FORM P3

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

 \underline{X} Letter of authorization from the property owner if application is submitted by an agent \underline{X} Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- ____ Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- X The approved Site Plan being amended
- X Copy of the Official Notice of Decision associated with the prior approval
- X The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

□ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

____ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)

- ____ The approved Site Development Plan being amended
- ____ Copy of the Official Notice of Decision associated with the prior approval
- ____ The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

❑ ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

□ ALTERNATIVE SIGNAGE PLAN

- ____ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ____ Required notices with content per IDO Section 14-16-6-4(K)
- ___Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

□ ALTERNATIVE LANDSCAPE PLAN

_____Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)

Landscape Plan

02 DEVELOPMENT REVIEW APPLICATION

$A^{\rm City\,of}_{lbuquerque}$



DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.							
Administrative Decisions	Decisi	ons Requiring a Pu	blic Meeting or Hearing	Policy	Policy Decisions		
□ Archaeological Certificate (Form P3)	□ Site (<i>Form</i>		g any Variances – EPC		ption or Amendment of Facility Plan <i>(Form Z)</i>	Comprehensive	
□ Historic Certificate of Appropriateness - (Form L)	– Minor 🛛 Mas	ter Development Pla	n <i>(Form P1)</i>		ption or Amendment of ation (Form L)	Historic	
□ Alternative Signage Plan (Form P3)	☐ Hist (Form		propriateness – Major	🗆 Ame	endment of IDO Text (F	orm Z)	
X Minor Amendment to Site Plan (Form F	⊃3) □ Den	nolition Outside of HF	PO (Form L)	🗆 Ann	exation of Land (Form 2	Z)	
□ WTF Approval (Form W1)	□ Hist	oric Design Standard	Is and Guidelines (Form L)	🗆 Ame	endment to Zoning Map	– EPC (Form Z)	
	□ Wire (Form		ations Facility Waiver	🗆 Ame	endment to Zoning Map	– Council (Form Z)	
				Appea	ls		
				□ Dec A)	ision by EPC, LC, ZHE	, or City Staff (Form	
APPLICATION INFORMATION							
Applicant: Adam Gromer, Lega	acy Develop	ment & Mana	gement, LLC	Ph	one: 505-702-11	53	
Address: 5051 Journal Center	Blvd, Suite	500	r	Em	ail: agromer@le	gacydm.net	
City: Albuqueruqe			State: NM	Zip	87109		
Professional/Agent (if any): Anthony	y Santi, Dek	ker/Perich/Sa	batini	Phone: 505-761-9700			
Address: 7601 Jefferson St. N	IE, Suite 10	0		Em	Email: anthonys@dpsdesign.org		
^{City:} Albuquerque			State: NM	Zip	87109		
Proprietary Interest in Site:	Site: List <u>all</u> owners:						
BRIEF DESCRIPTION OF REQUEST							
Minor Amendment to Site	Plan to Ad	ust Building A	rea and Landscap	e Area	a Calculations		
SITE INFORMATION (Accuracy of the e	existing legal des	cription is crucial!	Attach a separate sheet if	necessa	ıry.)		
	lesa Del Norte A		Block:	Unit:			
Subdivision/Addition: Albuquerque, E	Bernalillo Count	y, New Mexico	MRGCD Map No.:	UP	C Code: 1019058	03924632211	
Zone Atlas Page(s): J-19-Z	Exi	sting Zoning: MX-	·M	Pro	Proposed Zoning: MX-M		
# of Existing Lots: 1	# o	f Proposed Lots: 1		Total Area of Site (acres): 1.74			
LOCATION OF PROPERTY BY STREET	S			=			
Site Address/Street: 7050 Constitu	tion Ave. Bei	ween: Louisiana	a Blvd.	and: P	ennsylvania St.		
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)							
PR-2021-005689	(n	/					
Signature:					^{te:} 8/18/2022		
Printed Name: Anthony Santi				Applicant or 🛛 Agent			
FOR OFFICIAL USE ONLY							
Case Numbers	Action	Fees	Case Numbers		Action	Fees	
Meeting/Hearing Date:				Fe	e Total:		
Staff Signature:	Date:	Pro	oject #				

LETTER OF AUTHORIZATION

August 18, 2022

Ms. Jolene Wolfley Chair, Development Review Board City of Albuquerque Planning Department 600 2nd St. NW Albuquerque, NM 87103

Re: Letter of Authorization Request for Minor Amendment to Site Plan - DRB 7050 Constitution Ave. NE Albuquerque, NM 87110

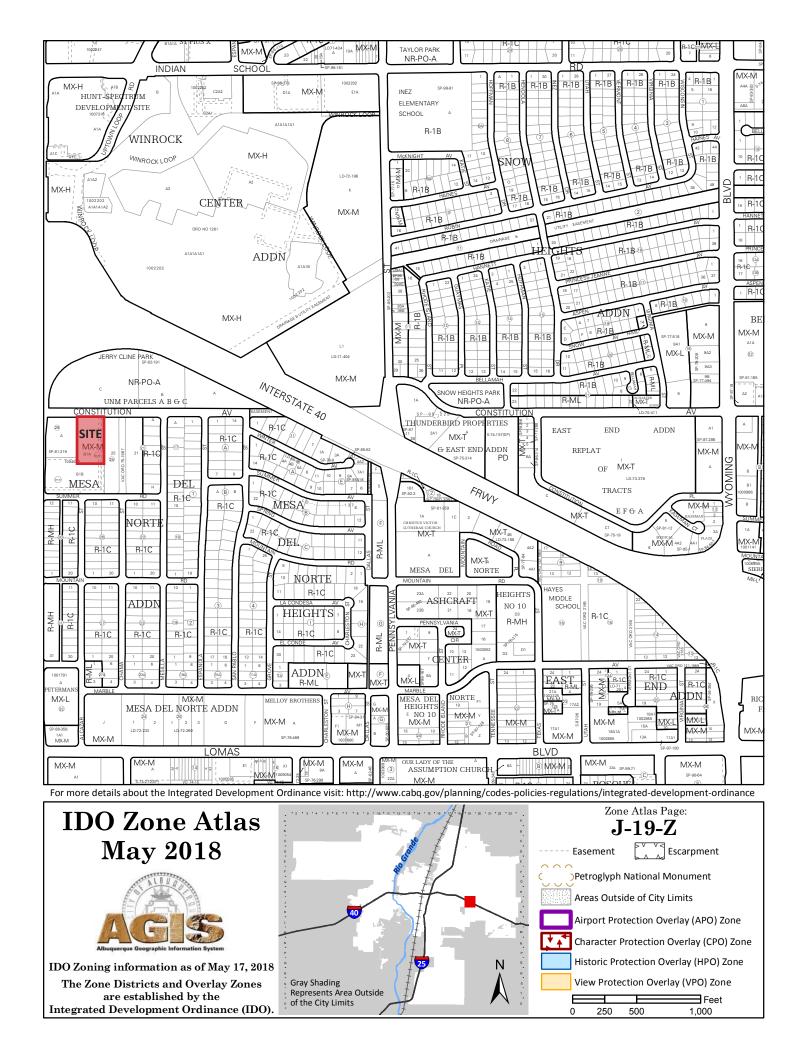
Dear Ms. Wolfley,

I, Adam Gromer, on behalf of Legacy Development & Management LLC., owner of the parcel located at 7050 Constitution Avenue NE authorize Anthony Santi of Dekker/Perich/Sabatini to act as an agent in matters relating to the submission of a Minor Amendment to Site Plan – DRB.

Sincerely,

Adam Gromer Director of Planning and Design Legacy Development & Management, LLC

ZONE ATLAS MAP



JUSTIFICATION LETTER

DEKKER PERICH SABATINI

August 18, 2022

Zoning Enforcement Officer (ZEO) City of Albuquerque Planning Department 600 Second Street NW | Albuquerque, NM 87102

Ref: Request for Administrative Amendment of a Site Development Plan Markana Flats Multi-Family Housing Development Located at 7050 Constitution Ave. NE, Albuquerque, New Mexico 87110

Dear Zoning Enforcement Officer,

Legacy Development and Management, LLC is seeking to amend the prior approved site plan-DRB for the property located at 7050 Constitution Ave. NE to adjust the building and landscape area calculations that were previously approved. The project is currently in review for building permit approval.

Pursuant to IDO Section 6-4(Y)(2) This request qualifies as a minor amendment as it meets all of the following criteria.

6-4(Y)(2)

- 1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.
 - The minimal increase in building area is necessary to right size the support/amenity spaces for the facility.
- 2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

Comparison Item	Year Approved	Approved Plan	Proposed AA	Proposed Change	% Change
Total Building Square	2021	182,052 SF	190,745 SF	Net gain 8,693 SF	4.5% Change
Footage					
Total Landscape Area	2021	12,278 SF	11,202 SF	Net loss 1,076 SF	8.8% Change

All changes total less than 10% and qualify as a minor amendment per IDO table 6-4-4

- 3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.
 - The amendment does not change the amount of open space from the original approval.
- 4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.
 - The amendment does not change any building setback from the original approval.
- 5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.
 - The amendment does not change the number of dwelling units from the original approval.



- 6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.
 - The amendment does not adjust any building design standard from the original approval.
- 7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.
 - N/A
- 8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.
 - No change from the original approval.
- 9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.
 - No change from the original approval.
- 10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.
 - The amendment does not change any specific conditions from the original approval.
- 11. The amendment does not affect a property in an Overlay zone as regulated pursuant to 0, in which case amendments may be granted per the original approval process for the Site Plan governing the site.
 - The property is not in an overlay zone.
- 12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.
 - No change from the original approval.
- 13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).
 - No change from the original approval.

If you have any questions or need clarification of anything contained herein, please contact Anthony Santi at (505)761-9700.

Sincerely,

Anthony Santi Dekker/Perich/Sabatini Agent for Legacy Development and Management, LLC



06 APPROVED SITE PLAN

The Site:

The property consists of 4.53 acres and is located at the southeast corner of Louisiana Boulevard and Summer Avenue. The legal description is Tracts B-1-A and B-1-B, Mesa Del Norte Addition. Tract B-1-B is fully developed

Proposed Use:

Existing zoning is MX-M SU-3 MU-UPT BUFFER as established by the Uptown Sector Development Plan. The proposed use shall be consistent with the SU-3 MU-UPT BUFFER ZONE in the Uptown Sector Development Plan MX-M ZONE

The Uptown Sector Development Plan (Rank III) and the Comprehensive Plan (Rank I) applies to this site.

Vehicular access and circulation to both Tracts is from Louisiana Boulevard via a 30 foot common access easement that provides internal access to Tract A, Tract B-1-A, and Tract B-1-B. Vehicular access is also provided from Constitution Avenue to Tract B-1-A.

Pedestrian Access and Circulation

Pedestrian access exists along Louisiana Boulevard, Summer Avenue, and Constitution Avenue. Internal circulation will be provided by sidewalks that are designed to meet the City's Zoning and Development Process Manual requirements.

Transit

southeast corner of Constitution Avenue / Louisiana Boulevard and southeast corner of Summer Avenue / Louisiana Boulevard for northbound travel and the southwest corner of Constitution Avenue / Louisiana Boulevard and south of the southwest corner of Summer Avenue / Louisiana Boulevard for southbound travel.

Building Heights and Setbacks:

Buildings shall not exceed 36 feet, subject to Buffer Setback regulations as provided in the Uptown Sector Development Plan. 65 FEET, WITH A STRUCTURED PARKING BONUS OF 12 FEET ALLOWED.

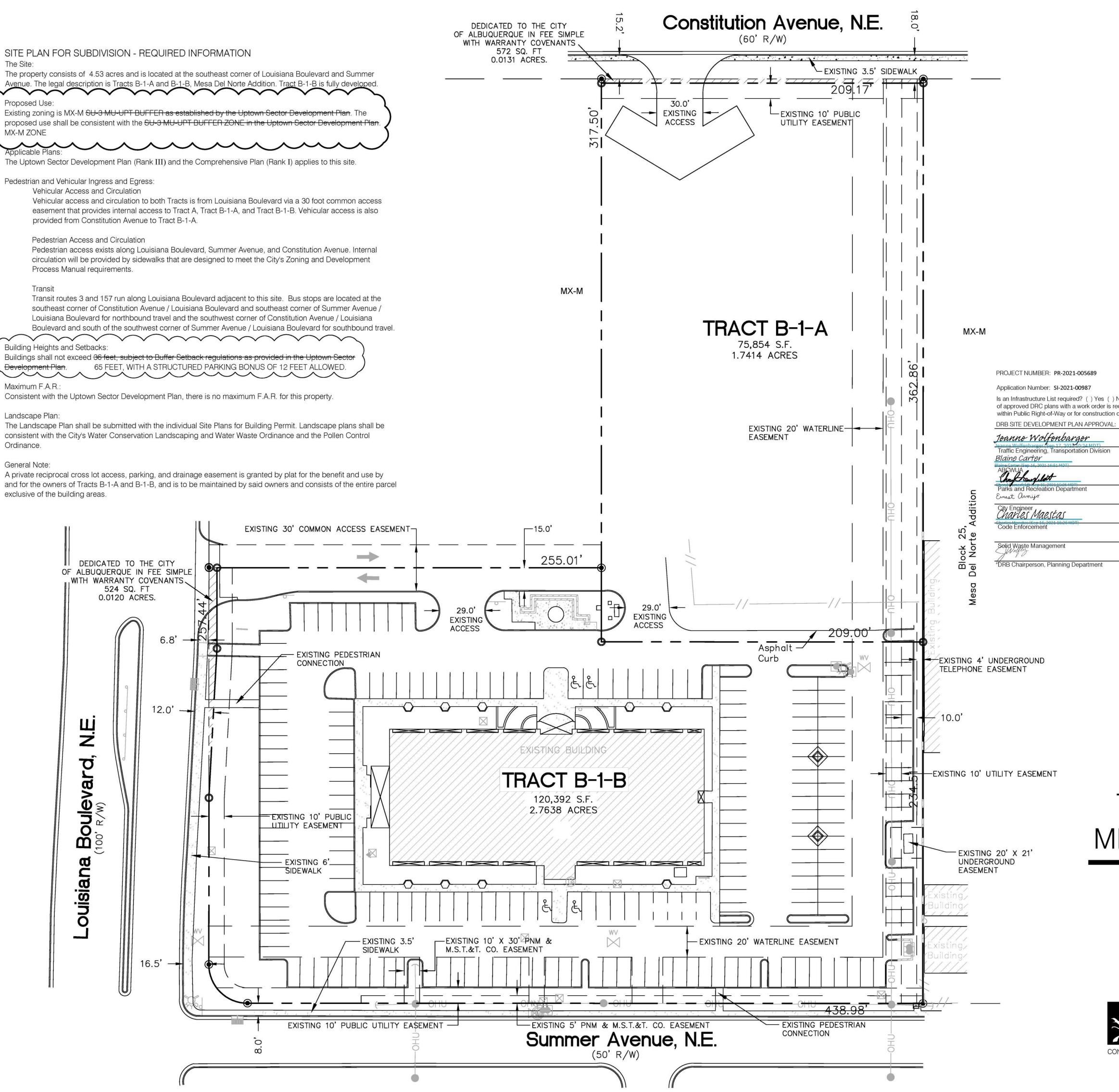
Maximum F.A.R.:

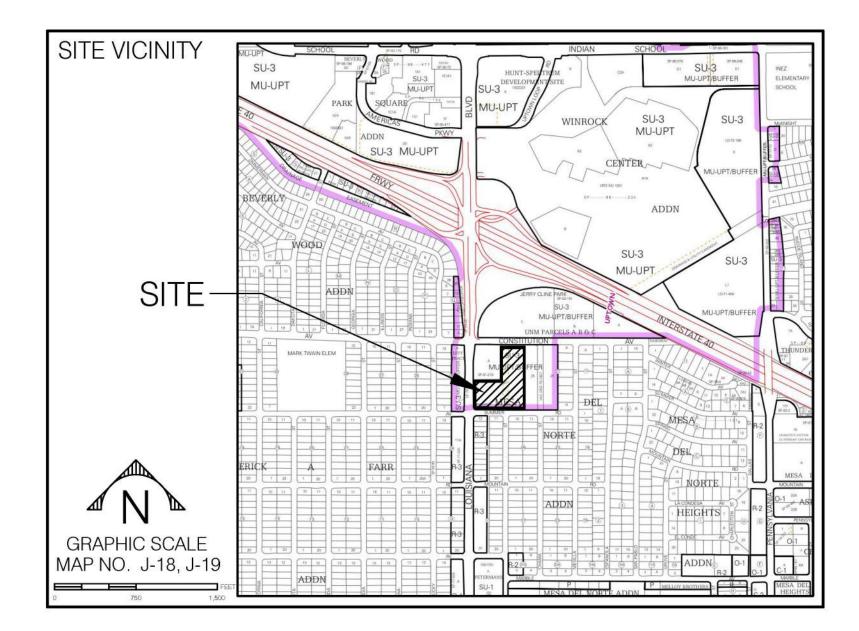
Landscape Plan:

consistent with the City's Water Conservation Landscaping and Water Waste Ordinance and the Pollen Control Ordinance.

General Note:

A private reciprocal cross lot access, parking, and drainage easement is granted by plat for the benefit and use by and for the owners of Tracts B-1-A and B-1-B, and is to be maintained by said owners and consists of the entire parcel exclusive of the building areas.





PROJECT NUMBER: PR-2021-005689

Application Number: SI-2021-00987

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

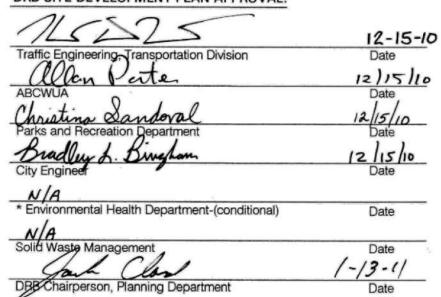
Jeanne Wolfenbarger

VOLTENDALGEL arger (Sep 17, 202 MO:24 MDT)	Sep 17, 2021		
eering, Transportation Division	Date		
ter 16. 2021 16:51 MDT)	Sep 16, 2021		
CONTRACT ADDRESS OF A CONTRACT OF	Date		
filit -	Sep 16, 202.		
ecreation Department	Date		
ijo	Sep 16, 2021		
· , , , , , , , , , , , , , , , , , , ,	Date		
Maestas	Sep 16, 2021		
ement	Date		
Management	Date		
	Sep 20 2021		

Sep 20, 2021 DRB Chairperson, Planning Department

PROJECT NUMBER: 1004532

Application Number: 10DRB-70324 Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements. DRB SITE DEVELOPMENT PLAN APPROVAL



Note: The Existing Development on Tract B-1-B is subject to a Site Development Plan for Building Permit (Z-88-9); that site plan has expired for Tract B-1-A except for the portion covered by the phase line; development of Tract B-1-A will be subject to this Site Development Plan for Subdivision.



TRACT B-1-A & TRACT B-1-B, MESA DEL NORTE SUBDIVISION

SITE PLAN FOR SUBDIVISION

Prepared For: Ashcraft Real Estate 8200 Mountain Road NE Albuquerque, NM 87110

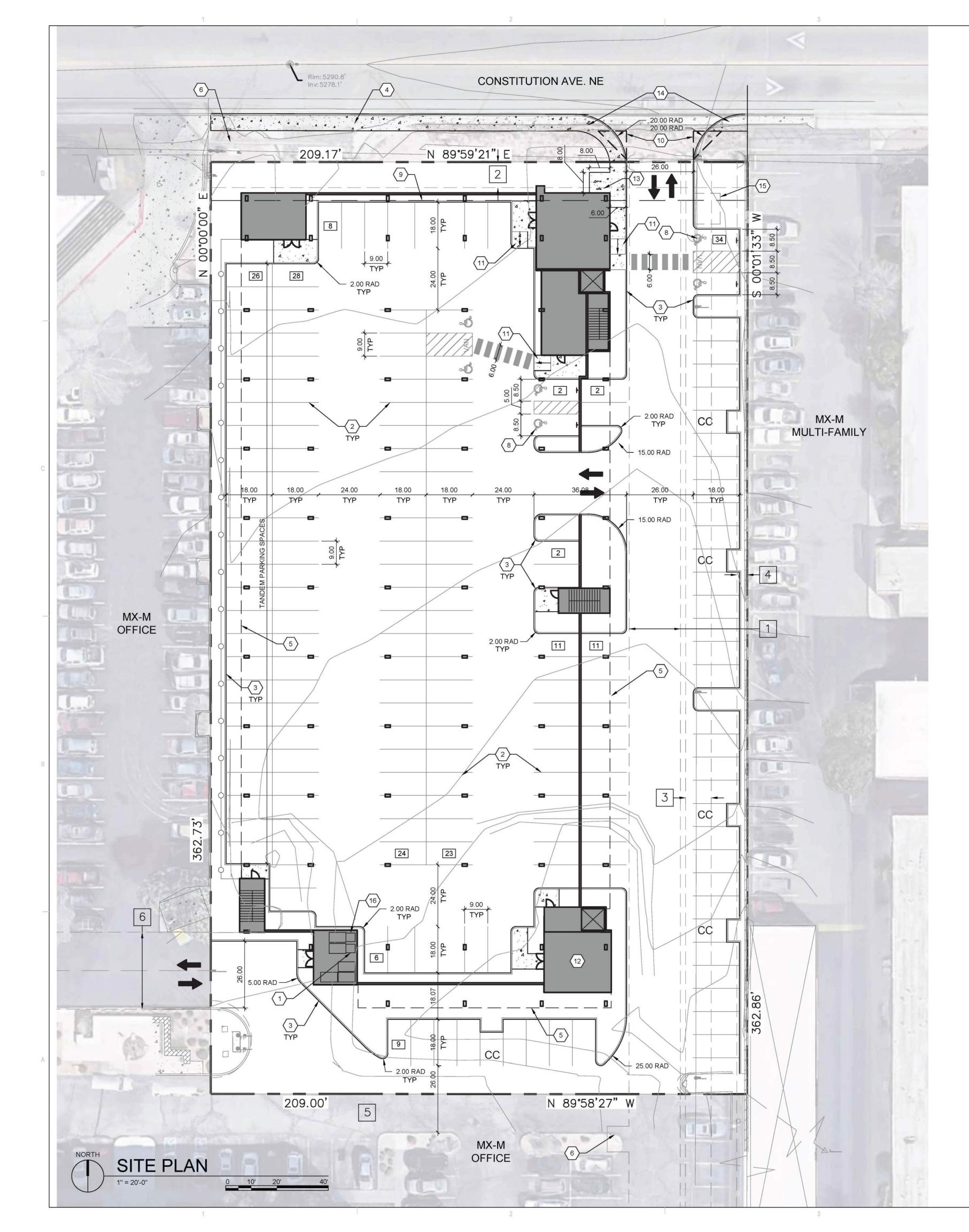


CONSENSUS PLANNING, INC. Planning / Landscape Architecture 302 Eighth Street NW Albuquerque, NM 87102 (505) 764–9801 Fax 842–5495 e-mail: cp@consensusplanning.com

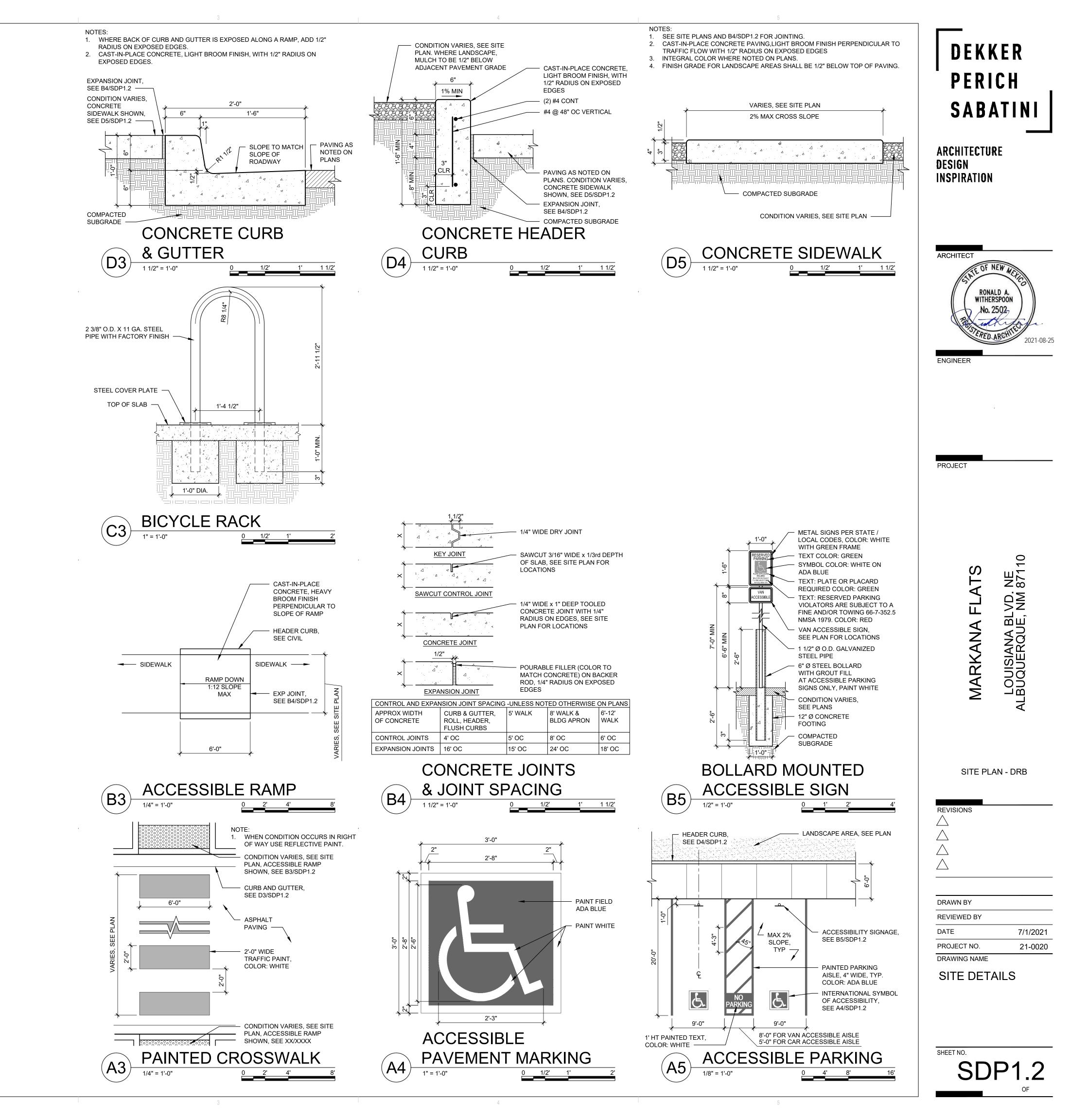
Scale: 1" = 30'

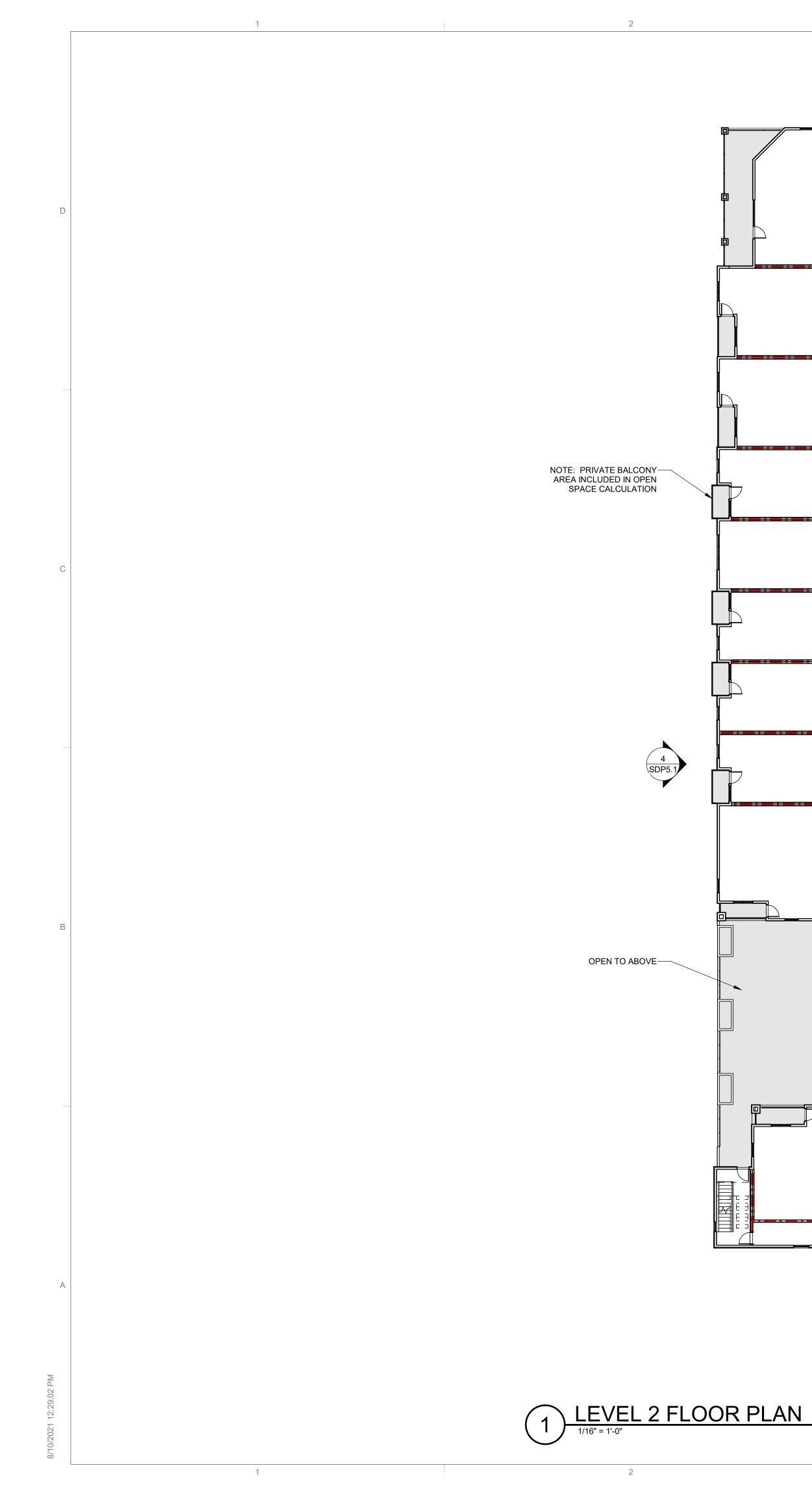


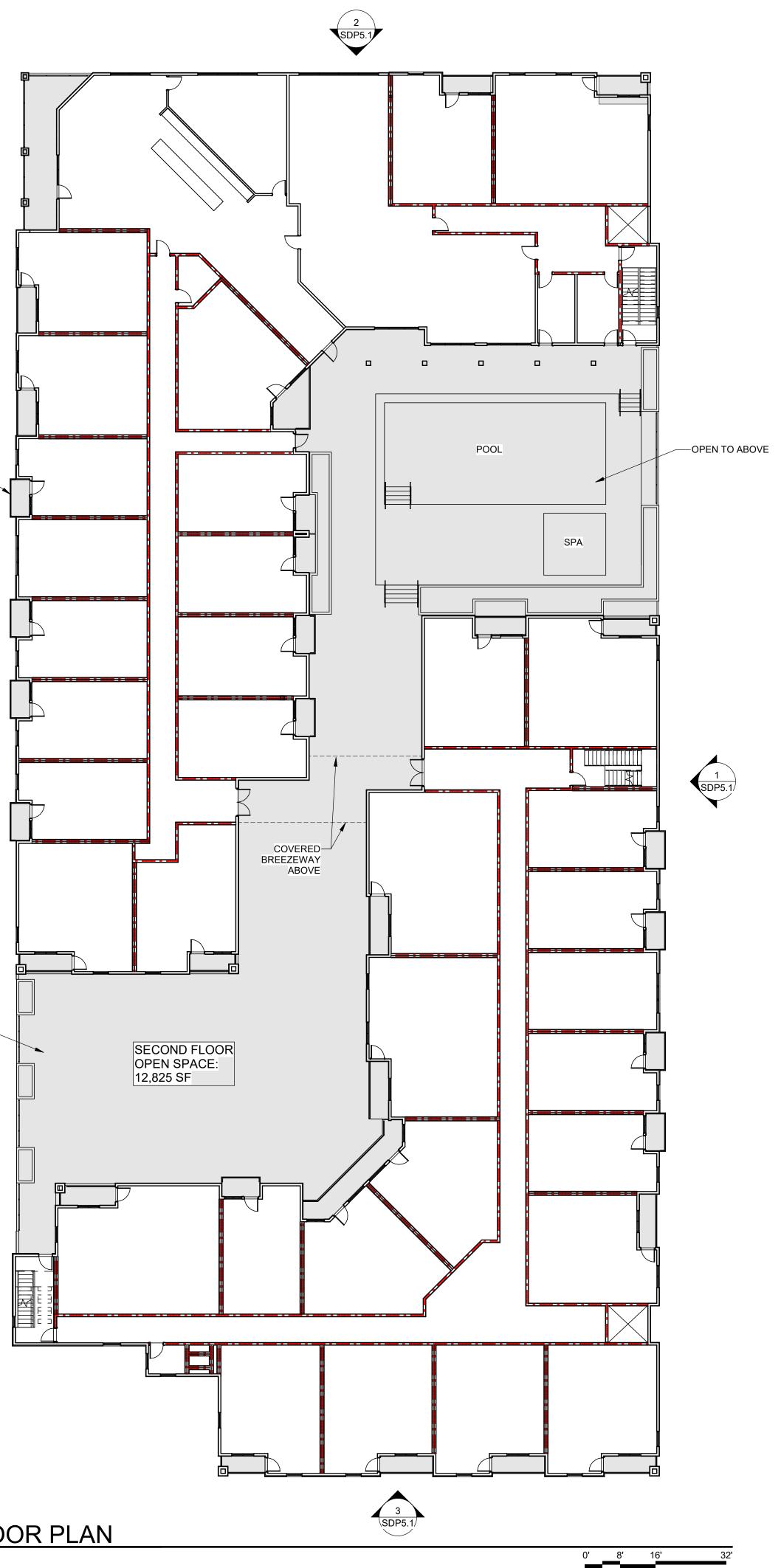




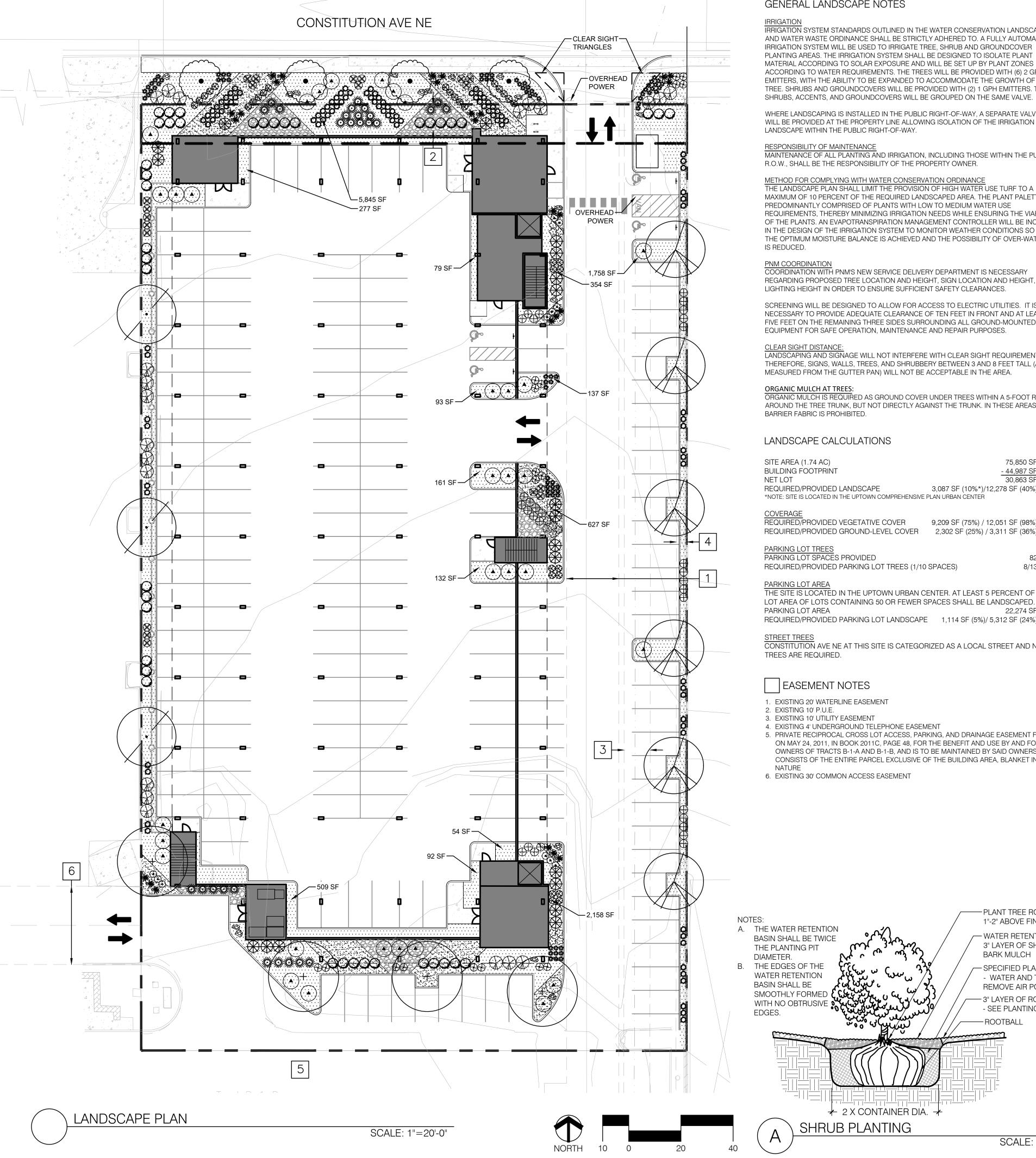
⊖ SHEET KEYED NOTES	GENERAL NOTES	
 TRASH CHUTE AND 2 YARD TRASH COMPACTOR. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE CONCRETE CURR & CUTTER, SEE D3(SDR1.2) 	 A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & 	DEKKER
 CONCRETE CURB & GUTTER, SEE D3/SDP1.2 6' WIDE CONCRETE SIDEWALK SEE D5/SDP1.2 BUILDING ABOVE EXISTING FIRE HYDRANT, SEE CIVIL 	GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015. E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.	PERICH
 EXISTING FIRE HYDRANT, SEE CIVIL NEW F.D.C. SEE CIVIL ADA PARKING, SEE A5/SDP1.2 15' MAX FRONT SETBACK 	F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING.	
10. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BET	/EEN G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE. H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT	SABATINI
3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE 11. ACCESSIBLE RAMP, SEE B3/SDP1.2 12. BIKE STORAGE ROOM	REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.	ARCHITECTURE
 12. BIKE STORAGE ROOM 13. BIKE RACK, SEE C3/SDP1.2 14. PERPENDICULAR CURB RAMPS ONE SIDE PER C.O.A. DETAIL 2441 AND PARA CURB RAMP ON ONE SIDE PER C.O.A. DETAIL 2443. 	LEL	DESIGN
15. WATER METER VAULT, SEE CIVIL 16. TRASH CHUTE FOR RECYCLE ONLY AND 2 YARD COMPACTOR.	PROJECT DATA	INSPIRATION
	IDO - MIXED USE - MODERATE INTENSITY ZONING DISTRICT (MX-M) LANDUSE: MULTIFAMILY RESIDENTIAL PLANNING CONTEXT:	
 EXISTING 20' WATERLINE EASEMENT EXISTING 10' P.U.E. EXISTING 10' UTILITY EASEMENT 	SITE IS WITHIN THE UPTOWN URBAN CENTER TRANSIT: PROJECT SITE IS WITHIN A MAJOR TRANSIT CORRIDOR (LOUISIANA BOULEVARD).	
 EXISTING 4' UNDERGROUND TELEPHONE EASEMENT PRIVATE RECIPROCAL CROSS LOT ACCESS, PARKING, AND DRAINAGE EASEI FILED ON MAY 24, 2011, IN BOOK 2011C, PAGE 48, FOR THE BENEFIT AND USE 	BUS ROUTE 12 IS ALONG CONSTITUTION, WEST OF LOUISIANA BOULEVARD. BUS ROUTE 157 IS ALONG LOUISIANA. A BUS STOP IS LOCATED APPROXIMATELY 255 BY FEET FROM THE SUBJECT SITE AT THE LOUISIANA/CONSTITUTION INTERSECTION.	ARCHITECT
AND FOR THE OWNERS OF TRACTS B-1-A AND B-1-B, AND IS TO BE MAINTAIN BY SAID OWNERS AND CONSISTS OF THE ENTIRE PARCEL EXCLUSIVE OF TH BUILDING AREA, BLANKET IN NATURE	D BIKE FACILITIES:	STATE OF NEW MEARS
6. EXISTING 30' COMMON ACCESS EASEMENT	BOULEVARD. THE PASEO DE LAS MONTANAS MULTI-USE TRAIL IS NORTH OF THE SUBJECT SITE, WHICH CROSSES OVER I-40 AND CONTINUES ALONG THE FRONTAGE ROAD AS THE I-40 TRAIL.	RONALD A. WITHERSPOON
AMENITIES	LEGAL DESCRIPTION: Tract B-1-A, Mesa Del Norte Addition, City of Albuquerque, Bernalillo County, New Mexico SITE AREA: 1.74 ACRES	Benth to fr
AMENITIES ON-SITE WILL INCLUDE AT FIRST LEVEL COVERED PARKING GARAG LEASING OFFICE, MAIL AND PACKAGE CENTER AND BIKE STORAGE ROOM. AT	ZONE ATLAS: J-19-Z	2021-08-2
SECOND FLOOR LEVEL THERE IS A CLUBHOUSE WITH GATHERING SPACE AND FITNESS CENTER. IN ADDITION TO THE CLUBHOUSE, OUTDOOR AMENITIES INCLUDE A SWIMMING POOL AND SPA, COVERED GATHERING AREAS AND	REAR= 15' <u>BUILDING HEIGHT:</u> MAXIMUM ALLOWED: 65'-0" UC-MS-PT + 12'-0" STRUCTURED PARKING BONUS: 77'-0"	ENGINEER
LANDSCAPING.	ACTUAL HEIGHT: 69'-1" SPRINKLERED: YES, NFPA 13 BUILDING OCCUPANCY: S-2 COVERED PARKING, R-2 MULTIFAMILY RESIDENTIAL CONSTRUCTION TYPE: 1 STORY COVERED PARKING, R-2 MULTIFAMILY RESIDENTIAL	
	CONSTRUCTION TYPE: 1 STORY COVERED PARKING (PODIUM) - TYPE IA 4 STORY RESIDENTIAL BUILDING - TYPE VA BUILDING SF: FIRST LEVEL - COVERED PARKING (PODIUM) 44,987 GSF	
	SECOND LEVEL 34,015 GSF THIRD LEVEL 34,350 GSF FOURTH LEVEL 34,350 GSF	
	FIFTH LEVEL 34,350 GSF TOTAL 182,052 GSF	
PROJECT NUMBER: PR-2021-005689	PARKING CALCULATION: (TABLE 5-5-1, UC-MS-PT) REQUIRED SPACES: 151 SPACES 1 SPACES / DWELLING UNITS: 151 X 1 = 151 SPACES	PROJECT
Application Number:SI-2021-00987	PROVIDED PARKING = 187 TOTAL SPACES ACCESSIBLE PARKING: (ADA 208.2.3) 2% OF UNITS = 151 X .02 = 3.02 = 4 SPACES REQUIRED	
Is an Infrastructure List required? () Yes () No If yes, then a set o approved DRC plans with a work order is required for any construc-	BICYCLE PARKING REQUIRED = 16 SPACES	
within Public Right-of-Wayor for construction of public improvement	BICYCLE PARKING PROVIDED = 16 SPACES	
Jeanne Wolfenbarger Sep 17,		s 10 10
Traffic Engineering, Transportation DivisionDateBlaine CarterSep 16, 1	UNIT TYPE DESCRIPTION GSF #UNITS TOTAL STUDIO STUDIO 513 SF 51 26,418 SF 021 1-1B 1 BEDROOM / 1 BATHROOM 698 SF 16 11,168 SF	ATS 0. NE M 871
Blaine Carter (Sep 16, 2021 16:51 MDT) ABCWUA Date	1-1C 1 BEDROOM / 1 BATHROOM 696 SF 15 10,455 SF 1-1D 1 BEDROOM / 1 BATHROOM 639 SF 17 10,897 SF 1-1E 1 BEDROOM / 1 BATHROOM 626 SF 15 9,930 SF	
Cheryl Somerfeldt (Sep 16, 2021 16:25 MDT)Sep 16,Parks and Recreation DepartmentDate	1-1G 1 BEDROOM / 1 BATHROOM 753 SF 4 2,964 SF 1-1H 1 BEDROOM / 1 BATHROOM 700 SF 4 2,800 SF	
Ernest Armijo Sep 16,	021 1-1J 1 BEDROOM / 1 BATHROOM 667 SF 4 2,660 SF 2-2C 2 BEDROOM / 2 BATHROOM 1,014 SF 22 22,990 SF TOTAL: 151 UNITS 102,625 SF	SIAN KA
City Engineeer/Hydrology Date Charles Maestas Sep 16, 1	021 OPEN SPACE CALCULATIONS	MARKANA Louisiana E Buquerqui
Code Enforcement Date	TABLE 2-4-5 / MX-M ZONING USABLE OPEN SPACE 1 BD: 225 SF PER UNIT 225 SF x 129 UNITS = 29,025 SF	ALBL R
*Environmental Heath Department (conditional) Date	$\frac{2 \text{ BD: } 285 \text{ SF PER UNIT}}{\text{TOTAL}} = \frac{223 \text{ SF x } 129 \text{ ONITS}}{= 6,270 \text{ SF}}$	
Herman Gallegos09-15-2Solid Waşte ManagementDate	UC-MS-PT: 50% REDUCTION = 35,295 SF X 50% = 17,648 SF REQUIRED OPEN SPACE: = 17,648 SF	
Sep 20,	PROVIDED OPEN SPACE:	SITE PLAN - DRB
BRB Chairperson, Panning Department Date	TOTAL = 22,963 SF	
*Environmental Health, if necessary	LEGEND	
2/16/2018	CONCRETE	Δ
VICINITY MAP	HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)	\triangle
	FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2	
	Pr FIRE HYDRANT	DRAWN BY AS
	POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN Image: Conceptual Utility Plan	DATE 7/1/2021
	I BIKE RACK	PROJECT NO. 21-0020
PROJECT SITE	SIDEWALK RAMP (ARROW POINTS DOWN) TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD	DRAWING NAME
	PER PNM STANDARDS	SITE PLAN
	ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2.	
AND	CC COMPACT PARKING; REF: D5/SDP1.3	
	LIGHT POLE - 6" BOLLARD WITH SIGN	SHEET NO.
	6' WIDE PAINTED CROSSWALK, SEE A3/SDP1.2	SDP1.1
4	5	



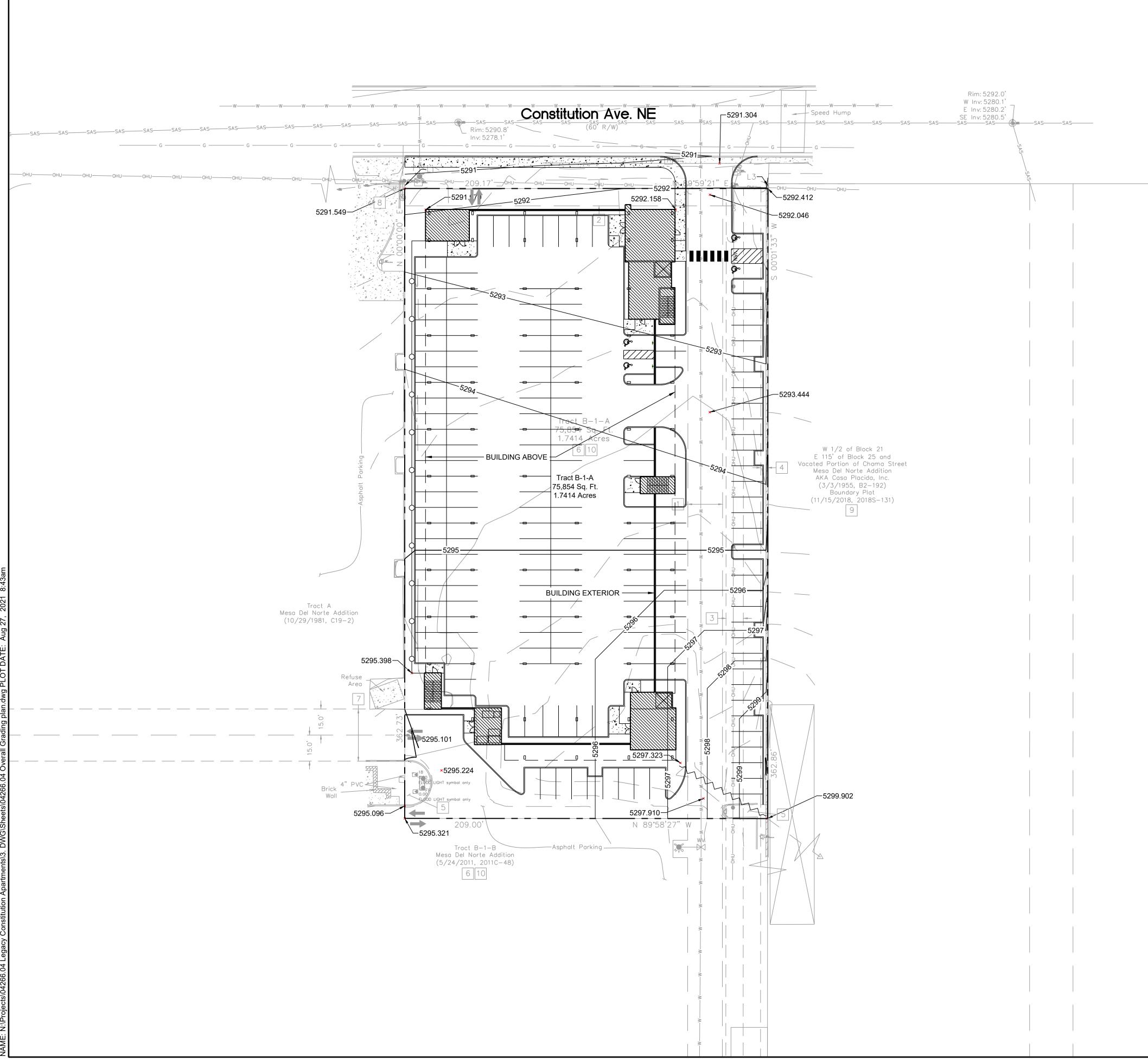


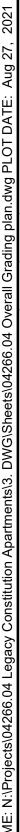






GENERAL LANDSCAPE NOTES	PL	ANT LEGE	END SCIENTIFIC NAME			
IRRIGATION IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED	QTY	. SYMBOL	COMMON NAME (WATER USE)	SIZE	MATURE SIZE	ANNING
IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT	3		CELTIS RETICULATA NETLEAF HACKBERRY (LM)	2" B&B	25' HT. X 25' SPR.	ANA
MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE	6	\bigwedge	CHILOPSIS LINEARIS DESERT WILLOW (LM)	2" B&B	20' HT. X 25' SPR.	
TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.	19	₹	JUNIPERUS SCOPULORUM 'WICHITA BLUE' WICHITA BLUE JUNIPER (M)	24" BOX	10' HT. X 4' SPR. (FEMALE ONLY)	CONSENSUS
WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE	4	\odot	PRUNUS CERASTIFERA PURPLELEAF PLUM (M)	2" B&B	20' HT. X 20' SPR.	
LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. RESPONSIBILITY OF MAINTENANCE	4	+	QUERCUS FUSIFORMIS ESCARPMENT LIVE OAK (M)	2" B&B	25' HT. X 30' SPR.	Landscape Architecture Urban Design
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.	41	SHRUBS	BUDDLEIA DAVIDII NAN. 'NANHO PURPLE'	5-GAL.	4' HT. X 4' SPR.	Planning Services
METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS	21	\bigcirc	PURPLE BUTTERFLY BUSH (M) CYTISUS X PRAECOX 'ALLGOLD'	5-GAL.	5' HT. X 5' SPR.	
PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY	31	\mathbb{A}	ALLGOLD BROOM (M) NANDINA DOMESTICA 'GULF STREAM'	5-GAL.	3' HT. X 3' SPR.	302 EIGHTH ST. NW Albuquerque, NM 87102
OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING	32		GULF STREAM NANDINA (M) RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC (L+)	5-GAL.	18" HT. X 6' SPR.	Phone (505) 764–9801 Fax (505) 842–5495
IS REDUCED. PNM COORDINATION		DESERT AG	CCENTS			
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.	27	業	HESPERALOE PARVIFLORA RED FLOWERING YUCCA (L+)	5-GAL.	4' HT. X 4' SPR.	
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS	26	×	YUCCA RUPICOLA TWISTLEAF YUCCA (RW)	5-GAL.	2' HT. X 3' SPR.	ω
NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.	101		TAL GRASSES PANICUM VIRGATUM 'SHENANDOAH'	1-GAL.	3' HT. X 2' SPR.	S I O N
<u>CLEAR SIGHT DISTANCE:</u> LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.	20	June	SHENANDOAH SWITCH GRASS (M) MUHLENBERGIA CAPILLARIS 'LENCA'	1-GAL.	3' HT. X 3' SPR.	Description
THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.	75		REGAL MIST® PINK MUHLY GRASS (M) FESTUCA GLAUCA 'ELIJAH BLUE'	1-GAL.	1' HT. X 1' SPR.	
ORGANIC MULCH AT TREES: ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A 5-FOOT RADIUS		≉ ∕∕∾ FLOWERIN	ELIJAH BLUE FESCUE (M)			Date
AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.	11		ACHILLEA 'MOONSHINE' MOONSHINE YARROW (M)	1-GAL.	2' HT. X 2' SPR.	
LANDSCAPE CALCULATIONS	32	\bigotimes	SALVIA 'ULTRA VIOLET' ULTRA VIOLET HYBRID SAGE (L)	1-GAL.	2' HT. X 2' SPR.	U
SITE AREA (1.74 AC) 75,850 SF	18	\oplus	PENSTEMON SCHMIDEL 'RED RIDING HOOD RED RIDING HOOD BEARDTONGUE (L)	d'1 GAL.	3' HT. X 2' SPR.	
BUILDING FOOTPRINT - 44,987 SF NET LOT 30,863 SF REQUIRED/PROVIDED LANDSCAPE 3,087 SF (10%*)/12,278 SF (40%)	12	£;>	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' MUNSTEAD LAVENDER (M)	1 GAL.	18" HT. X 18" SPR.	Ļ į
*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER		BOULDER	S AND MULCHES			
COVERAGEREQUIRED/PROVIDED VEGETATIVE COVER9,209 SF (75%) / 12,051 SF (98%)REQUIRED/PROVIDED GROUND-LEVEL COVER2,302 SF (25%) / 3,311 SF (36%)	17		LANDSCAPE BOULDERS (3'X3' MIN) 3/8"-1" AMARETTO BROWN ROCK MULCH			GEMENT
PARKING LOT TREES PARKING LOT SPACES PROVIDED 82	9,016 S 2,136 S	[*******	 3/8 -1 AMARETTO BROWN ROCK MOLCH (3" DEPTH OVER FILTER FABRIC) 2" TEQUILA SUNRISE ROCK MULCH 4" DEPTH OVER FILTER FABRIC) 			MANAC
REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES) 8/13 PARKING LOT AREA	1,126 \$	BAA	2"-4" COYOTE MIST COBBLE MULCH (6" DEPTH OVER FILTER FABRIC)			₩ ×
THE SITE IS LOCATED IN THE UPTOWN URBAN CENTER. AT LEAST 5 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED. PARKING LOT AREA 22,274 SFPARKING LOT AREA22,274 SFREQUIRED/PROVIDED PARKING LOT LANDSCAPE1,114 SF (5%)/ 5,312 SF (24%)						S AND S
<u>STREET TREES</u> CONSTITUTION AVE NE AT THIS SITE IS CATEGORIZED AS A LOCAL STREET AND NO STREET TREES ARE REQUIRED.						FLAT OPMENT MEXICO
 EASEMENT NOTES EXISTING 20' WATERLINE EASEMENT EXISTING 10' P.U.E. EXISTING 10' UTILITY EASEMENT EXISTING 4' UNDERGROUND TELEPHONE EASEMENT PRIVATE RECIPROCAL CROSS LOT ACCESS, PARKING, AND DRAINAGE EASEMENT FILED ON MAY 24, 2011, IN BOOK 2011C, PAGE 48, FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF TRACTS B-1-A AND B-1-B, AND IS TO BE MAINTAINED BY SAID OWNERS AND CONSISTS OF THE ENTIRE PARCEL EXCLUSIVE OF THE BUILDING AREA, BLANKET IN NATURE EXISTING 30' COMMON ACCESS EASEMENT 		DIAMI B. THE E FORM	WATER RETENTION BASIN SHALL BE TWIC ETER. EDGES OF THE WATER RETENTION BASIN MED WITH NO OBTRUSIVE EDGES. OVE ROPE AND BURLAP AFTER PLANTING	N SHALL BE		Jiet Name: MARKANA FLAT LEGACY DEVELOPMEN Albuguerque, New Mexico
S: HE WATER RETENTION ASIN SHALL BE TWICE HE PLANTING PIT HAMETER. HE EDGES OF THE ASIN SHALL BE MOOTHLU FORMED ATH NO OBTRUSIVE DGES. HE NO OBTRUSIVE SHRUB PLANTING HI - 2' ABOVE FINISH GRADE WATER RETENTION ASIN SHALL BE MOOTHLU FORMED ASIN SHALL BE MOOTHLU FO			2 X CONTAINER DIA		 - 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR) - 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING - #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE) - PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE - WATER RETENTION BASIN - 3" DEPTH SHREDDED BARK MULCH - 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN - SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS - ROOTBALL 	Landscape Architect's Seal:
UCALE. N. T.O.						







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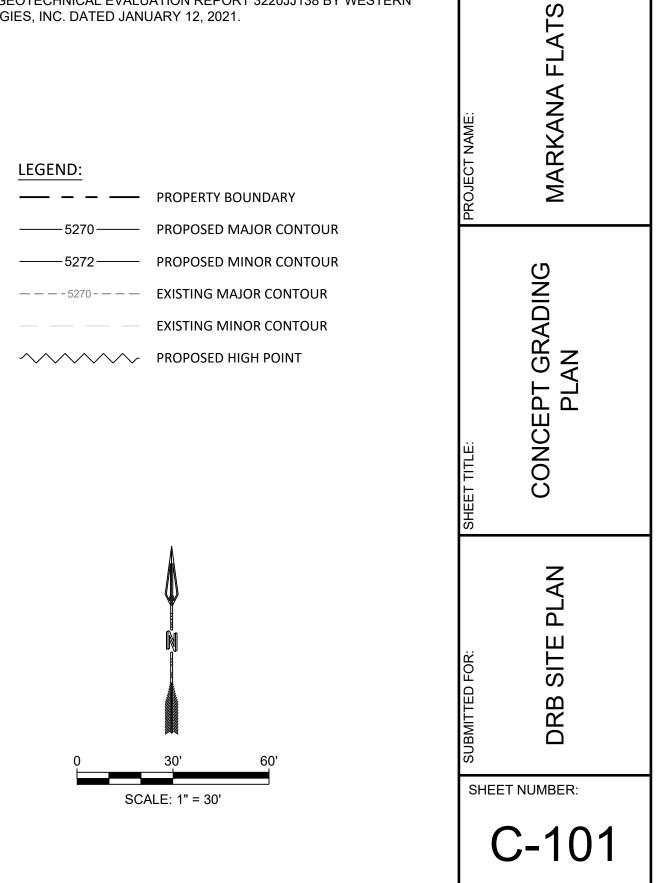
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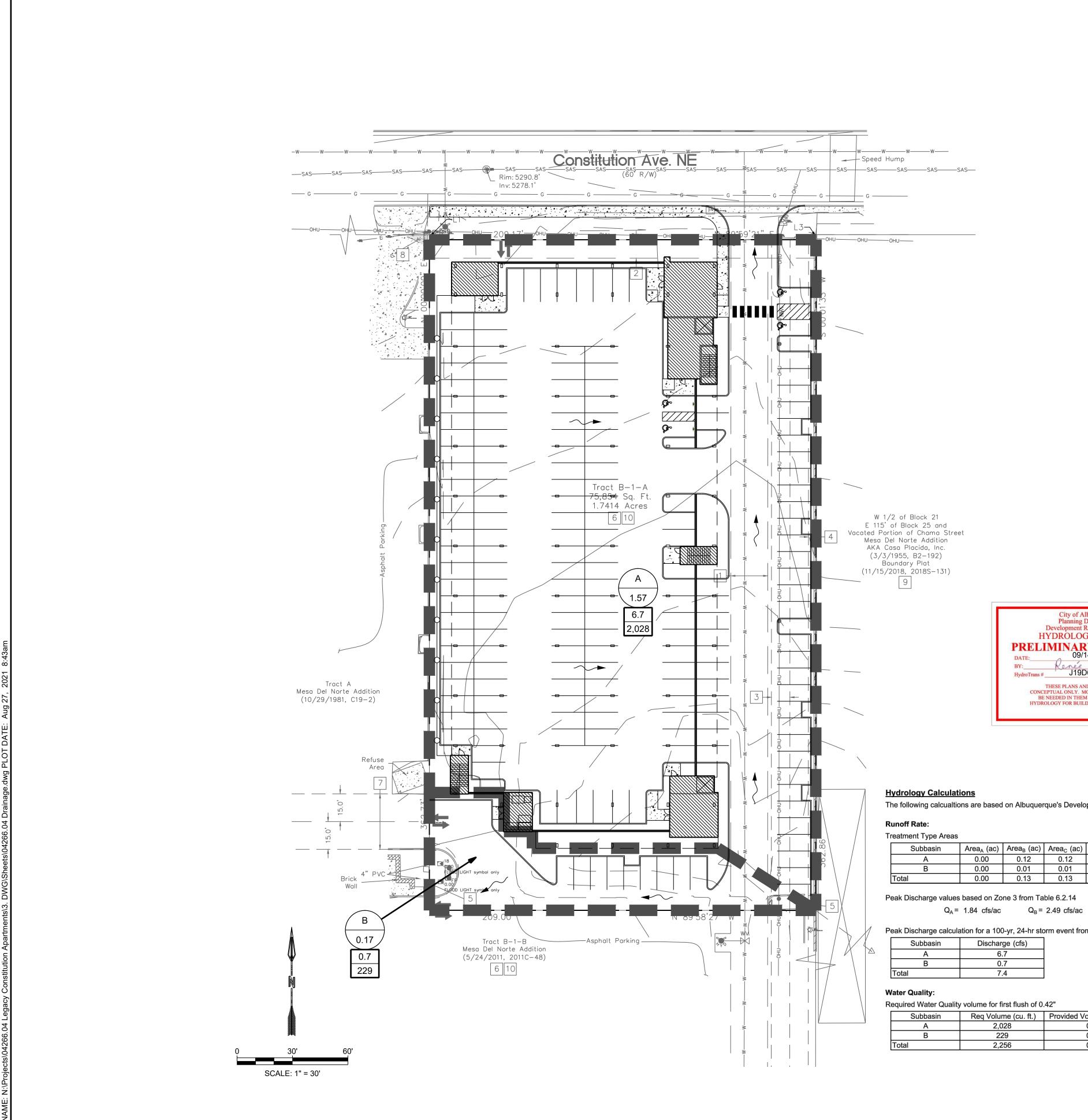
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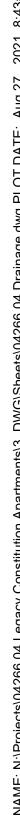
1. THE EXISTING SITE FEATURES WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.

GRADING NOTES

- 1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- 2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- 3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- 4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- 5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- 6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- 7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- 8. REFER TO GEOTECHNICAL EVALUATION REPORT 3220JJ138 BY WESTERN TECHNOLOGIES, INC. DATED JANUARY 12, 2021.







City of Albuquerque Planning Department Development Review Services HYDROLOGY SECTION PRELIMINARY APPROVED DATE: 09/14/21 BY: Renée Brissette HydroTrans # J19D047A THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

The following calcualtions are based on Albuquerque's Development Process Manual, Article 6-2

Area _A (ac)	Area _B (ac)	Area _c (ac)	Area _D (ac)	Total (ac)
0.00	0.12	0.12	1.33	1.57
0.00	0.01	0.01	0.15	0.17
0.00	0.13	0.13	1.48	1.74
	0.00	0.00 0.12 0.00 0.01	0.00 0.01 0.01	0.00 0.12 0.12 1.33 0.00 0.01 0.01 0.15

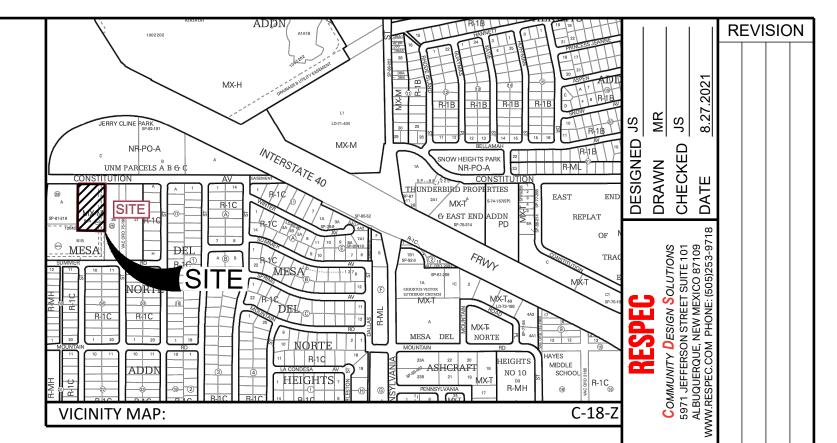
Peak Discharge values based on Zone 3 from Table 6.2.14

calculation for a 100-yr, :		

reak Discharge calculation for a 100-yr, 24-fil stoffin						
Subbasin	Discharge (cfs)					
А	6.7					
В	0.7					
Total	7.4					

Required Water Quality volume for first flush of 0.42" Subbasin Reg Volume (cu. ft.) Provided Volume (cu. ft.) Net Volume (cu. ft.)

	Oubbasiii				
	A 2,028		0	2,028	
В 229		0	229		
	Total	2,256	0	2,256	



BACKGROUND

TRACT B-1-A, MESA DEL NORTE ADDITION IS APPROXIMATELY 1.7 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED SOUTH OF CONSTITUTION AVENUE BETWEEN LOUISIANA BOULEVARD AND MESILLA STREET. TRACT B-1-A IS CURRENTLY UNDEVELOPED. THERE IS AN EXISTING POWER LINE AND WATER LINE THAT CROSS THE EAST SIDE OF THE SITE. THE PROPOSED PROJECT IS AN APARTMENT COMPLEX. THE FIRST LEVEL WILL BE A PARKING GARAGE AND THE FOUR LEVELS ABOVE WILL BE THE DWELLING UNITS AND VARIOUS AMENITIES. THE GRADING & DRAINAGE PLAN FOR LOUISIANA PLACE BY HUITT-ZOLLARS 2006 AS WELL AS THE GRADING & DRAINAGE PLAN FOR LOUISIANA PLACE DATED DECEMBER 1987 SHOULD BE REFERENCED FOR BACKGROUND RELATED TO THIS PROPOSED DEVELOPMENT. THE SITE IS ALLOWED FREE DISCHARGE. THERE IS IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.42". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE SITE, IN GENERAL, SLOPES FROM SOUTH TO NORTH AT A SLOPE OF APPROXIMATELY 2%. STORM WATER RUNOFF GENERATED BY THE SITE DRAINS NORTH AND DISCHARGES TO CONSTITUTION AVENUE.

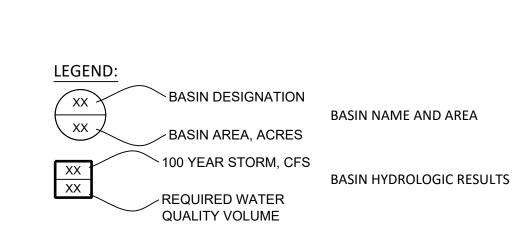
DEVELOPED CONDITIONS

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN.

SUB-BASIN A IS A MAJORITY OF THE NEW APARTMENT DEVELOPMENT. IT CONTAINS 1.57 ACRES AND GENERATES 6.7 CFS. SIMILAR TO EXISTING CONDITIONS, THIS SUB-BASIN DISCHARGES NORTH INTO CONSTITUTION AVENUE.

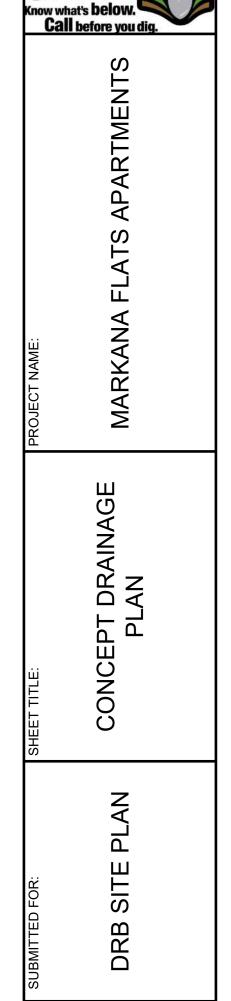
SUB-BASIN B IS A SMALL PORTION OF THE SOUTH SIDE OF THE DEVELOPMENT. IT IS 0.17 ACRES AND GENERATES 0.7 CFS. THIS SUB-BASIN DISCHARGES TO THE ADJACENT PROPERTIES TO THE WEST AT THE SOUTHWEST CORNER OF THE SITE.

THE WATER QUALITY TABLE ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THE OWNER HAS ELECTED TO PAY THE FEE-IN-LIEU OF STORM WATER QUALITY PONDING REQUIREMENTS. THE TOTAL VOLUME REQUIRED IS 2,256 CUBIC FEET. THEREFORE, THE PAYMENT AMOUNT IS 2,256 CF X \$8/CF = \$18,048.



SUB-BASIN BOUNDARY

FLOW ARROW



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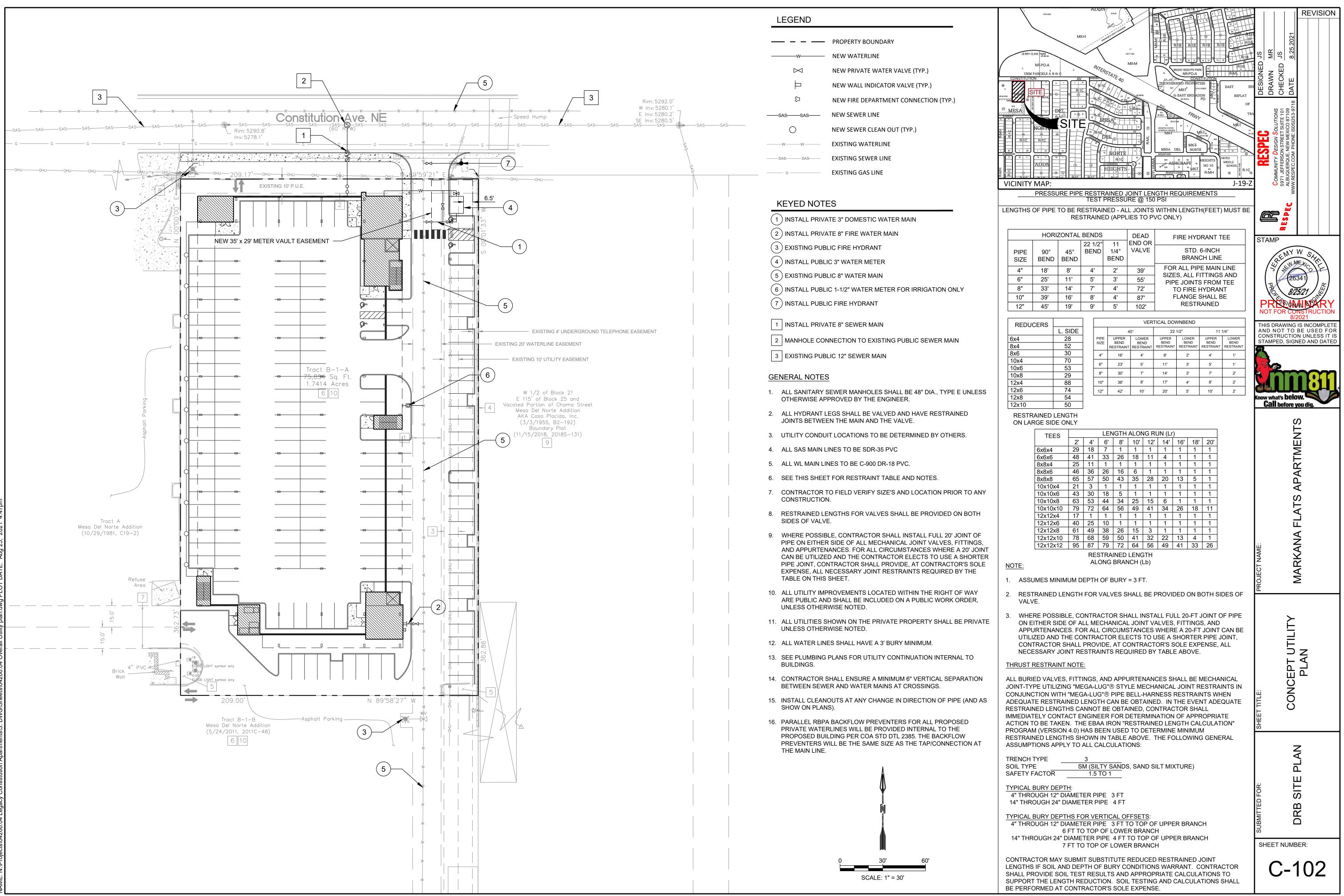
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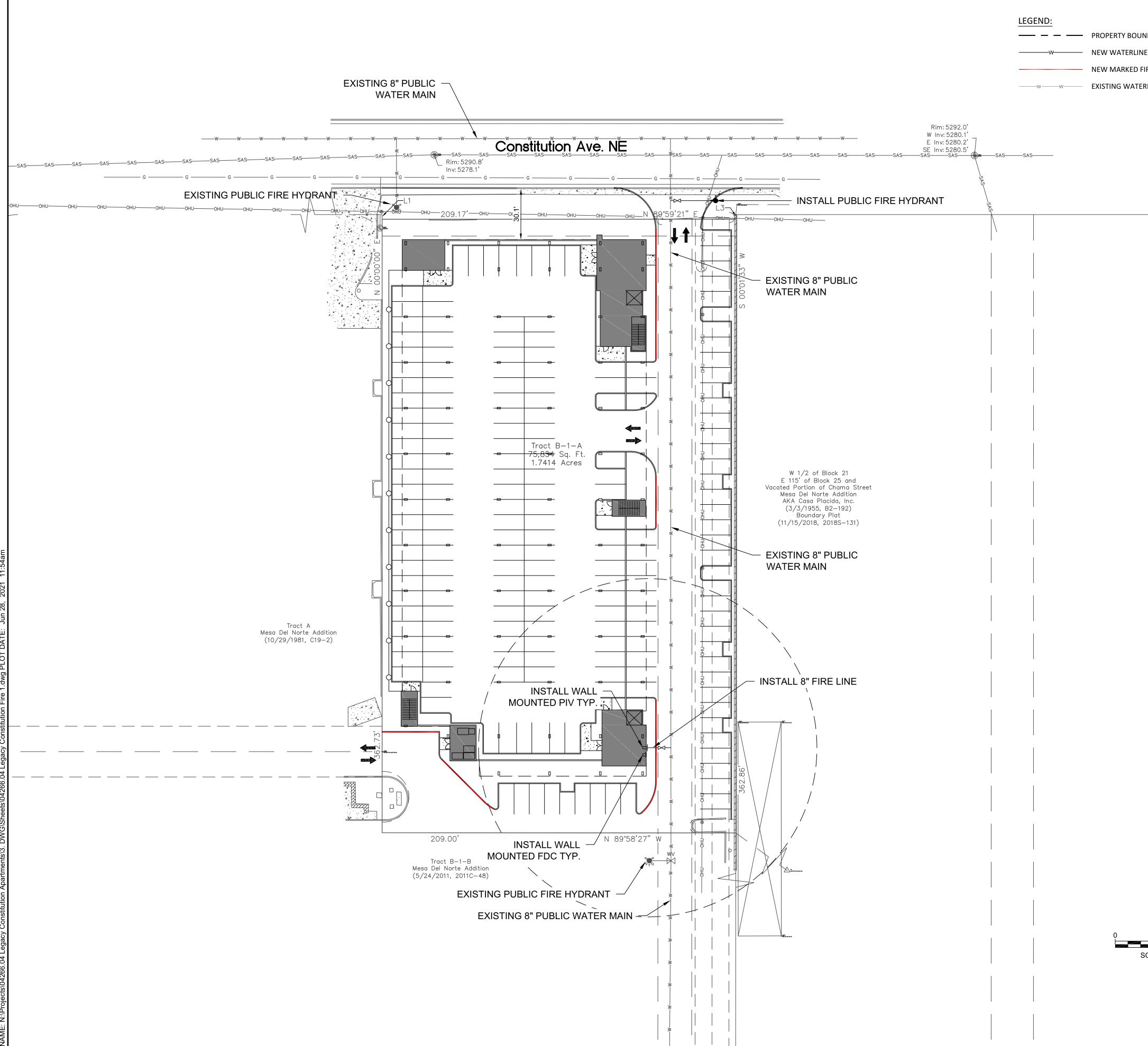
MALATA

SHEET NUMBER:

C-100

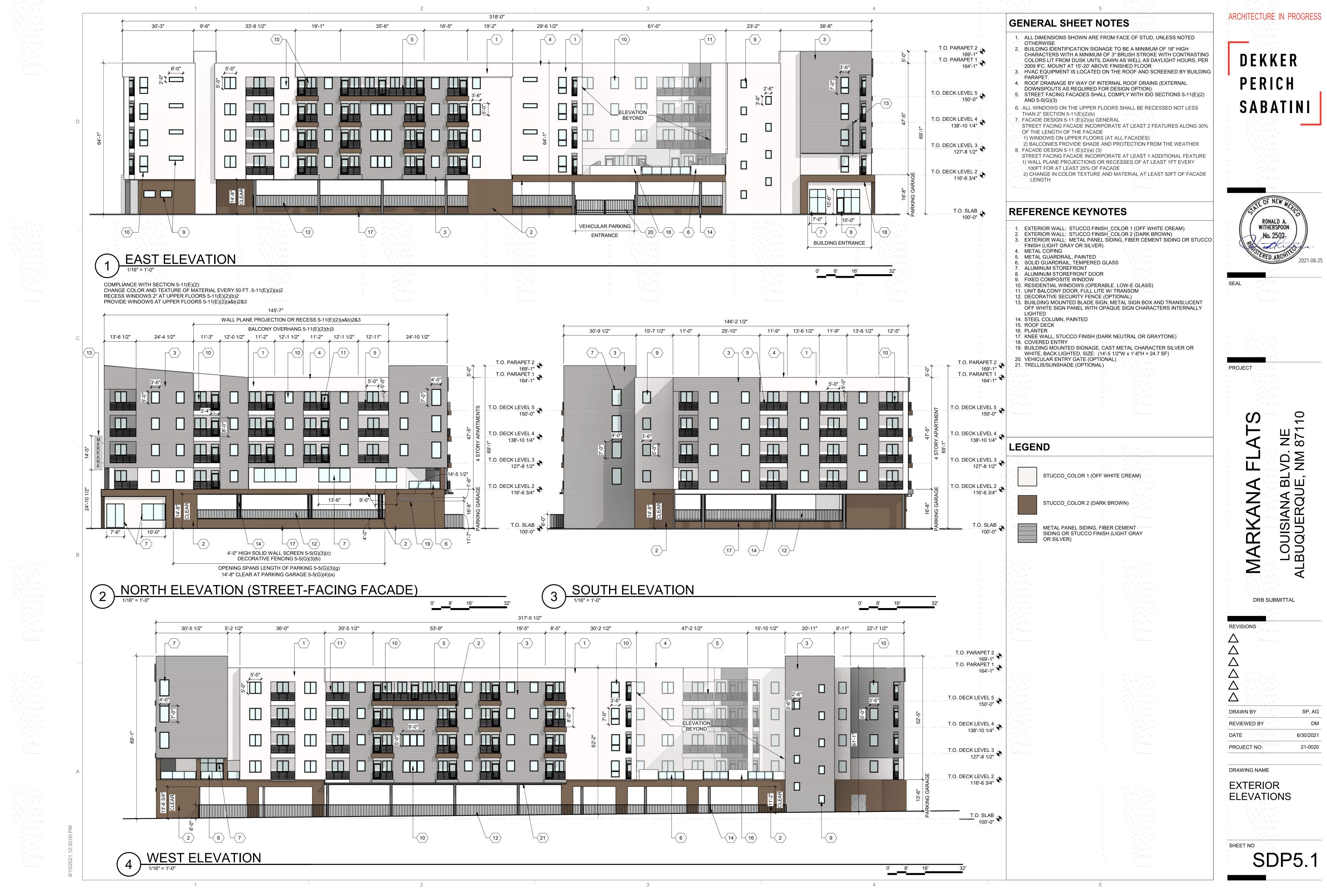
 $Q_C = 3.17$ cfs/ac $Q_D = 4.49$ cfs/ac







	~	ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION	
	P	PERMIT NUMBER: FP-27-006658	REVISION
NDARY E IRE LANE RLINE	THESI APPRO ACCO EIREC DAYS. 29 A SP-81-219 TOO	PLACE AND NEED AND MX-M ALBUQUERQUE FIRE MARSHAL'S OFFICE IN COVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN COVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN CODE, AND NEED STANDARDS, THIS PERMIT IS VALID FOR 180 FINAL INSPECTION IS REPORTED. MX-M BIA 10 10 10 10 10 10 10 10 10 10 10 10 10	DES DRA CHE ⁷¹⁸ DAT
		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NEW MEXICO 87109 WWW.RESPEC.COM PHONE: (505)253-971
	THE PF	ECT SUMMARY: ROPOSED DEVELOPMENT IS A MULTI-FAMILY APARTMENT COMPLEX. THE PROJECT IS TED ON TR B-1-A PLAT OF TRS B-1-A & B-1-B MESA, NORTHEAST ALBUQUERQUE.	STAMP
	FIRE (ONE NOTES:	2 ENY W SHA
	1.	BUILDING TYPE AREA STORY I 45,510 SQ.FT. STORY II 34, 310 SQ.FT. III - V 34,706 SQ.FT. TOTAL 183,938 SQ.FT.	PREPOMINTARY NOT FOR CONSTRUCTION 6/2021
	2. - -	CONSTRUCTION AND OCCUPANCY TYPE: 1 ST STORY PODIUM: TYPE IA, S2 PARKING GARAGE, (3 HOUR FIRE RATED HORIZONTAL SEPARATION TO R2). 2 ND - 5 TH STORIES: TYPE VA, R2 MULTIFAMILY APARTMENTS.	THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED
	3.	FIRE FLOW = 3,375 GPM	Shman
	4.	BUILDING HEIGHT: 4 STORIES OVER 1 STORY PODIUM = 73 FT.	Know what's below.
	5. 6.	THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED NFPA 13. THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN	
		IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.	S L N
	7. 8.	THE MINIMUM DRIVE ISLE WIDTH SHALL 26' UNLESS OTHERWISE SPECIFIED. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.	TS APARTMENTS
	9. 10.	ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE. FIRE DEPARTMENT CONNECTION'S SHALL BE LOCATED WITHIN 100' OF A HYDRANT	S AF
		AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.	-AT:
	11. 12.	INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13. A KNOX BOX SHALL BE PROVIDED AT ALL PROPOSED GATE LOCATIONS.	A FL
	13.		AME:
	14.	ALL HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAIN AND FIRE SERVICE LINES TO BUILDINGS WILL BE 6" DIAMETER UNLESS OTHERWISE SPECIFIED.	PROJECT NAME: MARKANA FI
	15.	THE BUILDINGS WILL BE REQUIRED TO HAVE FIRE AND SMOKE ALARMS PER IBC 907.2.9.	PRO C
	16.	WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.	PLAN
	17.	CLASS 1 STANDPIPE SHALL BE PROVIDED IN BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.	-IRE 1
			SHEET TITLE
40' SCALE: 1" = 4	40'	80'	SUBMITTED FOR: REVIEW
			SHEET NUMBER:
			F-100



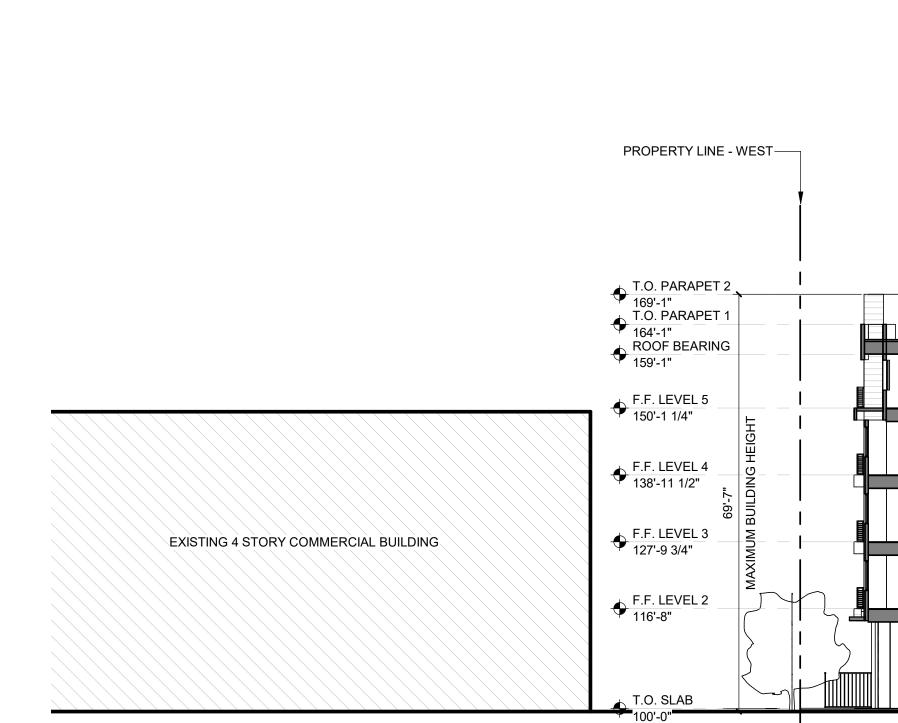


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 4 STORY	RESI	DENTIAL						
						-EXTERIOR AMENITY / ON SECOND LEVEL	AREA	
							کے	\downarrow
			STORY PARKING G					
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		D E K K E R P E R I C H S A B A T I N I
PROPERTY LINE - EAST		SEAL SEAL PROJECT SIANA BLUD SIANA SI SIANA SI
-LANDSCAPE	EXISTING 2 STORY APARTMENTS	THE SUBMITTAL
		REVISIONS

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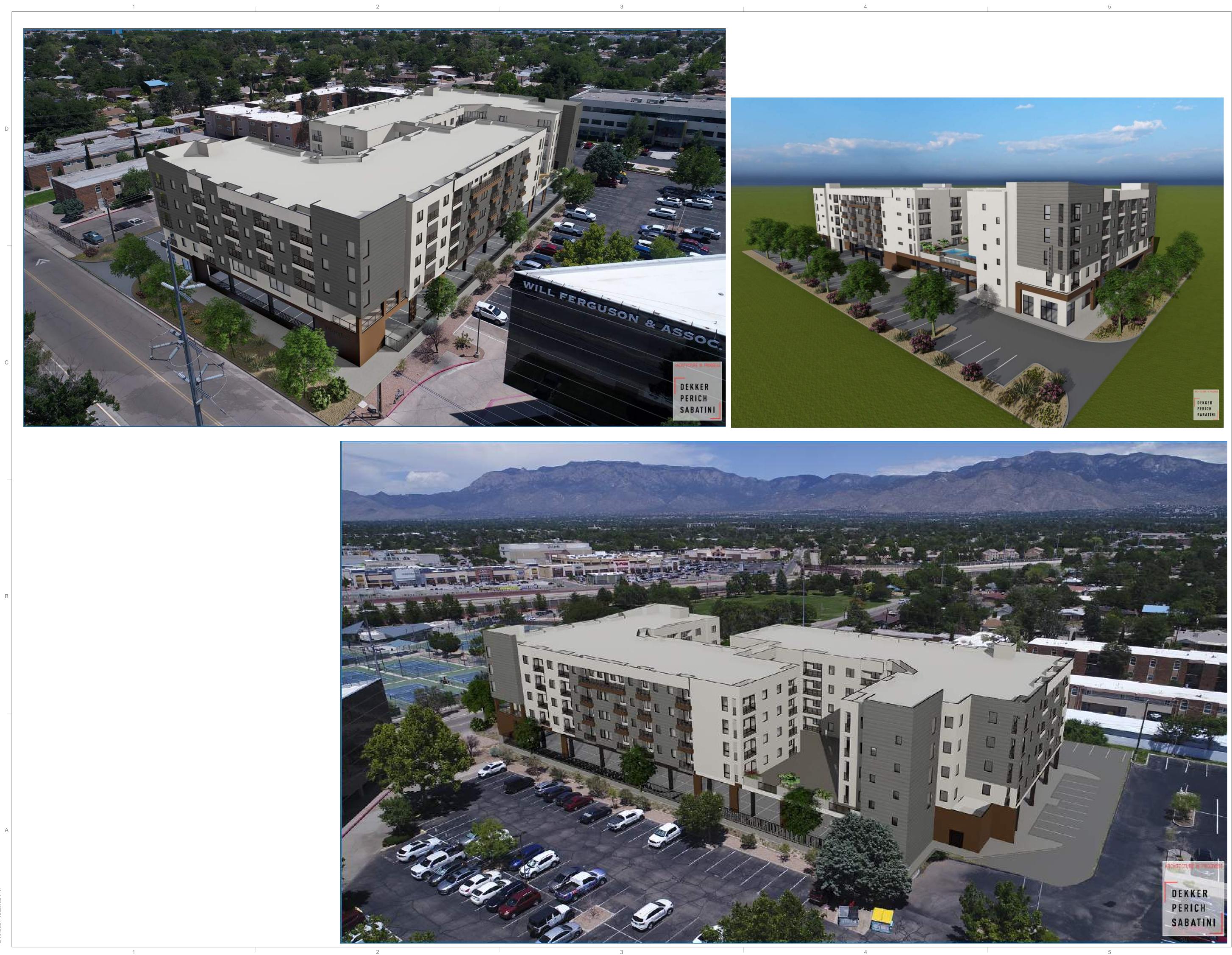
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ARCHITECTURE IN PROGRESS

SHEET NO SDP5.2

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DEKKER PERICH Sabatini

PROJECT 10 S LOUISIANA BLVD. NE ALBUQUERQUE, NM 871 ANA MARK

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6/30/2021

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DATE

DRAWN BY

REVIEWED BY

PROJECT NO:

DRAWING NAME

SHEET NO

AERIAL VIEWS

SDP5.3

REVISIONS

PR-2021-005689_SI-2021-00987_Site_Plan_Am endment_Approved_9-15-21_Signature_Sheets

Final Audit Report

2021-09-20

Created:	2021-09-16
Ву:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAANjUvpZzfaeHyjNR0By4G5FFpziaDkVaX

"PR-2021-005689_SI-2021-00987_Site_Plan_Amendment_Appr oved_9-15-21_Signature_Sheets" History

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1	Email viewed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov) 2021-09-17 - 4:18:30 PM GMT- IP address: 174.205.35.111
Ð	Email viewed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) 2021-09-17 - 4:23:19 PM GMT- IP address: 143.120.132.68
Ø _e	Document e-signed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) Signature Date: 2021-09-17 - 4:24:13 PM GMT - Time Source: server- IP address: 143.120.132.68
Ø0	Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov) Signature Date: 2021-09-20 - 3:15:38 PM GMT - Time Source: server- IP address: 67.0.234.152
0	Agreement completed. 2021-09-20 - 3:15:38 PM GMT



07 OFFICIAL NOTICE OF DECISION

PLANNING DEPARTMENT DEVELOPMENT SERVICES DIVISION 600 2nd Street NW, Ground Floor, 87102 P.O. Box 1293, Albuquerque, NM 87103 Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Legacy Development & Management, LLC 5051 Journal Center Blvd., Suite 500 Albuquerque, NM 87109 Project# PR-2020-005689 Application# SI-2021-00987 SITE PLAN AMENDMENT

LEGAL DESCRIPTION:

For all or a portion of: **TRACT B-1-A, MESA DEL NORTE ADDITION** zoned MX-M, located on **CONSTITUTION AVE NE, between LOUISIANA BLVD NE and MESILLA ST NE** containing approximately 1.7414 acre(s). (J-19)

On September 15, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to Transportation and Planning, based on the following Findings:

- The original Site Plan governing the site is a Site Plan for Subdivision approved by the DRB in 2010 (Project 1004532; 10DRB-70324) consisting of Tracts B-1-A and B-1-B of the Mesa Del Norte Addition and comprising a total of 4.53-acres. This is a request to amend a note on the Site Plan for Subdivision approved in 2010, which restricted the height of buildings on the site to 36 feet in height, to permit a maximum building height of 77 feet (a maximum of 65-feet in height per the MX-M zone district requirement with a structured parking bonus of 12 additional feet), and to develop the currently vacant site consisting of the 1.7414-acre Tract B-1-A by constructing a 102,625 square foot, 5-story, 151-unit multi-family residential facility on the site under the standards of the IDO.
 - 1. <u>Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan DRB</u> shall be approved if it meets all of the following criteria:

a. <u>6-6(I)(3)(a)</u> The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The dimensional standards, parking, landscaping, and facades comply with the applicable provisions of the IDO: 22,963 square feet of open space is provided where a total of 17,648 square feet are required, the maximum height of the building is 69-feet in height where a maximum height of 77-feet is permitted, and the setback requirements are met; 187 parking spaces are provided where a total of 151 parking spaces are required; 12,278 square feet of landscaping is proposed where 3,087 square feet is required; and the change in color and texture and 2" recessed windows on the upper floors meet the façade design requirements.

b. <u>6-6(I)(3)(b)</u> The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The site has access to a full range of urban services including utilities, roads and emergency services. A Traffic Impact Study (TIS) was not required for this project.

c. <u>6-6(1)(3)(c)</u> If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The site is not located within an approved Master Development Plan, therefore this criterion does not apply.

2. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

Conditions:

- 1. Final sign-off is delegated to Transportation for curb ramp configuations of the access-way.
- 2. Final sign-off is delegated to Planning for the Solid Waste signature.
- 3. The applicant will obtain final sign off from Transportation and Planning by November 15, 2021 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.

Official Notice of Decision Project # PR-2020-005689 Application# SI-2021-00987 Page 3 of 3

<u>APPEAL:</u> If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **SEPTEMBER 30, 2021.** The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to <u>PLNDRS@CABQ.GOV</u> (if files are less than 9MB in size). Files larger than 9MB can be sent to <u>PLNDRS@CABQ.GOV</u> using <u>https://wetransfer.com</u>. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

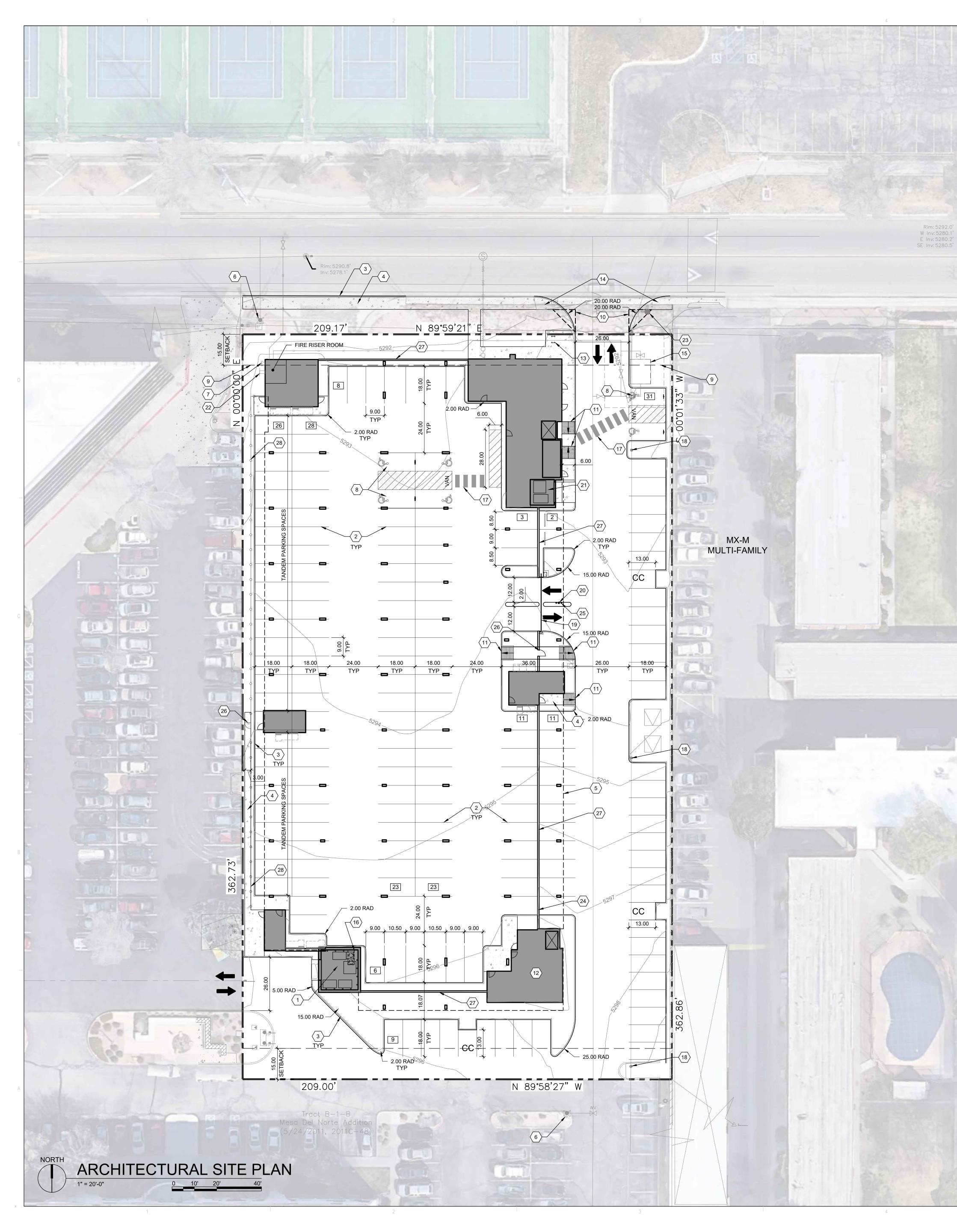
Sincerely,

Jolene Wolfley DRB Chair

JW/jr

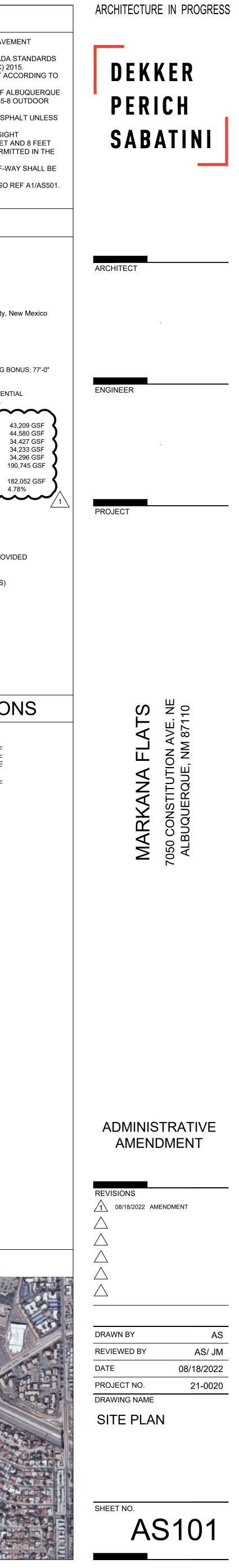
Consensus Planning, Inc., 302 8th Street NW, Albuquerque, NM 87102

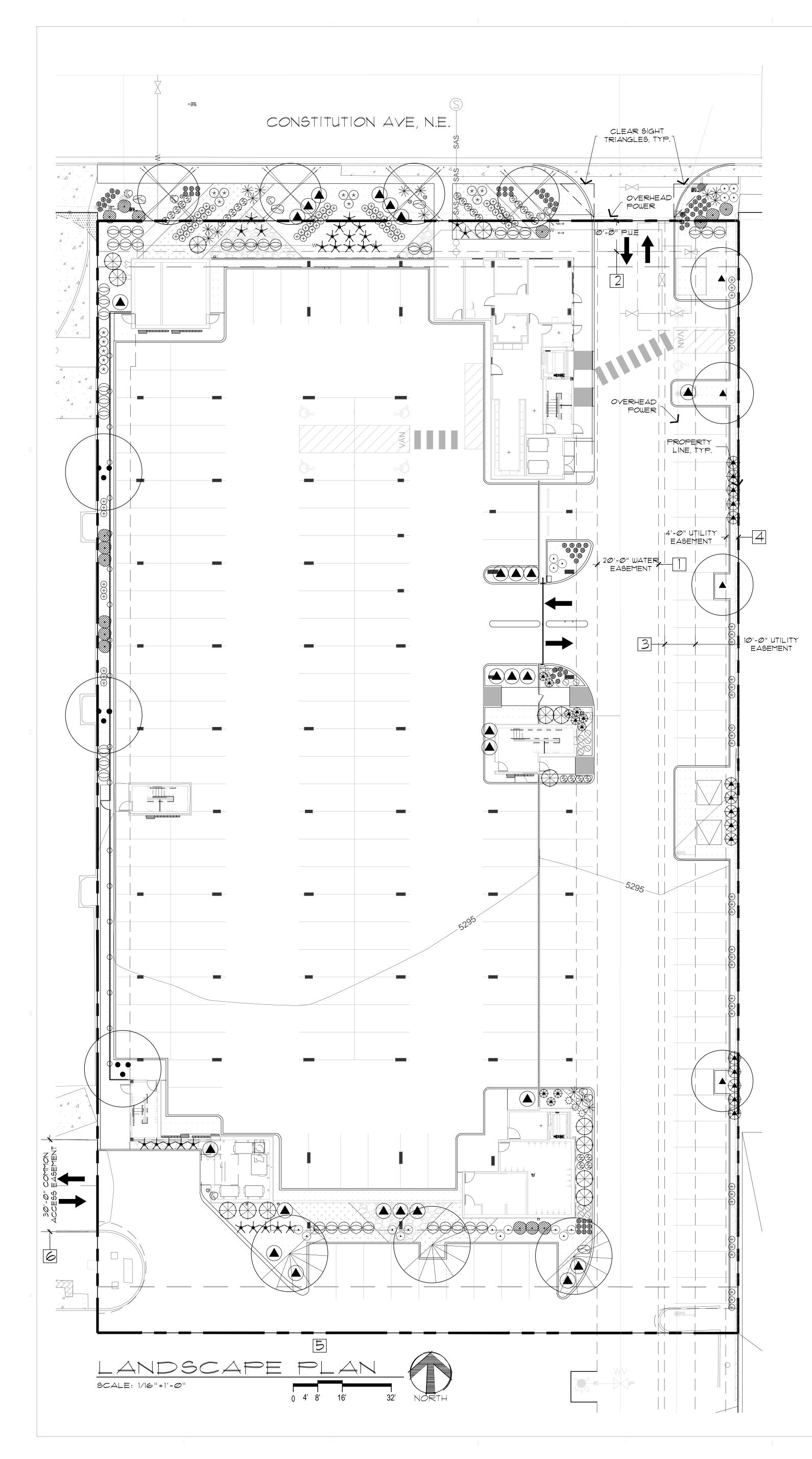
PROPOSED SITE PLAN



	○ SHEET KEYED NOTES	GENERAL SHEET NOTES
	 TRASH CHUTE AND 2 YARD TRASH COMPACTOR PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE CONCRETE CURB & GUTTER, SEE D3/AS501 6' WIDE CONCRETE SIDEWALK SEE D5/AS501 BUILDING ABOVE EXISTING FIRE HYDRANT, SEE CIVIL NEW F.D.C. SEE CIVIL 	 A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVE UNLESS OTHERWISE NOTED. D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2 E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT AG THE CITY OF ALBUQUERQUE STANDARDS. F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF A
	 ADA PARKING, SEE A5/AS501 15' MAX FRONT SETBACK LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE ACCESSIBLE RAMP, SEE B3/AS501 BIKE STORAGE ROOM BIKE RACK, SEE A2/AS501 PERPENDICULAR CURB RAMPS ONE SIDE PER C.O.A. DETAIL 2441 AND PARALLEL CURB RAMP ON ONE SIDE PER C.O.A. DETAIL 2443. WATER METER VAULT, SEE CIVIL 	 INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 LIGHTING. G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASP NOTED OTHERWISE. H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIG REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERM CLEAR SIGHT TRIANGLE. I. ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-W INCLUDED IN A PUBLIC WORK ORDER. J. SEE THE APPROVED FIRE 1 PLAN FOR FIRE LANE STRIPING, ALSO
	16. TRASH CHUTE FOR RECYCLE ONLY AND 2 YARD COMPACTOR 17. PEDESTRIAN CROSSWALK, RE: A3/AS501 18. EXISTING POWER POLE 19. VEHICULAR ENTRY GATE TO GARAGE	PROJECT DATA
	20. ACCESS CONTROL PEDESTAL 21.TRASH ROOM WITH 2 YD BINS FOR LOOSE TRASH 22.NEW WALL INDICATOR VALVE, SEE CIVIL 23.NEW FIRE HYDRANT, SEE CIVIL	ZONING: IDO - MIXED USE - MODERATE INTENSITY ZONING DISTRICT (MX-M) LANDUSE: MULTIFAMILY RESIDENTIAL
1	24.RETAINING WALL, SEE CIVIL FOR EXTENTS. SEE ALSO A6/AS501 25.PIPE BOLLARD, SEE D3/AS501 26.PEDESTRIAN GATE, SEE C4/AS501 27.WALL/FENCE ENCLOSURE, SEE D5/AS501	PLANNING CONTEXT: SITE IS WITHIN THE UPTOWN URBAN CENTER
-	28.ORNAMENTAL PICKET FENCE, SEE C5/AS501	LEGAL DESCRIPTION: Tract B-1-A, Mesa Del Norte Addition, City of Albuquerque, Bernalillo County, SITE AREA: 1.74 ACRES ZONE ATLAS: J-19-Z
		SIDE = 0' MIN / 15' MAX, SIDE = 0' MIN / N/A MAX REAR= 15' BUILDING HEIGHT:
		MAXIMUM ALLOWED: 65'-0" UC-MS-PT + 12'-0" STRUCTURED PARKING B ACTUAL HEIGHT: 69'-1" SPRINKLERED: YES, NFPA 13 BUILDING OCCUPANCY: S-2 COVERED PARKING, R-2 MULTIFAMILY RESIDEN
		CONSTRUCTION TYPE: 1 STORY COVERED PARKING (PODIUM) - TYPE IA 4 STORY DESIDENTIAL BUILDING TYPE HA BUILDING SF: FIRST LEVEL - COVERED PARKING (PODIUM)
5-11		SECOND LEVEL THIRD LEVEL FOURTH LEVEL FIFTH LEVEL
		TOTAL 1 PRIOR APPROVAL 1 PERCENT CHANGE 2
&T.I		PARKING CALCULATION: (TABLE 5-5-1, UC-MS-PT) REQUIRED SPACES: 151 SPACES 1 SPACES / DWELLING UNITS: 151 X 1 = 151 SPACES PROVIDED PARKING = 187 TOTAL SPACES
		ACCESSIBLE PARKING: (ADA 208.2.3) 2% OF UNITS = 151 X .02 = 3.02 = 4 SPACES REQUIRED 2 STANDARD SPACES + 4 VAN ACCESSIBLE SPACES = 6 SPACES PROV
		BICYCLE PARKING REQUIRED= 16 SPACES(10% OF REQUIRED OFF-STREET PARKING = 151 X 0.10 = 16 SPACES)BICYCLE PARKING PROVIDED= 16 SPACES
		OPEN SPACE CALCULATIO
		TABLE 2-4-5 / MX-M ZONING USABLE OPEN SPACE 1 BD: 225 SF PER UNIT 225 SF x 129 UNITS 2 BD: 285 SF PER UNIT 285 SF x 22 UNITS
;		TOTAL = 35,295 SF UC-MS-PT: 50% REDUCTION = 35,295 SF X 50% = 17,648 SF
		REQUIRED OPEN SPACE:= 17,648 SFPROVIDED OPEN SPACE:= 7,109 SFLEVEL 1= 7,109 SFLEVEL 2= 10,928 SFOPEN PAL CONIES= 875 SE
		OPEN BALCONIES = 875 SF TOTAL = 18,912 SF
-		
de la		
3.1		
	LEGEND	
	CONCRETE	
5- 3	PROPERTY LINE EXISTING FIRE HYDRANT	VICINITY MAP
	 NEW FIRE HYDRANT, SEE CIVIL. WALL INDICATOR VALVE (WIV), REF: UTILITY PLAN 	
	TRANSFORMER; REF: ELECTRICAL	PROJECT SITE
	ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A4/AS501, A5/AS501, B5/AS501 CC COMPACT PARKING	CONSTITUTION AVE.
	LIGHT POLE: REF ELECTRICAL 6" BOLLARD WITH SIGN	A BLVD.
	6' WIDE PAINTED CROSSWALK, SEE A3/AS501	OUISIAN
	XX PARKING COUNT	

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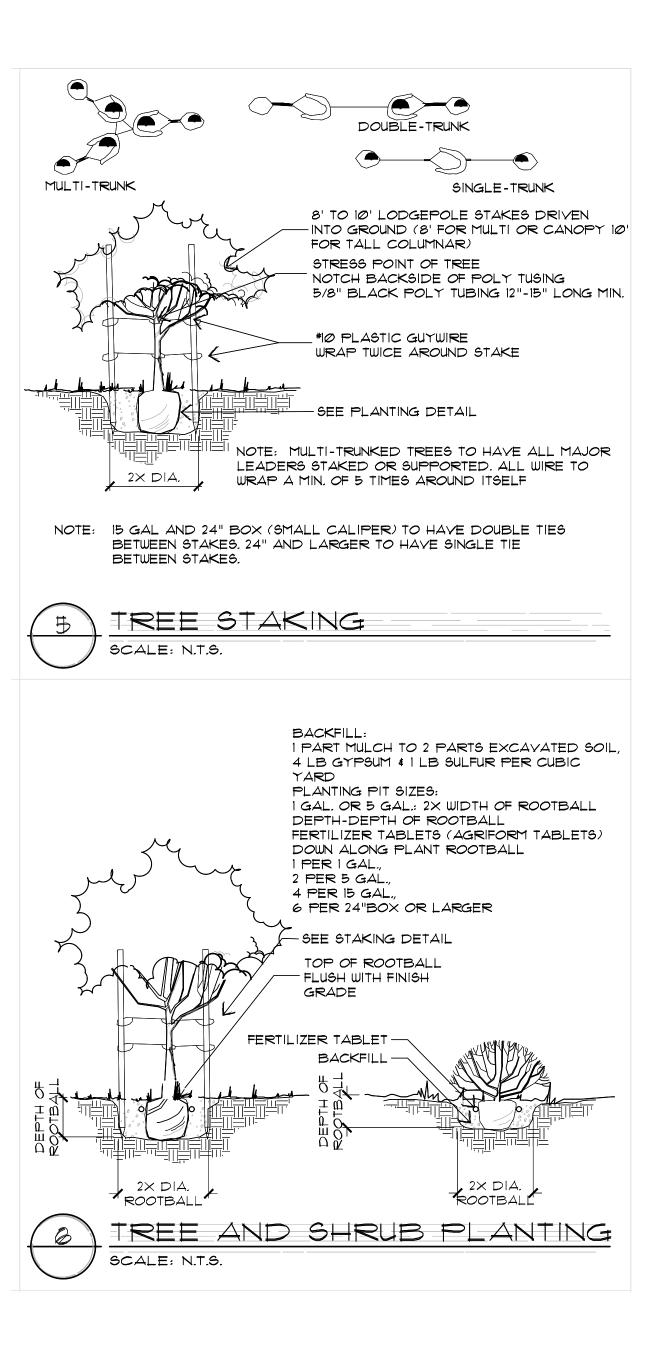
<u>Symb</u>		BOTANICAL NAME TREES	COMMON NAME	SIZE	<u>QTY.</u>	NOTES
)	Celtis reticulata	Netleaf Hackberry	2" Cal. 8'-10' Insta 25'x25' Mat		Single-Trunk Dense Canopy Medium Water, Ball and Burlap
() Chilopsis Linearis	Desert Willow	2" Cal. 8'-1Ø' Insta 2Ø'x25' Mat		Single-Trunk Dense Canopy Medium Water, Ball and Burlap
\bigotimes	$\sum_{i=1}^{n}$	* Prunus cerastifera	Purpleleaf Plum	1.5" Cal. 8'-10' Insta 20'x20' Mat		Single-Trunk Dense Canopy Medium Water, Ball and Burlap
(K	Quercus fusiformis	Escarpment Líve Oak	12" Cal. 8'-1∅' Insta 25'x3Ø' Mat		Single-Trunk Dense Canopy Medium Water, Ball and Burlap
) v~	Juniper scopulorum 'Wichita blue'	Wichita Blue juniper	1.5" Cal. 8'-10' Insta 40'x40' Mat	all	Single-Trunk Dense Canopy Medium Water, Ball and Burlap
4		L Acer palmatum	Japanese Maple	1.5" Cal. 5'-5' Insta 5'x10' Matu		Single-Trunk Dense Canopy High Water, Ball and Burlap
+	\frown	* Pistachia chinensis	Chinese Pistache	2" Cal. 8'-10' Insta 60'x60' Ma		and Burlap Single-Trunk Dense Canopy Medium Water, Ball and Burlap
	T) * Malus culti∨ars	Crabapple	1.5" Cal. 8'-10' Insta 5'x10' Matu		Síngle-Trunk Dense Canopy Hígh Water, Ball and Burlap
	*	ACCENTS & VINES Hesperaloe parviflora	Red Yucca	5 Gal.	32	 As Per Plan
	/ \	Festuca glauca 'Elíjah Blue'	Elijah Blue Fescue	5 Gal.	75	As Per Plan
Ŷ	(*)	"Elijan Blue" Muhlenbergia capillaris	Regal Mist	5 Gal.	3Ø	As Per Plan
(+)	\bigcirc	Panicum virgatum 'Shenandoah'	~ Shenandoah Switch Grass	5 Gal.	1Ø2	As Per Plan
	*	Tucca rupícola	Twisted Yucca	5 Gal.	27	As Per Plan
		SHRUBS				
\bigcirc		Buddleia davidii nan. 'Nanho Purple'	Purple Butterfly Bush	5 Gal.	41	As Per Plan
	>	Cytisus x praecox 'Allgold'	Allgold Broom	5 Gal.	21	As Per Plan
\circledast		Nandina domeștica Gulf Stream	Gulf Stream Nandina	5 Gal.	37	As Per Plan
		Rhus trílobata Autumn Amber'	Creeping Three-Leaf Sum	ac 5 Gal.	31	As Per Plan
Z		Salvia 'Ultra Violet'	Ultra Violet Hybrid Sage	5 Gal.	28	As Per Plan
		GROUND COVERS				
	334 756	Achillea 'Moonshine'	Moonshine Yarrow	l Gal.	65	As Per Plan
lacksquare		Penstemon Schmidel 'Red Riding Hood'	Red Riding Hood Beard	tongue Gal.	33	As Per Plan
	\odot	Lavandula anguistifolia 'Munstead'	Munstead Lavender	l Gal.	52	As Per Plan
			to Brown Rock Mulch er Filter Fabric) - <u>QTY: ± 7,</u> 7	184 s.f.		
			rise Rock Mulch er filter Fabric) - <u>QTY: ±1,63</u>	31 s.f.		
		2"-4" Coyote	Mist Cobble Mulch			
			er Filter Fabric) - <u>QTY: ± 148</u> De Boulders <u>OTY</u> : ± 4	<u>8 s.f.</u>		
			pe Boulders - <u>QTY: ± 4</u> oe Boulders - <u>QTY: ± 9</u>			
			be Boulders - $QTY: \pm 6$			
		· · · · · · · · · · · · · · · · · · ·	Stonecrete Fiberglass Plante	or $ - $	A	
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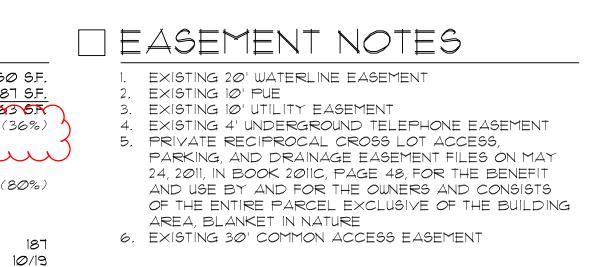
GENERAL NOTES

- 1. THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUM, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE DRAWINGS.
- 2. A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 3. BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE. THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF ANY WORK.
- 4. LANDSCAPE CONTRACTOR SHALL INSPECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE ALL SIDEWALK AND CURB DEFECTS PRIOR TO BEGINNING WORK. ALL HARDSCAPE SHALL BE RE-INSPECTED DURING THE FINAL WALK-THRU. ANY DAMAGED AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 5. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS, AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION., NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD CONFLICTS ARISE.
- 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONSTRUCTION ELEMENT LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE, CONTACT BLUE STAKE AT 602-263-1100, 12 HOURS MINIMUM PRIOR TO INITIATING CONSTRUCTION, NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD CONFLICT ARISE.
- 1. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT DO NOT INCLUDE INSPECTIONS OF CONSTRUCTION METHODS AND SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.
- 8. UNLESS OTHERWISE NOTED ON PLANS, DECOMPOSED GRANITE SHALL EXTEND UNDER SHRUBS AND BE RAKED UNIFORMLY ALONG WALK, SIDEWALK, AND CURBS.
- 9. LANDSCAPE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING INSTALLATI*O*N.
- 10. REFER TO THE ENGINEERING DRAWINGS FOR DRAINAGE FLOWS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED AND NOT IMPAIRED WITH OBSTRUCTIONS.
- 11. LANDSCAPE CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE EACH APPLICATION OF PRE-EMERGENT FOR VERIFICATION.
- 12. BOULDERS TO BE SURFACE SELECT BOULDERS. ANY EXPOSED SURFACE SCARRING THAT MAY HAVE OCCURRED DURING TRANSPORTING OR CONSTRUCTION IS TO BE EONITED.

ANDSCAPE CALCULATIONS SITE AREA (1.74 AC) 75,850 S.F. BUILDING FOOTPRINT

- -44,987 S.F. METLOT SOBO355 3,087 S.F. (10%*)/11,202 S.F. (36%) REQUIRED/PROVIDED LANDSCAPE NOTE: SITE IS LOCATED IN THE UPTOUN COMPREHENSIVE PLAN URBAN CENTER <u>COVERAGE</u>
- REQUIRED/PROVIDED VEGETATIVE COVER 7,659 S.F. (75%)/ 8,169 S.F. (80%)
- <u>PARKING LOT TREES</u> PARKING LOT SPACES PROVIDED REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)
- PARKING LOT AREA
- THE SITE IS LOCATED IN THE UPTOWN URBAN CENTER, AT LEAST 5 PERCENT OF THE PARKING LOT AREAS OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.
- PARKING LOT AREA 29,169 S.F. REQUIRED/PROVIDED PARKING LOT LANDSCAPE 1,458 SF. (5%)/4,752 SF. (16%) <u>STREET TREES</u>
- CONSTITUTION AVE NE AT THIS SITE IS CATEGORIZED AS A LOCAL STREET AND NO STREET TREES ARE REQUIRED







Collaborative Design Studio Inc 7116 East 1st Avenue Suite 1 Scottsdale, Arizo office: 480-347-0 fax: 480-656-6



1532

PLAN = SITE

L101

LANDSCAPE

DRAWING NAME

SHEET NO.

DRAWN BY CP/I REVIEWED BY	
REVIEWED BY	MD
	PV
DATE 08/17/2022	2
PROJECT NO. 21-0020	0

REVISIONS \square

ISSUED FOR PERMIT

FLATS	TITUTION AVE. NE RQUE, NM 87110
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ARCHITECTURE IN PROGRESS

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PROJECT

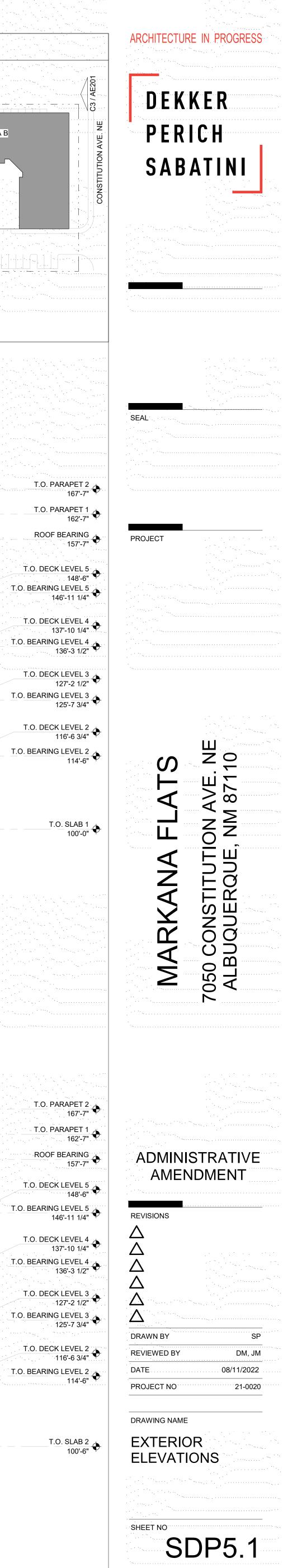
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	GENERAL SHEET NOTES	REFERENCE KEYNOTES	LEGEND			
1. 2. 	 ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 	 EXTERIOR WALL: STUCCO FINISH_COLOR 1 (OFF WHITE CREAM) EXTERIOR WALL: STUCCO FINISH_COLOR 2 (DARK BROWN) EXTERIOR WALL: METAL PANEL SIDING, FIBER CEMENT SIDING C FINISH (LIGHT GRAY OR SILVER) METAL COPING 		R 1 (OFF WHITE CREAM)		
······································	 IFC. MOUNT AT 15'-20' ABOVE FINISHED FLOOR HVAC EQUIPMENT IS LOCATED ON THE ROOF AND SCREENED BY BUILDING PARAPET. ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION). 	 METAL GUARDRAIL, PAINTED SOLID GUARDRAIL, TEMPERED GLASS ALUMINUM STOREFRONT ALUMINUM STOREFRONT DOOR OVERHEAD SECTION DOOR, ALUMINUM 	STUCCO_COLOF	R 2 (DARK BROWN)	······································	
6.	 STREET FACING FACADES SHALL COMPLY WITH IDO SECTIONS 5-11(E)(2) AND 5-5(G)(3) ALL WINDOWS ON THE UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2" SECTION 5-11 (E)(2)(B) 	 RESIDENTIAL WINDOWS (OPERABLE. LOW-E GLASS) UNIT BALCONY DOOR, FULL LITE W/ TRANSOM DECORATIVE SECURITY FENCE (OPTIONAL) BUIILDING MOUNTED BLADE SIGN, METAL SIGN BOX AND TRANSL WHITE SIGN PANEL WITH OPAQUE SIGN CHARACTERS INTERNAL 	LUCENT OFF FINISH (LIGHT G	SIDING OR STUCCO RAY OR SILVER)		
	 FACADE DESIGN 5-11 (E)(2)(A) GENERAL A. STREET FACING FACADE INCORPORATE AT LEAST 2 FEATURES ALONG 30% OF THE LENGTH OF THE FACADE a. WINDOWS ON UPPER FLOORS (AT ALL FACADES) b. BALCONIES PROVIDE SHADE AND PROTECTION FROM WEATHER 	 14. STEEL COLUMN, PAINTED 15. PEDESTRIAN GATE 16. PERMANENT CONCRETE PLANTER 17. KNEE WALL, STUCCO FINISH (DARK NEUTRAL OR GRAYTONE) 				
8. 	 FACADE DESIGN 5-11 (E)(2)(A) (3) A. STREET FACING FACADE INCORPORATE AT LEAST 1 ADDITIONAL FEATURE a. WALL PLANE PROJECTIONS OR RECESSE OF AT LEAST 1FT EVERY 100FT FOR AT LEAST 25% OF FACADE b. CHANGE IN COLOR TEXTURE AND MATERIAL AT LEAST 50FT OF FACADE 	 COVERED ENTRY BUILDING MOUNTED SIGNAGE, CAST METAL CHARACTER SILVER BACK LIGHTED, SIZE: (14'-5 1/2"W x 1'-6"H = 24.7 SF) VEHICULAR ENTRY GATE (OPTIONAL) SOLID FRAMED GUARDRAIL: STUCCO FINISH_COLOR 1 (OFF WHI 				
	LENGTH					
2. ************************************			***************************************		*****	i an taona 2010 amin'ny solatan'ny solatan'ny solatan'ny solatan'ny solatan'ny solatan'ny solatan'ny solatan'n Ny solatan'ny
					RECESS WINDOWS 2" AT UPPER	F MATERIAL EVERY 50 FT. 5-11(E)(2)(a)2 FLOORS 5-11(E)(2)(b)2
					PROVIDE WINDOWS AT UPPER FL	OORS 5-11(E)(2)(a&b)2&3
					25'-10"	
						3
D		······································	•	······································		
				1		
с с 				T.O. SLAB 2	100"	5'-0"
			· · · · · · · · · · · · · · · · · · ·	¥ 100'-6"	7'-6"	
					NORTH ELEVATION	
·	30'-4" 8'-8"	34'-4" 9'-3" 9'-9"	8'-6" / 18'-8" / 8'-6" /	317'- 18'-4" 8'-6" 10	10" 0'-9" 29'-0"	
 δ. δ. δ						
	3'-6"					
						ELEVATION
						BEYOND
			OPEN GARAGE 0			
A	T.O. SLAB 6					
			17			ENTRANCE
2022 7:48:48	(A1) EAST ELEVATION		0' <u>8</u> ' 1 <u>6'</u>	24'		
8/10/2	1	2		3	1	4



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GENERAL SHEET NOTES REFERENCE KEYNOTES LEGEND 1	
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