

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

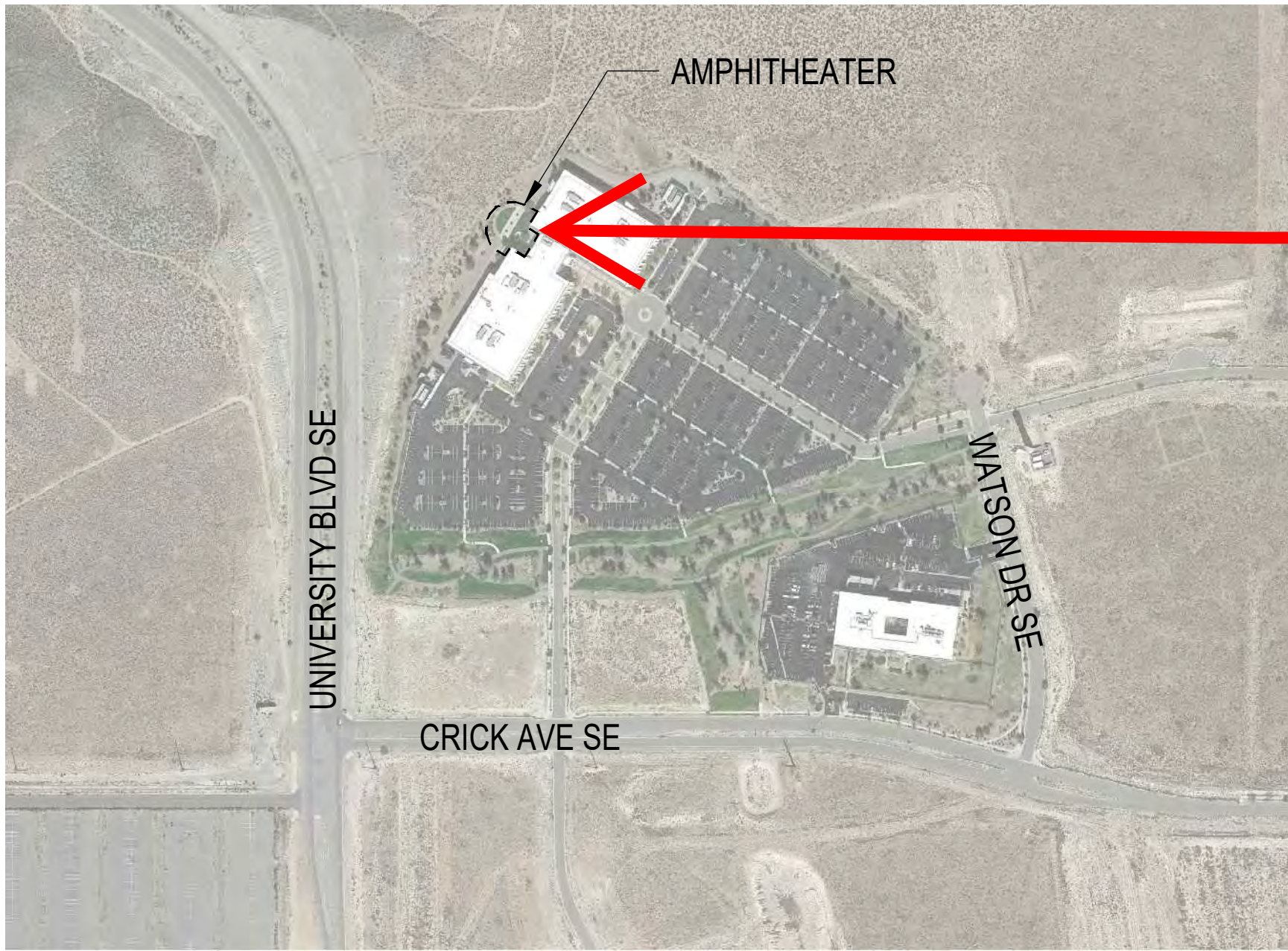
APPROVED BY

DATE

FIDELITY INVESTMENTS
ALBUQUERQUE AMPHITHEATER
5401 WATSON DR SE
ALBUQUERQUE, NM 87106

LANDSCAPE CONSTRUCTION PLANS

SITE LOCATION



PROPOSED SITE
AREA LIMITS

SHEET INDEX

L0.000	COVER	L2.000	CONSTRUCTION NOTES
L1.000	DEMOLITION NOTES	L2.001	CONSTRUCTION LEGEND
L1.100	DEMOLITION PLAN	L2.100	CONSTRUCTION PLAN
C1.000	GENERAL NOTES	L2.400	CONSTRUCTION DETAILS
C1.100	EXISTING CONDITIONS PLAN	L2.401	CONSTRUCTION DETAILS
C2.000	ABBREVIATIONS	L3.100	IRRIGATION PLAN
C2.100	SITE, PAVING AND GRADING PLAN	L4.000	PLANTING NOTES
C2.101	EROSION CONTROL PLAN	L4.001	PLANTING LEGEND
C2.400	SITE DETAILS	L4.100	PLANTING PLAN
C2.401	SITE DETAILS	L4.400	PLANTING DETAILS
C2.402	EROSION CONTROL DETAIL		

GENERAL NOTES

- CONTRACTOR SHALL VERIFY WITH OWNER'S REPRESENTATIVE THAT PLANS ARE CURRENT AND APPROVED.
- WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE, NEW MEXICO.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY AND/OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND/OR TAXES REQUIRED TO INSTALL THE WORK ON THESE PLANS.
- THE CONTRACTOR SHALL BE APPROPRIATELY LICENSED AS REQUIRED BY THE STATE IN WHICH THE WORK TAKES PLACE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES IN EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING THE WORK.
- DETERMINATION OF "EQUAL" SUBSTITUTIONS SHALL BE MADE ONLY BY THE OWNER
- SITE OBSERVATION BY THE LANDSCAPE ARCHITECT DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND GOVERNING CODES.
- THIS FIRM DOES NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THIS FIRM DOES NOT DIRECT THE CONTRACTOR'S OBSERVATIONS, AND IS NOT RESPONSIBLE FOR THE SAFETY OF PERSONNEL OTHER THAN OUR OWN ON THE SITE; THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS PRESENTED HEREIN TO BE UNSAFE.

NOTIFICATIONS

CLIENT

FIDELITY REAL ESTATE COMPANY
5401 WATSON DR SE
ALBUQUERQUE, NM 87106
CONTACT: MARTHA ORENDAIN
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CIVIL ENGINEER

JACOBS
777 MAIN ST
FORT WORTH, TX 76102
CONTACT: KATE KENNEDY
EMAIL: KATHYRIYA.KENNEDY@JACOBS.COM
PHONE: 817.735.7051

GENERAL CONTRACTOR

TO BE DETERMINED

LANDSCAPE ARCHITECT


BRIGHTVIEW DESIGN GROUP
1645 GRANT STREET
DENVER, CO 92618
CONTACT: RYAN SAND
EMAIL: RYAN.SAND@BRIGHTVIEW.COM
PHONE: 303.328.7056

APPROVALS


PLAN CHECK #

DEPARTMENT OF BUILDING AND SAFETY
ALBUQUERQUE, NM

ACCEPTED (PRINT NAME) SIGNATURE DATE



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1645 GRANT ST
DENVER, CO 80203
(303) 825-2010



STATE OF NEW MEXICO
GLEN P. SHARAR
#330
REGISTERED
LANDSCAPE ARCHITECT
06/20/2022


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PLAN REVISION DESCRIPTION

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REFER TO THE SHEET INDEX ON SHEET L0.000 FOR A COMPLETE LIST OF DRAWINGS.

FIDELITY INVESTMENTS
ALBUQUERQUE AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PLAN SET	ISSUE DATE	PROJECT STATUS LOG:
A	03/15/2022	OWNER PROGRESS REVIEW #1
B	03/25/2022	60% PRICING SET
C	06/20/2022	VE SET
D	09/14/2022	AGENCY SUBMITTAL #1

BVDG JOB NUMBER: 1730678
DRAWN BY: DB/RS
PLAN CHECK NO: PENDING

SHEET TITLE

COVER

SHEET NUMBER

L0.000

BRIGHTVIEW DESIGN GROUP

L:\PROJECT DIRECTORY\2021 PROJECTS\1730678_FIDELITY MP\00_MISC FIDELITY PROJECTS\1730678_FIDELITY_ABO06-CAD\02-SHEETS\100-DEMO SERIES.DWG

	1	2	3	4	5	6
A						
B						
C						
D						

PREPARATION:

1. PROTECT BENCHMARKS, STAKES, AND SIMILAR ITEMS FROM DAMAGE.
2. PROTECT AND MAINTAIN EXISTING UTILITIES AND UNDERGROUND WORK TO REMAIN.
- 3.. PROTECT EXISTING TREES AND OTHER VEGETATION, NOT NOTED FOR DEMOLITION.
4. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE 72 HOURS PRIOR TO BEGINNING OF OPERATIONS.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
6. CONTRACTOR SHALL VERIFY LOCATION OF CUT UTILITY, STORM WATER AND IRRIGATION LINES WITH OWNER'S REPRESENTATIVE PRIOR TO WORK.
7. REPORT ALL EXISTING DAMAGE TO OWNER'S REPRESENTATIVE PRIOR TO STARTING ALL WORK.
8. CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS TO REMAIN.
9. CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING DEMOLITION OPERATIONS.
10. CONTRACTOR SHALL LAYOUT ALL DEMOLITION LINES AND VERIFY WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF DEMOLITION OPERATIONS. PAVEMENT TO BE DEMOLISHED SHALL BE SAW-CUT TO FULL DEPTH. SAW CUTS SHALL ALIGN WITH NEAREST CONTROL / EXPANSION / CONSTRUCTION JOINTS UNLESS OTHERWISE NOTED. LOCATION OF ALL SAW CUTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE, PRIOR TO BEGINNING OF DEMOLITION OPERATIONS.
11. ALL MATERIAL DESIGNATED FOR DEMOLITION AND/ OR REMOVAL SHALL BE COMPLETELY REMOVED FROM PROJECT SITE AND LEGALLY DISPOSED OF UNLESS OTHERWISE NOTED.
12. EXISTING IRRIGATION SYSTEMS SHALL REMAIN AND BE PROTECTED THROUGHOUT ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL MAKE TEMPORARY PROVISIONS AS NECESSARY TO MAINTAIN THE OPERATIONS OF THESE FACILITIES DURING ALL PHASES OF CONSTRUCTION. THE EXISTING IRRIGATION SYSTEM SERVICES THE SURROUNDING LANDSCAPE AREAS NOT PART OF THE PROJECT SCOPE AND SHALL MAINTAIN THESE OPERATIONS ACCORDINGLY.
13. NOTIFICATION OF DISCREPANCIES: ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ALL WORK RELATED TO THE PROBLEM AREA SHALL CEASE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED BY THE OWNER (JOB SUPERINTENDENT) OR LANDSCAPE ARCHITECT IN WRITING. ANY CONTINUATION OF WORK PRIOR TO THE RESOLUTION OF DISCREPANCIES IS AT THE CONTRACTOR'S RISK AND EXPENSE.

REMOVALS:

14. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE. PROTECT-IN-PLACE (OR RESTORE EXISTING CONDITION) LANDSCAPE TO REMAIN NOT WITHIN LIMITS.
15. THE CONTRACTOR SHALL REMOVE ALL ITEMS AND MATERIALS AS DESIGNATED ON THE CONSTRUCTION PLANS, OR OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE, WITHOUT DISTURBING EXISTING ADJACENT IMPROVEMENTS.
16. UTILITY DEMOLITION AND PROTECTION:
 - CONTACT THE UTILITY LOCATE SERVICE PRIOR TO STARTING ANY WORK.
 - ALL UTILITY SERVICES SHALL BE IDENTIFIED BEFORE DEMOLITION WORK STARTS.
 - ALL DISMANTLED / DEMOLISHED ITEMS SHALL NOT BE USED FOR REROUTING / NEW CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE ALL ISOLATION, DISCONNECTION AND SHUT OFF OF UTILITY SYSTEMS WITH THE OWNER'S REPRESENTATIVE AND THE APPLICABLE UTILITY PROVIDER A MINIMUM OF SEVEN (7) DAYS PRIOR TO AFFECTING SERVICE OF ANY UTILITY.
 - ALL DISMANTLED / DEMOLISHED ITEMS SHALL BE EITHER DISPOSED OR HANDED OVER TO THE OWNER.
 - IN AREAS WHERE EXISTING MATERIALS ARE SPECIFIED TO REMAIN, THE CONTRACTOR SHALL COORDINATE ALL REMOVALS WITH OWNER'S REPRESENTATIVE TO ENSURE APPROPRIATE CONNECTIONS AND TRANSITIONS TO NEW MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL MATERIALS DESIGNATED TO REMAIN DAMAGED BY CONSTRUCTION OPERATIONS.
 - WHERE EXISTING IRRIGATION SERVICES ARE DESIGNATED FOR REMOVAL, CONTRACTOR SHALL REMOVE SYSTEMS AND EQUIPMENT IN A MANNER TO NOT DISRUPT IRRIGATION SERVICES TO REMAIN. IRRIGATION LINES BEYOND THE REMOVAL AREA SHALL BE CAPPED OR RE-ROUTED AS NECESSARY.
 - LANDSCAPE AREAS SHALL BE REMOVED AS INDICATED ON THE DEMOLITION PLANS INCLUDING ALL PLANT MATERIAL, MULCH, TOPSOIL, AND RELATED IRRIGATION SYSTEM AS INDICATED ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - CLEARING: REMOVE BRUSH AND VEGETATION FROM AREAS DESIGNATED TO BE CLEARED. AS DIRECTED BY THE OWNER'S REPRESENTATIVE, TRIM LOW HANGING, UNSOUND, OR UNSIGHTLY BRANCHES ON TREES AND SHRUBS DESIGNATED TO REMAIN. MAKE CUTS FLUSH WITH TRUNK OR BRANCH.
 - GRUBBING: REMOVE ALL STUMPS, ROOTS, AND DEBRIS A MINIMUM OF 18 INCHES BELOW ORIGINAL GROUND IN ALL AREAS AS REQUIRED. USE HAND METHODS FOR GRUBBING INSIDE DRIP LINE OF TREES TO REMAIN. FILL STUMP AND ROOT HOLES AS SPECIFIED IN BACKFILLING.

RESTORATION:


- BACKFILLING: HOLES AND PITS CREATED BY REMOVING EXISTING STRUCTURES AND MATERIALS SHALL BE BACKFILLED AND COMPACTED WITH SATISFACTORY SOIL MATERIAL. THIS MATERIAL SHALL BE PLACED IN LIFTS, MOISTURE TREATED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND SPECIFICATIONS. THE BACKFILL SHALL BE GRADED TO WITHIN PLUS OR MINUS 0.1 FOOT OF THE ELEVATIONS INDICATED ON THE FINAL DRAWINGS. ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, AND DEBRIS.

DISPOSAL:

- ALL MATERIALS THAT ARE TO BE SALVAGED AND STOCKPILED FOR REUSE, WHETHER TEMPORARILY FOR REUSE OR FOR DISPOSITION BY THE OWNER, SHALL BE PROTECTED FROM CONTAMINATION, DEFACEMENT, DEGRADATION, ADVERSE WEATHER CONDITION, AND VANDALISM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- EXCESS ORGANIC, EARTH AND STONE MATERIALS MAY BE STOCKPILED ON SITE-PROVIDED THEY ARE NOT CONTAMINATED.
- PRESSURE TREATED & WOOD RAILINGS, METALS AND ASPHALT SHALL BE RECYCLED/DISPOSED OF OFF SITE. ALL DISPOSAL RECORDS AND DISPOSAL LOCATION'S CERTIFICATE TO OPERARTE SHALL BE PROVIDED TO OWNERS OR OWNER'S REPRESENTATIVE.
- ANY AND ALL MATERIALS REMOVED, UNLESS DESIGNATED TO BE SALVAGED OR REUSED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF OFFSITE IN A LEGAL MANNER.


TREE PROTECTION:

- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING TREES AND VEGETATION NOTED TO REMAIN DURING THE CONSTRUCTION PERIOD IN ACCORDANCE WITH OWNER'S REPRESENTATIVE DIRECTION AND INDUSTRY BEST PRACTICES. ALL EXISTING TREES TO REMAIN SHALL BE FENCED TO THE DRIP LINE / CANOPY TO PREVENT UNAUTHORIZED DISTURBANCE OR COMPACTION IN THE ROOT ZONE OF THE TREE. ALL WORK COMPLETED WITHIN THE TREE'S DRIP LINE / CANOPY SHALL BE COMPLETED BY HAND LABOR UNLESS OTHERWISE AUTHORIZED BY THE OWNER'S REPRESENTATIVE.



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN


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10/06/22


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PLAN REVISION DESCRIPTION	
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Know what's below.
Call 811 before you dig.

REFER TO THE SHEET INDEX ON SHEET
03000 FOR A COMPLETE LIST OF
DRAWINGS.



JACOBS

Jacobs Engineering Group Inc.
3721 Rutledge Road
Albuquerque, NM 87109

FIDELITY INVESTMENTS
AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:	
PLAN SET	ISSUE DATE
A	03/15/2022
B	03/25/2022

OWNER PROGRESS REVIEW #1	60% PRICING SET

BVDG JOB NUMBER: 1730678

DRAWN BY: DB/RS

PLAN CHECK NO: PENDING

SHEET TITLE

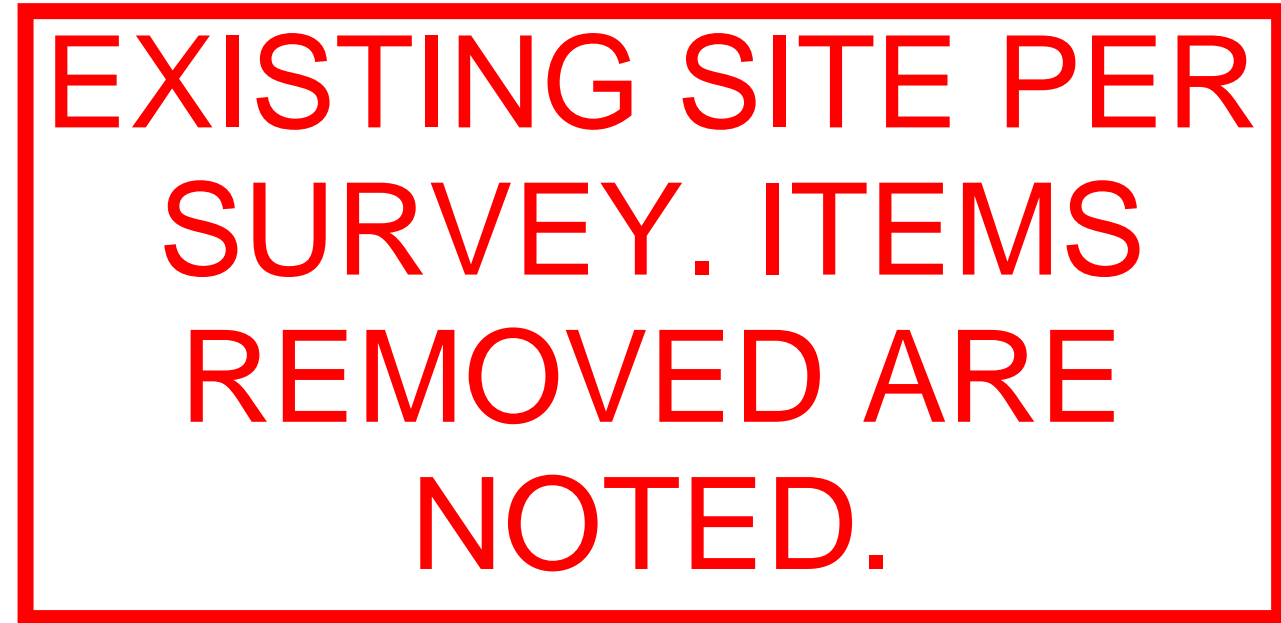
DEMOLITION NOTES

SHEET NUMBER

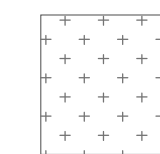
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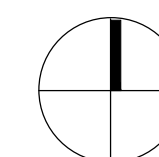
CONSTRUCTION DOCUMENTS



1. SEE SHEET L1.000 FOR GENERAL DEMOLITION NOTES.
2. TRANSPLANTED SOTOLS: DIG OUT AROUND EXISTING PLANT MATERIAL UNDER CROWN AND APPLY SUPER THRIVE TRANSPLANT AMENDMENT TO CUTS AND ABRASIONS ON THE STEM FROM REMOVAL. STORE ON SITE FOR REPLANTING, WATER WEEKLY.
3. TRANSPLANTED/PROTECTED PLANT MATERIAL: WORK IS TO BE DONE UNDER SUPERVISION OF PROFESSIONAL ARBORIST/HORTICULTURIST. IF DEATH OF PLANT MATERIAL IS DETERMINED FAULT BY CONTRACTOR, CONTRACTOR IS TO PROVIDE LIKE SIZE REPLACEMENT OR CREDIT OF EQUAL VALUE OF LOST PLANT MATERIAL. REPLACEMENT VALUE TO BE DETERMINED BY ARBORIST / HORTICULTURIST.



EXISTING SOFTSCAPE/PLANTING TO BE REMOVED



SCALE: 1" = 10'-0"

EXCAVATION AND GRADING REQUIREMENTS

1. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, LATEST EDITION DATE JANUARY, 9, 2019 AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. ALL SPECIFICATIONS REFERENCED HEREIN REFER TO THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL UNLESS INDICATED OTHERWISE.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL, THROUGHOUT CONSTRUCTION, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD, LATEST EDITION) AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION TRAFFIC CONTROL STANDARDS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS AND CODES. THE CONTRACTOR SHALL FENCE AND/OR BARRICADE THE CONSTRUCTION AREA AS REQUIRED TO PROTECT ADJACENT SITES, VEHICULAR TRAFFIC AND PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE OSHA AND NRS CHAPTER 618. IN THE CONSTRUCTION PRACTICES FOR ALL EMPLOYEES DIRECTLY ENGAGED IN THE CONSTRUCTION OF SAID PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PIPING, UTILITIES, STRUCTURES ADJACENT TO STREETS AND ALL OTHER EXISTING IMPROVEMENTS.
5. THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE PONDING AND/OR EROSION. THE CONTRACTOR SHALL ALSO INSTALL EROSION AND RUN-OFF CONTROL MEASURES AT PUBLIC ROADS AND DRAINAGE WAYS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A NEAT AND ORDERLY MANNER THROUGHOUT THE CONSTRUCTION PROCESS. ALL MATERIALS SHALL BE STORED WITHIN APPROVED CONSTRUCTION AREAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR CLEANING OF ALL MUD, DIRT, DEBRIS, ETC. FROM ANY AND ALL ADJACENT STREETS AND SIDEWALKS.
8. NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES.
9. CONSTRUCTION OF STREET IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS.
10. INSPECTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE UNIFORM ADMINISTRATIVE CODE 2020 EDITION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAYOUTS OF LINES AND GRADES PROVIDED BY A NEW MEXICO LICENSED SURVEYOR.

1. CLEARING AND GRUBBING, SUB-GRADE PREPARATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.
2. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
3. NO FENCE OR OTHER OBSTRUCTION WHICH INTERFERES WITH DISCHARGE SHALL BE CONSTRUCTED WITHIN THE DRAINAGE OR STORM DRAIN EASEMENTS. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF ALBUQUERQUE REGULATIONS.

1. THE CONTRACTOR SHALL PROVIDE A FULL DEPTH CUT AND SMOOTH TRANSITION AT CONNECTIONS TO EXISTING PAVEMENT AND CURB.
2. ALL SIDEWALKS AND ACCESSIBLE PATHS SHALL CONFORM TO THE NEW MEXICO A.D.A. TRANSITION PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE
3. THE CONTRACTOR SHALL NOT STAND, PARK, DRIVE ON, OR IN ANY WAY DISTURB OR DAMAGE STEEL REINFORCING FOR SITE WORK. ALL REINFORCING SHALL BE INSTALLED WITH CHAIRS PER THE PLANS AND SPECIFICATIONS.
4. SUBGRADE SHALL BE MAINTAINED TO WITHIN THE SPECIFIED REQUIREMENTS OF MOISTURE AND DENSITY UNTIL PAVING IS PLACED. PRIOR TO PLACING PAVEMENT, THE CONTRACTOR SHALL RE-TEST THE AREAS SELECTED BY THE CONSTRUCTION MATERIALS TESTING LAB PERSONNEL AT THE CONTRACTOR'S EXPENSE OR IF REQUESTED BY THE OWNER, ARCHITECT OR ENGINEER, AND IF THE SUBGRADE HAS BEEN PLACED AND ACCEPTED FOR LONGER THAN TEN (10) DAYS AND NO PAVEMENT HAS BEEN CONSTRUCTED.
5. RADIAL JOINTS SHALL BE NO SHORTER THAN 15'.
6. CONTRACTOR SHALL AVOID CONSTRUCTING IRREGULAR SHAPED PANELS AN IRREGULAR SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE, WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 25%, OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR

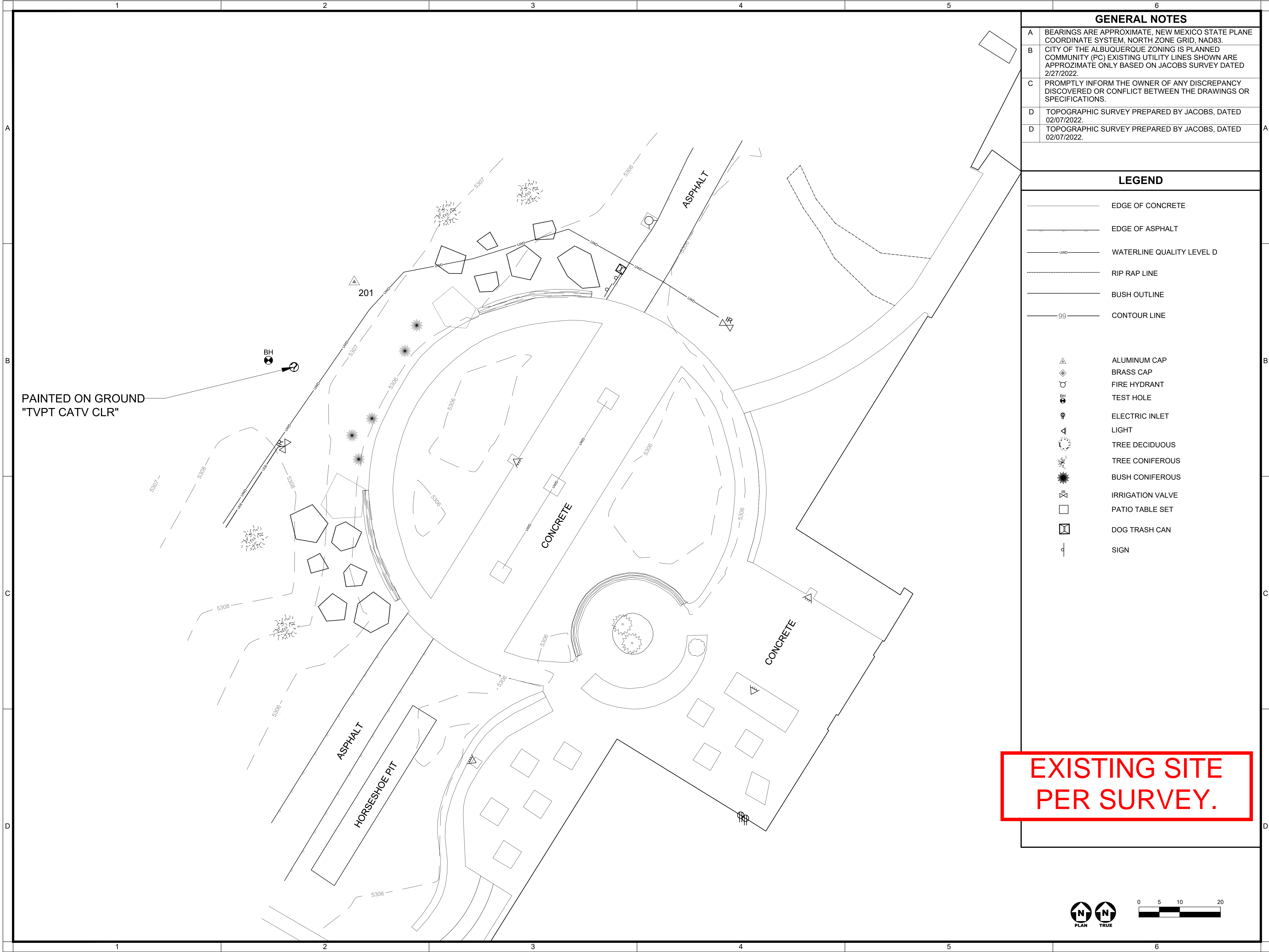
1. CONTRACTOR TO MAINTAIN ACCESS TO ALL EXISTING BUSINESSES AND RESIDENTIAL PROPERTIES AT ALL TIMES.
2. CONTRACTOR SHALL SUBMIT A PHASING AND TRAFFIC CONTROL PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION IF APPLICABLE.

1. THIS TOPOGRAPHIC SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY JACOBS TO DETERMINE OWNERSHIP, RIGHTS OF WAY OR EASEMENTS OF RECORD, NO CURRENT TITLE POLICY, COMMITMENT OR REPORT WAS PROVIDED TO AID IN THE PREPARATION OF THIS SURVEY. THIS DOCUMENT DOES NOT REPRESENT A BOUNDARY SURVEY.
2. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF ONE INCH EQUALS 60 FEET WITH A ONE FOOT CONTOUR INTERVAL.
3. COORDINATE DATUM: PROJECT COORDINATES ARE MODIFIED NEW MEXICO STATE PLANE CENTRAL ZONE (3002) NAD83(2011) COORDINATES. THE COMBINED ELEVATION/SCALE FACTOR USED TO MODIFY THE COORDINATES FROM STATE PLANE TO PROJECT COORDINATES IS 1.0003363728.
4. MODIFIED STATE PLANE SCALE FACTOR WAS DERIVED FROM THE RECIPROCAL OF THE COMBINED FACTOR FOR NGS HORIZONTAL CONTROL MONUMENT LOUDON (PID: EQ0887), AS MONUMENTED BY A BRONZE STATION DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "LOUDON 1946", WITH A NAVD(88) PROJECT ELEVATION OF 5316.26' STATION IS LOCATED, AIRLINE, ABOUT 4 MILES SOUTH OF THE ALBUQUERQUE MUNICIPAL AIRPORT, 4 MILES EAST OF U.S. HIGHWAY 85, 3/4 MILES NORTH-NORTHWEST OF A RADIO RANGE STATION, ON FLAT SANDY PASTURE LAND ABOUT 30 FEET EAST OF THE EDGE WHERE IT BREAKS OFF INTO THE RIO GRANDE VALLEY
5. HORIZONTAL POSITIONS ARE TIED TO NGS CONTROL POINT LOUDON: LATITUDE 34-59-53.657'13 N, LONGITUDE 106-37-40.21246 W. HORIZONTAL POSITIONS WERE ESTABLISHED WITH REDUNDANT GPS OBSERVATIONS OF POINTS 700-712.
6. BASIS OF BEARINGS: BEARING USED IN THE CALCULATION OF COORDINATES ARE BASED ON A GRID BEARING OF N01°19'06"E FROM POINT 7001 (CITY OF ALBUQUERQUE 2-R15), AS MONUMENTED BY A 3.25" BRASS CAP STAMPED 2_R15 2006, TO 7002 (CITY OF ALBUQUERQUE 4_Q15), AS MONUMENTED BY A 3.25" BRASS CAP STAMPED 4_Q15 2006.
7. BASIS OF ELEVATIONS: PROJECT ELEVATIONS ARE BASED ON NGS BENCHMARK S 224, AS MONUMENTED BY A 3 INCH BRASS CAP, WITH A PUBLISHED ELEVATION OF 4843.28. MONUMENT IS LOCATED 6.3 MILES FROM ALBUQUERQUE, 6.3 MILES SOUTH ALONG THE ATCHISON, TOPEKA AND SANTA FE RAILROAD FROM THE STATION AT ALBUQUERQUE, AT A ROAD CROSSING, 227 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF TRESTLE 908 A, 89 FEET SOUTH OF THE CENTER LINE OF A ROAD, 36 FEET WEST OF THE CENTER LINE OF A DIRT ROAD, 48.4 FEET EAST OF THE EAST RAIL, 10.8 FEET EAST OF A TELEPHONE POLE, 2 FEET WEST OF A FENCE, 1.2 FEET NORTH OF A WITNESS POST, SET IN TOP OF CONCRETE POST WHICH PROJECTS 0.3 FOOT ABOVE THE GROUND. ELEVATIONS WERE ESTABLISHED WITH DIFFERENTIAL LEVELS.
8. CONTROL MONUMENTS WERE SET AND OBSERVED ON APRIL 13, 2021, AND ADJUSTED ON APRIL 14, 2021.
9. LINEAR AND ELEVATION UNITS FOR THIS SURVEY ARE U.S. SURVEY FEET.

1. ON-SITE GRANULAR OR APPROVED IMPORTED FILL SOILS SHALL BE COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR EQUIVALENT STANDARD (AASHTO T-180).
2. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR RETAIN A LICENSED GEOTECHNICAL ENGINEER TO PERFORM REGULAR ONSITE INSPECTION DURING GRADING AND EXCAVATION ACTIVITY.

BVDG JOB NUMBER:	1730678
DRAWN BY:	DB/RS
PLAN CHECK NO:	DS
SHEET TITLE	
GENERAL NOTES	
SHEET NUMBER	
C1.000	
BRIGHTVIEW DESIGN GROUP	

U:\BLDG\WFX08609 - FIDELITY - ABQ PATIO SURVEY\DESIGNS\SHEETS\CIVIL\C1.100 - EXISTING CONDITIONS.DWG



GENERAL NOTES

- A BEARINGS ARE APPROXIMATE, NEW MEXICO STATE PLANE COORDINATE SYSTEM, NORTH ZONE GRID, NAD83.
- B CITY OF THE ALBUQUERQUE ZONING IS PLANNED COMMUNITY (PC) EXISTING UTILITY LINES SHOWN ARE APPROXIMATE ONLY BASED ON JACOBS SURVEY DATED 2/27/2022.
- C PROMPTLY INFORM THE OWNER OF ANY DISCREPANCY DISCOVERED OR CONFLICT BETWEEN THE DRAWINGS OR SPECIFICATIONS.
- D TOPOGRAPHIC SURVEY PREPARED BY JACOBS, DATED 02/07/2022.
- D TOPOGRAPHIC SURVEY PREPARED BY JACOBS, DATED 02/07/2022.

LEGEND

- EDGE OF CONCRETE
- EDGE OF ASPHALT
- WATERLINE QUALITY LEVEL D
- RIP RAP LINE
- BUSH OUTLINE
- CONTOUR LINE
- ALUMINUM CAP
- BRASS CAP
- FIRE HYDRANT
- TEST HOLE
- ELECTRIC INLET
- LIGHT
- TREE DECIDUOUS
- TREE CONIFEROUS
- BUSH CONIFEROUS
- IRRIGATION VALVE
- PATIO TABLE SET
- DOG TRASH CAN
- SIGN

BrightView
Design Group

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

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10/06/22

PROFESSIONAL SEAL

NEW MEXICO
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MICHAEL A. HUSEK II
ENGINEER

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**FIDELITY INVESTMENTS
AMPHITHEATER**

LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:	
PLAN SET	ISSUE DATE
A	03/15/2022
B	03/25/2022

OWNER PROGRESS REVIEW #1	60% PRICING SET

BVDG JOB NUMBER: 1730678

DRAWN BY: DB/RS

PLAN CHECK NO: DS

SHEET TITLE


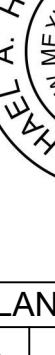


EXISTING CONDITIONS PLAN

SHEET NUMBER

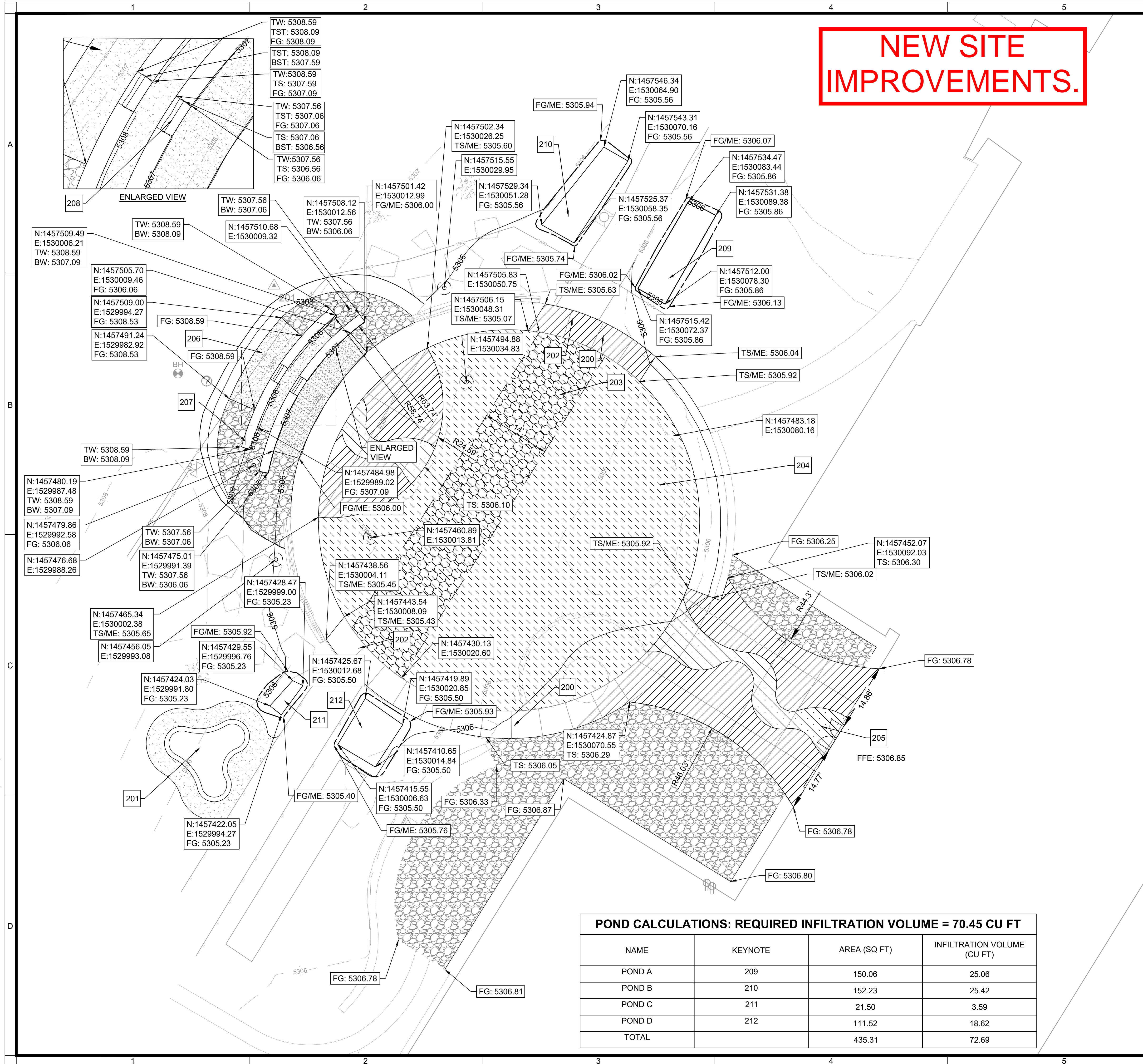
C1.100

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CONSTRUCTION DOCUMENTS

 <p>BrightView Design Group</p>		PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN 1645 GRANT ST. DENVER, CO 80203 (303) 825-2010																																													
		10/08/22 <small>I hereby certify that I am a duly Licensed Professional Engineer in the State of New Mexico, and I am the author of the design shown on this drawing. I have prepared this drawing in accordance with the requirements of the Board of Engineers and Architects of the State of New Mexico.</small>																																													
PLAN REVISION DESCRIPTION																																															
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<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">PLAN SET</th> <th style="width: 15%;">ISSUE DATE</th> <th style="width: 40%;">PROJECT STATUS LOG:</th> <th style="width: 30%;"></th> </tr> </thead> <tbody> <tr> <td>A</td> <td>03/15/2022</td> <td>OWNER PROGRESS REVIEW #1</td> <td></td> </tr> <tr> <td>B</td> <td>03/25/2022</td> <td>60% PRICING SET</td> <td></td> </tr> <tr><td> </td><td></td><td></td><td></td></tr> <tr><td> </td><td></td><td></td><td></td></tr> <tr><td> </td><td></td><td></td><td></td></tr> <tr><td> </td><td></td><td></td><td></td></tr> <tr><td> </td><td></td><td></td><td></td></tr> <tr><td> </td><td></td><td></td><td></td></tr> <tr><td> </td><td></td><td></td><td></td></tr> <tr><td> </td><td></td><td></td><td></td></tr> </tbody> </table>				PLAN SET	ISSUE DATE	PROJECT STATUS LOG:		A	03/15/2022	OWNER PROGRESS REVIEW #1		B	03/25/2022	60% PRICING SET																																	
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BRIGHTVIEW DESIGN GROUP																																															

U:\BLDG\WFX08609 - FIDELITY - ABQ PATIO SURVEY\DESIGNS\SHEETS\CIVIL\C2.100 - SITE, PAVING, AND GRADING PLAN.DWG



NEW SITE IMPROVEMENTS.

GENERAL NOTES

- A BEARINGS ARE APPROXIMATE, NEW MEXICO STATE PLANE COORDINATE SYSTEM, NORTH ZONE GRID, NAD83.
- B CITY OF THE ALBUQUERQUE ZONING IS PLANNED COMMUNITY (PC) EXISTING UTILITY LINES SHOWN ARE APPROXIMATE ONLY BASED ON JACOBS SURVEY DATED 2/27/2022.
- C PROMPTLY INFORM THE OWNER OF ANY DISCREPANCY DISCOVERED OR CONFLICT BETWEEN THE DRAWINGS OR SPECIFICATIONS.
- D SHADE SAIL STRUCTURES ARE DESIGN INTENT AND INTENDED TO BE A DEFERRED SUBMITTAL.
- E PROJECT SITE IS LAND TREATMENT D.

KEYNOTES

- 200 SIDEWALK, RE: 1/C2.400 AND L2.100
- 201 PLANTING BED, RE: L2.100
- 202 LIGHT DUTY CONCRETE PAVEMENT, RE: 3/C2.400
- 203 SYNTHETIC TURF DRIVE LANE, RE: 2/C2.400
- 204 SYNTHETIC TURF, RE: 4/C2.400
- 205 COLORED CONCRETE PAVING, RE: L2.100
- 206 DECOMPOSED GRANITE, RE: L2.100
- 207 AMPHITHEATER SEATING, RE: C2.401 AND L2.100
- 208 AMPHITHEATER STAIRS, RE: C2.401 AND L2.100
- 209 POND A, WITH 2 INCH MAXIMUM DEPTH
- 210 POND B, WITH 2 INCH MAXIMUM DEPTH
- 211 POND C, WITH 2 INCH MAXIMUM DEPTH
- 212 POND D, WITH 2 INCH MAXIMUM DEPTH

LEGEND

- EXISTING EDGE OF CONCRETE
- EXISTING EDGE OF ASPHALT
- EXISTING RIP RAP LINE
- EXISTING BUSH OUTLINE
- 99- - - - - EXISTING CONTOUR
- 99- - - - - CONTOUR
- MATCH EXISTING ELEVATION
- ALUMINUM CAP
- BRASS CAP
- EXISTING FIRE HYDRANT
- EXISTING TEST HOLE
- EXISTING ELECTRIC INLET
- EXISTING LIGHT
- EXISTING TREE DECIDUOUS
- EXISTING TREE CONIFEROUS
- EXISTING BUSH CONIFEROUS
- EXISTING DOG TRASH CAN
- EXISTING SIGN
- PIER
- DECOMPOSED GRANITE RE: L2.100
- LIGHT DUTY CONCRETE PAVEMENT, RE: 3/C2.400
- VEHICULAR-RATED SYNTHETIC TURF, RE: 2/C2.400
- SIDEWALK, RE: 1/C2.400
- SYNTHETIC TURF, RE: 4/C2.400
- ROCK MULCH
- COLORED CONCRETE PAVING, RE: L2.100

POND CALCULATIONS: REQUIRED INFILTRATION VOLUME = 70.45 CU FT

NAME	KEYNOTE	AREA (SQ FT)	INFILTRATION VOLUME (CU FT)
POND A	209	150.06	25.06
POND B	210	152.23	25.42
POND C	211	21.50	3.59
POND D	212	111.52	18.62
TOTAL		435.31	72.69

BrightView
Design Group

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LANDSCAPE ARCHITECTURE
URBAN DESIGN

1645 GRANT ST
DENVER, CO 80203
(303) 825-2010

10/06/22

PROFESSIONAL ENGINEER
MICHAEL A. HUSEK
NEW MEXICO
23669

PLAN REVISION DESCRIPTION

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ALBUQUERQUE, NEW MEXICO

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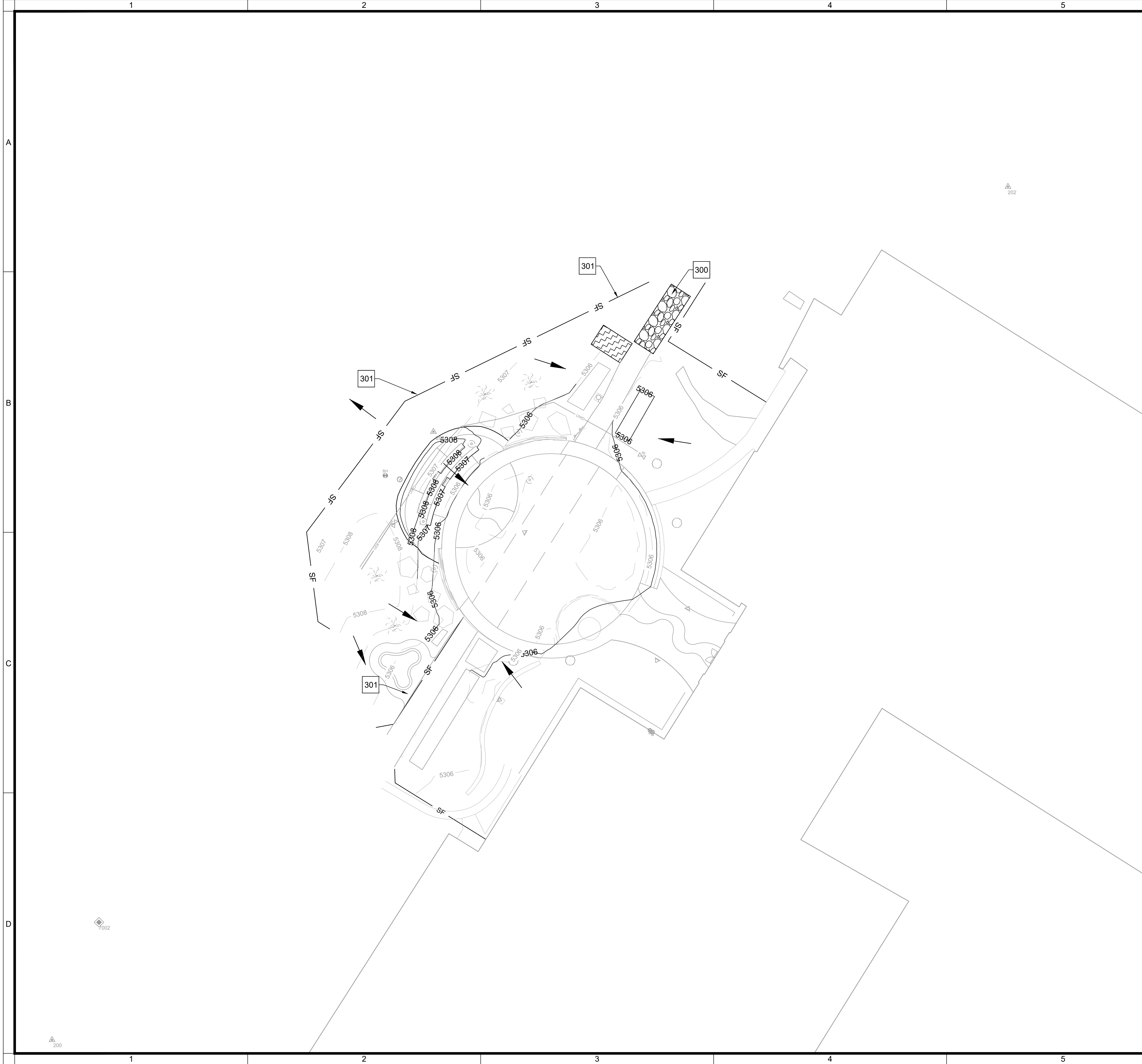
SITE, PAVING, AND GRADING PLAN

SHEET NUMBER

C2.100

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GENERAL NOTES

A | CONTOURS ARE AT 1' INTERVALS

B | REFER TO SHEET C2.402 FOR EROSION CONTROL DETAILS

KEYNOTES

300 | CONSTRUCTION ENTRANCE, RE: 3/C2.402

301 | SILT FENCE, RE: 4/C2.402

LEGEND

--- 99 ---

EXISTING CONTOUR

— 99 —

CONTOUR

— SF —

SILT FENCE, RE: 4/C2.402

CONSTRUCTION ENTRANCE, RE: 3/C2.402

CONCRETE WASHOUT, RE: 5/C2.402

PRE-CONSTRUCTION GRADING
FLOW DIRECTION

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DRAWN BY: DB/RS

PLAN CHECK NO: DS

SHEET TITLE

EROSION CONTROL PLAN

SHEET NUMBER


C2.101

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CONSTRUCTION DOCUMENTS

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	1	2	3	4	5	6
A						
B	CONSTRUCTION LEGEND					
	FLATWORK FINISH LEGEND					
	CODE	MATERIAL	DETAIL	SHEET	MATERIAL	COLOR
	P01	DECOMPOSED GRANITE	B	L2.400	CRUSHER FINES	SANTA FE BROWN
	P02	ROCK MULCH	-	-	3/8" - 1" GRAVEL, 3" DEPTH LANDSCAPE FABRIC BELOW	ROSE GOLD
	P03	CONCRETE PAVING	SEE CIVIL	SEE CIVIL	NATURAL GRAY CONCRETE	GRAY
	P04	COLOR CONCRETE PAVING	SEE CIVIL	SEE CIVIL	COLOR SURFACE HARDENER	TEAL
	P05	SYNTHETIC TURF	SEE CIVIL	SEE CIVIL	LEISURE TURF 80	101 SW: 320 FIELD GREEN/OLIVE
	P06	VEHICULAR-RATED SYNTHETIC TURF	SEE CIVIL	SEE CIVIL	LEISURE TURF 80	101 SW: 320 FIELD GREEN/OLIVE
	SITE ELEMENT LEGEND					
C	CODE	ITEM	DETAIL	SHEET	MODEL/MANUFACTURER/MATERIAL	COLOR
	S01	SHADE SHELTER (DEFERRED SUBMITTAL)	B	L2.401	STRUCTURE: CUSTOM SHADE SAIL: COMMERCIAL 95 MATERIAL (10-YEAR WARRANTY FROM UV DEGRADATION) GORTEX THREAD. HOT-DIPPED GALVANIZED OR STAINLESS-STEEL CABLES/TURNBUCKLES/ATTACHMENT HARDWARE. POST PAINT: SHERWIN WILLIAMS KEM 400 EXTERIOR ENAMEL.	SHADE SAIL: NATURAL POST: BURNISHED SLATE
	S02	AMPHITHEATER	A	L2.400		
	S03	CONCRETE SEAT WALL	SEE CIVIL	SEE CIVIL		
	S04	POLLINATOR GARDEN BED	A	L2.401	STONE: DRY LAID RED ROCK FLAT PALLET	STONE* 4-8" IN THICKNESS
	S05	SITE SEATING (BY OWNER)	-	-	EXISTING SITE FURNISHING TO BE SALVAGED, STORED, REFURBISHED AND REINSTALLED.	
	S06	LANDSCAPE BOULDER	C	L2.400	ON-SITE BOULDERS	
D						
	1	2	3	4	5	6







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LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

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BVDG JOB NUMBER: 1730678
DRAWN BY: DB/RS
PLAN CHECK NO: PENDING

SHEET TITLE

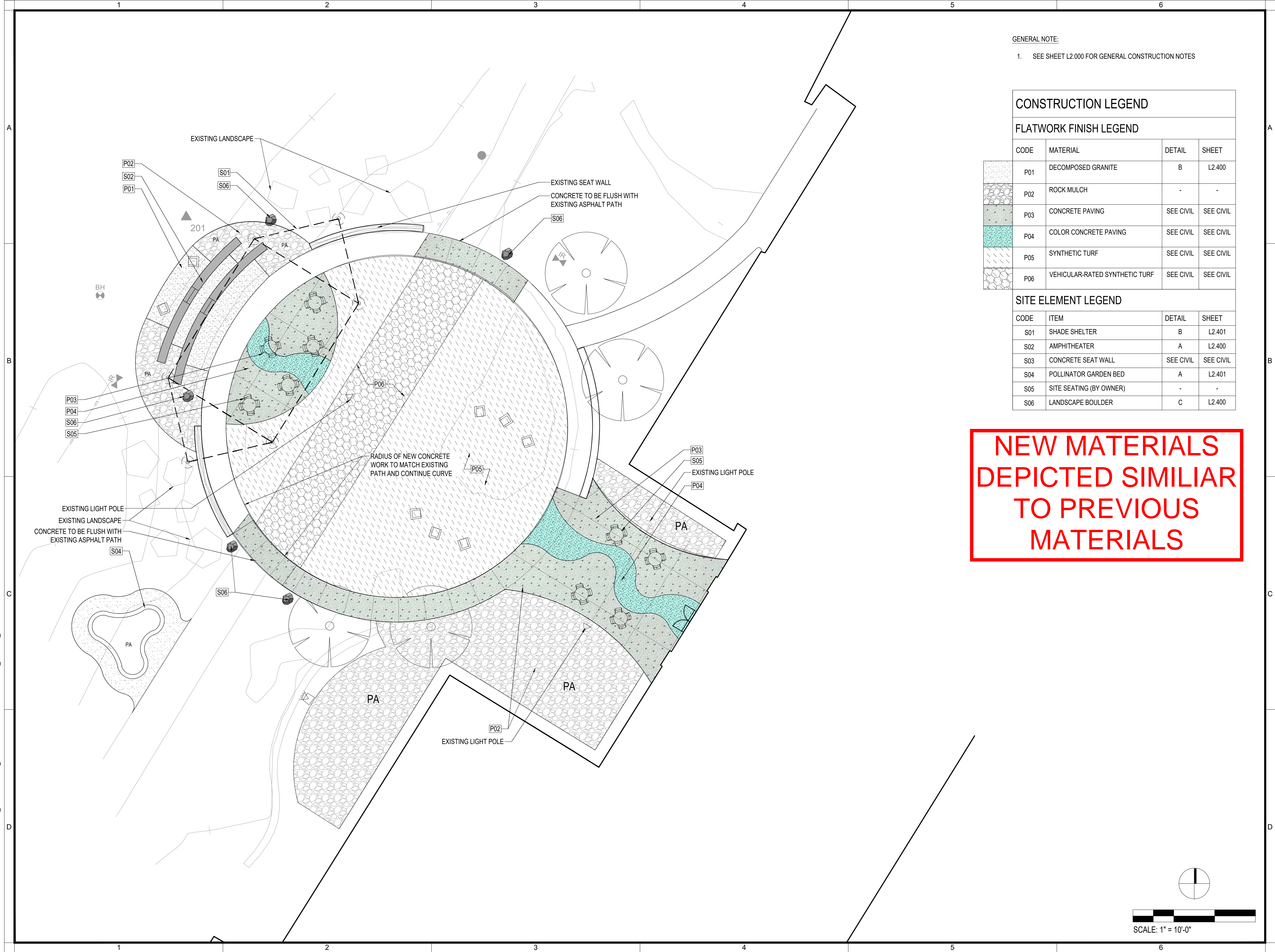
CONSTRUCTION
LEGEND

SHEET NUMBER

L2.001

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GENERAL NOTE:

1. SEE SHEET L2.000 FOR GENERAL CONSTRUCTION NOTES

CONSTRUCTION LEGEND

FLATWORK FINISH LEGEND

CODE	MATERIAL	DETAIL	SHEET
P01	DECOMPOSED GRANITE	B	L2.400
P02	ROCK MULCH	-	-
P03	CONCRETE PAVING	SEE CIVIL	SEE CIVIL
P04	COLOR CONCRETE PAVING	SEE CIVIL	SEE CIVIL
P05	SYNTHETIC TURF	SEE CIVIL	SEE CIVIL
P06	VEHICULAR-RATED SYNTHETIC TURF	SEE CIVIL	SEE CIVIL

SITE ELEMENT LEGEND

CODE	ITEM	DETAIL	SHEET
S01	SHADE SHELTER	B	L2.401
S02	AMPHITHEATER	A	L2.400
S03	CONCRETE SEAT WALL	SEE CIVIL	SEE CIVIL
S04	POLLINATOR GARDEN BED	A	L2.401
S05	SITE SEATING (BY OWNER)	-	-
S06	LANDSCAPE BOULDER	C	L2.400

NEW MATERIALS
DEPICTED SIMILIAR
TO PREVIOUS
MATERIALS



PLAN REVISION DESCRIPTION

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ALBUQUERQUE AMPHITHEATER
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ALBUQUERQUE, NEW MEXICO

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CONSTRUCTION
PLAN

SHEET NUMBER

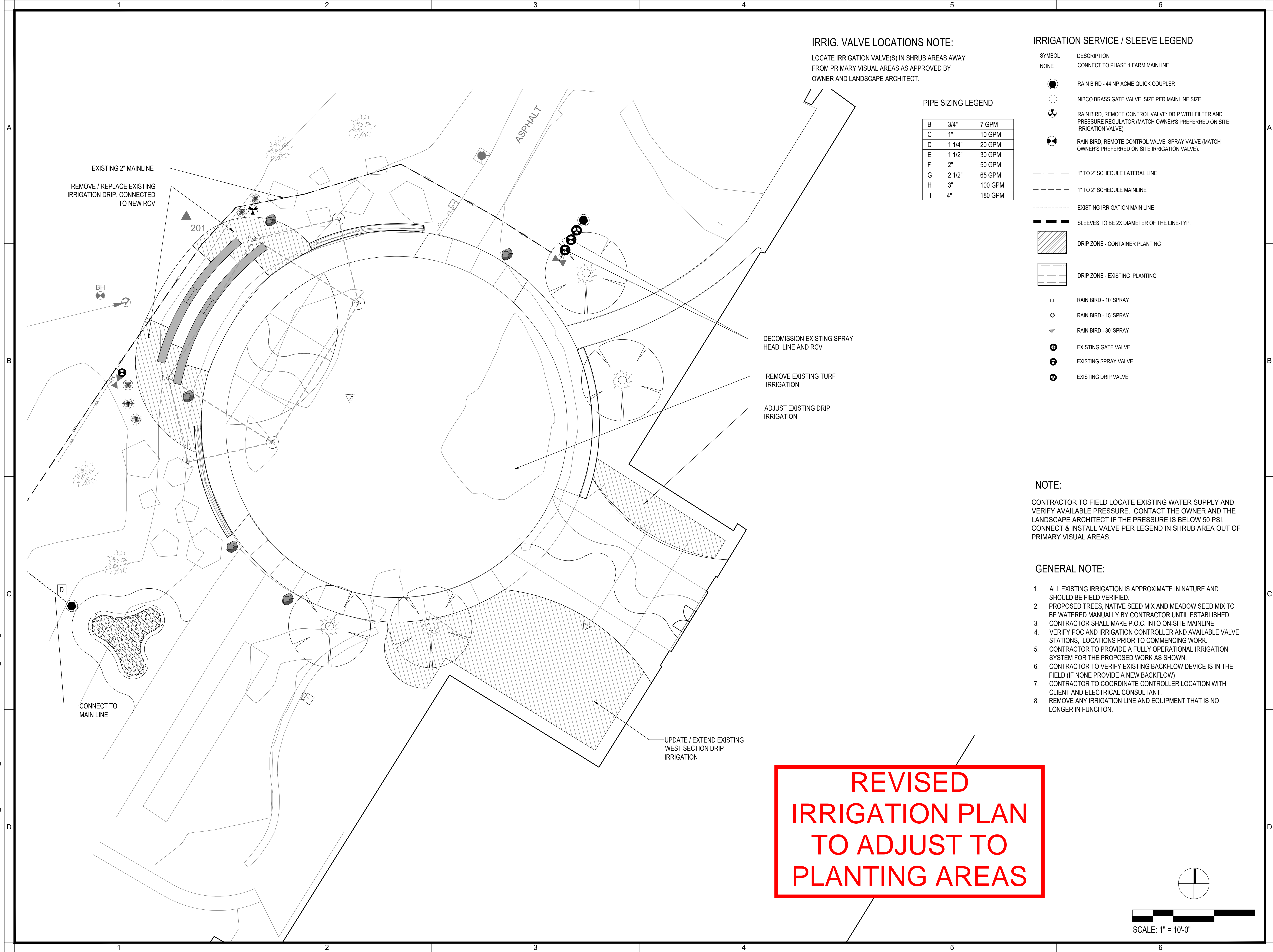
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CONSTRUCTION DOCUMENTS




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NO.	DESCRIPTION
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LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

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BVDG JOB NUMBER: 1730678
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SHEET TITLE

IRRIGATION PLAN

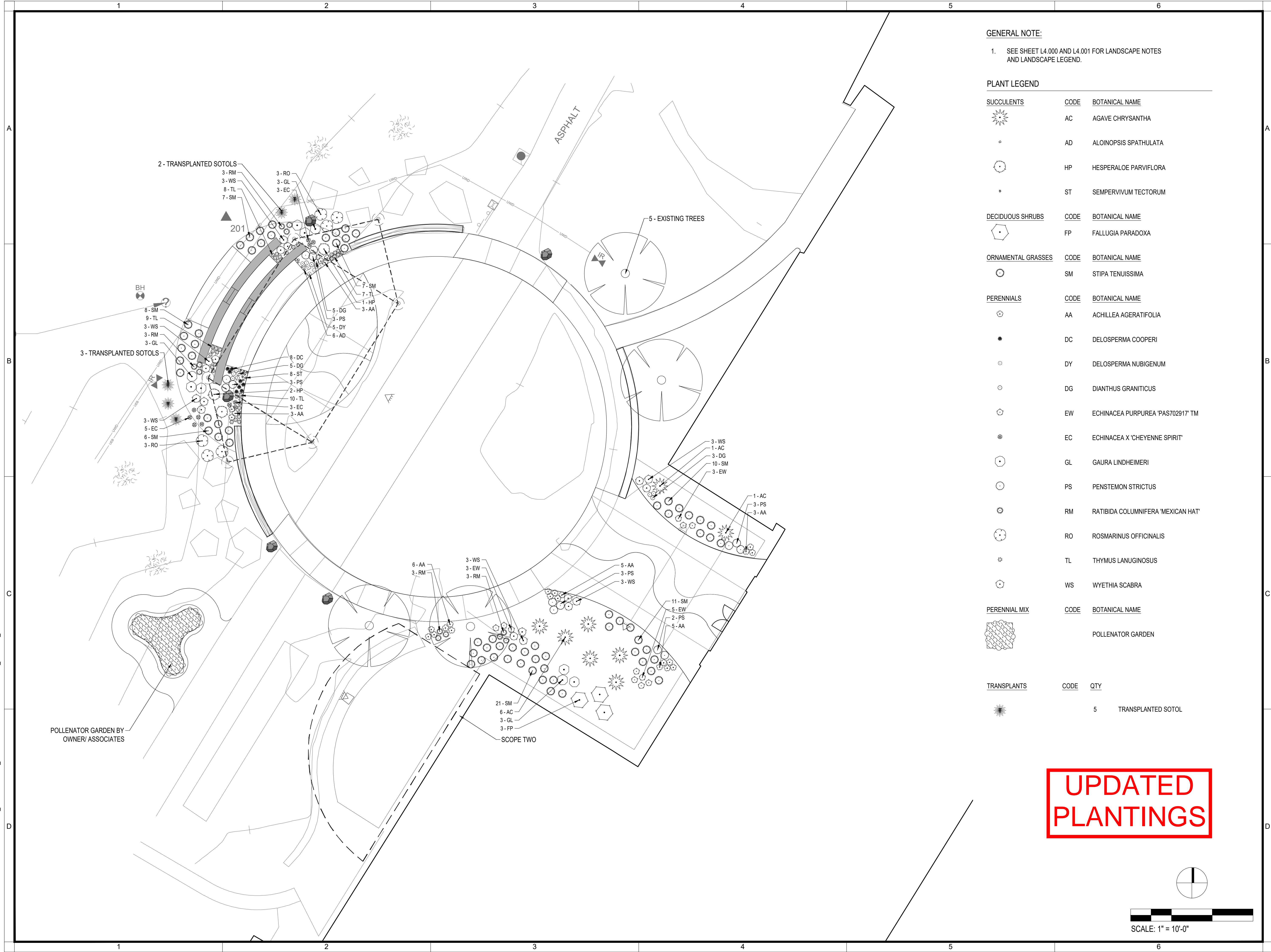
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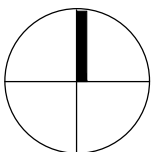
GENERAL NOTE:

- SEE SHEET L4.000 AND L4.001 FOR LANDSCAPE NOTES AND LANDSCAPE LEGEND.

PLANT LEGEND

SUCCULENTS	CODE	BOTANICAL NAME
	AC	AGAVE CHRYSANTHA
	AD	ALOINOPSIS SPATHULATA
	HP	HESPERALOE PARVIFLORA
	ST	SEMPERVIVUM TECTORUM
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME
	FP	FALLUGIA PARADOXA
ORNAMENTAL GRASSES	CODE	BOTANICAL NAME
	SM	STIPA TENUISSIMA
PERENNIALS	CODE	BOTANICAL NAME
	AA	ACHILLEA AGERATIFOLIA
	DC	DELOSPERMA COOPERI
	DY	DELOSPERMA NUBIGENUM
	DG	DIANTHUS GRANITICUS
	EW	ECHINACEA PURPUREA 'PAS702917' TM
	EC	ECHINACEA X 'CHEYENNE SPIRIT'
	GL	GAURA LINDHEIMERI
	PS	PENSTEMON STRICTUS
	RM	RATIBIDA COLUMNIFERA 'MEXICAN HAT'
	RO	ROSMARINUS OFFICINALIS
	TL	THYMUS LANUGINOSUS
	WS	WYETHIA SCABRA
PERENNIAL MIX	CODE	BOTANICAL NAME
		POLLENATOR GARDEN
TRANSPLANTS	CODE	QTY
	5	TRANSPLANTED SOTOL

UPDATED
PLANTINGS



SCALE: 1" = 10'-0"



PLAN REVISION DESCRIPTION	
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ALBUQUERQUE AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

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PLANTING PLAN

SHEET NUMBER

L4.100

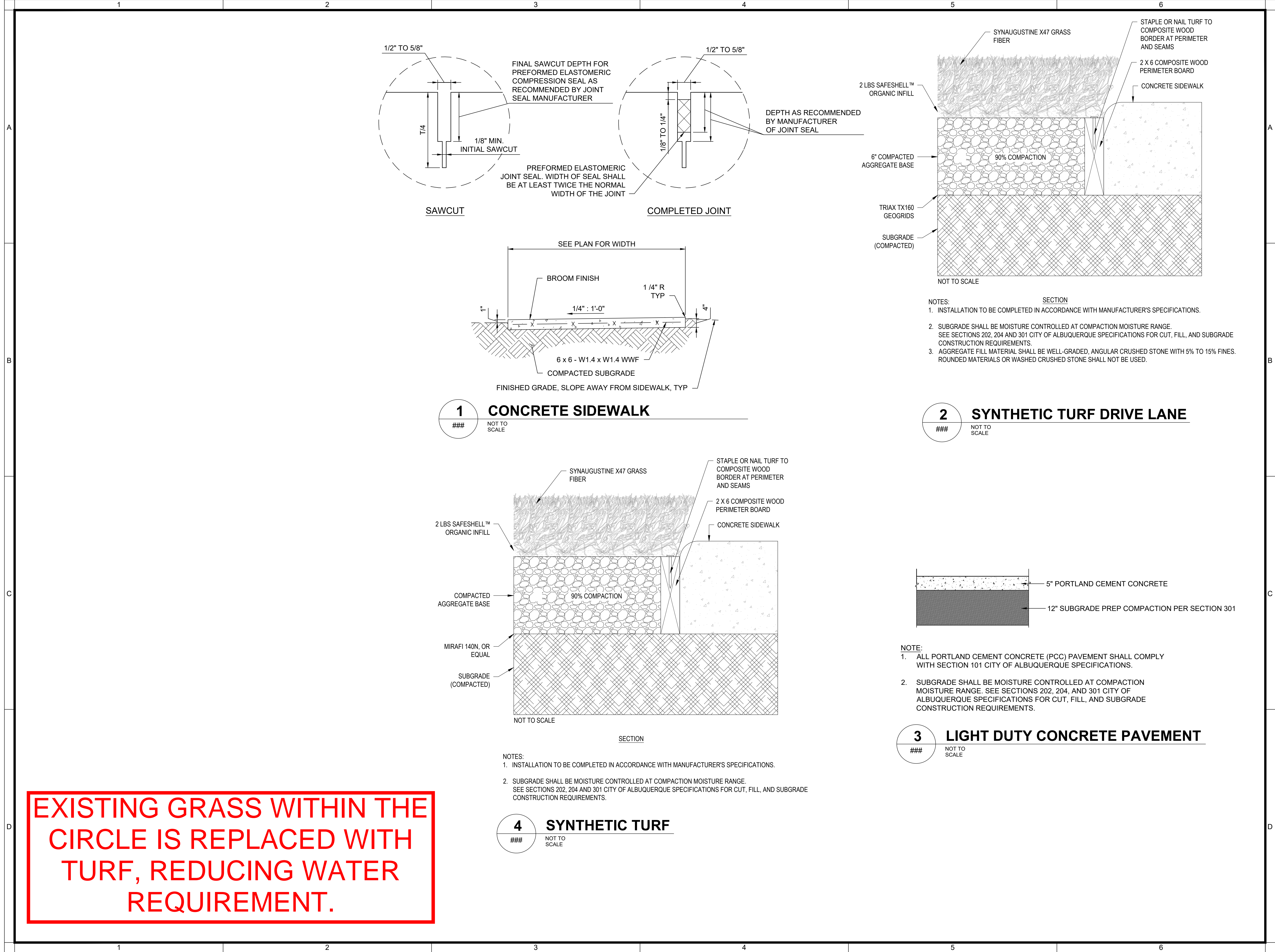
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CONSTRUCTION DOCUMENTS



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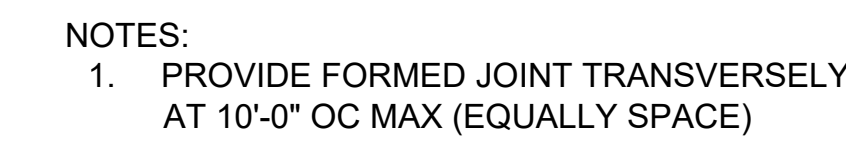
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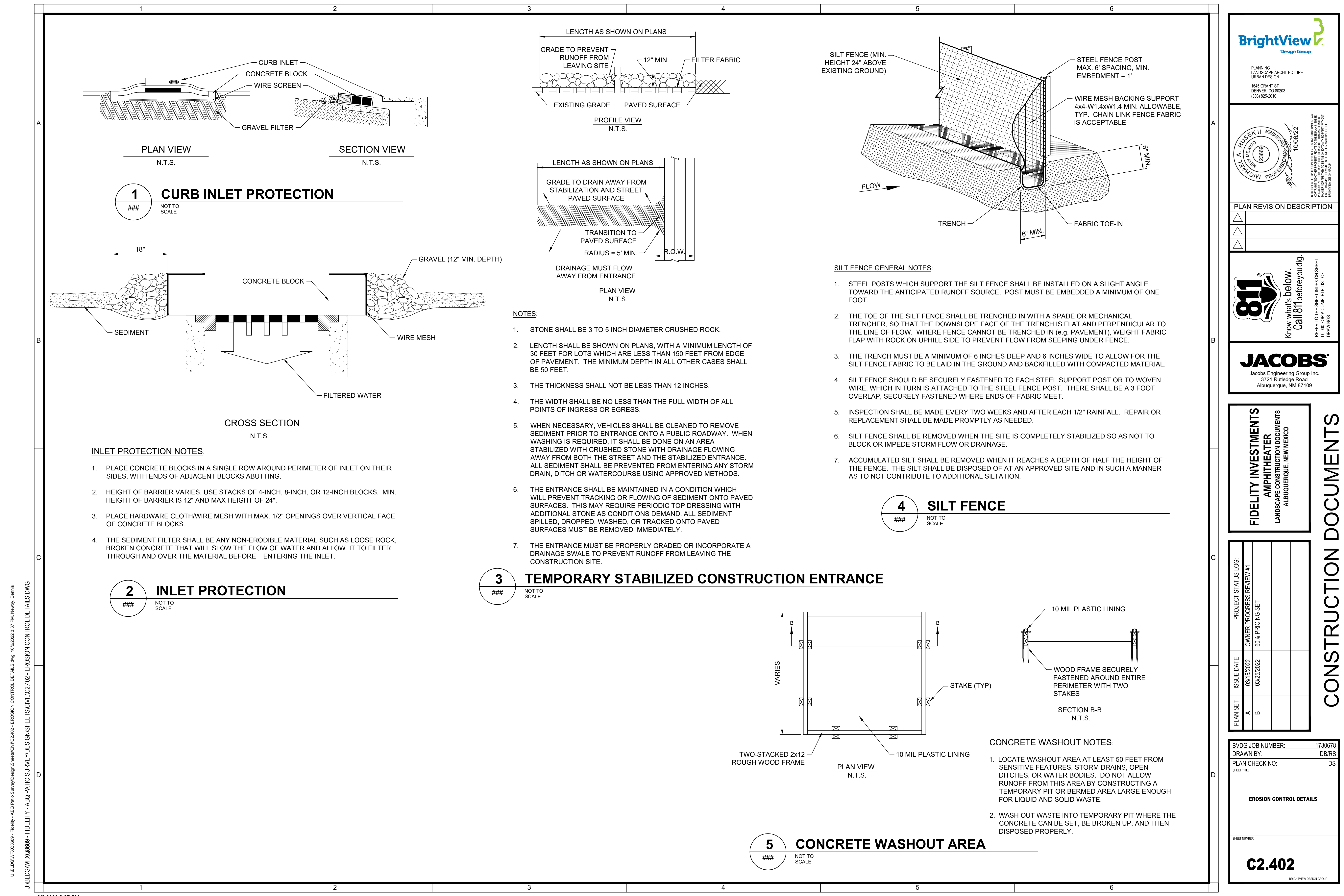
SITE DETAILS

SHEET NUMBER

C2.400

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U:\BLDG\WFX\Q8609 - Fidelity - ABO PATIO SURVEY\DESIGN\SHEETS\CIVIL\C2.402 - EROSION CONTROL DETAILS.DWG

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3721 Rutledge Road
Albuquerque, NM 87109

FIDELITY INVESTMENTS
AMPHITHEATER
LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:	
PLAN SET	ISSUE DATE
A	03/15/2022
B	03/25/2022

BVDG JOB NUMBER:	1730678
DRAWN BY:	DB/RS
PLAN CHECK NO:	DS
SHEET TITLE	
EROSION CONTROL DETAILS	
SHEET NUMBER	
C2.402	
<small>BRIGHTVIEW DESIGN GROUP</small>	

CONSTRUCTION DOCUMENTS

10/6/2022 3:37 PM