMOVED AT TEN (10) DAY INTERVALS. THE CONTRACTOR SHALL REMOVE SUCH CONCENTRATIONS OF WEEDS INCLUDING THEIR ROOTS BY HAND OR IN A MANNER ACCEPTABLE TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT. NOTE: CULTIVATION OF GROUNDCOVER IS NOT ACCEPTABLE.</p> <p>E. RODENT CONTROL: THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO ELIMINATE ANY RODENTS ENCOUNTERED ON SITE.</p> <p>F. CLEAN-UP: DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL KEEP THE PREMISES IN A NEAT AND CLEAN CONDITION AT ALL TIMES.</p> <p>G. PROTECTION OF LANDSCAPE: DURING THE MAINTENANCE PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE PROTECTION OF ALL PLANTING AREAS. ANY DAMAGED AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.</p> <p>H. RE-HYDROSEEDING: THE CONTRACTOR SHALL RE-HYDROSEED ALL HYDROSEED AREAS ERODED OR NON-GERMINATING AT THE END OF EACH THIRTY (30) DAYS OF MAINTENANCE.</p> <p>I. FINAL ACCEPTANCE: WILL BE GIVEN AT THE END OF THE MAINTENANCE PERIOD FOR ALL PLANTED AREAS ONCE HYDROSEED GERMINATION HAS OCCURRED AND ESTABLISHMENT HAS BEEN OBTAINED.</p>																																																																																																																																																														
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<p>A. FIELD OBSERVATION COORDINATION: THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT). THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF THESE PHASES OF WORK IS AT THE CONTRACTOR'S RISK, WITH ANY REQUIRED CHANGE OR MODIFICATIONS AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.</p> <p>B. CONTRACTOR ORIENTATION/PRE-CONSTRUCTION MEETING: THIS MEETING SHALL BE CONDUCTED TO DISCUSS THE SPECIFICATIONS, POSSIBLE DISCREPANCIES, SITE CONDITIONS AND OTHER ASPECTS OF THE PROJECT LANDSCAPE WORK SUCH AS PERSONNEL, SCHEDULE AND REQUIREMENTS FOR STARTING WORK. PRIOR TO THE MEETING, CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH SITE CONDITIONS AND THE PLANS, DETAILS AND SPECIFICATIONS.</p> <p>C. WEED ABATEMENT: THIS OBSERVATION SHALL BE PERFORMED AFTER THE WEED ABATEMENT CYCLE HAS BEEN COMPLETED TO REVIEW THE DEGREE OF WEED KILL.</p> <p>D. PLANT MATERIAL APPROVAL, LAYOUT AND FINE GRADE OBSERVATION: THIS OBSERVATION VISIT SHALL BE PERFORMED AFTER PLACEMENT OR STAKING IN THE FIELD OF ALL PLANT MATERIALS PER THE PLANS. CONTAINER PLANTS SHALL BE PLACED ON SITE. BOXED SPECIMENS SHALL BE STAKED AS TO LOCATION. OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL TYPE AND QUALITY; LOCATIONS OF ALL PLANT MATERIAL; BACKFILL MIX AND FINE GRADE PRIOR TO ANY PLANTING WORK.</p> <p>E. PROGRESS/INSTALLATION INSPECTIONS: PERIODIC INSPECTIONS SHALL BE PERFORMED BY THE OWNER (JOB SUPERINTENDENT) DURING CONSTRUCTION OPERATIONS TO ENSURE CONFORMANCE TO PLANS AND SPECIFICATIONS.</p> <p>F. PLANT MATERIAL/HYDROSEED/PRE-MAINTENANCE OBSERVATION: THIS OBSERVATION WILL BE PERFORMED TO REVIEW ALL WORK UNDER THE CONTRACT FOR COMPLETENESS. SCHEDULING SHALL COINCIDE WITH ANY HYDROSEEDING WORK TO BE PERFORMED UNDER THIS CONTRACT. THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT SHALL VERIFY CONFORMANCE OF HYDROSEED MATERIALS AND SEED PRIOR TO APPLICATION, AND PRIOR TO STARTING THE MAINTENANCE PERIOD.</p> <p>G. MAINTENANCE OBSERVATIONS: THESE OBSERVATION VISITS SHALL BE PERFORMED AT THE END OF EACH THIRTY (30) DAY INTERVAL OF THE MAINTENANCE PERIOD WITH THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT TO ENSURE CONFORMANCE WITH THE MAINTENANCE SPECIFICATIONS. REFER TO SECTION VI, THIS SHEET FOR ADDITIONAL INFORMATION.</p> <p>H. FINAL OBSERVATION/PROJECT SUBSTANTIAL CONFORMANCE: THIS OBSERVATION VISIT WILL BE PERFORMED TO REVIEW ALL ASPECTS OF THE CONTRACTED WORK PRIOR TO RELEASING THE PROJECT TO THE OWNER.</p>			<p>1. ALL LANDSCAPE AREAS SHALL DRAIN TO THE AREA DRAIN AT MIN. 2% OR AS NOTED ON THE CIVIL ENGINEERS GRADING PLAN. FINAL TREE AND SHRUB PLACEMENT TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING.</p> <p>2. THE CONTRACTOR SHALL OBSERVE THE FOLLOWING PLANTING REQUIREMENTS FOR ALL TREES:</p> <p>A. ALL TREES THAT ARE WITHIN 5'-0" OF HARDSCAPE ELEMENTS SHALL HAVE A ROOT BARRIER. TREES SHALL NOT BE PLANTED IN AREAS LESS THAN THE MINIMUM PLANTING AREA SPECIFIED IN THE LEGEND.</p> <p>B. THE CONTRACTOR SHALL VERIFY ALL MINIMUM TREE SPACING REQUIREMENTS PRIOR TO PLANTING. TREES NOT MEETING THE REQUIREMENTS SHALL NOT BE PLANTED AND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ LANDSCAPE ARCHITECT.</p> <p>3. ALL SHRUB PLANTING AREAS TO BE MULCHED WITH A THREE (3") INCH LAYER OF ROCK MULCH (UNLESS D.G. OR PEBBLE MULCH IS SPECIFIED ON CONSTRUCTION SHEETS. SUBMIT MULCH WITH HORTICULTURAL SOILS REPORT PRIOR TO DELIVERY.</p> <p>4. INDICATES TREES PLANTED WITH AN AGENCY APPROVED LINEAR ROOT BARRIER.</p>																																																																																																																																																															
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PLANT LEGEND

SUCCULENTS



CODE

QTY

BOTANICAL NAME

COMMON NAME

SIZE

AC

8

AGAVE CHRYSANTHA

GOLDENFLOWER CENTURY PLANT

5 GAL.

AD

6

ALOINOPSIS SPATHULATA

HARDY LIVING STONE

4" POT

HP

3

HESPERALOE PARVIFLORA

RED YUCCA

5 GAL.

ST

8

SEMPERVIVUM TECTORUM

HEN-AND-CHICKS

4" POT

DECIDUOUS SHRUBS



CODE

QTY

BOTANICAL NAME

COMMON NAME

SIZE

FP

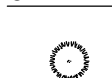
3

FALLUGIA PARADOXA

APACHE PLUME

5 GAL.

ORNAMENTAL GRASSES



CODE

QTY

BOTANICAL NAME

COMMON NAME

SIZE

SM

70

STIPA TENUSSIMA

MEXICAN FEATHER GRASS

1 GAL.

PERENNIALS



CODE

QTY

BOTANICAL NAME

COMMON NAME

SIZE

AA

25

ACHILLEA AGERATIFOLIA

GREEK YARROW

1 GAL.

DC

8

DELOSPERMA COOPERI

PURPLE ICE PLANT

1 GAL.

DY

5

DELOSPERMA NUBIGENUM

ICE PLANT

1 GAL.

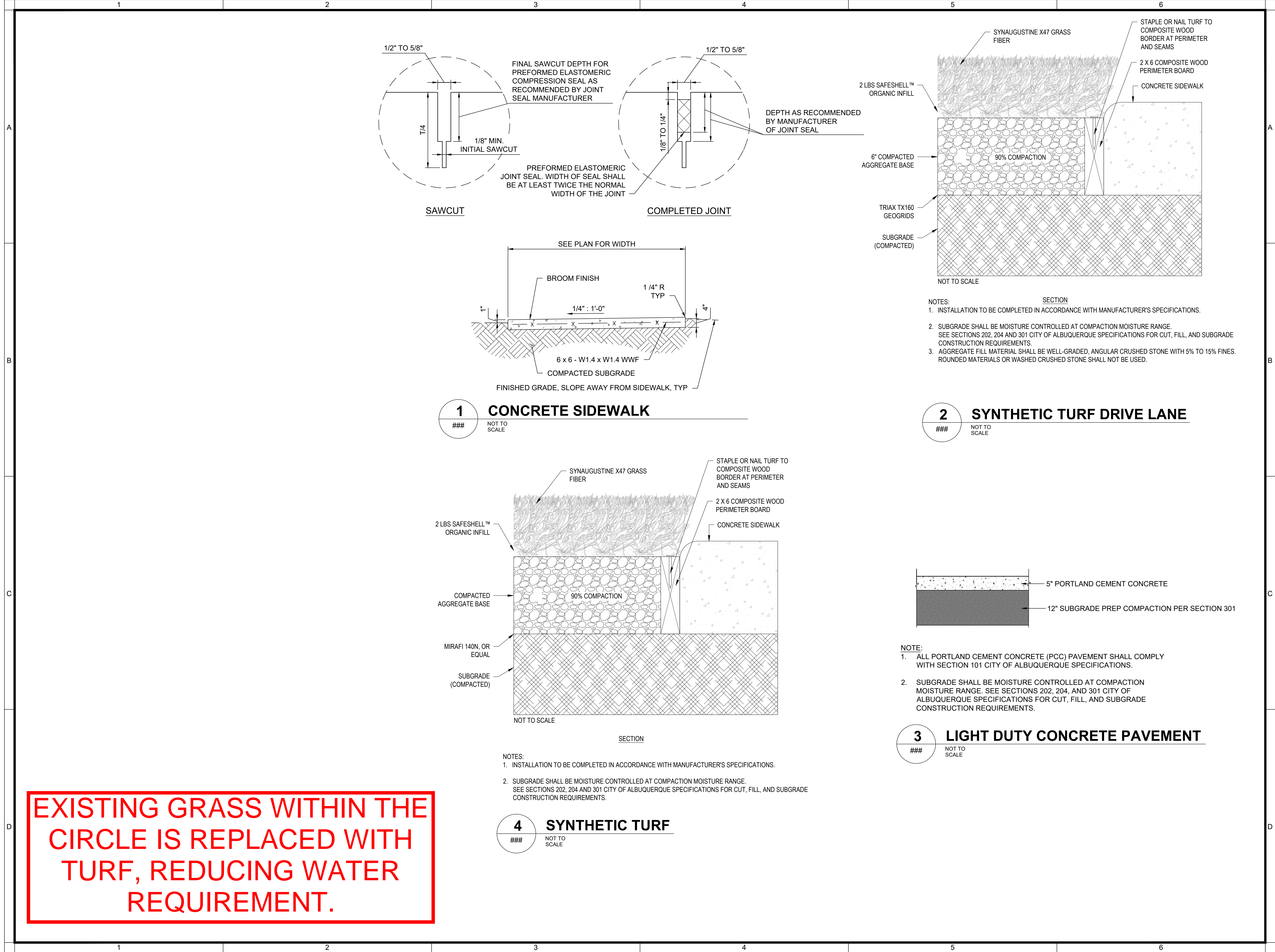
DG

13



CONSTRUCTION DOCUMENTS

U:\BLDG\WFX08609 - FIDELITY - ABQ PATIO SURVEY\DESIGNS\SHEETS\CIVIL\C2.400 - SITE DETAILS.DWG



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1645 GRANT ST
DENVER, CO 80203
(303) 825-2010

10/06/22

PLAN REVISION DESCRIPTION	
△	
△	
△	

Know what's below.
Call 811 before you dig.

REFER TO THE SHEET INDEX ON SHEET C2.400 FOR A COMPLETE LIST OF DRAWINGS.

JACOBS
Jacobs Engineering Group Inc.
3721 Rutledge Road
Albuquerque, NM 87109

FIDELITY INVESTMENTS
AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:	
PLAN SET	ISSUE DATE
A	03/15/2022
B	03/25/2022

OWNER PROGRESS REVIEW #1	60% PRICING SET

BVDG JOB NUMBER: 1730678
DRAWN BY: DB/RS
PLAN CHECK NO: DS

SHEET TITLE

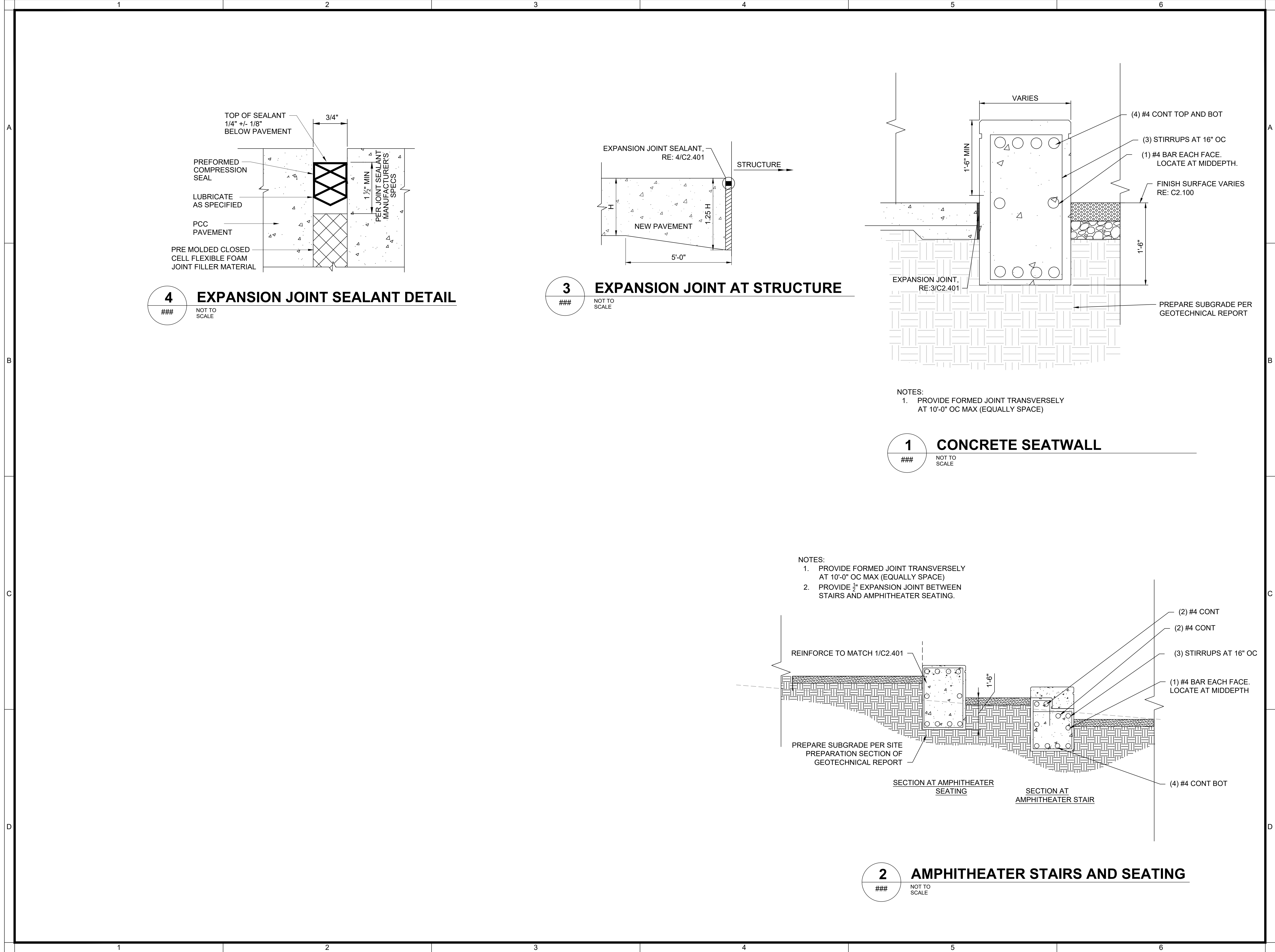
SITE DETAILS

SHEET NUMBER

C2.400

BRIGHTVIEW DESIGN GROUP

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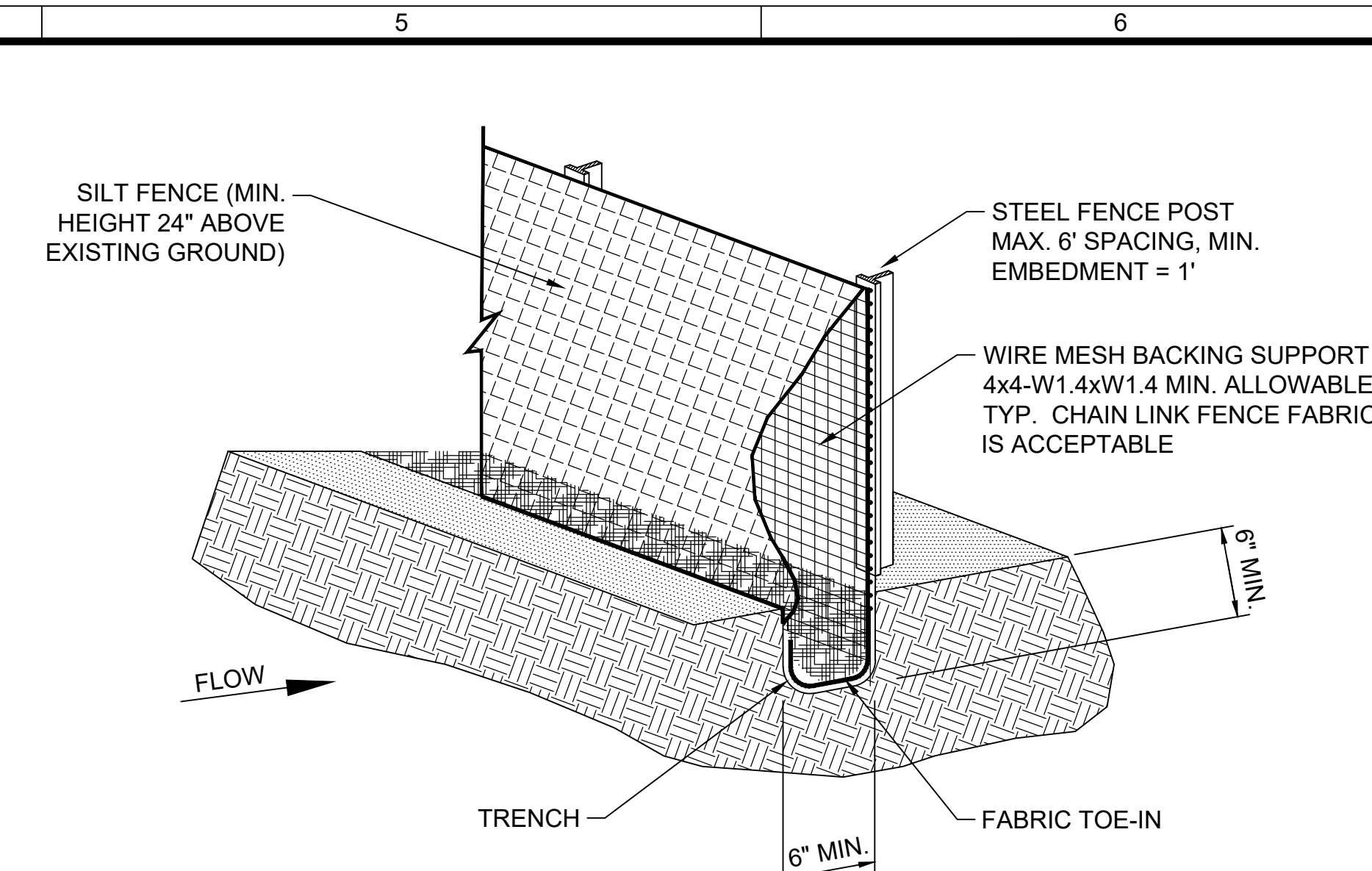
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SITE DETAILS	
SHEET NUMBER	
C2.401	
BRIGHTVIEW DESIGN GROUP	

CONSTRUCTION DOCUMENTS



- ### INLET PROTECTION NOTES:
1. PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
 2. HEIGHT OF BARRIER VARIES. USE STACKS OF 4-INCH, 8-INCH, OR 12-INCH BLOCKS. MIN. HEIGHT OF BARRIER IS 12" AND MAX HEIGHT OF 24".
 3. PLACE HARDWARE CLOTH/WIRE MESH WITH MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE BLOCKS.
 4. THE SEDIMENT FILTER SHALL BE ANY NON-ERODIBLE MATERIAL SUCH AS LOOSE ROCK, BROKEN CONCRETE THAT WILL SLOW THE FLOW OF WATER AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.

