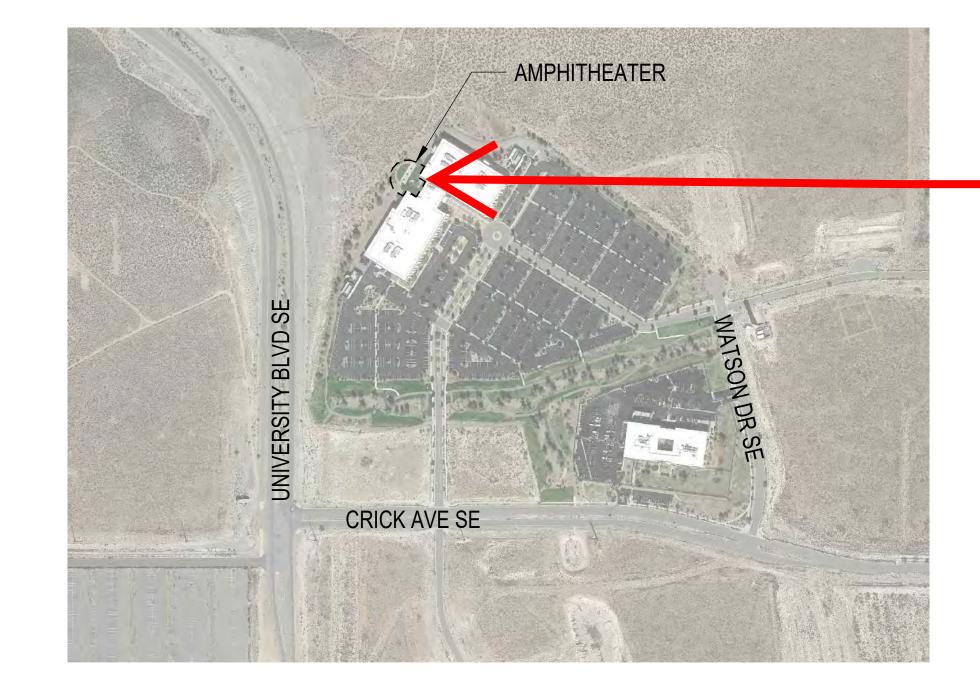


FIDELITY INVESTMENTS ALBUQUERQUE AMPHITHEATER

5401 WATSON DR SE ALBUQUERQUE, NM 87106

LANDSCAPE CONSTRUCTION PLANS

SITE LOCATION



PROPOSED SITE AREA LIMITS

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GENERAL NOTES

- CONTRACTOR SHALL VERIFY WITH OWNER'S REPRESENTATIVE THAT PLANS ARE CURRENT AND APPROVED. WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE, NEW MEXICO.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY AND/OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND/OR TAXES REQUIRED TO INSTALL THE WORK ON THESE PLANS.
- THE CONTRACTOR SHALL BE APPROPRIATELY LICENSED AS REQUIRED BY THE STATE IN WHICH THE WORK TAKES PLACE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES IN EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING THE WORK.
- DETERMINATION OF "EQUAL" SUBSTITUTIONS SHALL BE MADE ONLY BY THE OWNER
- SITE OBSERVATION BY THE LANDSCAPE ARCHITECT DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND GOVERNING CODES.
- 10. THIS FIRM DOES NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THIS FIRM DOES NOT DIRECT THE CONTRACTOR'S OBSERVATIONS, AND IS NOT RESPONSIBLE FOR THE SAFETY OF PERSONNEL OTHER THAN OUR OWN ON THE SITE; THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS PRESENTED HEREIN TO BE UNSAFE.

NOTIFICATIONS

LANDSCAPE ARCHITECT

BRIGHTVIEW DESIGN GROUP

EMAIL: RYAN.SAND@BRIGHTVIEW.COM

1645 GRANT STREET

DENVER, CO 92618

CONTACT: RYAN SAND

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CLIENT

FIDELITY REAL ESTATE COMPANY 5401 WATSON DR SE ALBUQUERQUE, NM 87106

CONTACT: MARTHA ORENDAIN EMAIL: MARTHA.ORENDAIN@FMR.COM PHONE: 817.474.1379

CIVIL ENGINEER

777 MAIN ST FORT WORTH, TX 76102 CONTACT: KATE KENNEDY EMAIL: KATHYRIYA.KENNEDY@JACOBS.COM PHONE: 817.735.7051

GENERAL CONTRACTOR

TO BE DETERMINED

APPROVALS

PLAN CHECK #

DEPARTMENT OF BUILDING AND SAFETY ALBUQUERQUE, NM

ACCEPTED (PRINT NAME)

SIGNATURE

DATE

PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

BrightView

BVDG JOB NUMBER: DB/RS PLAN CHECK NO: **PENDING COVER**

L0.000

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PREPARATION:

- 1. PROTECT BENCHMARKS, STAKES, AND SIMILAR ITEMS FROM DAMAGE.
- 2. PROTECT AND MAINTAIN EXISTING UTILITIES AND UNDERGROUND WORK TO REMAIN.
- 3.. PROTECT EXISTING TREES AND OTHER VEGETATION, NOT NOTED FOR DEMOLITION.
- 4. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE 72 HOURS PRIOR TO BEGINNING OF OPERATIONS.
- 5. CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
- CONTRACTOR SHALL VERIFY LOCATION OF CUT UTILITY, STORM WATER AND IRRIGATION LINES WITH OWNER'S REPRESENTATIVE PRIOR TO WORK.
- 7. REPORT ALL EXISTING DAMAGE TO OWNER'S REPRESENTATIVE PRIOR TO STARTING ALL WORK.
- 8. CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS TO REMAIN.
- 9. CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING DEMOLITION OPERATIONS.
- 10. CONTRACTOR SHALL LAYOUT ALL DEMOLITION LINES AND VERIFY WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF DEMOLITION OPERATIONS. PAVEMENT TO BE DEMOLISHED SHALL BE SAW-CUT TO FULL DEPTH. SAW CUTS SHALL ALIGN WITH NEAREST CONTROL / EXPANSION / CONSTRUCTION JOINTS UNLESS OTHERWISE NOTED. LOCATION OF ALL SAW CUTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE, PRIOR TO BEGINNING OF DEMOLITION OPERATIONS.
- 11. ALL MATERIAL DESIGNATED FOR DEMOLITION AND/ OR REMOVAL SHALL BE COMPLETELY REMOVED FROM PROJECT SITE AND LEGALLY DISPOSED OF UNLESS OTHERWISE NOTED.
- 12. EXISTING IRRIGATION SYSTEMS SHALL REMAIN AND BE PROTECTED THROUGHOUT ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL MAKE TEMPORARY PROVISIONS AS NECESSARY TO MAINTAIN THE OPERATIONS OF THESE FACILITIES DURING ALL PHASES OF CONSTRUCTION. THE EXISTING IRRIGATION SYSTEM SERVICES THE SURROUNDING LANDSCAPE AREAS NOT PART OF THE PROJECT SCOPE AND SHALL MAINTAIN THESE OPERATIONS ACCORDINGLY.
- 13. NOTIFICATION OF DISCREPANCIES: ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ALL WORK RELATED TO THE PROBLEM AREA SHALL CEASE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED BY THE OWNER (JOB SUPERINTENDENT) OR LANDSCAPE ARCHITECT IN WRITING. ANY CONTINUATION OF WORK PRIOR TO THE RESOLUTION OF DISCREPANCIES IS AT THE CONTRACTOR'S RISK AND EXPENSE.

REMOVALS:

- 14. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE. PROTECT-IN-PLACE (OR RESTORE EXISTING CONDITION) LANDSCAPE TO REMAIN NOT WITHIN LIMITS.
- 15. THE CONTRACTOR SHALL REMOVE ALL ITEMS AND MATERIALS AS DESIGNATED ON THE CONSTRUCTION PLANS, OR OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE, WITHOUT DISTURBING EXISTING ADJACENT IMPROVEMENTS.
- 16. UTILITY DEMOLITION AND PROTECTION:
 - CONTACT THE UTILITY LOCATE SERVICE PRIOR TO STARTING ANY WORK.
 - ALL UTILITY SERVICES SHALL BE IDENTIFIED BEFORE DEMOLITION WORK STARTS.
 - ALL DISMANTLED / DEMOLISHED ITEMS SHALL NOT BE USED FOR REROUTING / NEW CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE ALL ISOLATION. DISCONNECTION AND SHUT OFF OF UTILITY SYSTEMS WITH THE OWNER'S REPRESENTATIVE AND THE APPLICABLE UTILITY PROVIDER A MINIMUM OF SEVEN (7) DAYS PRIOR TO AFFECTING SERVICE OF ANY UTILITY.
 - ALL DISMANTLED / DEMOLISHED ITEMS SHALL BE EITHER DISPOSED OR HANDED OVER TO THE OWNER.
 - IN AREAS WHERE EXISTING MATERIALS ARE SPECIFIED TO REMAIN, THE CONTRACTOR SHALL COORDINATE ALL REMOVALS WITH OWNER'S REPRESENTATIVE TO ENSURE APPROPRIATE CONNECTIONS AND TRANSITIONS TO NEW MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL MATERIALS DESIGNATED TO REMAIN DAMAGED BY CONSTRUCTION OPERATIONS.
 - WHERE EXISTING IRRIGATION SERVICES ARE DESIGNATED FOR REMOVAL, CONTRACTOR SHALL REMOVE SYSTEMS AND EQUIPMENT IN A MANNER TO NOT DISRUPT IRRIGATION SERVICES TO REMAIN. IRRIGATION LINES BEYOND THE REMOVAL AREA SHALL BE CAPPED OR RE-ROUTED AS NECESSARY.
 - LANDSCAPE AREAS SHALL BE REMOVED AS INDICATED ON THE DEMOLITION PLANS INCLUDING ALL PLANT MATERIAL, MULCH, TOPSOIL, AND RELATED IRRIGATION SYSTEM AS INDICATED ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - CLEARING: REMOVE BRUSH AND VEGETATION FROM AREAS DESIGNATED TO BE CLEARED. AS DIRECTED BY THE OWNER'S REPRESENTATIVE, TRIM LOW HANGING, UNSOUND, OR UNSIGHTLY BRANCHES ON TREES AND SHRUBS DESIGNATED TO REMAIN. MAKE CUTS FLUSH WITH TRUNK OR BRANCH.
 - GRUBBING: REMOVE ALL STUMPS, ROOTS, AND DEBRIS A MINIMUM OF 18 INCHES BELOW ORIGINAL GROUND IN ALL AREAS AS REQUIRED. USE HAND METHODS FOR GRUBBING INSIDE DRIP LINE OF TREES TO REMAIN. FILL STUMP AND ROOT HOLES AS SPECIFIED IN BACKFILLING.

RESTORATION:

 BACKFILLING: HOLES AND PITS CREATED BY REMOVING EXISTING STRUCTURES AND MATERIALS SHALL BE BACKFILLED AND COMPACTED WITH SATISFACTORY SOIL MATERIAL. THIS MATERIAL SHALL BE PLACED IN LIFTS, MOISTURE TREATED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND SPECIFICATIONS. THE BACKFILL SHALL BE GRADED TO WITHIN PLUS OR MINUS 0.1 FOOT OF THE ELEVATIONS INDICATED ON THE FINAL DRAWINGS. ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, AND DEBRIS.

DISPOSAL:

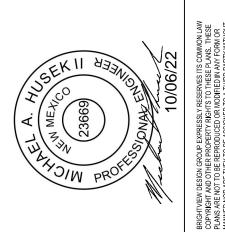
- ALL MATERIALS THAT ARE TO BE SALVAGED AND STOCKPILED FOR REUSE, WHETHER TEMPORARILY FOR REUSE OR FOR DISPOSITION BY THE OWNER, SHALL BE PROTECTED FROM CONTAMINATION, DEFACEMENT, DEGRADATION, ADVERSE WEATHER CONDITION, AND VANDALISM IN ACCORDANCE WITH THE CONTRACT
- EXCESS ORGANIC, EARTH AND STONE MATERIALS MAY BE STOCKPILED ON SITE-PROVIDED THEY ARE NOT CONTAMINATED.
- PRESSURE TREATED & WOOD RAILINGS, METALS AND ASPHALT SHALL BE RECYCLED/DISPOSED OF OFF SITE. ALL DISPOSAL RECORDS AND DISPOSAL LOCATION'S CERTIFICATE TO OPERARTE SHALL BE PROVIDED TO OWNERS OR OWNER'S REPRESENTATIVE.
- ANY AND ALL MATERIALS REMOVED, UNLESS DESIGNATED TO BE SALVAGED OR REUSED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF OFFSITE IN A LEGAL MANNER.

TREE PROTECTION:

 CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING TREES AND VEGETATION NOTED TO REMAIN DURING THE CONSTRUCTION PERIOD IN ACCORDANCE WITH OWNER'S REPRESENTATIVE DIRECTION AND INDUSTRY BEST PRACTICES. ALL EXISTING TREES TO REMAIN SHALL BE FENCED TO THE DRIP LINE / CANOPY TO PREVENT UNAUTHORIZED DISTURBANCE OR COMPACTION IN THE ROOT ZONE OF THE TREE. ALL WORK COMPLETED WITHIN THE TREE'S DRIP LINE / CANOPY SHALL BE COMPLETED BY HAND LABOR UNLESS OTHERWISE AUTHORIZED BY THE OWNER'S REPRESENTATIVE.



LANDSCAPE ARCHITECTURE DENVER, CO 80203 (303) 825-2010



PLAN REVISION DESCRIPTION

3721 Rutledge Road Albuquerque, NM 87109

FIDELITY INV AMPHITI LANDSCAPE CONSTRI

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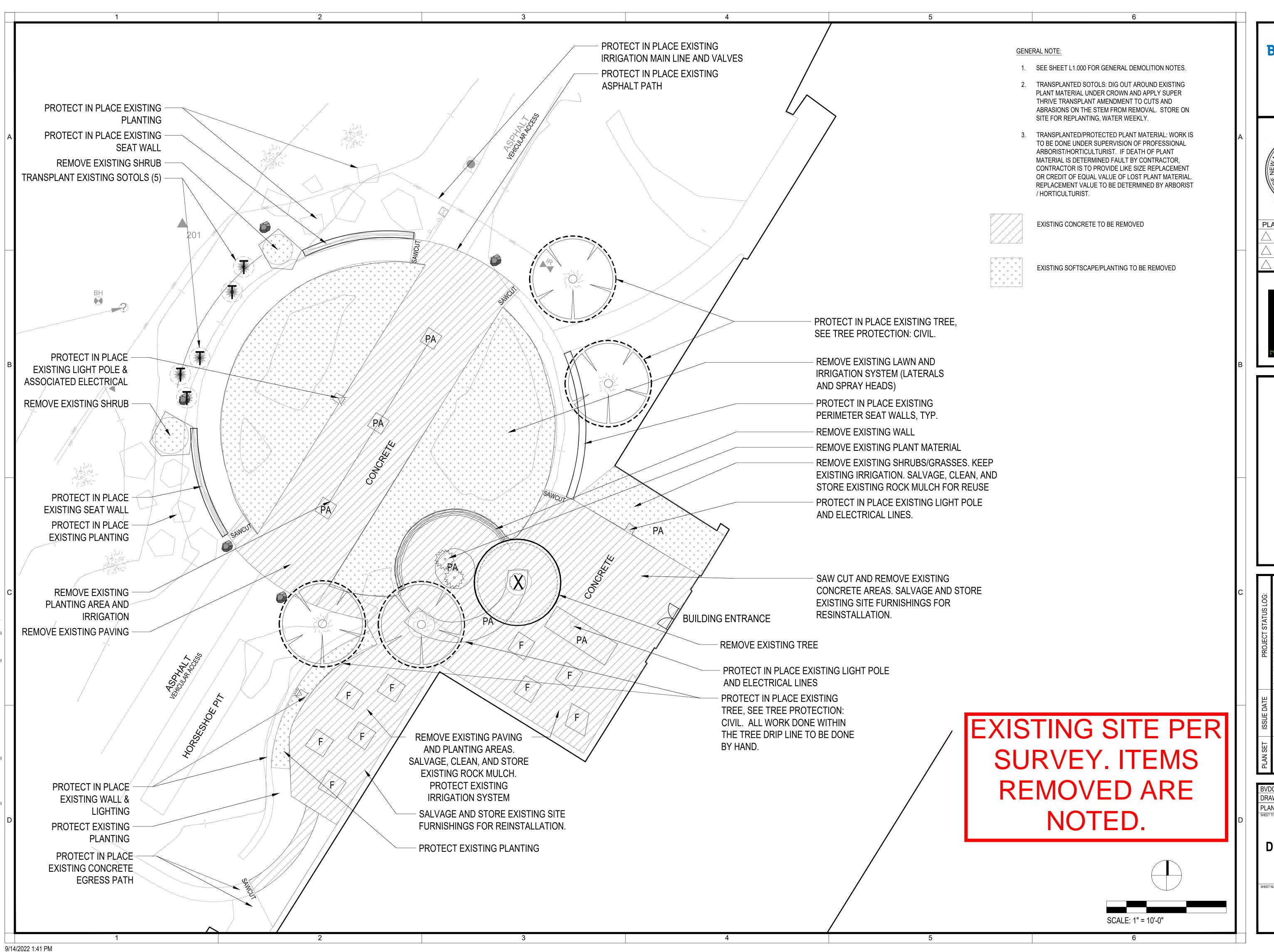
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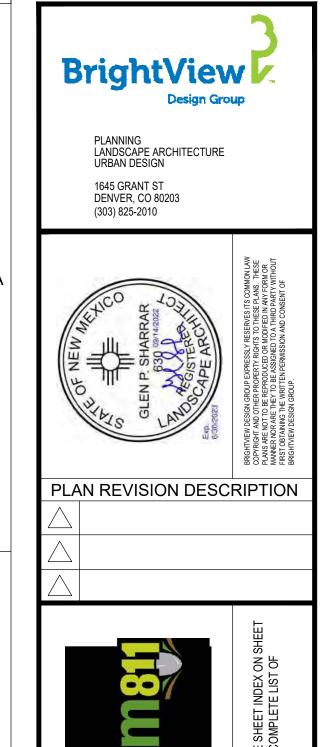
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BRIGHTVIEW DESIGN GROUP

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FIDELITY INVESTMENT
ALBUQUERQUE AMPHITHEAT
LANDSCAPE CONSTRUCTION DOCUMENT
ALBUQUERQUE, NEW MEXICO

B 03/25/2022 60% PRICING SET
C 06/20/2022 VE SET
D 09/14/2022 AGENCY SUBMITTAL #1

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EXPLANATIONS AS MAY BE NECESSARY.

- 2. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE, AND DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING. BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR CONTRACTOR SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT CONTRACTOR'S EXPENSE, WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE STATE OF NEW MEXICO OSHA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- 3. THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
- 4. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY, TRAFFIC CONTROL, AND ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE NMDOT STANDARD SPECIFICATIONS, LATEST EDITION.
- 5. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR THE MAINTENANCE OF UTILITIES IN THE JOBSITE.
- 6. ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON THE HORIZONTAL MEASUREMENTS.
- 7. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.
- 8. IF ARCHAEOLOGICAL MATERIAL IS UNCOVERED DURING DEMOLITION, GRADING, TRENCHING, OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY
- 9. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR SUCH FURTHER
- 10. THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- 11. WORK SHALL CONFORM WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL(DPM). NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT), AND ANY REVISIONS MADE BY THE CITY OF THE ALBUQUERQUE AVAILABLE AT THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT LOCATED AT 600 2ND NW AS WELL AS THE APPLICABLE UTILITY PROVIDER STANDARDS, THE INTERNATIONAL BUILDING CODE (IBC), AND THE UNIFORM PLUMBING CODE (UPC).
- 12. NO WORK SHALL DEVIATE FROM THESE PLANS UNLESS PRIOR APPROVAL IS OBTAINED FROM THE PROJECT ENGINEER.

REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.

- 13. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE
- 14. THE CONTRACTOR SHALL PROCURE FROM THE CITY OF ALBUQUERQUE AND ALL OTHER APPLICABLE AGENCIES, ALL PERMITS AND LICENSES, PAY ALL CHARGES AND FEES AND GIVE ALL NOTICES NECESSARY (2 WORKING DAYS MIN.) FOR THE INSTALLATION OF APPLICABLE IMPROVEMENTS DELINEATED HEREON.
- 15. UNDERGROUND UTILITIES: PRIOR TO FINAL PREPARATION OF SUBGRADE AND PLACEMENT OF BASE MATERIAL, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED, COMPACTION TESTED SHALL BE PASSED AND SERVICE CONNECTIONS STUBBED OUT OR INSTALLED AS SHOWN ON APPLICABLE DRAWINGS
- 16. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.
- 17. THE TOPOGRAPHIC SURVEY INCLUDING HORIZONTAL AND VERTICAL DATUMS FOR THIS PROJECT WERE PROVIDED BY JACOBS DATED, FEBRUARY 2022.
- 18. EXISTING UTILITIES SHOWN ON THE PLANS ARE PER SURFACE LOCATIONS AND AS-BUILT DRAWINGS. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE REQUIRED TO VERIFY ALL EXISTING INVERT ELEVATIONS PRIOR TO MAKING CONNECTIONS TO EXISTING STRUCTURES OR CONSTRUCTING NEW MANHOLES OVER EXISTING PIPES. ANY REQUIRED CHANGES TO THE PLAN MUST BE APPROVED THROUGH THE ENGINEER.
- 19. TRAFFIC CONTROL DEVICES, FLAG PERSONS, ETC. SHALL BE IN PLACE PRIOR TO INITIATION OF CONSTRUCTION WORK AND SHALL BE EFFECTIVELY MAINTAINED.
- 20. ALL TRAFFIC CONTROL DEVICES TO CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). (CURRENT EDITION).
- 21. EXCAVATOR(S) MUST COMPLY WITH NEW MEXICO EXCAVATION LAW: EXCAVATOR(S) SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MIN.) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- 22. CONSTRUCTION NOISE AND PROJECT WORK TIMES SHALL COMPLY WITH CURRENT LOCAL AND STATE REGULATIONS.
- 23. ALL MANHOLES AND VALVE LIDS SHALL BE CONSTRUCTED LEVEL WITH THE FIRST LIFT OF PAVEMENT. WHEN THE SECOND LIFT OF PAVEMENT IS PLACED THE MANHOLE LIDS AND VALVE COVERS SHALL BE ADJUSTED TO FINISH GRADE. MANHOLES TO BE ADJUSTED WITH STEEL OR C.I. 1-1/2" RISER RING.
- 24. ALL WASTE MATERIALS INCLUDING STRIPING MUST BE DISPOSED IN A MANNER CONFORMING TO LOCAL, STATE AND FEDERAL REQUIREMENTS, STRIPING SHALL BE STOCKPILED OR DISPOSED OF ON LOTS. ANY EXCESS EXCAVATED MATERIAL DEEMED SUITABLE FOR CONSTRUCTION OF STRUCTURAL FILLS BY THE PROJECT GEOTECHNICAL ENGINEER SHALL BE COMPACTED TO PROJECT SPECIFICATIONS. STOCKPILED MATERIALS SHALL BE COVERED WITH BLACK PLASTIC OR STRAW AND SURROUNDED BY STRAW BALES TO ELIMINATE SEDIMENT AND TRANSPORT.
- 25. CATCH BASIN AND MANHOLE STATIONING PROVIDED AT STRUCTURE CENTER; ROTATE ALL MANHOLE CONES OR FLATTOPS TO AVOID ACCESS LID BEING IN TIRE PATH AND GRATES TO MATCH FLOWLINE.
- 26. A PRE-CONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION TAKING PLACE. THE PRE-CONSTRUCTION MEETING SHOULD INCLUDE AT A MINIMUM THE CONTRACTOR, CITY ENGINEER, AND CITY DEVELOPMENT INSPECTOR. IT IS RECOMMENDED THAT THE DEVELOPER/PROPERTY OWNER AND PROJECT ENGINEER/MANAGER BE PRESENT AS WELL.

COMPLETE CODE CRITERIA

- 1. PROJECT AREA: 11,318 SF
- OCCUPANCY TYPE: COMMERCIAL
- OCCUPANCY LOAD: 36
- 4. CONSTRUCTION TYPE: RENOVATION

EROSION/SEDIMENTATION CONTROL NOTES

- 1. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTROL OF EROSION AND SEDIMENT TRANSPORT WITHIN PROJECT LIMITS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS DURING CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION. IF THE EROSION CONTROL SYSTEM DOES NOT ADEQUATELY CONTAIN SEDIMENT ON SITE, THEN EROSION CONTROL MEASURES MUST BE ADDED OR FIELD ADJUSTED BY THE CONTRACTOR AS NECESSARY FOR EXPECTED CONSTRUCTION METHODS, STAGING, SITE CONDITIONS, WEATHER, AND SCHEDULING TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE. THE DEVELOPER SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL (ESCP) FACILITY MAINTENANCE AFTER THE PROJECT IS APPROVED BY THE LOCAL JURISDICTION UNTIL THE LOTS ARE SOLD.
- 2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTION OF ALL ADJACENT PROPERTIES AND DOWNSTREAM FACILITIES FROM EROSION AND SILTATION DURING THE COURSE OF THE WORK. ANY DAMAGE RESULTING FROM SUCH EROSION AND SILTATION SHALL BE CORRECTED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO DO SO.
- 4. THE ESCP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- 5. THE ESCP FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. THE ESCP FACILITIES ON INACTIVE PORTIONS OF THE SITE(S) SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH, OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- 6. CONSTRUCTION TIMING AND PHASING SHALL MINIMIZE THE POTENTIAL FOR EROSION.
- 7. BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE GRADING PLAN SHALL BE CLEARLY MARKED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE MARKINGS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- 8. TREE PROTECTION INCLUDES THE TREE AND ALL PLANTS WITHIN ITS DRIP LINE EXCEPT FOR PLANTS LISTED AS NON-NATIVE, INVASIVE PLANTS.
- 9. INSTALL SILT FENCES AT THE TOE OF ALL FILL SLOPES BEFORE CONSTRUCTION STARTS. REMOVE ALL SILT WHEN IT BECOMES GREATER THAN 12" AT THE SILT FENCE. REMOVE ALL SILT AND SILT FENCES AFTER COMPLETION OF THE PROJECT AND AFTER VEGETATION HAS BEEN PERMANENTLY ESTABLISHED.
- 10. STABILIZED GRAVEL CONSTRUCTION ENTRANCE(S) WHICH WILL BE THE SOLE MEANS OF INGRESS AND EGRESS FROM THE SITE SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL THE PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL INSPECT AND WASH AS NEEDED THE ROADS WITHIN THE PROJECT AREA TO ENSURE THAT NO SEDIMENTS ARE CARRIED OFF THE PROJECT SITE.
- 11. PRIOR TO ANY SITE EXCAVATION, ALL EXISTING AND NEWLY CONSTRUCTED STORM DRAINAGE INLETS, BASINS AND AREA DRAINS SHALL BE PROTECTED AS SHOWN IN THE DETAILS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF ALL DISTURBED AREAS. CLEAN THE FILTER AS NECESSARY TO MAINTAIN DRAINAGE. PROVIDE APPROVED TRAFFIC CONTROL DEVICES AS NECESSARY. REMOVE FILTER AND CLEAN CATCH BASINS FOLLOWING COMPLETION OF ALL SITEWORK.
- 12. ALL STOCKPILES AND STAGING AREAS SHALL BE STABILIZED SUCH THAT NO MATERIAL ERODES INTO THE ADJOINING
- 13. SLOPE STABILIZATION MEASURES (FOR ALL SLOPES H:1V AND STEEPER) SHALL BE INITIATED WITHIN 7 CALENDAR DAYS AFTER EARTH MOVING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED IN THAT PORTION OF THE SITE.
- 14. IN AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST. ONE OR MORE OF THE FOLLOWING PREVENTATIVE MEASURES SHALL BE TAKEN FOR DUST CONTROL:
 - MINIMIZE THE PERIOD OF SOIL EXPOSURE THROUGH THE USE OF TEMPORARY GROUND COVER AND OTHER TEMPORARY STABILIZATION PRACTICES.
 - SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS WET, REPEAT AS NEEDED.
 - SPRAY EXPOSED SOILS WITH AN APPROVED DUST PALLIATIVE. NOTE: USED OIL IS PROHIBITED AS A PALLIATIVE.

15. THE CONTRACTOR SHALL SEED AND MULCH ALL CUT AND FILL SLOPES. AND ALL DISTURBED GROUND AREAS. THE

ADDITIONAL SEEDING NECESSARY TO VEGETATE SHALL BE DONE BY THE CONTRACTOR. IF THE AREA ISN'T OR CANNOT BE ADEQUATELY SEEDED THEN THE AREA SHALL BE COVERED BY A PROTECTIVE MATERIAL SUCH AS STRAW OR MULCH TO PREVENT EROSION.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEEDED AREAS UNTIL VEGETATION UPON THEM IS ESTABLISHED. ANY

- 16. CONTRACTOR SHALL STABILIZE ALL DISTURBED SOIL PRIOR TO LOCAL JURISDICTION'S FINAL CONSTRUCTION APPROVAL.
- 17. PAVEMENT SURFACES AND VEGETATION ARE TO BE PLACED AS RAPIDLY AS POSSIBLE.
- 18. CONTRACTOR SHALL REMOVE ESCP MEASURES WHEN VEGETATION IS FULLY ESTABLISHED.
- 19. CATCH BASIN INLETS WITHIN THE PROJECT AREA SHALL HAVE FILTER FABRIC OR OTHER CITY APPROVED INLET PROTECTION INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT ANY ACCUMULATION OF SEDIMENTS FROM ENTERING THE STORM WATER SYSTEM. ANY ACCUMULATION OF SEDIMENT WITHIN THE STORM WATER SYSTEM AS A RESULT OF THE PROJECT MAY REQUIRE THE CONTRACTOR TO CLEAN THE EFFECTED STORM WATER STRUCTURE. CLEANING OF THE STORM WATER STRUCTURES SHALL BE DONE IN A MANNER AS TO NOT FLUSH THE SEDIMENTS INTO A DOWNSTREAM SYSTEM.
- 20. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY. FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM SIX INCH (6") OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
- 21. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS, WHERE FEASIBLE, THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF SIX FEET (6') APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 30 INCHES.
- 22. A TRENCH SHALL BE EXCAVATED, ROUGHLY 8 INCHES WIDE BY 12 INCHES DEEP (8"X12"), UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.
- 23. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST ONE INCH (1") LONG, TIE WIRE OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF FOUR INCHES (4") AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 24. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- 25. SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS PERMANENTLY STABILIZED.
- 26. SEDIMENT FENCES SHALL BE INSPECTED BY THE CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL. AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- 27. STRAW BALES SHALL NOT BE USED IN NEWLY CONSTRUCTED OR EXISTING DITCHES, SWALES, STREAMS, CREEKS NOR FOR CATCH BASIN PROTECTION.
- 28. AT NO TIME SHALL MORE THAN 12" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITH IN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- 29. CONTRACTOR TO ENSURE SILT FENCES SURROUND ALL BIOSWALES.

GRADING AND COMPACTION NOTES

- ON-SITE GRANULAR OR APPROVED IMPORTED FILL SOILS SHALL BE COMPACTED TO A DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR EQUIVALENT STANDARD (AASHTO T-180).
- 2. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR RETAIN A LICENSED GEOTECHNICAL ENGINEER TO PERFORM REGULAR ONSITE INSPECTION DURING GRADING AND EXCAVATION ACTIVITY.

EXCAVATION AND GRADING REQUIREMENTS

- 1. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, LATEST EDITION DATE JANUARY. 9. 2019 AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. ALL SPECIFICATIONS REFERENCED HEREIN REFER TO THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL UNLESS INDICATED
- 2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL, THROUGHOUT CONSTRUCTION, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD, LATEST EDITION) AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION TRAFFIC CONTROL STANDARDS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS AND CODES. THE CONTRACTOR SHALL FENCE AND/OR BARRICADE THE CONSTRUCTION AREA AS REQUIRED TO PROTECT ADJACENT SITES, VEHICULAR TRAFFIC AND PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF OSHA AND NRS CHAPTER 618. IN THE CONSTRUCTION PRACTICES FOR ALL EMPLOYEES DIRECTLY ENGAGED IN THE CONSTRUCTION OF SAID PROJECT.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PIPING, UTILITIES, STRUCTURES ADJACENT TO STREETS AND ALL OTHER EXISTING IMPROVEMENTS.
- 5. THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE PONDING AND/OR EROSION. THE CONTRACTOR SHALL ALSO INSTALL EROSION AND RUN-OFF CONTROL MEASURES AT PUBLIC ROADS AND DRAINAGE WAYS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A NEAT AND ORDERLY MANNER THROUGHOUT THE CONSTRUCTION PROCESS. ALL MATERIALS SHALL BE STORED WITHIN APPROVED CONSTRUCTION AREAS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR CLEANING OF ALL MUD, DIRT, DEBRIS, ETC. FROM ANY AND ALL ADJACENT STREETS AND SIDEWALKS.
- 8. NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT
- 9. CONSTRUCTION OF STREET IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS.
- 10.INSPECTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE UNIFORM ADMINISTRATIVE CODE 2020 EDITION. 11.THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAYOUTS OF LINES AND GRADES PROVIDED BY A NEW MEXICO LICENSED SURVEYOR.

EARTH WORK REQUIREMENTS

- 1. CLEARING AND GRUBBING, SUB-GRADE PREPARATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.
- 2. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- 3. NO FENCE OR OTHER OBSTRUCTION WHICH INTERFERES WITH DISCHARGE SHALL BE CONSTRUCTED WITHIN THE DRAINAGE OR STORM DRAIN EASEMENTS. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF ALBUQUERQUE REGULATIONS.

PAVING NOTES

- THE CONTRACTOR SHALL PROVIDE A FULL DEPTH CUT AND SMOOTH TRANSITION AT CONNECTIONS TO EXISTING PAVEMENT AND CURB.
- 2. ALL SIDEWALKS AND ACCESSIBLE PATHS SHALL CONFORM TO THE NEW MEXICO A.D.A. TRANSITION PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE
- 3. THE CONTRACTOR SHALL NOT STAND, PARK, DRIVE ON, OR IN ANY WAY DISTURB OR DAMAGE STEEL REINFORCING FOR SITE WORK. ALL REINFORCING SHALL BE INSTALLED WITH CHAIRS PER THE PLANS AND SPECIFICATIONS.
- 4. SUBGRADE SHALL BE MAINTAINED TO WITHIN THE SPECIFIED REQUIREMENTS OF MOISTURE AND DENSITY UNTIL PAVING IS PLACED. PRIOR TO PLACING PAVEMENT, THE CONTRACTOR SHALL RE-TEST THE AREAS SELECTED BY THE CONSTRUCTION MATERIALS TESTING LAB PERSONNEL AT THE CONTRACTOR'S EXPENSE OR IF REQUESTED BY THE OWNER, ARCHITECT OR ENGINEER, AND IF THE SUBGRADE HAS BEEN PLACED AND ACCEPTED FOR LONGER THAN TEN (10) DAYS AND NO PAVEMENT HAS BEEN CONSTRUCTED.
- 5. RADIAL JOINTS SHALL BE NO SHORTER THAN 1.5'.
- 6. CONTRACTOR SHALL AVOID CONSTRUCTING IRREGULAR SHAPED PANELS AN IRREGULAR SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE, WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 25%, OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR

ACCESS NOTES

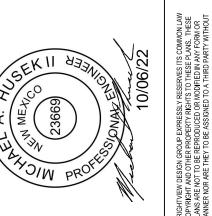
- CONTRACTOR TO MAINTAIN ACCESS TO ALL EXISTING BUSINESSES AND RESIDENTIAL PROPERTIES AT ALL TIMES.
- 2. CONTRACTOR SHALL SUBMIT A PHASING AND TRAFFIC CONTROL PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION IF

SURVEY NOTES

- 1. THIS TOPOGRAPHIC SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY JACOBS TO DETERMINE OWNERSHIP, RIGHTS OF WAY OR EASEMENTS OF RECORD, NO CURRENT TITLE POLICY, COMMITMENT OR REPORT WAS PROVIDED TO AID IN THE PREPARATION OF THIS SURVEY. THIS DOCUMENT DOES NOT REPRESENT A BOUNDARY SURVEY.
- 2. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF ONE INCH EQUALS 60 FEET WITH A ONE FOOT CONTOUR INTERVAL.
- 3. COORDINATE DATUM: PROJECT COORDINATES ARE MODIFIED NEW MEXICO STATE PLANE CENTRAL ZONE (3002) NAD83(2011) COORDINATES. THE COMBINED ELEVATION/SCALE FACTOR USED TO MODIFY THE COORDINATES FROM STATE PLANE TO PROJECT COORDINATES IS 1.0003363728
- 4. MODIFIED STATE PLANE SCALE FACTOR WAS DERIVED FROM THE RECIPROCAL OF THE COMBINED FACTOR FOR NGS HORIZONTAL CONTROL MONUMENT LOUDON (PID: EQ0887), AS MONUMENTED BY A BRONZE STATION DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "LOUDON 1946", WITH A NAVD(88) PROJECT ELEVATION OF 5316.26'. STATION IS LOCATED, AIRLINE, ABOUT 4 MILES SOUT OF THE ALBUQUERQUE MUNICIPAL AIRPORT, 4 MILES EAST OF U.S. HIGHWAY 85, 3/4 MILES NORTH-NORTHWEST OF A RADIO RANGE STATION, ON FLAT SANDY PASTURE LAND ABOUT 30 FEET EAST OF THE EDGE WHERE IT BREAKS OFF INTO THE RIO GRANDE VALLE
- 5. HORIZONTAL POSITIONS ARE TIED TO NGS CONTROL POINT LOUDON: LATITUDE 34-59-53.65713 N, LONGITUDE 106-37-40.21246 W. HORIZONTAL POSITIONS WERE ESTABLISHED WITH REDUNDANT GPS OBSERVATIONS OF POINTS 700-712.
- 6. BASIS OF BEARINGS: BEARING USED IN THE CALCULATION OF COORDINATES ARE BASED ON A GRID BEARING OF N10°19'06"E FROM POINT 7001 (CITY OF ALBUQUERQUE 2-R15), AS MONUMENTED BY A 3.25" BRASS CAP STAMPED 2 R15 2006, TO 7002 (CITY OF ALBUQUERQUE 4 Q15), AS MONUMENTED BY A 3.25" BRASS CAP STAMPED 4 Q15 2006.
- 7. BASIS OF ELEVATIONS: PROJECT ELEVATIONS ARE BASED ON NGS BENCHMARK S 224, AS MONUMENTED BY A 3 INCH BRASS CAP, WITH A PUBLISHED ELEVATION OF 4843.26. MONUMENT IS LOCATED 6.3 MILES FROM ALBUQUERQUE. 6.3 MILES SOUTH ALONG THE ATCHISON, TOPEKA AND SANTA FE RAILROAD FROM THE STATION AT ALBUQUERQUE, AT A ROAD CROSSING, 227 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF TRESTLE 908 A, 89 FEET SOUTH OF THE CENTER LINE OF A ROAD, 36 FEET WEST OF THE CENTER LINE OF A DIRT ROAD, 48.4 FEET EAST OF THE EAST RAIL, 10.8 FEET EAST OF A TELEPHONE POLE, 2 FEET WEST OF A FENCE, 1.2 FEET NORTH OF A WITNESS POST, SET IN TOP OF CONCRETE POST WHICH PROJECTS 0.3 FOOT ABOVE THE GROUND. ELEVATIONS WERE ESTABLISHED WITH DIFFERENTIAL LEVELS.
- 8. CONTROL MONUMENTS WERE SET AND OBSERVED ON APRIL 13, 2021, AND ADJUSTED ON APRIL 14, 2021
- 9. LINEAR AND ELEVATION UNITS FOR THIS SURVEY ARE U.S. SURVEY FEET.



LANDSCAPE ARCHITECTURE URBAN DESIGN 1645 GRANT ST **DENVER, CO 80203** (303) 825-2010



PLAN REVISION DESCRIPTION



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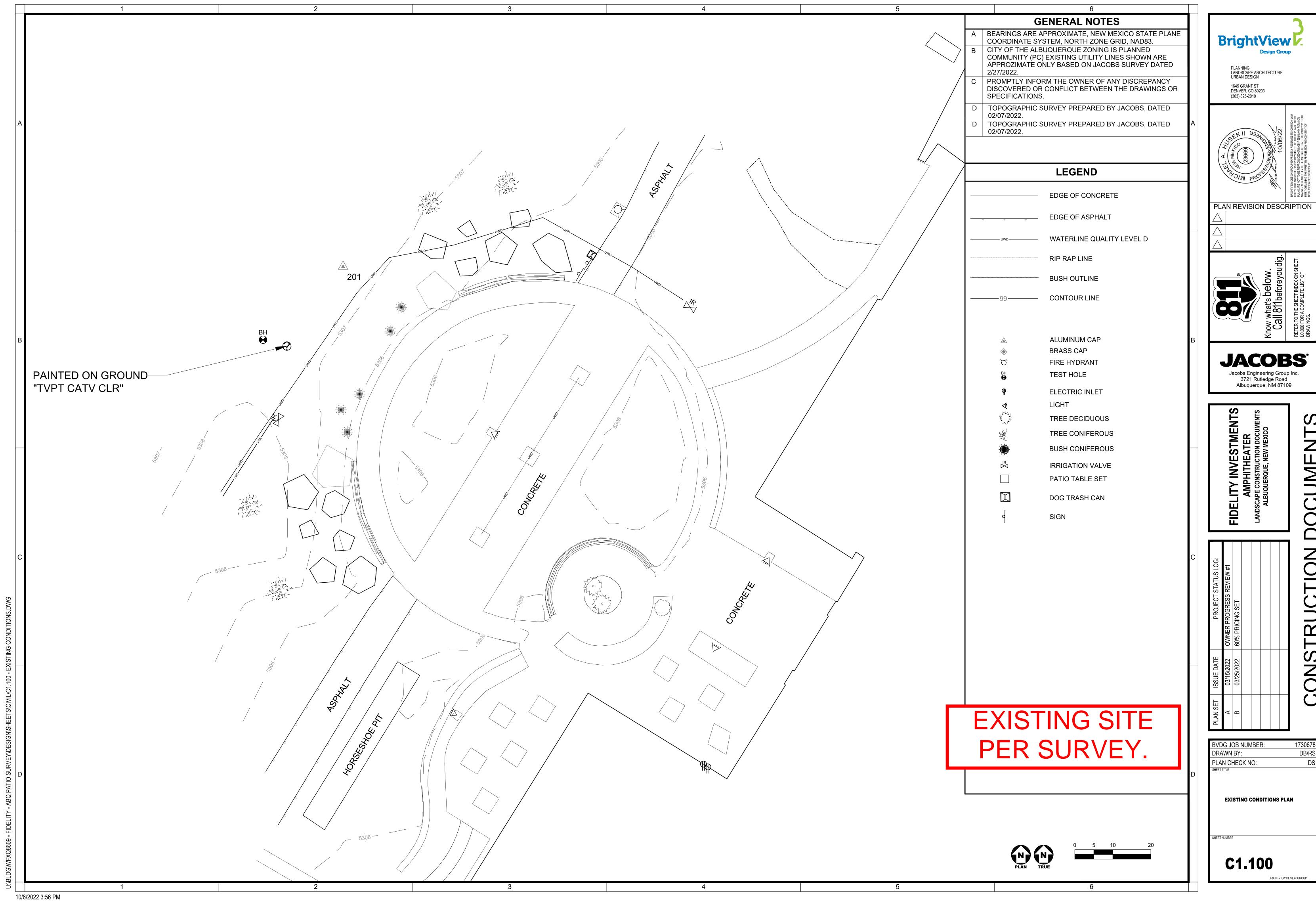
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I. CONTRACTOR'S CONSTRUCTION WORK RESPONSIBILITIES:

- 1. CONTRACTOR SHALL VERIFY WITH OWNER'S REPRESENTATIVE THAT PLANS ARE CURRENT AND APPROVED.
- SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL CONSTRUCTION ELEMENTS AS SHOWN ON THE
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY AND/OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND/OR TAXES REQUIRED TO INSTALL THE WORK ON THESE PLANS.
- CONFORMANCE: ALL CONSTRUCTION WORK SHALL CONFORM TO APPLICABLE LOCAL, COUNTY AND/OR STATE CODES, REGULATIONS AND RULES.
- 5. LICENSE: ALL WORK SHALL BE PERFORMED BY A STATE LICENSED CONTRACTOR.
- 6. INSURANCE: THE CONTRACTOR SHALL CARRY ALL WORKMAN'S COMPENSATION. PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY ALL APPLICABLE CODES, REGULATIONS AND THE OWNER
- 7. SITE VERIFICATION: PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL VERIFY, AT THE JOB SITE, ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AFFECTING THE INTENDED DESIGN OF THE LANDSCAPE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER
- LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SET-BACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED
- 9. COORDINATION OF ACTIVITIES: THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF HIS ACTIVITIES WITH ALL OTHER TRADES THROUGH THE OWNER (JOB SUPERINTENDENT).
- 10. FIELD STAKING: PRIOR TO INSTALLATION. THE CONTRACTOR SHALL LOCATE BY STAKES, OR OTHER MEANS. ALL CONSTRUCTION ELEMENTS AS DELINEATED ON THE PLANS FOR APPROVAL BY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT.
- 11. NOTIFICATION OF DISCREPANCIES: ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ALL WORK RELATED TO THE PROBLEM AREA SHALL CEASE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED BY THE OWNER (JOB SUPERINTENDENT) OR LANDSCAPE ARCHITECT IN WRITING. ANY CONTINUATION OF WORK PRIOR TO THE RESOLUTION OF DISCREPANCIES IS AT THE CONTRACTOR'S RISK AND
- 12. LIABLE FOR DAMAGE: THE CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ALL UTILITIES, CONSTRUCTION, IRRIGATION AND PLANTING ELEMENTS, EXISTING OR NEW, MARKED OR UNMARKED, AND SHALL REPAIR OR REPLACE ANY DAMAGED IMPROVEMENTS IN A MANNER ACCEPTABLE TO THE OWNER (JOB SUPERINTENDENT).
- 13. LIABLE FOR LOSS: THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY LOSS TO HIS EQUIPMENT, PARTS AND MATERIALS ON THIS PROJECT UNTIL COMPLETION AND ACCEPTANCE OF THE JOB IN WRITING BY THE OWNER (JOB SUPERINTENDENT).
- 14. WRITTEN GUARANTEE: ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO THE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF PROJECT. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE ON HIS LETTERHEAD AT THE TIME OF THE FINAL
- 15. WRITTEN CERTIFICATION: THE CONTRACTOR SHALL PROVIDE A WRITTEN CERTIFICATION THAT THE CONSTRUCTION WORK IS INSTALLED IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY APPROVED SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS OR SPECIFICATIONS SHALL BE NOTED. THIS CERTIFICATION SHALL BE ON THE CONTRACTOR'S LETTERHEAD WITH HIS SIGNATURE AND STATE
- 16. STATE CIVIL CODE TO THE EXTENT THAT THIS PROJECT IS GOVERNED BY THE STATE CIVIL CODE, THE CONTRACTOR SHALL CONFORM WITH THE FUNCTIONALITY REQUIREMENT OF THE CIVIL CODE.
- 17. METHODS OF CONSTRUCTION: THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- 18. DETERMINATION OF "EQUAL" SUBSTITUTIONS SHALL BE MADE ONLY BY THE OWNER
- 19. THIS FIRM DOES NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THIS FIRM DOES NOT DIRECT THE CONTRACTOR'S OBSERVATIONS, AND IS NOT RESPONSIBLE FOR THE SAFETY OF PERSONNEL OTHER THAN OUR OWN ON THE SITE; THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS

II. OWNER'S CONSTRUCTION WORK RESPONSIBILITIES:

- 1. CONSTRUCTION RESPONSIBILITIES: THE OWNER WILL BE DIRECTLY RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING ALL CONSTRUCTION INSPECTIONS. ALL FIELD MEETINGS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT) TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE IN A SUPPÒRT OBSERVATION ROLÉ TO THE OWNER (JOB SUPERINTENDENT) PROVIDING INTERPRETIVE ADVICE ONLY IN ACCORDANCE WITH THE OBSERVATION
- DETERMINING LEGAL AND PHYSICAL ELEMENTS: OWNER (JOB SUPERINTENDENT) SHALL BE RESPONSIBLE FOR DETERMINING PROPERTY LINES, RIGHT-OF-WAYS, TRACT BOUNDARIES, GRADES, EASEMENTS, UTILITY LOCATIONS (ABOVE AND BELOW GRADE) ANY OTHER LEGAL OR PHYSICAL ELEMENTS. AS REQUIRED. FOR THE SUCCESSFUL COMPLETION OF THE WORK. CONTRACTOR SHALL NOT BE PERMITTED TO PROCEED WITH ANY WORK WITHOUT DETERMINATION OF THE ABOVE INFORMATION.
- 3. ROUGH GRADE: OWNER (JOB SUPERINTENDENT) FROM SHALL PROVIDE ROUGH GRADE TO WITHIN 1/10TH OF ONE FOOT OF FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE AND DRAINAGE OF ALL CONSTRUCTION ELEMENTS AT SPECIFIED GRADIENT.
- 4. CONTRACT FULFILLMENT: ALL QUESTIONS RELATING TO INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS, QUALITY OF WORK AND ACCEPTABLE FULFILLMENT OF INTENT OF THE CONTRACT DOCUMENTS SHALL BE DECIDED BY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT
- 5. PERMITS AND INSPECTIONS: THE OWNER SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL PERMITS,

III. LANDSCAPE ARCHITECT'S CONSTRUCTION FIELD OBSERVATION SCHEDULE:

SHOP DRAWING/ SUBMITTAL NOTES:

DIMENSIONS.

INSTALLATION.

PERMITS AND INSPECTIONS.

1. ALL DETAILS ARE SHOWN FOR DESIGN INTENT PURPOSES. REFER TO THE

APPROVAL BY THE OWNER AND LANDSCAPE ARCHITECT.

FABRICATION AND/OR ORDERING MATERIALS.

DELAY IN THE CONSTRUCTION SCHEDULE.

CONSTRUCTION PLAN AND SCHEDULE FOR ADDITIONAL INFORMATION AND

CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND/ OR SUBMITTALS THAT IDENTIFY THE MEANS AND METHODS OF CONSTRUCTION FOR REVIEW AND

ALL STRUCTURAL RELATED ITEMS SHOWN ARE REQUIRED TO HAVE A STRUCTURAL ENGINEER DESIGN AND APPROVED SHOP DRAWINGS/ SUBMITTALS PRIOR TO

CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CLIENT AND THE LANDSCAPE

CONTRACTOR SHALL REVIEW ALL ITEMS REQUIRED TO COMPLETE THE DETAILED

LONG LEAD ITEMS OR CONTRACTOR SUBSTITUTIONS IN ORDER NOT TO CAUSE A

CONTRACTOR IS RESPONSIBLE FOR ALL GOVERNING AGENCY REQUIRED APPROVALS.

ARCHITECT OF ANY PLAN DISCREPANCIES OF THE WORK TO BE PERFORMED PRIOR TO

WORK AND SHALL ALERT THE OWNER AND LANDSCAPE ARCHITECT IN WRITING OF ANY

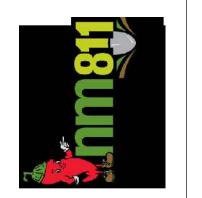
- 1. FIELD OBSERVATION COORDINATION: THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT). THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF THESE PHASES OF WORK IS AT THE CONTRACTOR'S RISK, WITH ANY REQUIRED CHANGE OR MODIFICATIONS AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.
- CONTRACTOR ORIENTATION/PRECONSTRUCTION MEETING: THIS MEETING SHALL BE CONDUCTED TO DISCUSS THE SPECIFICATIONS, POSSIBLE DISCREPANCIES, SITE CONDITIONS AND OTHER ASPECTS OF THE PROJECT CONSTRUCTION WORK SUCH AS PERSONNEL, SCHEDULE AND REQUIREMENTS FOR STARTING WORK. PRIOR TO THE MEETING, CONTRACTOR SHALL THOROUGHLY ACQUAINT THEMSELVES WITH SITE CONDITIONS AND THE PLANS, DETAILS AND SPECIFICATIONS.
- CONSTRUCTION STAKING AND LAYOUT OBSERVATION: THIS OBSERVATION SHALL BE PERFORMED AFTER ALL CONSTRUCTION ELEMENTS, FLOW LINES AND FINISH GRADES HAVE BEEN LOCATED IN THE FIELD, BUT PRIOR
- 4. ROUGH CONSTRUCTION PROGRESS OBSERVATION: THIS OBSERVATION SHALL BE PERFORMED AFTER ALL FORMING, EXCAVATION, REINFORCING STEEL AND STRUCTURAL STEEL WORK HAS BEEN COMPLETED, BUT PRIOR TO PLACEMENT OF ANY CONCRETE.
- 5. PROGRESS/INSTALLATION INSPECTIONS: PERIODIC INSPECTIONS SHALL BE PERFORMED BY THE OWNER (JOB SUPERINTENDENT) DURING CONSTRUCTION OPERATIONS TO INSURE CONFORMANCE WITH THE PLANS AND
- FINAL OBSERVATION/PROJECT CERTIFICATION: THIS OBSERVATION VISIT WILL BE PERFORMED TO REVIEW ALL ASPECTS OF THE CONTRACTED WORK PRIOR TO RELEASING THE PROJECT TO THE OWNER.
- 7. SITE OBSERVATION BY THE LANDSCAPE ARCHITECT DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS. SPECIFICATIONS AND GOVERNING CODES.

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LANDSCAPE ARCHITECTURE URBAN DESIGN 1645 GRANT ST DENVER, CO 80203 (303) 825-2010



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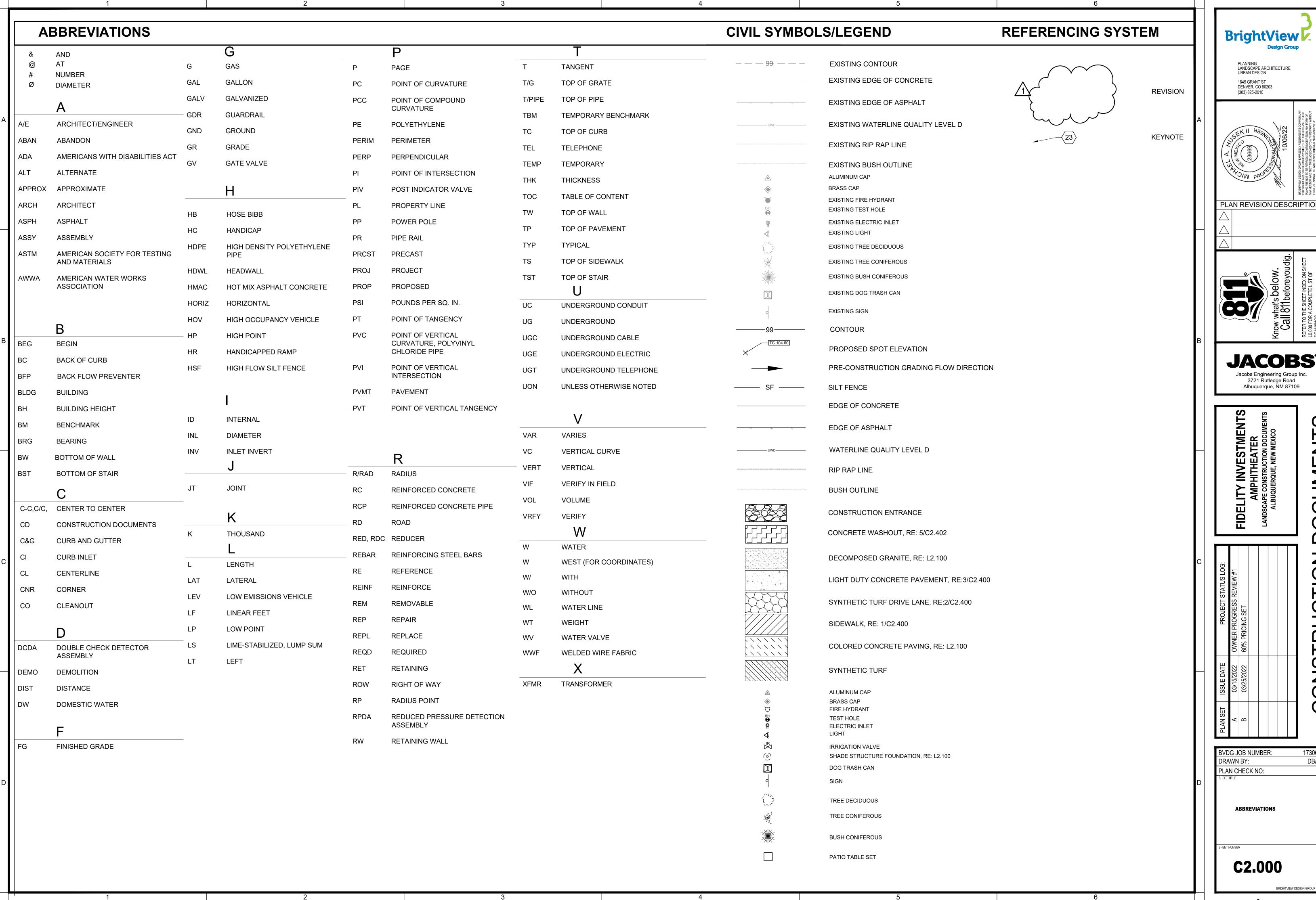
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CONSTRUCTION **NOTES**

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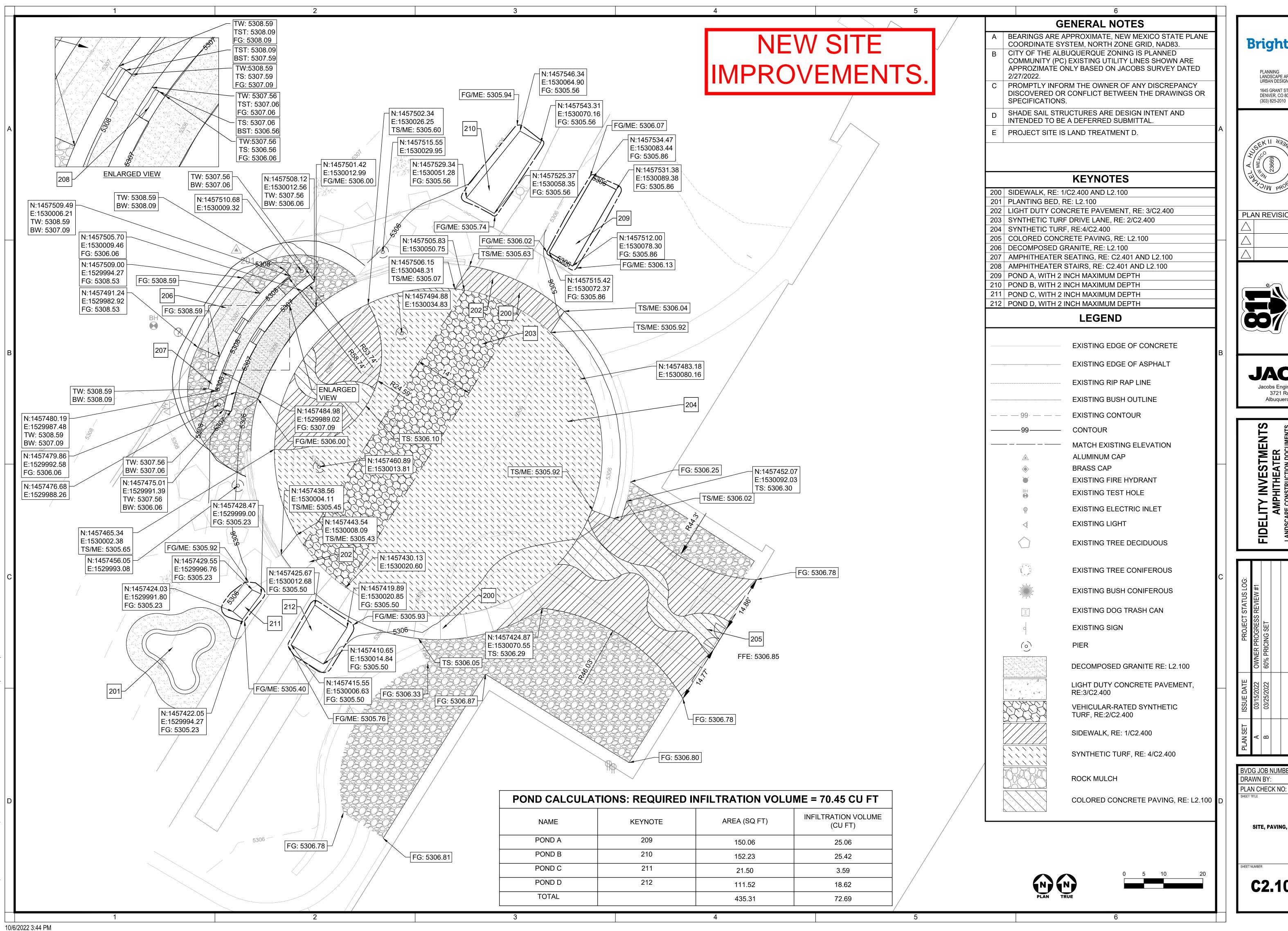


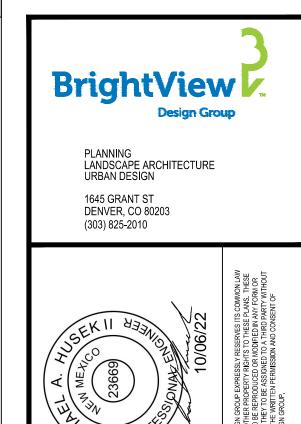
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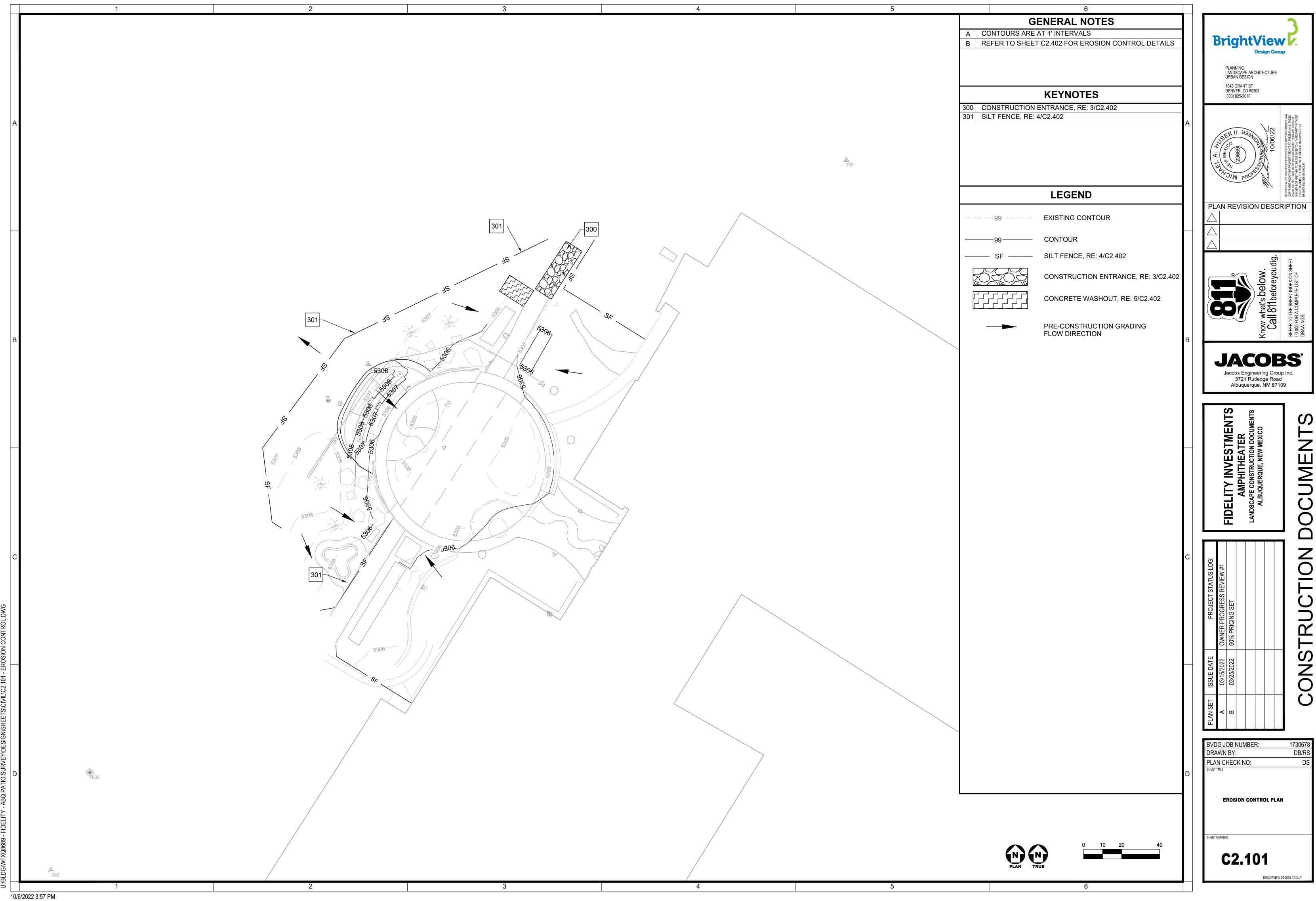


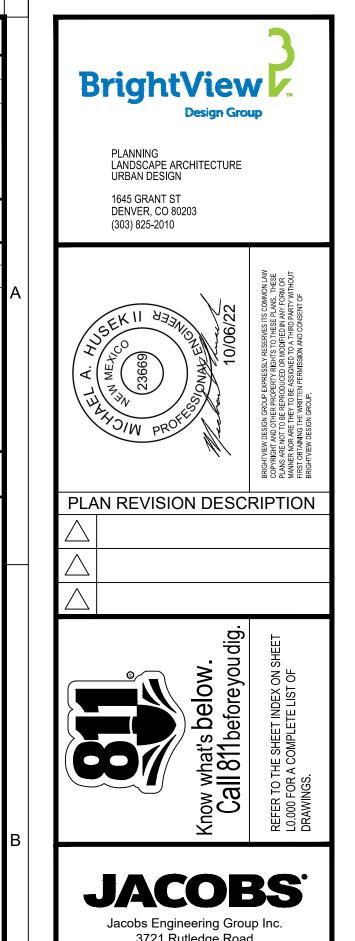
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FLATWORK FINISH LEGEND

	CODE	MATERIAL	DETAIL	SHEET	MATERIAL	COLOR	PATTERN / FINISH	COMMENTS
	P01	DECOMPOSED GRANITE	В	L2.400	CRUSHER FINES	SANTA FE BROWN	INSTALL WITH ORGANIC LOCK / STABILIZER	MATERIAL TO MATCH EXISTING ON-SITE. CONTRACTOR TO PROVIDE SAMPLE TO OWNER / OWNER REPRESENTATIVE FOR APPROVAL PRIOR ORDER/INSTALLATION. SUPPLIER: CANYON STONE AND GRAVEL, LLC; CONTACT: 505-315-7243
	P02	ROCK MULCH	-	-	3/8" - 1" GRAVEL, 3" DEPTH LANDSCAPE FABRIC BELOW	ROSE GOLD	-	MATERIAL TO MATCH EXISTING ON-SITE. CONTRACTOR TO PROVIDE SAMPLE TO OWNER / OWNER REPRESENTATIVE FOR APPROVAL PRIOR ORDER/INSTALLATION. SUPPLIER: CANYON STONE AND GRAVEL, LLC; CONTACT: 505-315-7243
0 0	P03	CONCRETE PAVING	SEE CIVIL	SEE CIVIL	NATURAL GRAY CONCRETE	GRAY	LIGHT BROOM FINISH	MATERIAL TO MATCH EXISTING ON-SITE. CONTRACTOR TO PROVIDE SAMPLE TO OWNER / OWNER REPRESENTATIVE FOR APPROVAL PRIOR ORDER/INSTALLATION.
	P04	COLOR CONCRETE PAVING	SEE CIVIL	SEE CIVIL	COLOR SURFACE HARDENER	TEAL	LIGHT BROOM FINISH	INSTALL PER MANUFACTURER'S SPECIFICATIONS; CONTRACTOR TO PROVIDE COLOR SAMPLE TO OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL; MANUFACTURER: BRICKFORM; SUPPLIER: SOLOMON COLORS - www.solomoncolors.com
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \		SYNTHETIC TURF	SEE CIVIL	SEE CIVIL	LEISURE TURF 80	101 SW: 320 FIELD GREEN/OLIVE	SAND/SILICA INFILL	INSTALL PER MANUFACTURER'S SPECIFICATIONS; MANUFACTURER: SOUTHWEST GREENS - www.swgreens.com
	P06	VEHICULAR-RATED SYNTHETIC TURF	SEE CIVIL	SEE CIVIL	LEISURE TURF 80	101 SW: 320 FIELD GREEN/OLIVE	SAND/SILICA INFILL	INSTALL PER MANUFACTURER'S SPECIFICATIONS; MANUFACTURER: SOUTHWEST GREENS - www.swgreens.com

SITE ELEMENT LEGEND

CODE	ITEM	DETAIL	SHEET	MODEL/MANUFACTURER/MATERIAL	COLOR	PATTERN / FINISH / SIZE	COMMENTS
S01	SHADE SHELTER (DEFERRED SUBMITTAL)	В	L2.401	STRUCTURE: CUSTOM SHADE SAIL: COMMERCIAL 95 MATERIAL (10-YEAR WARRANTY FROM UV DEGRADATION) GORTEX THREAD. HOT-DIPPED GALVANIZED OR STAINLESS-STEEL CABLES/TURNBUCKLES/ATTACHMENT HARDWARE. POST PAINT: SHERWIN WILLIAMS KEM 400 EXTERIOR ENAMEL.	SHADE SAIL: NATURAL POST: BURNISHED SLATE		CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE. CONTRACTOR TO PROVIDE STAMPED STRUCTURAL ENGINEER DRAWINGS FOR DEFERRED SUBMITTAL. CONTRACTOR TO PROVIDE COLOR SAMPLE TO OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL; MANUFACTURER: PASCETTI STEEL, www.pascettisteel.com, PHONE: 505-341-2900. SHADE SAIL MANUFACTURER: ARIZONA SUN SUPPLY, www.arizonasunsupply.com, OR APPROVE EQUAL.
S02	AMPHITHEATER	А	L2.400				CONCRETE FINISH AND COLOR TO MATCH EXISTING ON-SITE CONCRETE WALLS
S03	CONCRETE SEAT WALL	SEE CIVIL	SEE CIVIL				CONCRETE FINISH AND COLOR TO MATCH EXISTING ON-SITE CONCRETE WALLS
S04	POLLINATOR GARDEN BED	A	L2.401	STONE: DRY LAID RED ROCK FLAT PALLET		STONE" 4-8" IN THICKNESS	CONTRACTOR TO PROVIDE SAMPLE TO OWNER / OWNER REPRESENTATIVE FOR APPROVAL PRIOR ORDER / INSTALLATION; SUPPLIER: CANYON STONE AND GRAVEL, LLC; CONTACT: 505-315-7243
S05	SITE SEATING (BY OWNER)	-	-	EXISTING SITE FURNISHING TO BE SALVAGED, STORED, REFURBISHED AND REINSTALLED.			
S06	LANDSCAPE BOULDER	С	L2.400	ON-SITE BOULDERS			

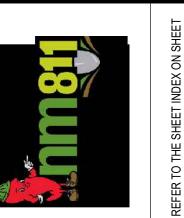
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Design Group

PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN 1645 GRANT ST DENVER, CO 80203 (303) 825-2010



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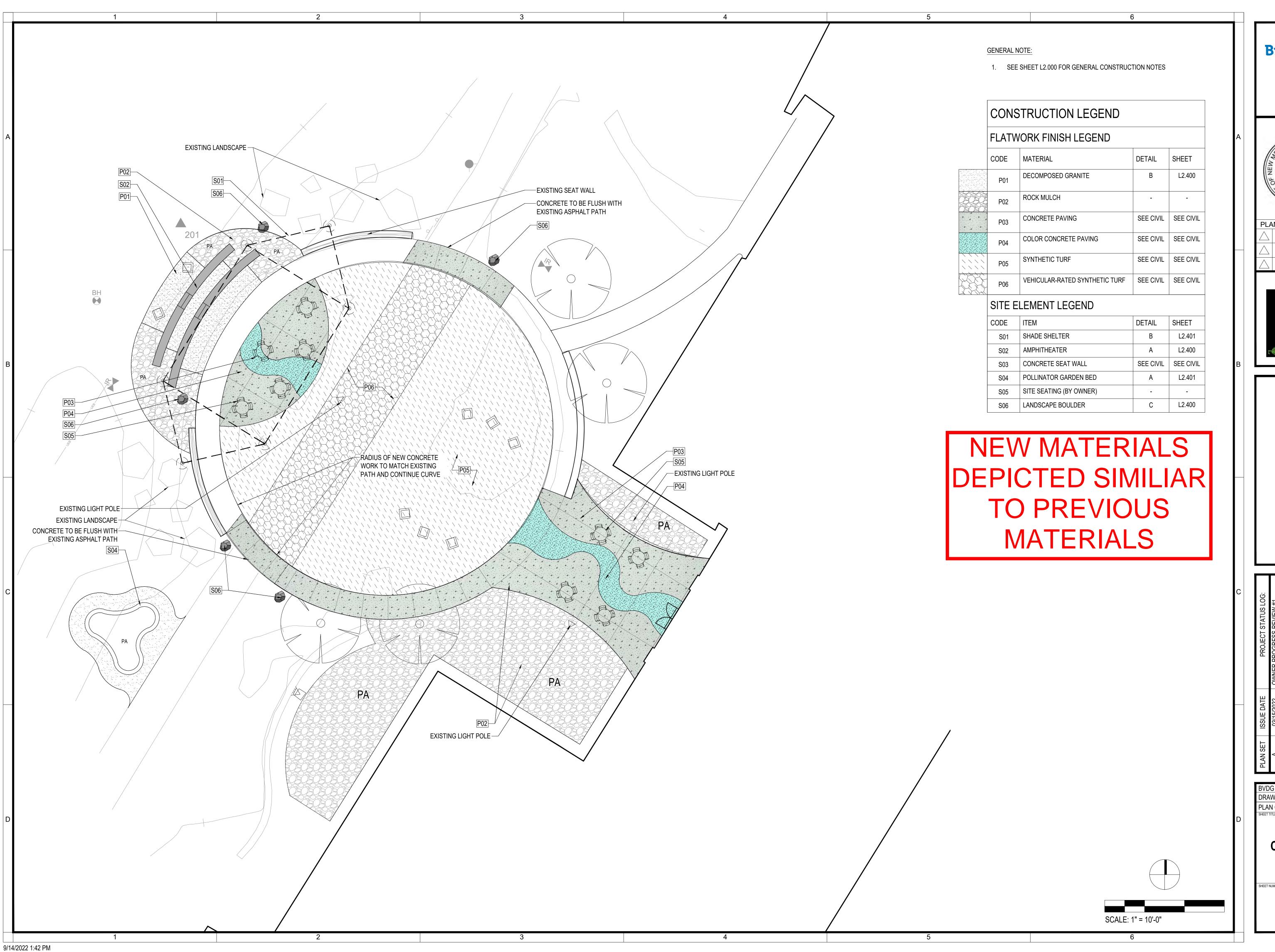


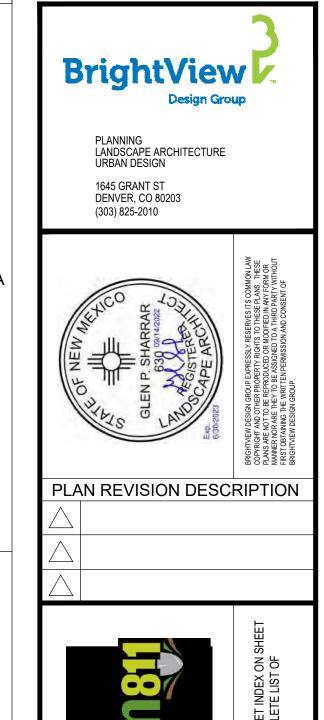
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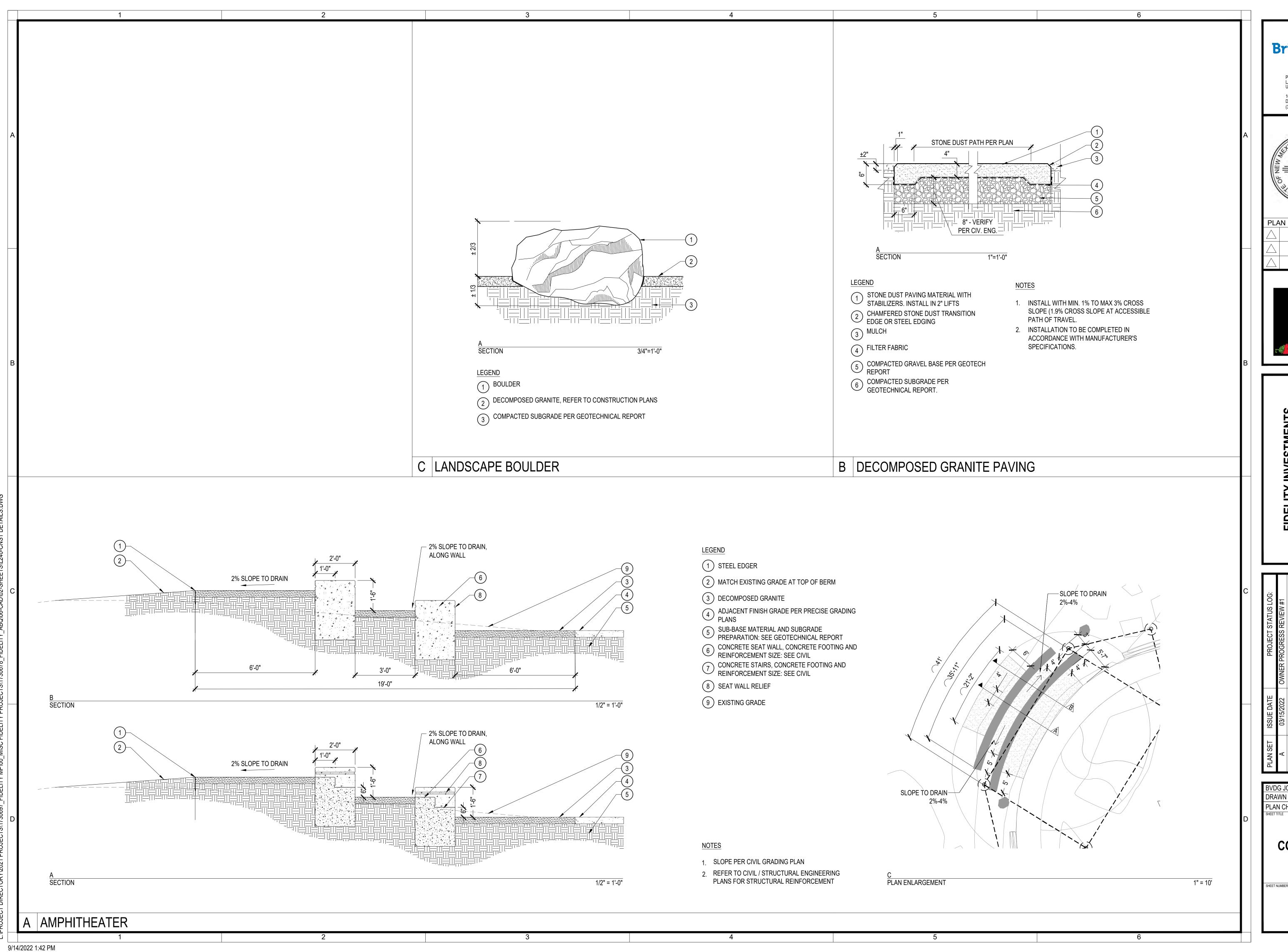
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LANDSCAPE CONSTRUCTION DOCUMENTS
ALBUQUERQUE, NEW MEXICO

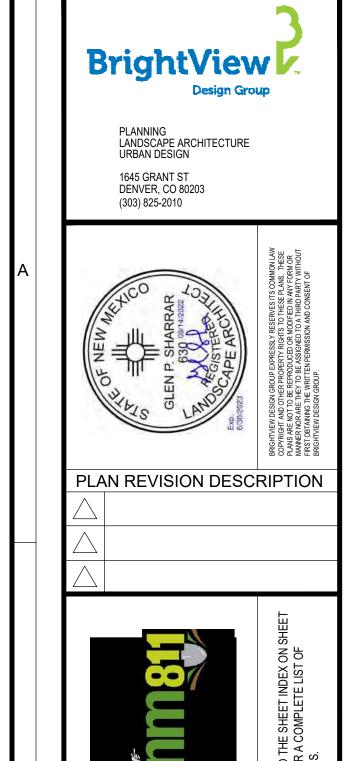
B 03/25/2022 60% PRICING SET
C 06/20/2022 VE SET
D 09/14/2022 AGENCY SUBMITTAL #1

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A 03/15/2022 OWNER PROGRESS REVIEW #1

B 03/25/2022 60% PRICING SET

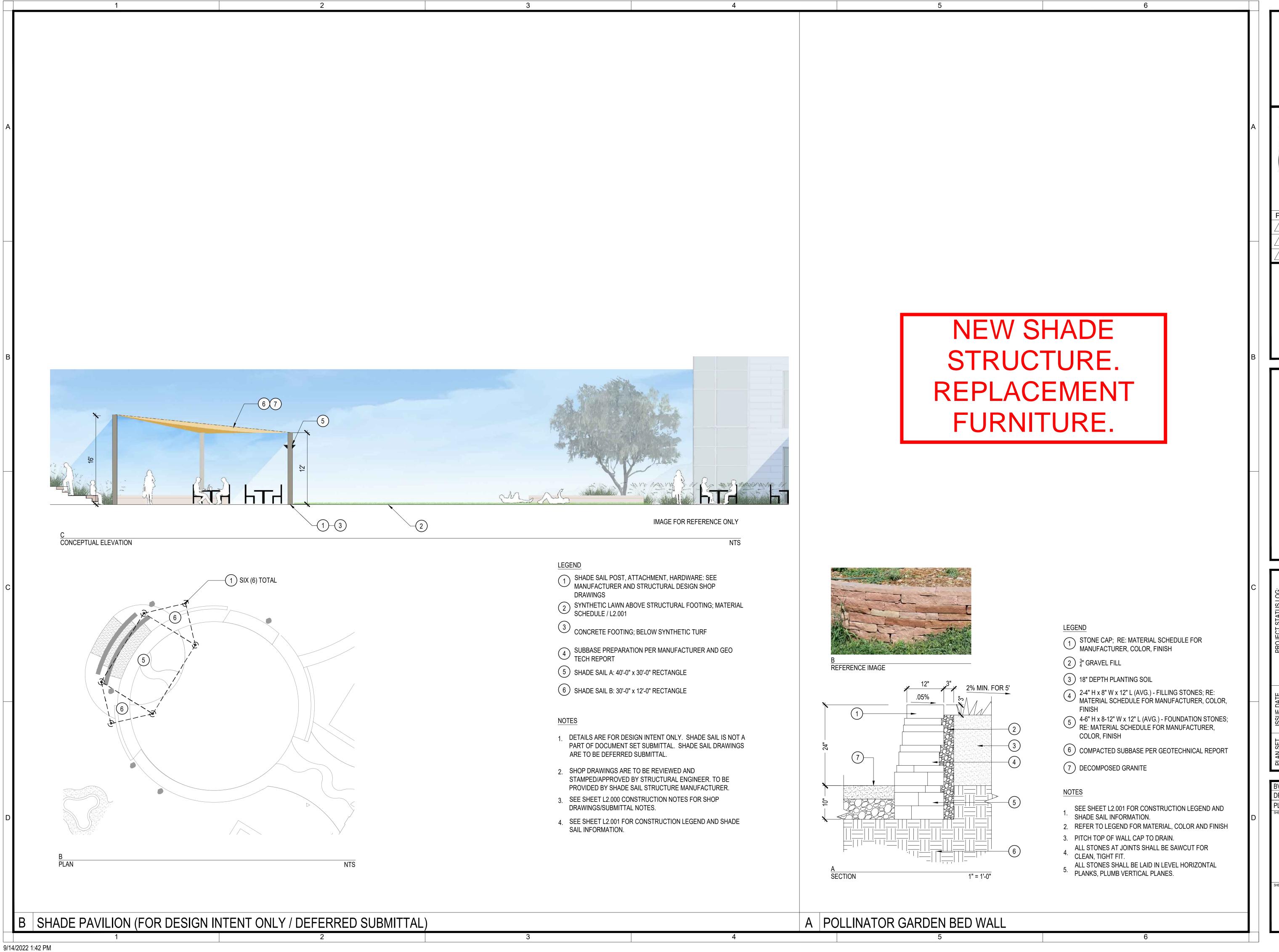
C 06/20/2022 VE SET

D 09/14/2022 AGENCY SUBMITTAL #1

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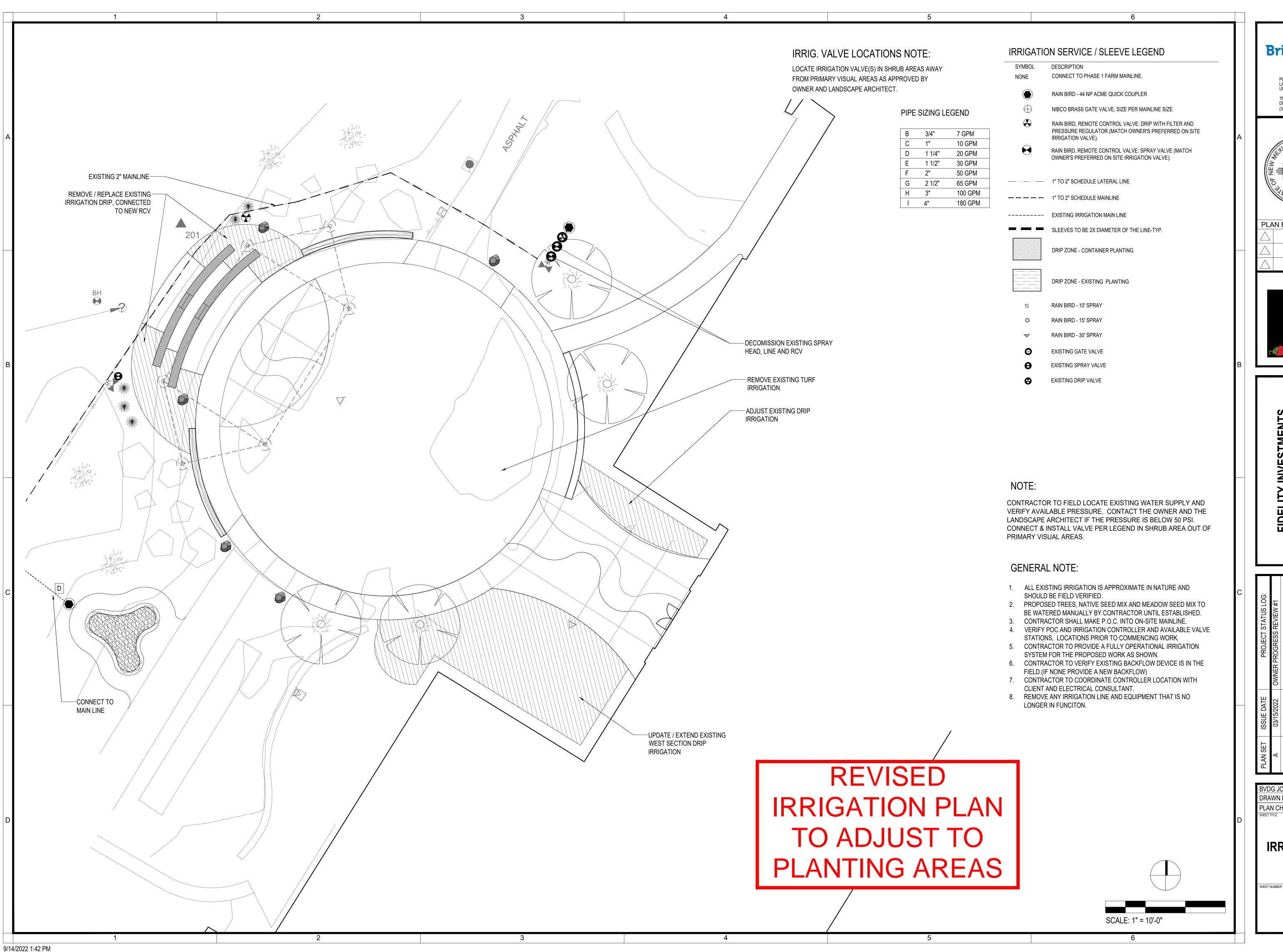


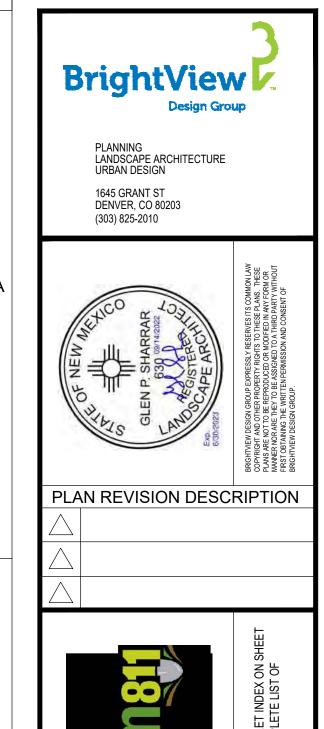


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IRRIGATION PLAN

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- CONTRACTOR'S RISK, WITH ANY REQUIRED CHANGE OR MODIFICATIONS AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF
- THE SPECIFICATIONS, POSSIBLE DISCREPANCIES, SITE CONDITIONS AND OTHER ASPECTS OF THE PROJECT LANDSCAPE WORK SUCH AS PERSONNEL, SCHEDULE AND REQUIREMENTS FOR STARTING WORK. PRIOR TO THE MEETING, CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH SITE CONDITIONS AND THE PLANS, DETAILS AND SPECIFICATIONS.
- WEED ABATEMENT: THIS OBSERVATION SHALL BE PERFORMED AFTER THE WEED ABATEMENT CYCLE HAS BEEN COMPLETED TO REVIEW THE DEGREE OF WEED KILL
- LOCATIONS OF ALL PLANT MATERIAL; BACKFILL MIX AND FINE GRADE PRIOR TO ANY PLANTING WORK.
- PLANT MATERIAL/HYDROSEED/PRE-MAINTENANCE OBSERVATION: THIS OBSERVATION WILL BE PERFORMED TO REVIEW ALL WORK UNDER THE CONTRACT FOR COMPLETENESS. SCHEDULING SHALL COINCIDE WITH ANY HYDROSEEDING WORK TO BE PERFORMED UNDER THIS CONTRACT. THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT SHALL VERIFY CONFORMANCE OF HYDROSEED MATERIALS AND SEED PRIOR TO APPLICATION, AND PRIOR TO STARTING THE MAINTENANCE PERIOD.
- 30) DAY INTERVAL OF THE MAINTENANCE PERIOD WITH THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT TO ENSURE CONFORMANCE WITH THE MAINTENANCE SPECIFICATIONS. REFER TO SECTION VI, THIS SHEET FOR ADDITIONAL INFORMATION.
- FINAL OBSERVATION/PROJECT SUBSTANTIAL CONFORMANCE: THIS OBSERVATION VISIT WILL BE PERFORMED TO REVIEW ALL ASPECTS OF THE CONTRACTED WORK PRIOR TO RELEASING THE PROJECT TO THE OWNER.

PLANT LEGEND					
SUCCULENTS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
Z. Z	AC	8	AGAVE CHRYSANTHA	GOLDENFLOWER CENTURY PLANT	5 GAL.
Q	AD	6	ALOINOPSIS SPATHULATA	HARDY LIVING STONE	4" POT
	HP	3	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.
ø	ST	8	SEMPERVIVUM TECTORUM	HEN-AND-CHICKS	4" POT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
•	FP	3	FALLUGIA PARADOXA	APACHE PLUME	5 GAL.
ORNAMENTAL GRASSES	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	SIZE
0	SM	70	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL.
<u>PERENNIALS</u>	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
\odot	AA	25	ACHILLEA AGERATIFOLIA	GREEK YARROW	1 GAL.
*	DC	8	DELOSPERMA COOPERI	PURPLE ICE PLANT	1 GAL.
⊙	DY	5	DELOSPERMA NUBIGENUM	ICE PLANT	1 GAL.
⊙	DG	13	DIANTHUS GRANITICUS	PINK	1 GAL.
©	EW	11	ECHINACEA PURPUREA 'PAS702917' TM	POWWOW WILD BERRY CONEFLOWER	1 GAL.
⊕	EC	11	ECHINACEA X 'CHEYENNE SPIRIT'	CHEYENNE SPIRIT CONEFLOWER	1 GAL.
	GL	9	GAURA LINDHEIMERI	GAURA	1 GAL.
\odot	PS	14	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1 GAL.
Z Liller Z Agent C	RM	12	RATIBIDA COLUMNIFERA 'MEXICAN HAT'	PRAIRIE CONEFLOWER	1 GAL.
	RO	6	ROSMARINUS OFFICINALIS	ROSEMARY	3 GAL
£3	TL	34	THYMUS LANUGINOSUS	WOOLLY THYME	4" POT
\odot	WS	18	WYETHIA SCABRA	DESERT MULE EARS	1 GAL.
PERENNIAL MIX	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	SIZE
		140 SF	POLLENATOR GARDEN	BY OWNER	

BrightView LANDSCAPE ARCHITECTURE URBAN DESIGN 1645 GRANT S1 DENVER, CO 80203 (303) 825-2010 PLAN REVISION DESCRIPTION

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BVDG JOB NUMBER: 173067 DB/RS DRAWN BY: PENDING PLAN CHECK NO:

LANDSCAPE NOTES AND LEGEND

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THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.

CONTRACTOR ORIENTATION/PRE-CONSTRUCTION MEETING: THIS MEETING SHALL BE CONDUCTED TO DISCUSS

PLANT MATERIAL APPROVAL, LAYOUT AND FINE GRADE OBSERVATION: THIS OBSERVATION VISIT SHALL BE PERFORMED AFTER PLACEMENT OR STAKING IN THE FIELD OF ALL PLANT MATERIALS PER THE PLANS. CONTAINER PLANTS SHALL BE PLACED ON SITE. BOXED SPECIMENS SHALL BE STAKED AS TO LOCATION. OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL TYPE AND QUALITY;

PROGRESS/INSTALLATION INSPECTIONS: PERIODIC INSPECTIONS SHALL BE PERFORMED BY THE OWNER (JOB SUPERINTENDENT) DURING CONSTRUCTION OPERATIONS TO ENSURE CONFORMANCE TO PLANS AND

MAINTENANCE OBSERVATIONS: THESE OBSERVATION VISITS SHALL BE PERFORMED AT THE END OF EACH THIRTY

VIII. SPECIAL PLANTING NOTES:

GROUNDCOVER IS NOT ACCEPTABLE.

SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

ENCOUNTERED ON SITE.

MAINTENANCE PROCEDURES:

ALL LANDSCAPE AREAS SHALL DRAIN TO THE AREA DRAIN AT MIN. 2% OR AS NOTED ON THE CIVIL ENGINEERS GRADING PLAN. FINAL TREE AND SHRUB PLACEMENT TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING.

ONCE HYDROSEED GERMINATION HAS OCCURRED AND ESTABLISHMENT HAS BEEN OBTAINED.

2. THE CONTRACTOR SHALL OBSERVE THE FOLLOWING PLANTING REQUIREMENTS FOR ALL TREES:

NON-GERMINATING AT THE END OF EACH THIRTY (30) DAYS OF MAINTENANCE.

A. ALL TREES THAT ARE WITHIN 5'-0" OF HARDSCAPE ELEMENTS SHALL HAVE A ROOT BARRIER. TREES SHALL

A. GENERAL: THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING,

B. GROUNDCOVER FROM FLATS WITHOUT OVERSEED: APPLY PRE-EMERGENT HERBICIDE AT THE START OF

FERTILIZATION: MAINTENANCE WORK SHALL INCLUDE FERTILIZATION WITH THE FOLLOWING FERTILIZER AT

WEEDING: ANY CONCENTRATED DEVELOPMENT OF WEED GROWTH THAT MAY APPEAR IN PLANTING AREAS

DURING THE MAINTENANCE PERIOD SHALL BE REMOVED AT TEN (10) DAY INTERVALS. THE CONTRACTOR

SHALL REMOVE SUCH CONCENTRATIONS OF WEEDS INCLUDING THEIR ROOTS BY HAND OR IN A MANNER

RODENT CONTROL: THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO ELIMINATE ANY RODENTS

CLEAN-UP: DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL KEEP THE PREMISES IN A NEAT AND CLEAN CONDITION

PROTECTION OF LANDSCAPE: DURING THE MAINTENANCE PERIOD, THE CONTRACTOR SHALL BE

RESPONSIBLE FOR MAINTAINING ADEQUATE PROTECTION OF ALL PLANTING AREAS. ANY DAMAGED AREAS

RE-HYDROSEEDING: THE CONTRACTOR SHALL RE-HYDROSEED ALL HYDROSEED AREAS ERODED OR

FINAL ACCEPTANCE: WILL BE GIVEN AT THE END OF THE MAINTENANCE PERIOD FOR ALL PLANTED AREAS

ACCEPTABLE TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT. NOTE: CULTIVATION OF

FERTILIZATION, WEEDING, RODENT CONTROL, CLEANUP AND AS NOTED BELOW.

MAINTENANCE IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.

'HIRTY (30) DAY INTERVALS AFTER PLANTING. REFER TO HORTICULTURAL SOILS REPORT

NOT BE PLANTED IN AREAS LESS THAN THE MINIMUM PLANTING AREA SPECIFIED IN THE LEGEND THE CONTRACTOR SHALL VERIFY ALL MINIMUM TREE SPACING REQUIREMENTS PRIOR TO PLANTING. TREES NOT MEETING THE REQUIREMENTS SHALL NOT BE PLANTED AND SHALL BE BROUGHT TO THE ATTENTION OF

3. ALL SHRUB PLANTING AREAS TO BE MULCHED WITH A THREE (3") INCH LAYER OF ROCK MULCH (UNLESS D.G. OR PEBBLE MULCH IS SPECIFIED ON CONSTRUCTION SHEETS. SUBMIT MULCH WITH HORTICULTURAL SOILS REPORT PRIOR TO

4. INDICATES TREES PLANTED WITH AN AGENCY APPROVED LINEAR ROOT BARRIER.

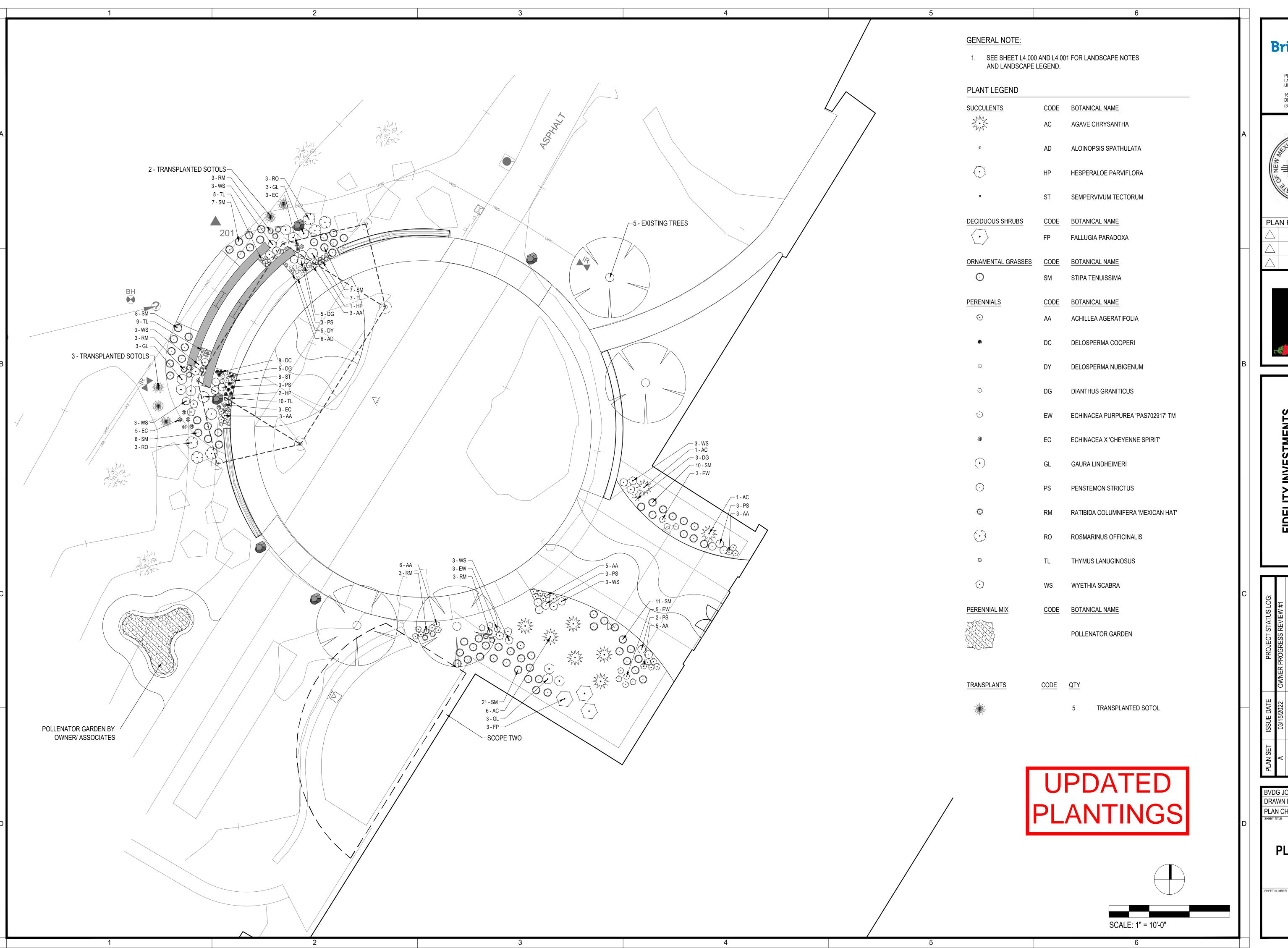
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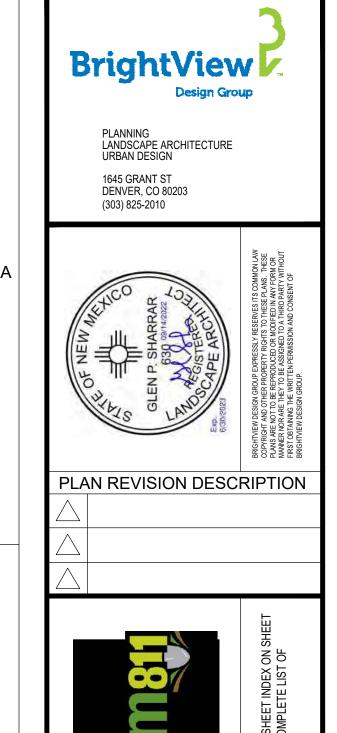
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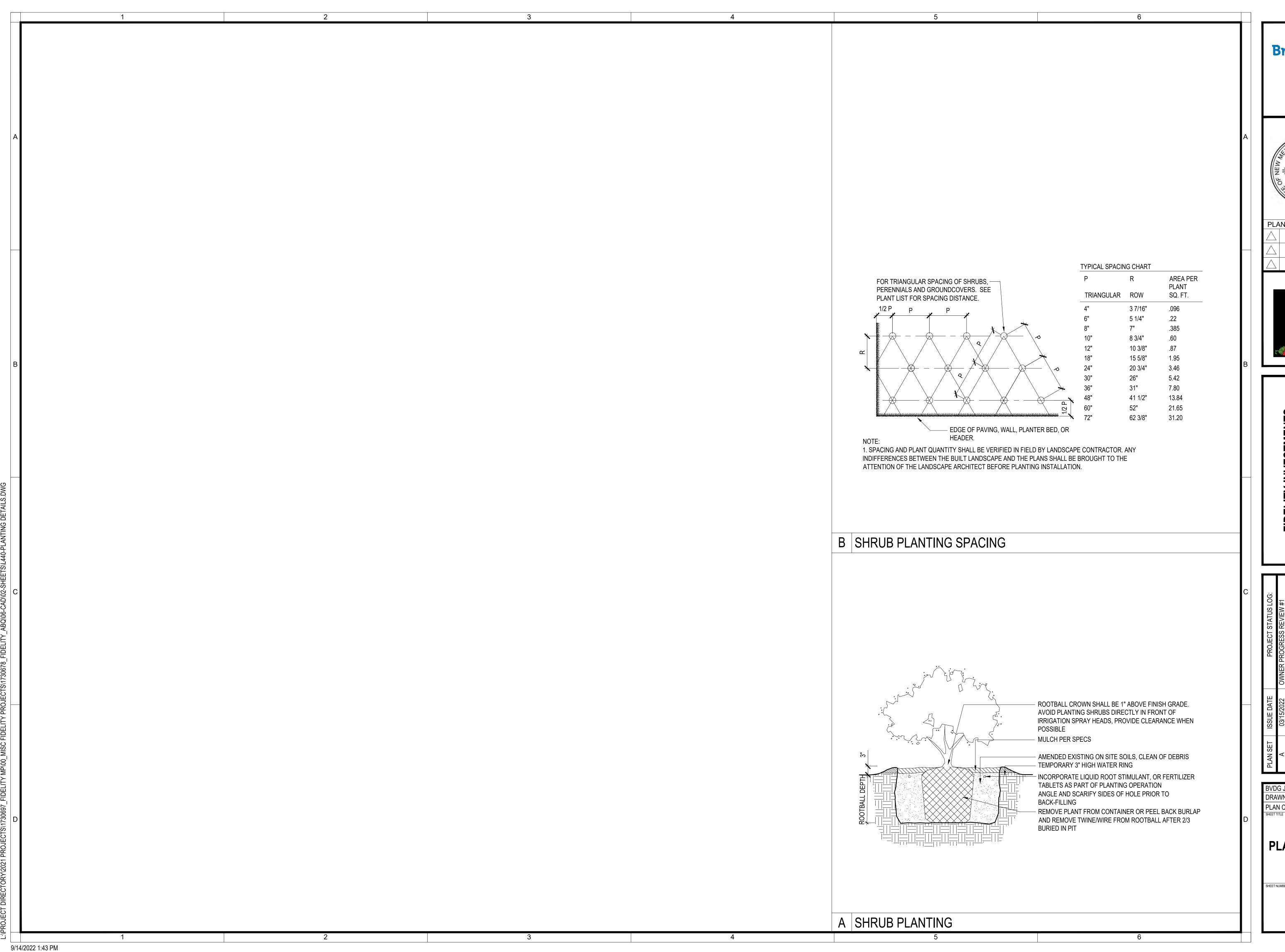
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REFER TO THE SHEET INDEX ON SHEET

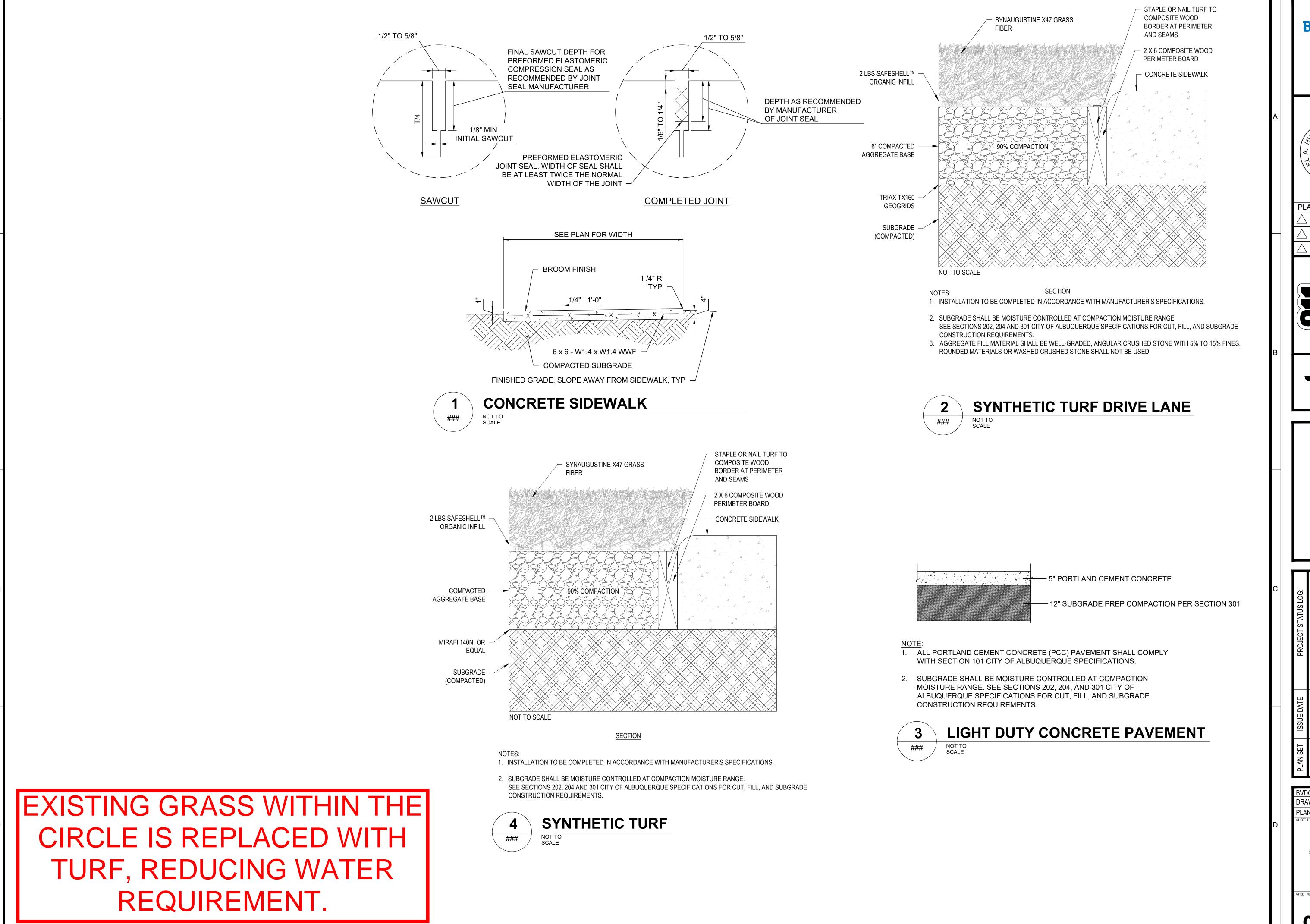
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LANDSCAPE CONSTRUCTION DOCUMENT
ALBUQUERQUE, NEW MEXICO

PROJECT STATUS LOG:	OWNER PROGRESS REVIEW #1	60% PRICING SET	VE SET	AGENCY SUBMITTAL #1		
ISSUE DATE	03/15/2022	03/25/2022	06/20/2022	09/14/2022		
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DENVER, CO 80203

PLAN REVISION DESCRIPTION

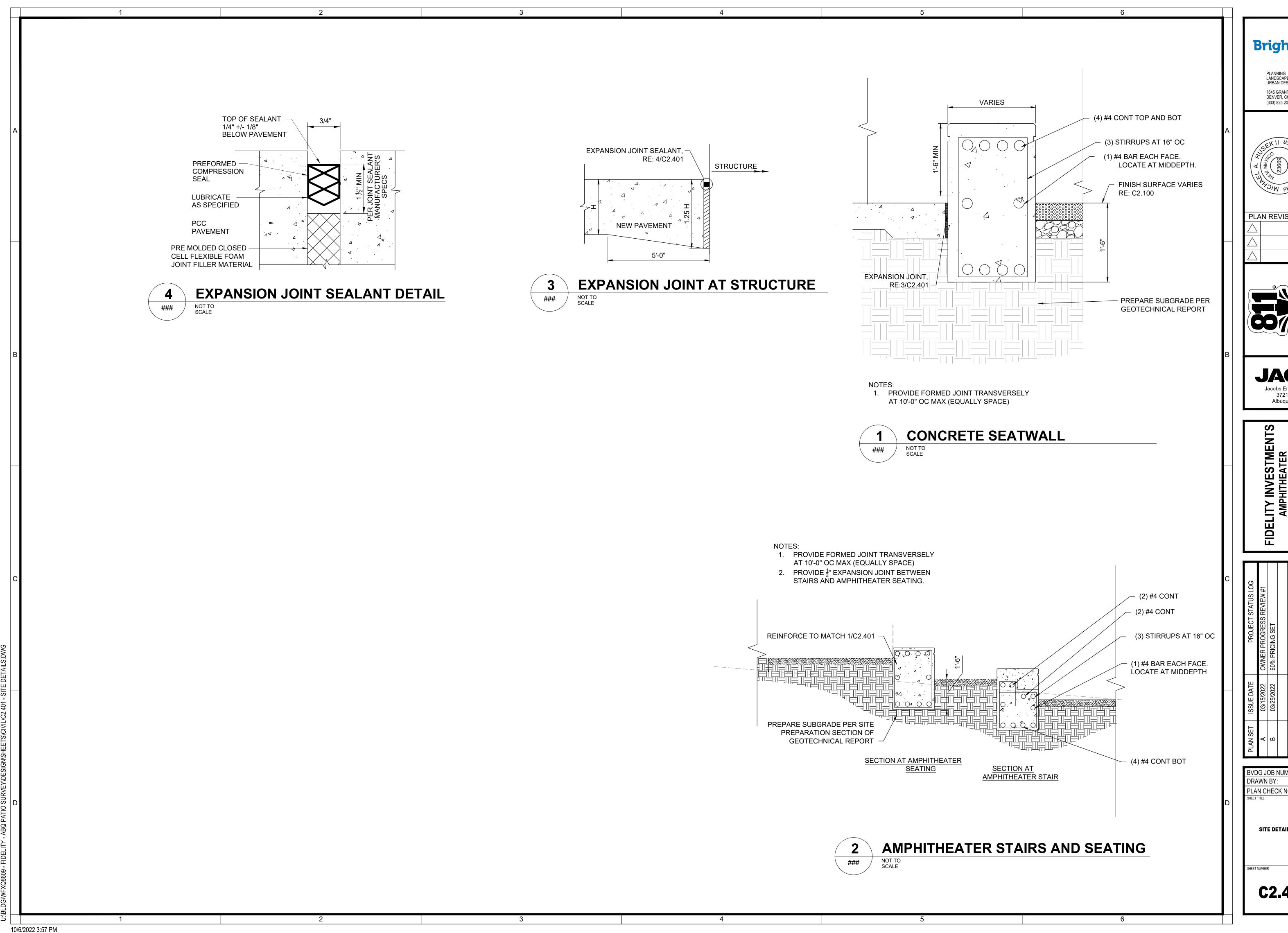
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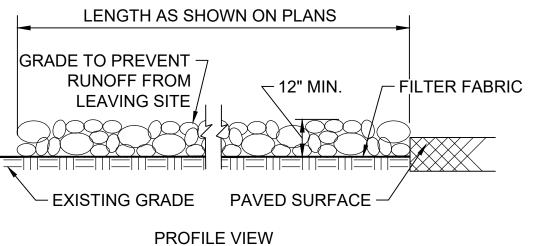
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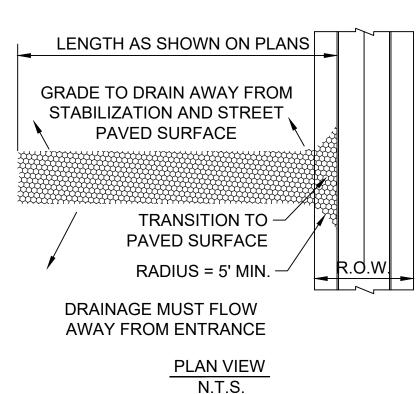
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THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.





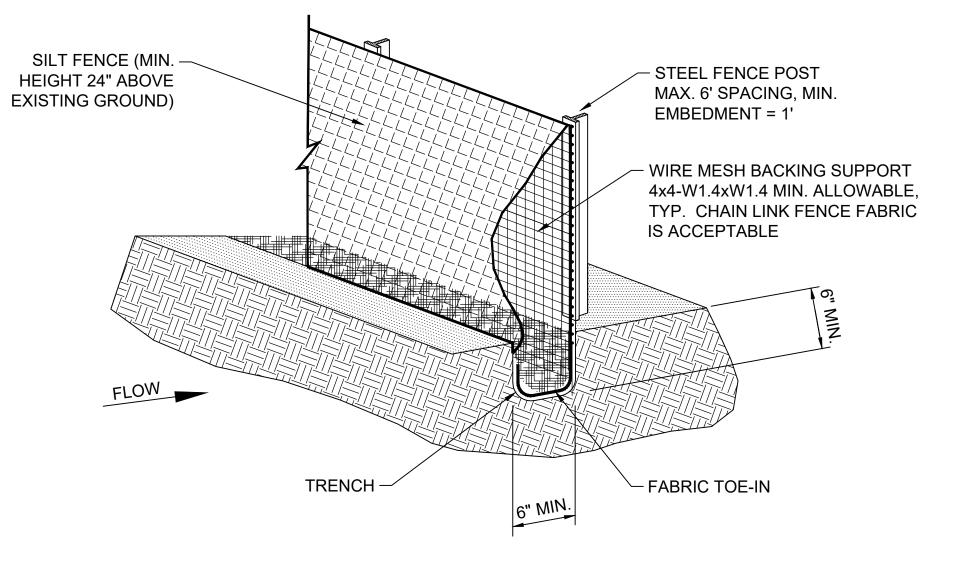
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N.T.S.

SCALE

- 1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK.
- 2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
- THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
- 4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
- 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
- THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

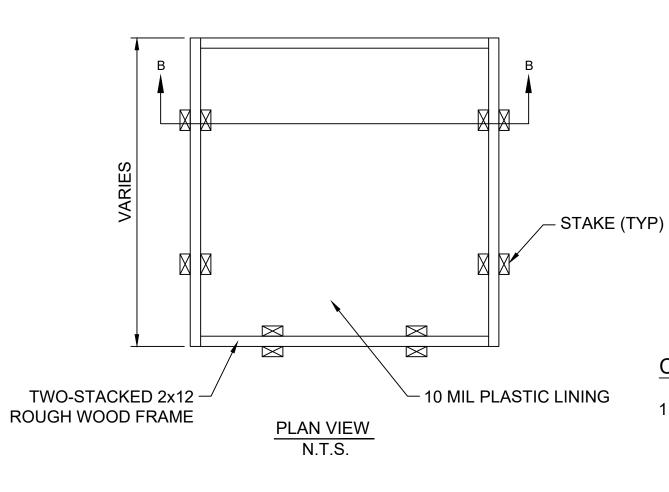


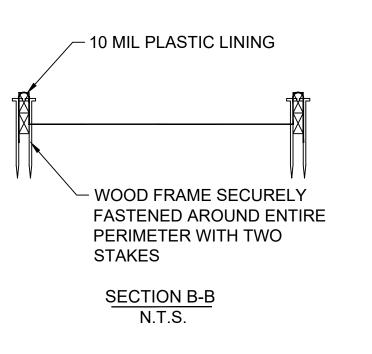
SILT FENCE GENERAL NOTES

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL
- 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.









CONCRETE WASHOUT NOTES:

- 1. LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
- 2. WASH OUT WASTE INTO TEMPORARY PIT WHERE THE CONCRETE CAN BE SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY.

SCALE

CONCRETE WASHOUT AREA

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LANDSCAPE ARCHITECTURE URBAN DESIGN 1645 GRANT ST DENVER, CO 80203



PLAN REVISION DESCRIPTION



JACOBS Jacobs Engineering Group Inc. 3721 Rutledge Road

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