



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: JENNIFER COBBS C/O CYNTERGY		Phone: 918-346-6818
Address: 810 S. CINCINNATI, 2ND FLOOR		Email: jcobbs@cyntergy.com
City: TULSA	State: OK	Zip: 74119
Professional/Agent (if any): JAMES E., TURNER C/O CYNTERGY		Phone: 918-877-6000
Address: 810 S. CINCINNATI, 2ND FLOOR		Email:
City: TULSA	State: OK	Zip: 74119
Proprietary Interest in Site: ARCHITECT FOR WALMART		List all owners: WALMART R.E. BUS. TRUST

### BRIEF DESCRIPTION OF REQUEST

MINOR SITE AMENDMENT FOR EXTERIOR PAINT, EXTERIOR SIGN, AND ONLINE GROCERY PICKUP (OGP) DESIGNATED PARKING CHANGES

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1	Block: 88	Unit:
Subdivision/Addition: SNOW HEIGHTS ADDITION	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-21-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M (EXISTING TO REMAIN)
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 8.0949

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 11001 MENAUL BLVD. NE. Between: MORRIS ST. NE. and: JUAN TABO BLVD. NE.

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1002445, 1008823, 1009075, 1009407, 1002445, SI-2021-02084/PR-2021-006327

Signature:	Date: 03-21-2022
Printed Name: JENNIFER COBBS C/O CYNTERGY	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

### ☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

### ☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ ACCELERATED EXPIRATION SITE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

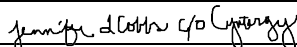
### ☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
  - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
  - ☐ Sign Posting Agreement
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

### ☐ ALTERNATIVE LANDSCAPE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

**I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.**

Signature: 

Date: 03-21-2022

Printed Name: JENNIFER L. COBBS

☐ Applicant or ☒ Agent

#### FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	





**RED TAIL ACQUISITIONS, LLC**  
COMMERCIAL REAL ESTATE INVESTMENTS

October 26, 2021

City of Albuquerque Planning Department  
600 2<sup>nd</sup> NW  
Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

Please receive this as authorization for Cyntergy, on behalf FPA Foothills, LLC, (Property Owner) and Red Tail Acquisitions, LLC (Managing Agent) and Walmart (Tenant), to submit this letter of intent and supporting documentation to the City of Albuquerque. The indicated submittal will be for review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) for property Walmart #5675 located at 11001 Menaul Boulevard NE. We anticipate the submittal will be reviewed by the City of Albuquerque Planning Department and hereby authorize Cyntergy to represent FPA Foothills, LLC and Red Tail Acquisitions, LLC, along with Walmart in responding to the City of Albuquerque's recommendations, as well as participating in any public Committee meetings as necessary.

Sincerely,

Curt Lorenz

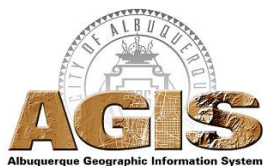
Regional Commercial Property Manager  
Red Tail Acquisitions, LLC  
Managing Agent of  
FPA Foothills, LLC

707 W. Main Ave., Suite B-1  
Spokane, WA 99201  
509-624-4627  
clorenz@rtacq.com

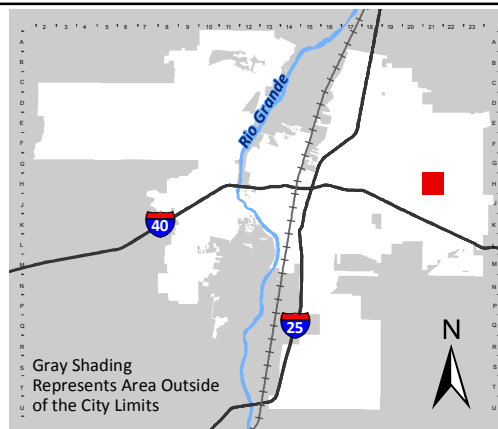


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**H-21-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- Gray Shading  
Represents Area Outside  
of the City Limits
- 0 250 500 1,000 Feet



March 21, 2022

City of Albuquerque Planning Department  
600 2<sup>nd</sup> NW  
Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

We are requesting a review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) of a Pre-IDO Site Development Plan for property Walmart #5675 located at 11001 Menaul Boulevard NE. The requested Minor Amendment scope of work includes pavement striping, Online Grocery Pickup (OGP) designated parking (with stall designation signs), directional signs within parking lot, exterior paint updates, and exterior wall sign updates. Please review the Justification per line item listed below.

Per 14-16-6-4 (Z) (1) Minor Amendments

14-16-6-4 (Z) (1) (a)

1) The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.

*The changes included in the request for minor amendment are for updates to the exterior paint, wall attached signs, re-facing site signs, and converting existing parking stalls to become designated Online Grocery Pickup (OGP). There are no exterior color restrictions for this location and the exterior signs meet the Sign Ordinance for Zoning MX-M.*

(2) The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.

*The requested change is within the Site Plan-Administrative and Sign Permit approval thresholds,*

*a) There is zero (0) % change to the building gross floor area, front setback minimum, side setback minimum, rear setback minimum, and building height maximum.*

*b) There is zero (0) % change to the wall and fence height.*

*c) The original approved total of building sign square footage was 290.25 S.F. in 2011. The approved total of building sign square footage was changed in 2017 to be 312.87 S.F. The current updated sign square footage will be 270.53 S.F. (A decrease from 2011 and 2017). The signs fall within the existing sign code applicable to the*

*zoning of the site. The signs also fall within the property lines of the property.*

*d) There are no rooftop installations and ground mounted installation of solar or wind energy.*

*e) There are no additions or modifications of battery storage and the site is larger than 5 acres.*

*f) There are zero (0) changes to the site layout of an electric facility.*

*g) The Fair Housing act does not apply to this property as it is a commercial property with a mercantile/retail use.*

(3) The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.

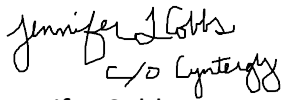
*The requested amendment does not affect major public infrastructure or change access or circulation patterns on the property.*

(4) No deviations, Variance, or Waivers shall be granted for minor amendments.

*There are no requests for deviations, variances, or waivers to ordinances within this request.*

We appreciate your consideration for the Minor Site Amendment.

Sincerely,

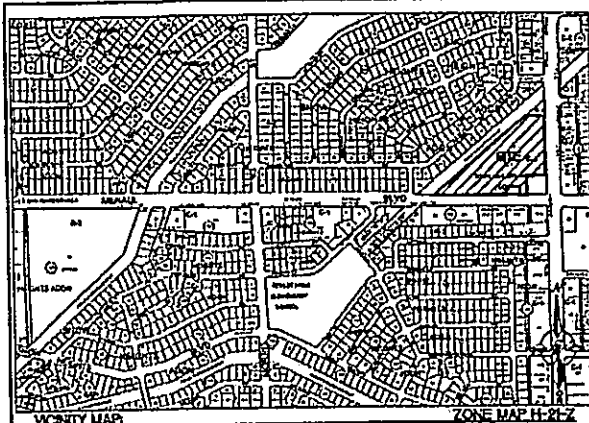
A handwritten signature in black ink that reads "Jennifer Cobbs" with "C/O Cyntergy" written below it.

Jennifer Cobbs

C/O Cyntergy

810 S. Cincinnati, 2<sup>nd</sup> Floor

Tulsa, OK 74119



**LEGAL DESCRIPTION**  
REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH  
VACATED PORTIONS OF MENAUL AND JUAN TABO BOULEVARD

**ADMINISTRATIVE AMENDMENT**  
FILE # 12-1112 PROJECT # 1022445  
10' high pallet enclosure  
445 W  
APPROVED BY *[Signature]* DATE 9/11/12

**ADMINISTRATIVE AMENDMENT**  
FILE # 12-1112 PROJECT # 1022445  
10' high pallet enclosure  
445 W  
APPROVED BY *[Signature]* DATE 9/11/12

**ADMINISTRATIVE AMENDMENT**  
FILE # 12-1112 PROJECT # 1022445  
NEW EXTERIOR PAINT COLOPS, REPLACE  
PHARMACY DRIVE THRU BUS AND SIGNAGE  
NEW PHARMACY PICK-UP SIGN  
APPROVED BY *[Signature]* DATE 10-31-17

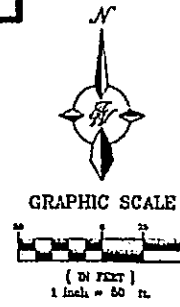
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM  
WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND  
WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE  
RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT  
FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF  
SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND  
THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH  
HORIZONTAL LAMPS.
  - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE  
WHEEL CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER  
THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE OR  
THERMOPLASTIC.
  - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM  
UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

**ADMINISTRATIVE AMENDMENT**  
FILE # 12-1112 PROJECT # 1022445  
10' high pallet enclosure  
445 W  
APPROVED BY *[Signature]* DATE 9/11/12

- LEGEND**
- PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - EXISTING SIDEWALK
  - EXISTING CURB & GUTTER
  - EXISTING STREET LIGHTS
  - HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
  - HEAVY DUTY CONCRETE PAVEMENT
  - SAWCUT
  - STANDARD DUTY ASPHALT
  - ADA ACCESSIBLE ROUTE
  - PROPOSED PARKING SPACES
  - CART CORRAL
  - SITE LIGHTING (SEE LIGHTING PLAN)

NO.	DATE	REVISIONS	BY
1	08-09-12	ADD BALF AND PALLET RECYCLING ENCLOSURE	JCH
2	05-23-12	REVISION CENTER SIGN	JCH

- INDEX TO DRAWINGS**
- SITE PLAN FOR BUILDING PERMIT
  - SITE PLAN
  - L1-LANDSCAPING PLAN
  - GRADING PLAN
  - MASTER UTILITY PLAN
  - DETAILS
  - BUILDING ELEVATIONS
  - BUILDING ELEVATIONS
  - AA SITE PLAN (PREVIOUSLY APPROVED)



**SITE DATA**  
LEGAL DESCRIPTION: PORTION OF BLOCK 88 SNOW HEIGHTS  
ZONING: C-2 (SC)  
SITE AREA: 8.61 ACRES

**PROPOSED USE/EXISTING USE:**  
COMMERCIAL, RETAIL

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
EXISTING INGRESS AND EGRESS IS PROVIDED DIRECTLY TO MENAUL BLVD AT FOUR  
DRIVEWAY APRONS AND DIRECTLY TO JUAN TABO BLVD AT THREE DRIVEWAY APRONS.

THE PROPOSED BUILDING ADDITION WILL REQUIRE THE TWO MOST SOUTHWESTERLY  
DRIVEWAY APRONS RECONFIGURED AS SHOWN TO CONTINUE TO MAINTAIN INGRESS AND  
EGRESS FOR VEHICULAR TRAFFIC AT THESE LOCATIONS. PEDESTRIAN INGRESS AND  
EGRESS WILL BE ENHANCED WITH A DIRECT PEDESTRIAN CONNECTION TO MENAUL  
BLVD WHICH IS ADA COMPLIANT.

**INTERNAL CIRCULATION REQUIREMENTS:**  
AN EXISTING NON-EXCLUSIVE RIGHT OF WAY EASEMENT IS IN PLACE TO PROVIDE  
ACCESS TO THE TWO SEPARATE RESTAURANT PADS ALONG MENAUL BOULEVARD  
WHICH ARE "NOT A PART" OF THIS SITE DEVELOPMENT PLAN.

**MAXIMUM BUILDING HEIGHT ALLOWED:**  
28 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER  
28 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT  
THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH  
ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY  
CENTERLINE TO PROTECT SOLAR ACCESS. A STRUCTURE OVER 28 FEET MAY NOT  
EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN  
ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME  
BOUNDARIES OR CENTER LINE.

**PROPOSED BUILDING HEIGHT:** 32' MAXIMUM

**MINIMUM BUILDING SETBACK:**  
THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN  
FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR  
ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

**MAXIMUM TOTAL DWELLING UNITS:**  
N/A. RESIDENTIAL USE NOT PERMITTED PER ZONING

**NON-RESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO:**  
NO REQUIREMENT, (0.247 F.A.R. EXISTING/0.250 F.A.R. PROPOSED)

**PHASING:**  
NONE

**STRUCTURE LOCATIONS:**  
EXISTING STRUCTURES WILL REMAIN IN PLACE, EXCEPT FOR THE SOUTHWESTERLY  
TENT SPACE TO BE DEMOLISHED AND REBUILT AS INDICATED ON THE PLAN.

**STRUCTURE ELEVATIONS AND FINISHES:**  
BUILDING AREA:  
WEST BLDG: 82,107 SF (EXISTING) + 1,065 SF (PROPOSED EXPANSION)  
83,172 SF (AFTER EXPANSION)  
EXISTING EAST BLDG: 10,516 SF  
TOTAL: 93,688 SF (AFTER EXPANSION)  
SEE SHEETS B THROUGH G FOR STRUCTURE ELEVATIONS

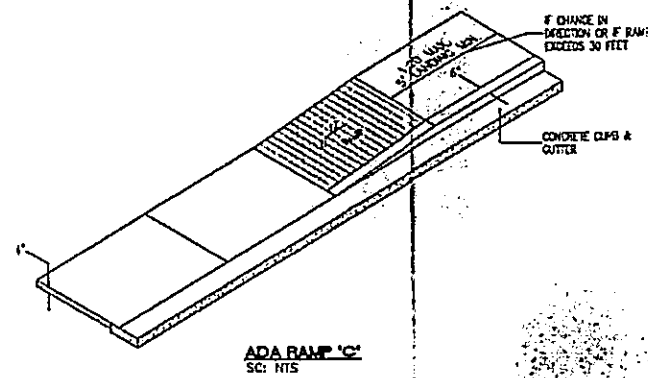
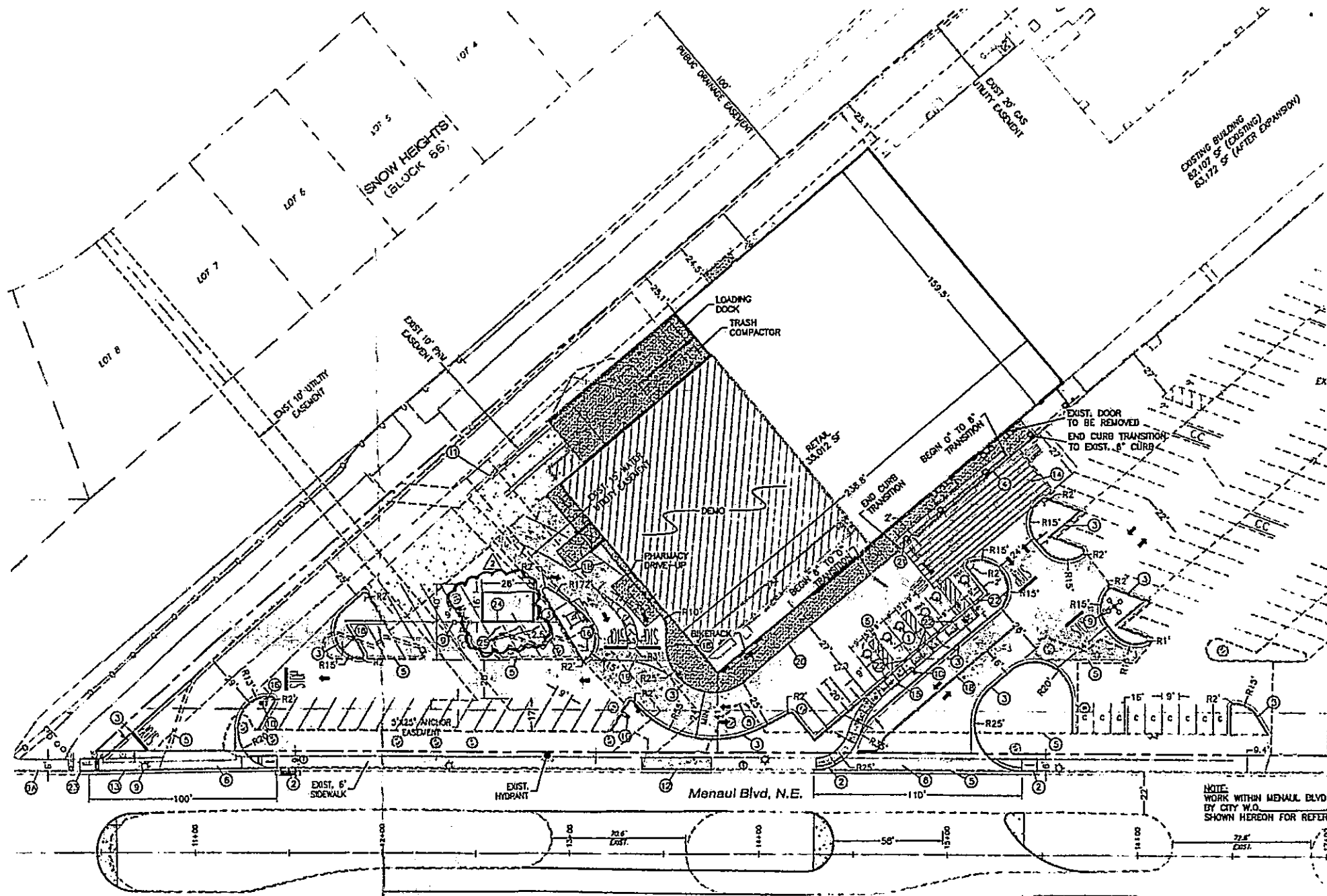
**PARKING FACILITIES**  
PARKING CALCULATIONS:  
SPACE/200 SF (FIRST 15,000 SF): 75 SPACES  
SPACE/250 SF (15,000 TO 60,000 SF): 160 SPACES  
SPACE/300 SF (> 60,000 SF): 112 SPACES  
REQUIRED (GROSS): 347 SPACES  
10% TRANSIT REDUCTION: -37 SPACES  
TOTAL REQUIRED: 330 SPACES  
TOTAL PROVIDED: 341 SPACES  
CART CORRALS PROVIDED: 8 SPACES  
HC PARKING REQUIRED: 12 SPACES (2 VAN ACCESSIBLE)  
NOTE: BUILDING ADDITION DOES NOT EXCEED 2500 SQUARE FEET, THEREFORE  
ONLY GENERAL REQUIREMENTS OF § 14-16-3-1 OFF-STREET PARKING  
REGULATIONS APPLY.

**LOADING FACILITIES**  
DELIVERY DOCK IS LOCATED AT THE REAR (NORTH SIDE) OF BUILDING.

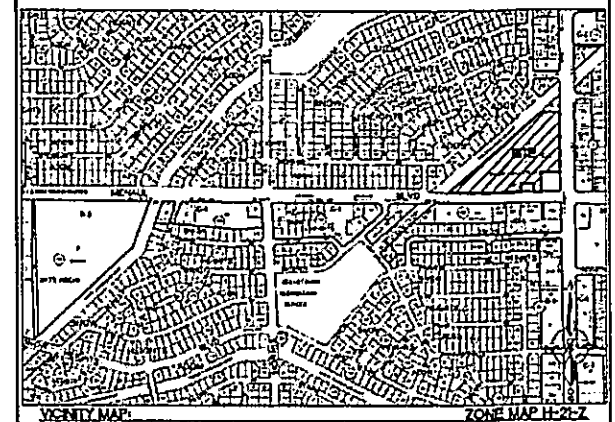
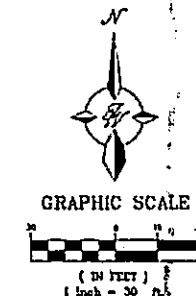
**NON-AUTO TRANSPORTATION**  
PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING TRANSIT STOPS AT THE SITE  
SERVED WITH ROUTES 1 AND 8.

**FIRE MARSHAL APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

<b>ENGINEER'S SEAL</b>	<b>FOOTHILLS, S.C.</b> MENAU AND JUAN TABO	<b>DRAWN BY</b> DY
	<b>AA - SITE PLAN FOR</b> <b>BUILDING PERMIT (OVERALL)</b>	<b>DATE</b> 9-02-11
	<b>TERRA WEST, LLC</b> 5371 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87110 (505) 855-3100 www.terrawestllc.com	<b>DRAWING</b> 2010077-SPB
<b>RONALD R. BHOWM</b> P.E. #7888		<b>SHEET #</b> 1
		<b>JOB #</b> 2010077



- LEGEND**
- PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - - - EASEMENT
  - - - EXISTING SIDEWALK
  - - - EXISTING CURB & GUTTER
  - - - EXISTING STREET LIGHTS
  - HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
  - HEAVY DUTY CONCRETE PAVEMENT
  - SAWCUT
  - STANDARD DUTY ASPHALT
  - ADA ACCESSIBLE ROUTE
  - PROPOSED PARKING SPACES
  - CART CORRAL
  - ⊕ SITE LIGHTING (SEE LIGHTING PLAN)



**LEGAL DESCRIPTION**  
 REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH  
 VACATED PORTIONS OF MENAUL AND JUAN TABO BOULEVARD

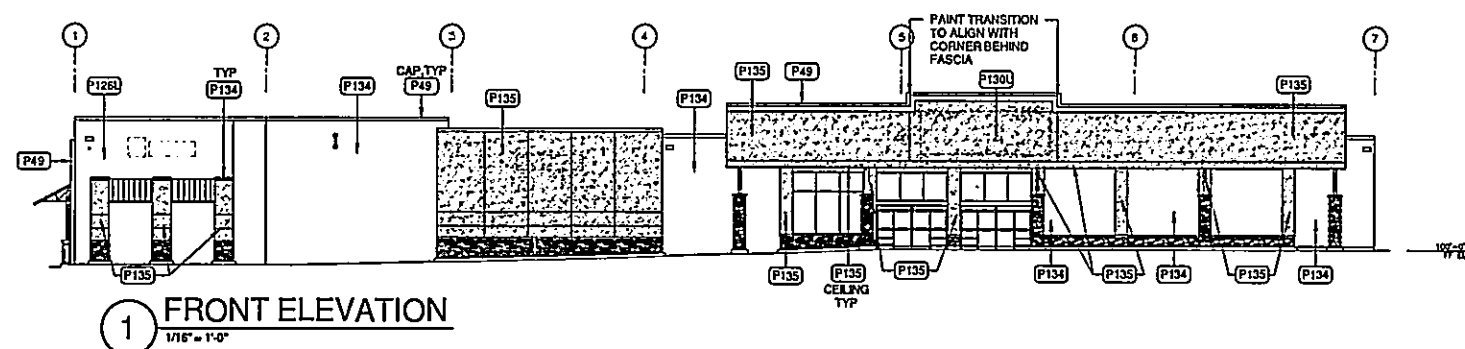
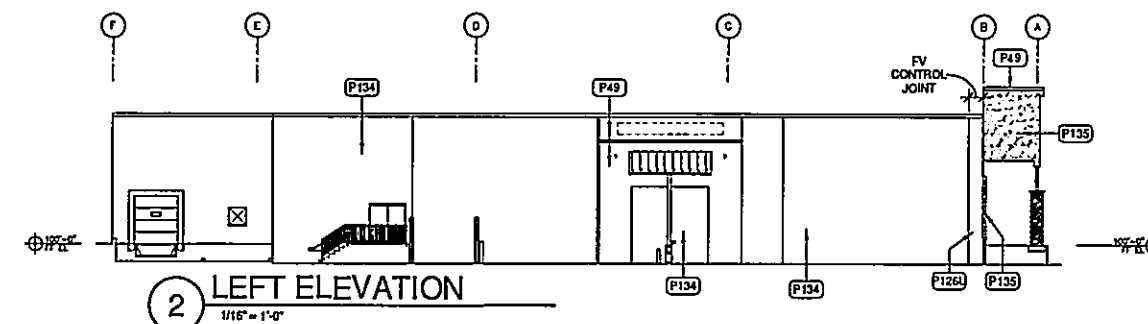
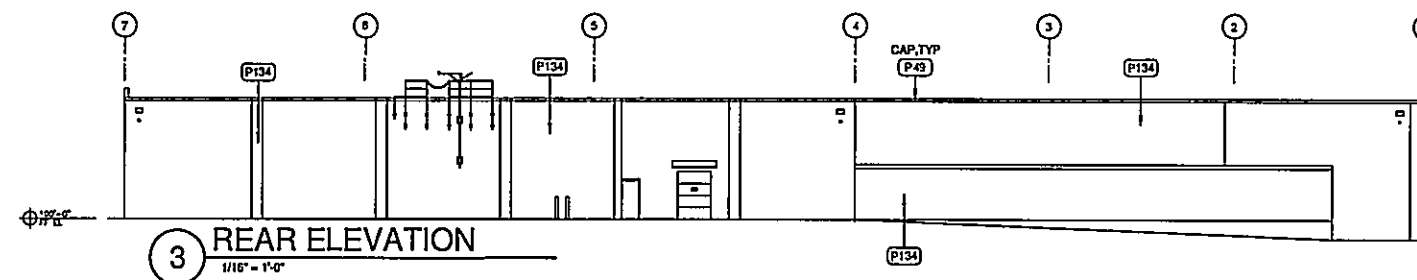
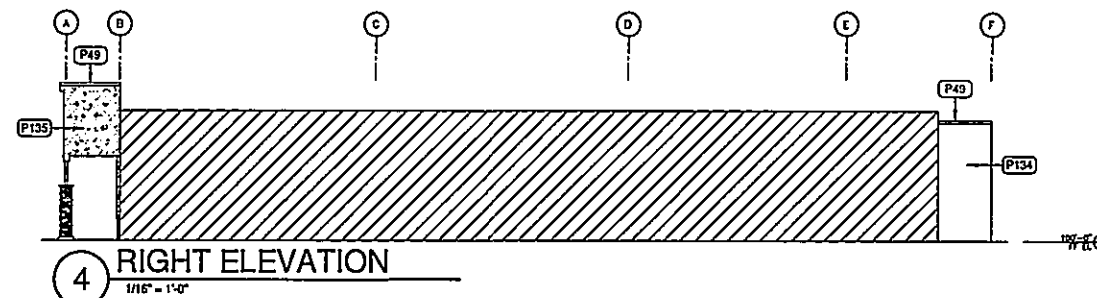
**KEYED NOTES**

- ① ACCESSIBLE PARKING SEE DETAIL SHEET 8
- ② ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
- ③ 6" CURB AND GUTTER PER COA STD DWG 24158
- ④ SIDEWALK FLUSH WITH ASPHALT
- ⑤ REMOVE AND DISPOSE EXIST CURB
- ⑥ 6" VALLEY GUTTER PER COA STD DWG 2420
- ⑦ 6" MH CROSSWALK
- ⑧ NEW MEDIAN CURB PER COA STD DWG 24158
- ⑨ REMOVE & RELOCATE POLE AND LAMP BY CONTRACTOR (SEE LIGHTING PLAN)
- ⑩ REMOVE & RELOCATE POLE AND LAMP BY PHM (SEE LIGHTING PLAN)
- ⑪ NEW POLE AND LAMP (SEE LIGHTING PLAN)
- ⑫ 4" WIDE X 130' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES TYPICAL
- ⑬ REMOVE EXIST. DRIVEWAY ACCESS. CONSTRUCT 37' LF OF CURB, GUTTER, & 6" SIDEWALK PER COA STD DWG #2415A & #2430
- ⑭ ENTRANCE TO BE WIDENED
- ⑮ PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE
- ⑯ ACCESSIBLE RAMP "B" SEE DETAIL SHEET 9
- ⑰ R5-1 30"x30" ("DO NOT ENTER") SIGN
- ⑱ PAINT MEDIAN NOSE YELLOW
- ⑲ 4" SOLID YELLOW STRIPE
- ⑳ 4" SOLID WHITE STRIPE
- ㉑ 6" CURB
- ㉒ SIDEWALK FLUSH WITH PAVEMENT. SEE ARCHITECTURAL PLAN FOR DETECTABLE WARNING DETAILS.
- ㉓ BOLLARD MOUNTED SIGN PER DETAIL ON SHEET 7
- ㉔ DRIVEPAD PER COA STD DWG #2425
- ㉕ BALE/PALLET RECYCLING ENCLOSURE. SEE SHEET 11 FOR DETAILS.
- ㉖ WHEEL STOP

NO.	DATE	REVISIONS
1	08-08-12	ADD BALE AND PALLET RECYCLING ENCLOSURE

<b>ENGINEER'S SEAL</b>  RONALD R. BOHANNAN P.E. #7668	<b>FOOTHILLS, S.C.</b> <b>MENAU AND JUAN TABO</b> <b>AA - SITE PLAN FOR BUILDING PERMIT</b>	<b>DRAWN BY</b> BY <b>DATE</b> 9-02-11 <b>DRAWING</b> 2010077-SFB-30 DELTA2 <b>SHEET #</b> 2 <b>JOB #</b> 2010077
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	

P#	COLOR NAME
P49	SW# 7019 "GAUNTLET GRAY"
P126U	SW# 6885 "KNOCKOUT ORANGE" (URETHANE)
P135	SW# 7017 "DORIAN GRAY"
P130U	SW# 6922 "OUTRAGEOUS GREEN"
P134	SW# 7015 "REPOSE GRAY"



## SHEET NOTES

- POWER WASH 100% OF EXTERIOR WALLS PRIOR TO PAINTING.
- PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED.
- REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS. FILL AND SEAL JOINTS.
- PAINT EXTERIOR OF BUILDING AS SHOWN. AT WALL(S) SIGN(S) MASK AND PAINT AROUND LIT SIGN CHARACTERS.
- PAINT DOOR HOODS, HOLLOW METAL STEEL DOORS AND FRAMES, GUTTERS AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, GAS LINES, AND EXPOSED MISCELLANEOUS STEEL TO MATCH ADJACENT BUILDING COLOR UNO.
- PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
- WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK P148. DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
- PAINT JIB CRANE - P36 ON JIB BOOM, P5 ON HANDRAILS.
- PAINT ALL GAS PIPE ON SIDE WALLS TO MATCH ADJACENT WALL COLOR. DO NOT PAINT METER OR VALVES.
- PAINT SPRINKLER VALVES P21. DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.
- PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
- DO NOT PAINT LED WALL PACK HOUSINGS.
- PAINT GARDEN CENTER STEEL DOORS AND FRAMES TO MATCH ADJACENT BUILDING WALL. IF THERE ARE TWO COLORS AT ADJACENT WALL USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME.
- PAINT GARDEN CENTER STEEL DOORS AND FRAMES P81 WHEN ADJACENT TO ORNAMENTAL FENCE.
- SIGNAGE OMITTED FOR CLARITY.
- REMOVE ANY BANNERS OR TEMPORARY SIGNS PRIOR TO PAINTING.
- PAINT ALL REMOTE BUILDINGS, FENCES, OR STRUCTURES NOT SHOWN ON A2, THAT WERE PREVIOUSLY PAINTED, P134.

B|R|R  
architecture

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CONSULTANTS

**Walmart**  
ALBUQUERQUE, NM  
STORE NO: 5675  
JOB NUMBER: 96542672  
ELEVATIONS

ISSUE BLOCK

CHECKED BY:  
DRAWN BY: TF  
PROTO:  
DOCUMENT DATE: 07/12/17

ELEVATIONS

SHEET:  
A2

4



## SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.
- SIGNAGE CONTRACTOR RESPONSIBILITIES
  - FURNISH SPECIFIED CONDUIT FOR LIGHTED SIGNAGE.
  - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS.
  - INSTALL SIGNAGE PER DETAILS ON SHEET A2.1

## ELECTRICAL GENERAL NOTES

- FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR, FOR A COMPLETE INSTALLATION IN ALL RESPECTS, READY FOR INTENDED USE AND IN STRICT ACCORDANCE WITH NEC, NESC, STATE, AND LOCAL CODES, AND MANUFACTURER'S RECOMMENDATIONS. PAY ALL NECESSARY FEES AND PERMITS.
  - NO CIRCUITRY SHALL BE ALLOWED TO BE ROUTED ACROSS THE ROOF OR THE EXTERIOR SIDE OF THE EXTERIOR WALLS.
  - ALL EQUIPMENT SHALL BE UL LISTED WHERE APPLICABLE.
  - ARRANGE ALL WORK TO MINIMIZE DISRUPTIONS TO STORE OPERATIONS. COORDINATE ALL DISRUPTIONS WITH WALMART CONSTRUCTION MANAGER AND STORE MANAGER.
  - CONTRACTORS SHALL VERIFY ALL WALL FINISH THICKNESSES BEFORE INSTALLING BOXES. FURNISH AND INSTALL EXTENDED BOXES OR BOX EXTENDERS WHERE REQUIRED.
- WHERE ELECTRICAL CONNECTIONS FOR SIGNAGE OCCUR BELOW ROOF LINE, MOUNT JUNCTION BOXES TO WALL AT SIGN CONNECTION POINT AND PROVIDE 3/4" CONDUIT TO CONTROL BOX FOR LOW VOLTAGE WIRING (INSTALLED BY OTHERS). REFER TO ARCHITECTURAL DETAILS FOR EXACT SIGN LOCATION(S) AND SIGN INSTALLER FOR CONTROL BOX LOCATION PRIOR TO INSTALLATION. WHERE ELECTRICAL CONNECTIONS FOR SIGNAGE OCCUR ABOVE ROOF LINE, PROVIDE UNISTRUT TO MOUNT JUNCTION BOXES TO BACK SIDE OF PARAPET AND PROVIDE 3/4" CONDUIT TO CONTROL BOX FOR LOW VOLTAGE WIRING (INSTALLED BY OTHERS). PROVIDE ONLY ONE PENETRATION THROUGH THE ROOF. REF ARCHITECTURAL WALL SECTIONS AND SIGN ATTACHMENT FOR ROOF AND PARAPET PENETRATION REQUIREMENTS.

## EXISTING SIGNAGE SCHEDULE

SIGNAGE	QTY	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
SIDE					
Pharmacy Drive-Thru	1	WHITE	1'-6"	39.90	39.90
TOTAL SIDE SIGNAGE					39.90
FRONT					
Walmart Neighborhood Market	1	WHITE/YELLOW/GREEN	3'-6"	187.67	187.67
Pharmacy Drive-Thru	1	WHITE	2'-0"	62.68	62.68
TOTAL FRONT SIGNAGE					250.35
TOTAL EXISTING SIGNAGE					290.25

## NEW SIGNAGE SCHEDULE

SIGNAGE	QTY	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
SIDE					
Pharmacy Drive-Thru (Existing)	1	WHITE	1'-6"	39.90	39.90
TOTAL SIDE SIGNAGE					39.90
FRONT					
Walmart Neighborhood Market (Existing)	1	WHITE/YELLOW	3'-6"	187.67	187.67
Pharmacy	1	WHITE	2'-0"	33.44	33.44
* (Spark) Pickup	1	WHITE/YELLOW	2'-6"	51.86	51.86
TOTAL FRONT SIGNAGE					272.97
TOTAL BUILDING SIGNAGE					312.87

REFER TO SIGNAGE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION

PLASTIC MOUNT FOR ALL-THREAD STUD, TYP

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION, TYP

3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT, TYP

PLASTIC NON-ILLUMINATED CHANNEL LETTER

"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM C648 AND C577 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

SIGN ATTACHMENT AT EXISTING EIFS AND CMU

1 1/2" = 1'-0"

FLEX CONDUIT SUPPLIED WITH LETTERS CONTIGUOUS THROUGH ENTIRE PARAPET BY SIGN INSTALLER

FULL BEG OF MULTI-COMPONENT SEALANT AT PERIMETER OF CONDUIT BY SIGN INSTALLER

INSTALL LETTER BACK PRIOR TO INSTALLATION BY SIGN INSTALLER

HELTHIPS 1/4" X 1 5/8" SLEEVE ANCHOR PROVIDED BY WALMART AT EACH SIGN CONNECTION POINT INSTALLED BY SIGN CONTRACTOR

INDIVIDUAL PLASTIC ILLUMINATED CHANNEL LETTERS BY SIGN SUPPLIER

INSTALL LETTER FACES W/ SET SCREWS, TYP BY SIGN INSTALLER

NO EIFS AT SIGN CONDITION

SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

LOCATE CONDUIT PENETRATION 4'-0" MAX FROM UNISTRUT. PROVIDE ONLY ONE ROOF PENETRATION FOR ALL WHIPS.

LOCATE IMPACT ANCHORS AND WIRING CONDUIT PENETRATIONS PER SIGN ATTACHMENT TEMPLATE PROVIDED BY WALMART

SEALANT ALL AROUND BY BUILDING GENERAL CONTRACTOR

CONTINUOUS UNISTRUT. ATTACH AT 48" OC WITH #48 STEEL PLATE WITH (4) 1/2" MASONRY EXPANSION ANCHORS. SET PLATE IN FULL BEG OF SEALANT. NOTE, UNISTRUT MAY BE ABOVE OR BELOW WIRE PENETRATION BY BUILDING GENERAL CONTRACTOR

4" X 4" JUNCTION BOX ATTACH TO UNISTRUT BY BUILDING GENERAL CONTRACTOR

SIGN MOUNTING LOCATION (TYP) FIELD VERIFY EXACT LOCATIONS

ROOF LINE

JOIST BEARING ELEVATION LINE

PICKUP SIGN MOUNTING DIAGRAM

1/4" = 1'-0"

NOTE TO SIGN INSTALLER: ALL PRIMARY MOUNTING HOLES MUST BE UTILIZED. IF MOUNTING THROUGH PRIMARY HOLE IS OBSTRUCTED BY REBAR, METAL STUDS, CHANNELS, OR OTHER MISC METAL, SEAL PRIMARY HOLE IN SIGN CAN AND MOUNT THROUGH THE NEAREST ALTERNATE MOUNTING HOLE. PRIMARY HOLES ARE INDICATED WITH PREDRILLED HOLES THROUGH WASHERS. ALTERNATE HOLES ARE INDICATED WITH WASHERS ONLY OR ARE OTHERWISE MARKED.

ELECTRICAL PENETRATIONS (TYP) FIELD VERIFY EXACT LOCATIONS

REF BLDG ELEVATIONS TO SIGN

NOTE: ALL SIGN PENETRATIONS ABOVE ROOF LEVEL MUST BE A CLEAR MINIMUM OF 8" ABOVE DECK

12'-1 3/8"

2'-0 1/8"

Pharmacy

33.44 SQ.FT.

3 SIGNAGE

1/4" = 1'-0"

15'-4"

3'-10 1/2"

10'-7 1/2"

WHITE PLASTIC LETTERS

Pickup

16.86 SF

35.00 SF

2'-6"

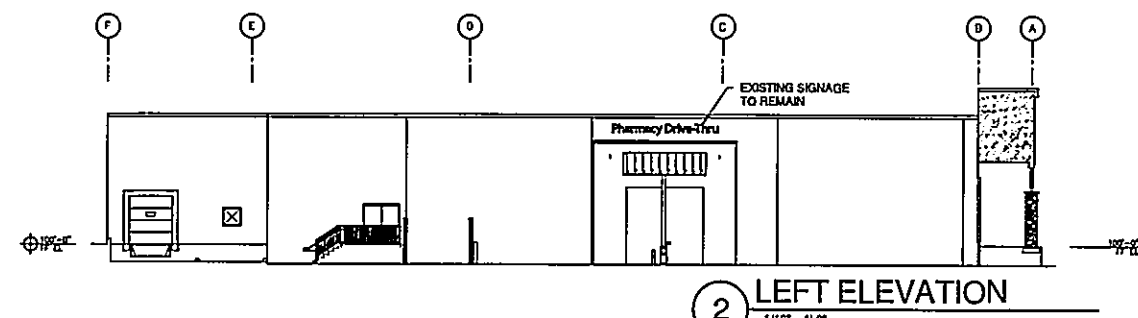
3'-3 1/2"

PLASTIC LETTERS MATCH SW #6904 "GUSTO GOLD"

5 A2.1 INTERNALLY ILLUMINATED

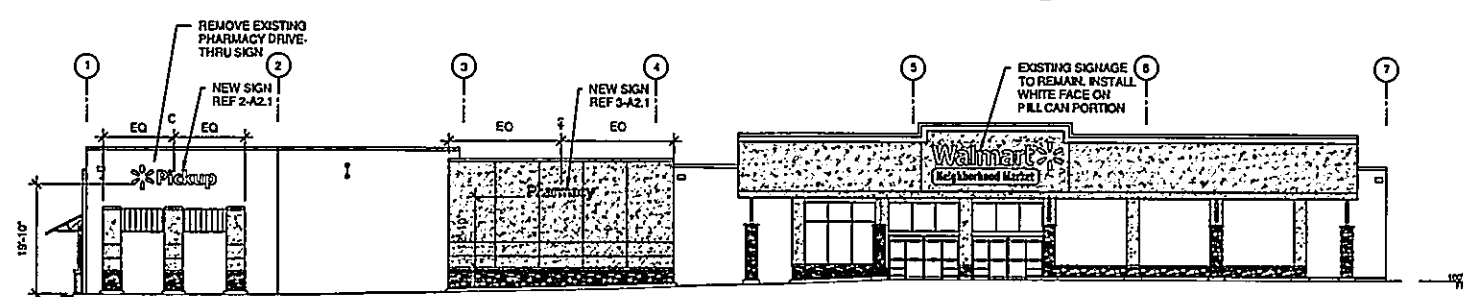
2 SIGNAGE

1/4" = 1'-0"



2 LEFT ELEVATION

1/16" = 1'-0"



1 FRONT ELEVATION

1/16" = 1'-0"

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architecture

ARCHITECT OF RECORD: B|R|R ARCHITECTURE, INC.  
1000 N. MICHIGAN AVE. SUITE 200, ANN ARBOR, MI 48106

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CONSULTANTS

Walmart

ALBUQUERQUE, NM

STORE NO: 5675

JOB NUMBER: 96542672

EXTERIOR PAINT

ISSUE BLOCK

CHECKED BY:

DRAWN BY: TF

PRO TO:

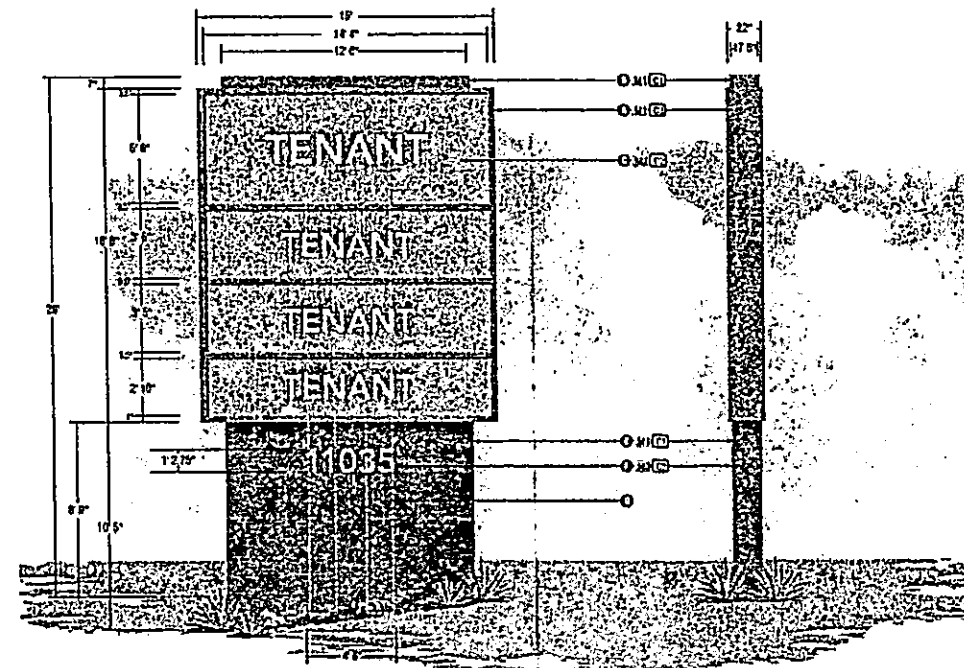
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SIGNAGE AND DETAILS

SHEET

A2.1

2 Refurbished Monument Signs - East Elevation



11 Elevation View  
SCALE 3/8" = 1'-0"

12 Side View  
SCALE 3/8" = 1'-0"

TRADEMARK

FOOTHILLS, S.C.  
MENAUL AND JUAN TABO

2010077-PYLOX-SIG

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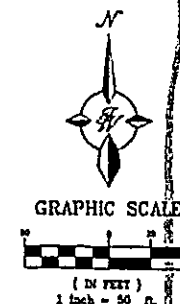


1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. LIGHT POLES SHALL BE A MAXIMUM OF 20 FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20" WIDE FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
4. PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE OR THERMOPLASTIC.
5. 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PHN UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

ADMINISTRATIVE/AMENDMENT  
FILE # 11-0016 PROJECT # 10023015  
att Kelly Chapman - 1/15/11  
and Mike - w/ plans  
9/13/11  
DATE

- LEGEND**
- |  |  |
|--|--|
|  | PROPOSED CURB & GUTTER                 |
|  | BOUNDARY LINE                          |
|  | EASEMENT                               |
|  | EXISTING SIDEWALK                      |
|  | EXISTING CURB & GUTTER                 |
|  | EXISTING STREET LIGHTS                 |
|  | HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT |
|  | HEAVY DUTY CONCRETE PAVEMENT           |
|  | SAWCUT                                 |
|  | STANDARD DUTY ASPHALT                  |
|  | ADA ACCESSIBLE ROUTE                   |
|  | PROPOSED PARKING SPACES                |
|  | CART CORRAL                            |
|  | SITE LIGHTING (SEE LIGHTING PLAN)      |



- INDEX TO DRAWINGS**
- 1. SITE PLAN FOR BUILDING PERMIT**
  - 2. SITE PLAN**
  - 3. L1-LANDSCAPING PLAN**
  - 4. GRADING PLAN**
  - 5. MASTER UTILITY PLAN**
  - 6. DETAILS**
  - 7. DETAILS**
  - 8. BUILDING ELEVATIONS**
  - 9. BUILDING ELEVATIONS**
  - 10. AA SITE PLAN (PREVIOUSLY APPROVED)**

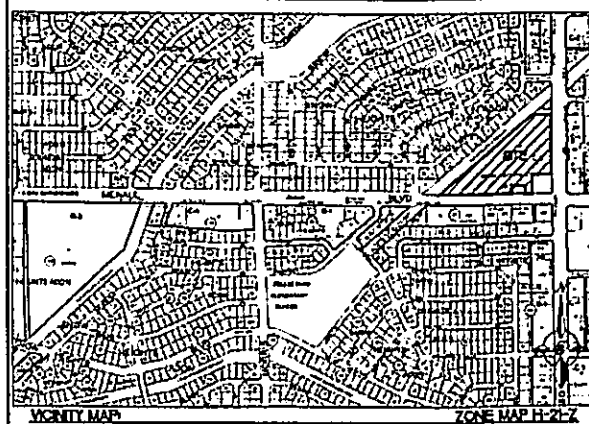
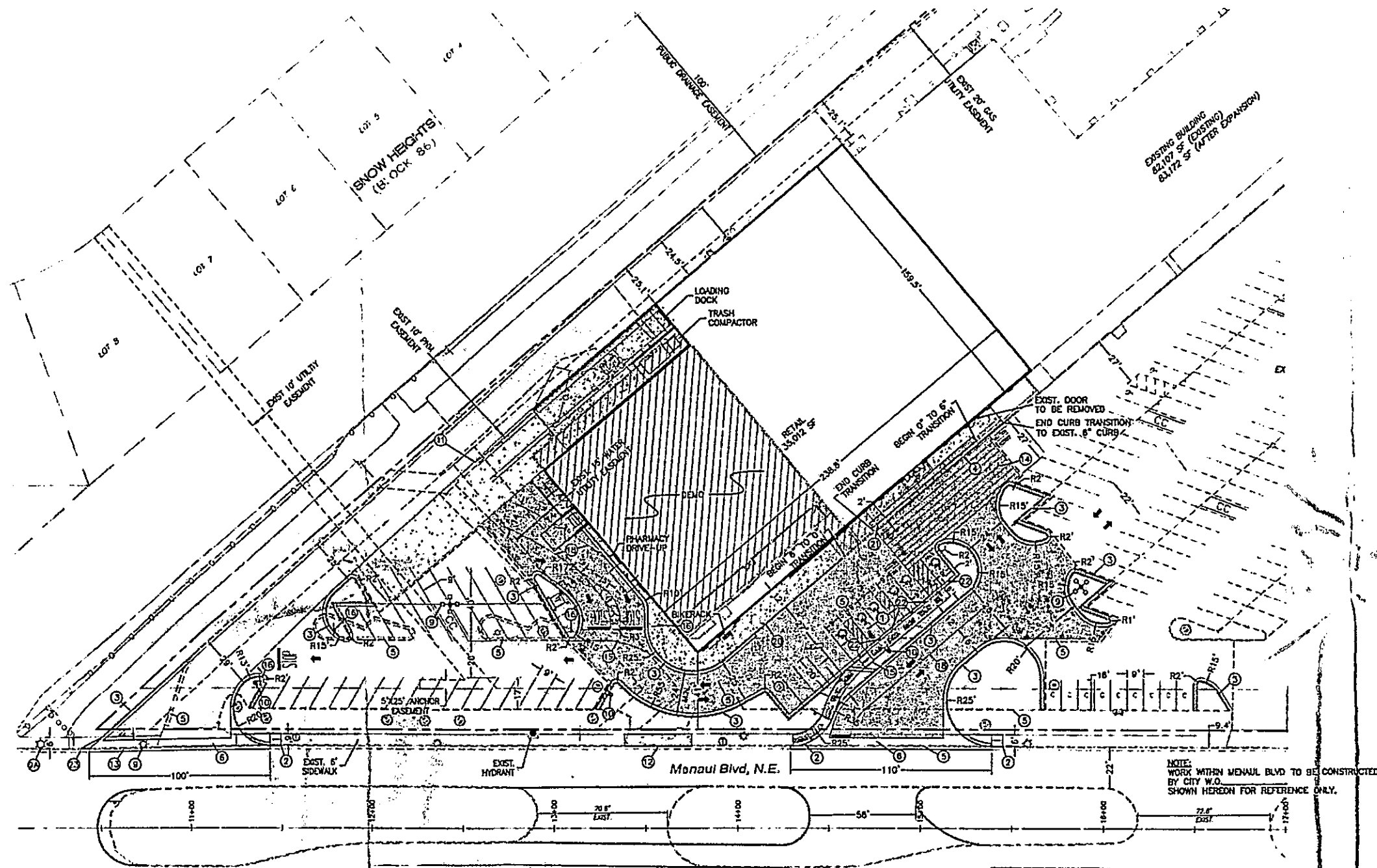


\_\_\_\_\_

**FIRE MARSHALL APPROVAL**

DATE \_\_\_\_\_

ENGINEER'S SEAL	Foothills, S.C. MENAUL and JUAN TABO	DRAWN BY DY
	AA - SITE PLAN FOR BUILDING PERMIT (OVERALL)	DATE 9-02-11  DRAWING 2010077-SF
RONALD R. BOHANNAN P.E. #7868	 <b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87102 (505) 638-3100 <a href="http://www.terraestllc.com">www.terraestllc.com</a>	SHEET #  1
		JOB # 2010077



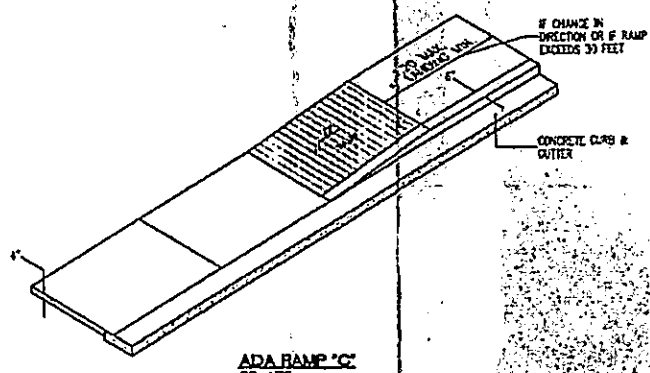
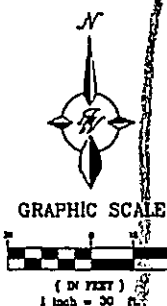
**LEGAL DESCRIPTION**  
REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH  
VACATED PORTIONS OF MENAU AND JUAN TABO BOULEVARD

#### KEYED NOTES

- ① ACCESSIBLE PARKING SEE DETAIL SHEET 8
- ② ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2428
- ③ 8" CURB AND GUTTER PER COA STD DWG 2415B
- ④ SIDEWALK FLUSH WITH ASPHALT
- ⑤ REMOVE AND DISPOSE EXIST CURB
- ⑥ 6" VALLEY CUTTER PER COA STD DWG 2420
- ⑦ 6" HIGH CROSSWALK
- ⑧ NEW MEDIAN CURB PER COA STD DWG 2415B
- ⑨ REMOVE & RELOCATE POLE AND LAMP BY CONTRACTOR (SEE LIGHTING PLAN)
- ⑩ REMOVE & RELOCATE POLE AND LAMP BY PHM (SEE LIGHTING PLAN)
- ⑪ NEW POLE AND LAMP (SEE LIGHTING PLAN)
- ⑫ 4" WIDE X 130' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES TYPICAL
- ⑬ REMOVE EXIST. DRIVEWAY ACCESS. CONSTRUCT 37 LF OF CURB, CUTTER, & 6" SIDEWALK PER COA STD DWG #2415A & #2430
- ⑭ ENTRANCE TO BE WIDENED
- ⑮ PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-6" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE
- ⑯ ACCESSIBLE RAMP "B" SEE DETAIL SHEET X 7
- ⑰ R5-1 30"x30" ("DO NOT ENTER") SIGN
- ⑱ PAINT MEDIAN NOSE YELLOW
- ⑲ 4" SOLID YELLOW STRIPE
- ⑳ 4" SOLID WHITE STRIPE
- ㉑ 6" CURB
- ㉒ SIDEWALK FLUSH WITH PAVEMENT. SEE ARCHITECTURAL PLAN FOR DETECTABLE WARNING DETAILS.
- ㉓ BOLLARD MOUNTED SIGN PER DETAIL ON SHEET 7
- ㉔ DRIVEPAD PER COA STD DWG #2425

#### LEGEND

- PROPOSED CURB & CUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - EXISTING SIDEWALK
- - - EXISTING CURB & CUTTER
- - - EXISTING STREET LIGHTS
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- SAWCUT
- STANDARD DUTY ASPHALT
- ADA ACCESSIBLE ROUTE
- ② PROPOSED PARKING SPACES
- ② CART CORRAL
- ② SITE LIGHTING (SEE LIGHTING PLAN)



ENGINEER'S SEAL	FOOTHILLS, S.C. MENAU AND JUAN TABO		DRAWN BY BY
	AA - SITE PLAN FOR BUILDING PERMIT		DATE 9-01-11
	TERESA WEST, LLC 5571 LINDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 856-3100 www.terwestllc.com		DRAWING 2010077-SPB-30'
	RONALD R. BOHANNAN P.E. #7888		SHEET # 2 JOB # 2010077

### EXTERIOR COLOR SCHEDULE

- (P83) COBBLE BROWN SW #6002  
(P10) EXTERIOR BROWEDARY CAMEL SW #7694(EXT)  
(P124) MEADOWLARK SW #7522  
(52) TAN MANUFACTURED STONE VENEER  
REF SPECIFICATIONS

## KEYNOTES

- 1.01 SIGNAGE  
8.09 AUTOMATIC SLIDING ENTRANCE DOORS

### STIPULATION FOR REUSE

## CONSULTANTS

**GENERAL REMODEL**  
**ALBUQUERQUE, NM**  
**STORE NO.5675**

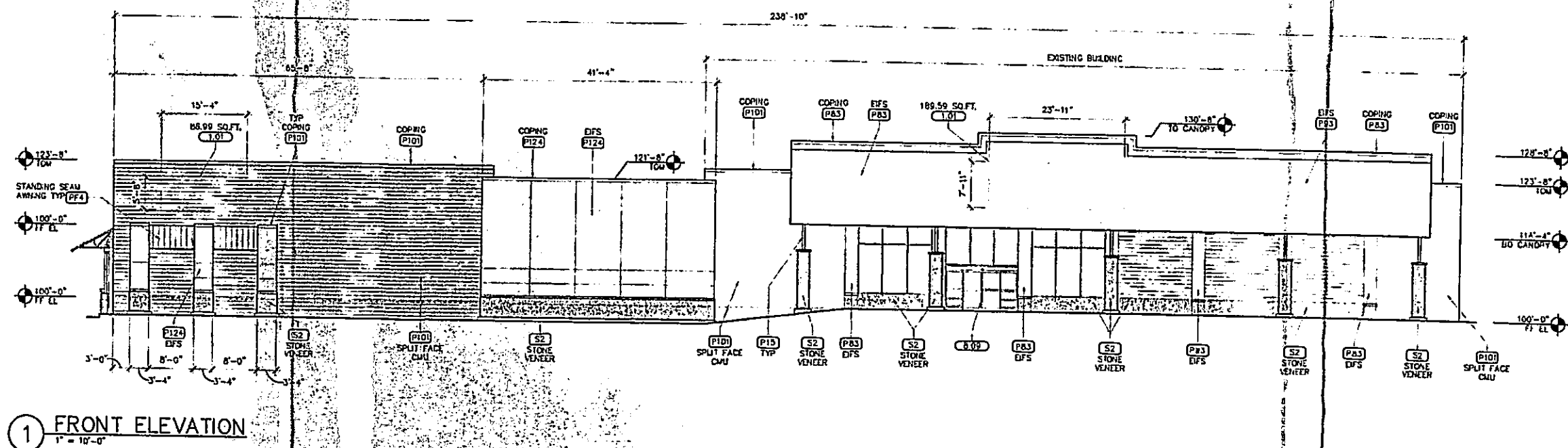
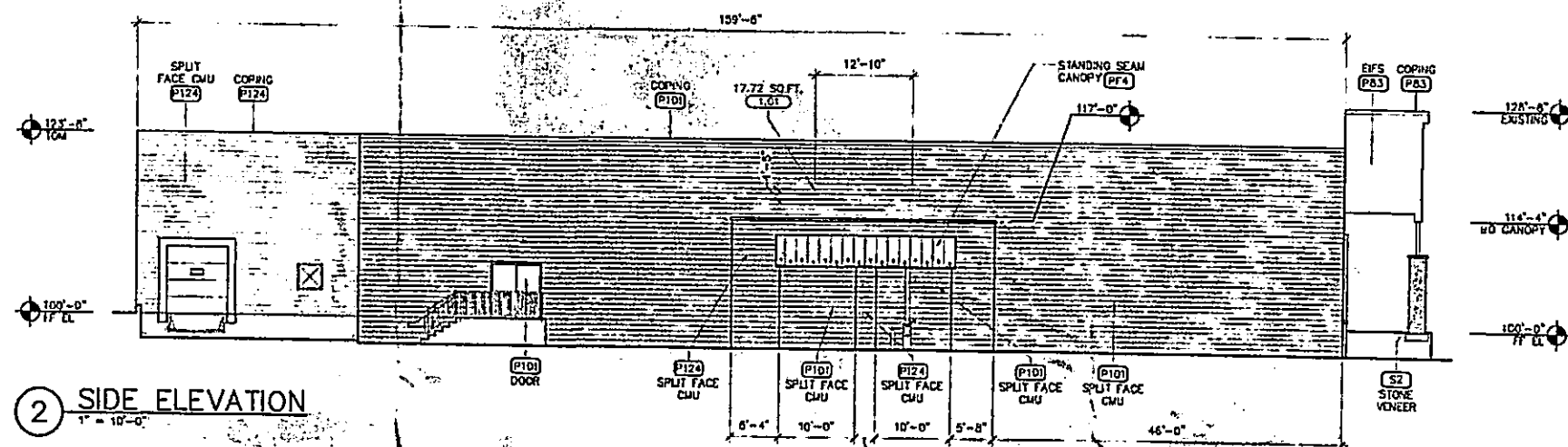
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DOCUMENT DATE:	08-25-88
PROTO TYPE:	41
PROTO CYCLE:	04-29-11

## EXTERIOR ELEVATIONS

SHEET: **A2**





EXTERIOR COLOR SCHEDULE	
P85	COBBLE BROWN SW #6082
P101	EXTERIOR BROWNDARY CAMEL SW #7694(EXT)
P124	MEADOWLARK SW #7522
S2	TAN MANUFACTURED STONE VENEER
REF SPECIFICATIONS	



STIPULATION FOR REUSE  
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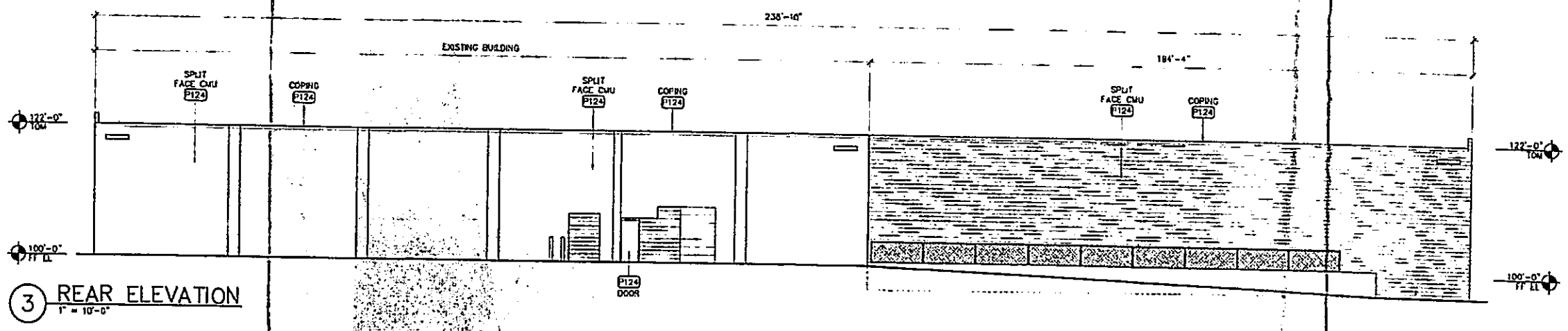
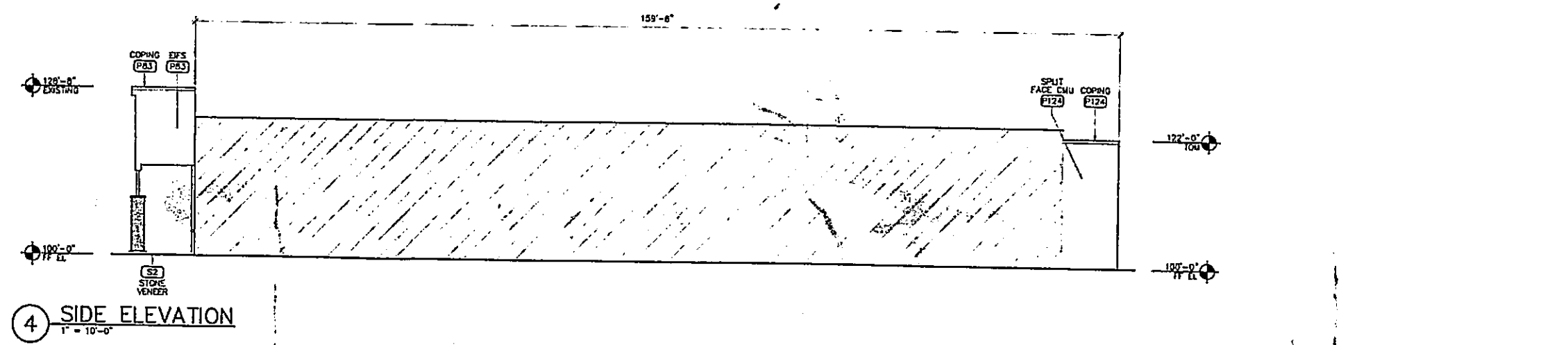
GENERAL REMODEL  
ALBUQUERQUE, NM  
STORE NO. 5675  
JOB NUMBER 22-10-02009 41

ISSUE BLOCK			

CHECKED BY:	XXX
DRAWN BY:	ZSM
DOCUMENT DATE:	08-25-11
PROJ TYPE:	41
PROJ CYCLE:	04-20-11

EXTERIOR ELEVATIONS

SHEET: A2.1



# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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\_\_\_\_\_  
APPROVED BY

\_\_\_\_\_  
DATE









SIGNAGE & STRIPING SCHEDULE NOTES

- 1. PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 2. PROPOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 3. PROPOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 4. PROPOSED SIGN MOUNTING AND BASE ON BREAKAWAY POST (REF. SITE DETAILS).
- 5. PROPOSED SIGN MOUNTING AND BASE ON BOLLARD POST (REF. SITE DETAILS).

SITE SIGNAGE LEGEND

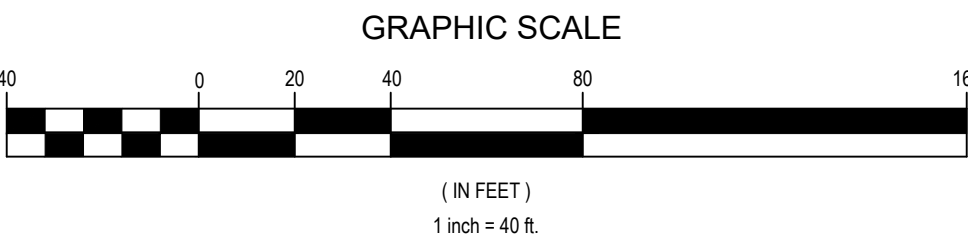
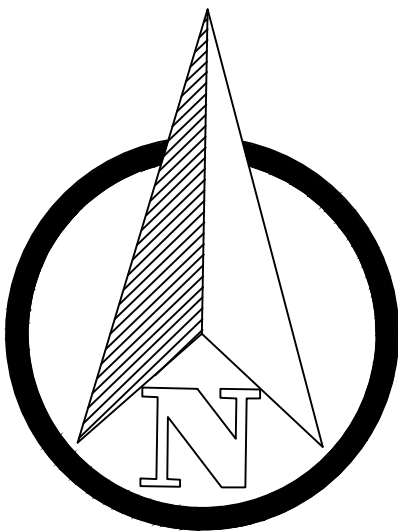
- PROPERTY LINE
- PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.
- PROPOSED PICKUP AREA

SITE SIGNAGE NOTES

- 1. THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/04/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
- 2. REFERENCE SITE DETAILS FOR SIGN LOCATION.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	--
WAITING SPACES RIGHT	18 X 24	--
WAITING SPACES AHEAD	18 X 24	--
RESERVED WAITING	18 X 24	--
PICKUP LEFT PHARMACY RIGHT	18 X 24	--
PICKUP RIGHT PHARMACY LEFT	18 X 24	--
STOP THANKS FOR ORDERING	18 X 36	--
PICKUP HOURS	18 X 36	--
RESERVED	18 X 18	3
PHONE NUMBER	8 X 18	3
VERTICAL PICKUP	18 X 36	3
PICKUP LEFT	18 X 24	3
PICKUP AHEAD	18 X 24	1
PICKUP RIGHT	18 X 24	1

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEENER (brad.keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



ALBUQUERQUE, NM  
11001 MENAUL BLVD NE  
STORE NO: 05675-211

JOB NUMBER: CYN05675-211 PHOTO: PICKUP 2.0

2021 MAJOR PROJECT

ISSUE BLOCK		

CHECKED BY:	JSB
DRAWN BY:	DMH
PROTO CYCLE:	
DOCUMENT DATE:	09/14/2021

6025 S. Wilshire Drive, Suite 300  
Albuquerque, NM 87106  
313.773.8884  
Galloway.com

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SITE SIGNAGE PLAN

SHEET: CS2



SHEET:  
**CS3**





**SITE AND DEMOLITION LEGEND**

SEE SHEET SECP-1

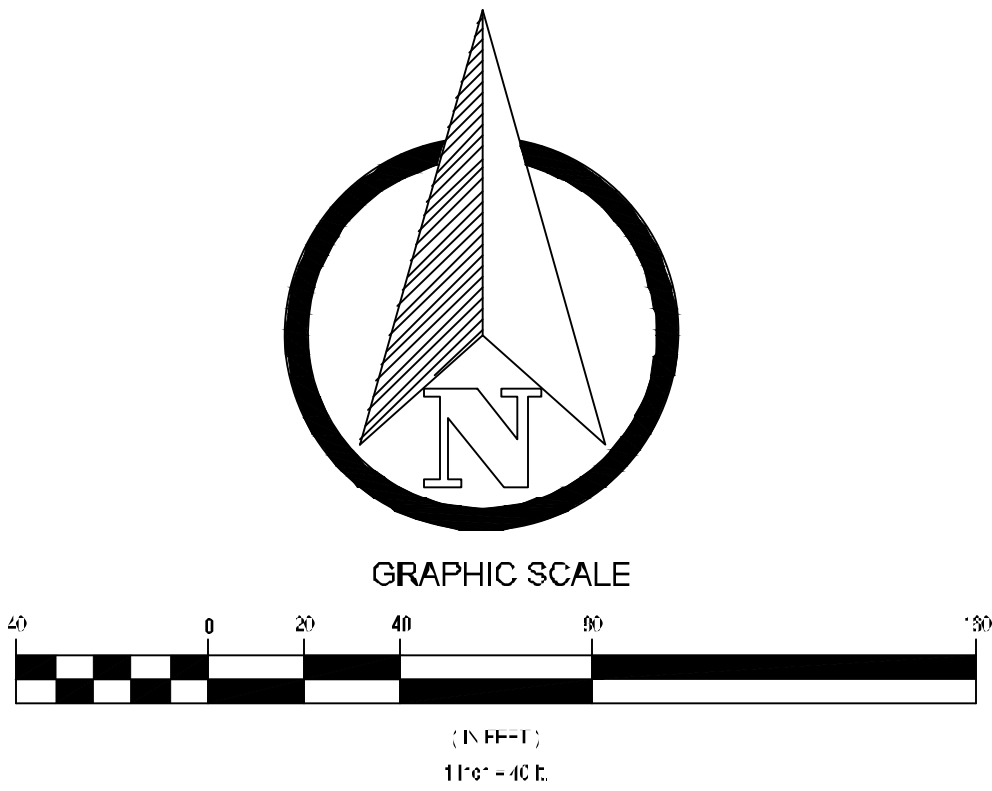
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
- (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- (J) EXISTING STOP SIGN TO REMAIN.
- (K) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (L) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (M) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (N) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- (O) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (P) NEW "STOP HERE FOR PEDESTRIANS" (R1-S8) SIGN.
- (Q) NEW 30"x30" STOP SIGN.

- (R) NEW 36"x36" STOP SIGN.
- (S) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (T) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (U) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
- (V) NEW CROSSWALK MARKINGS - 8" WIDE PAINTED WHITE STRIPES PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-4" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- (W) UNITS OF SEAL COAT, APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (X) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' GAPS.
- (Y) NEW OPEN ARROW PAVEMENT MARKINGS.
- (Z) NEW SOLID ARROW PAVEMENT MARKINGS.
- (AA) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (AB) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (AC) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (AD) NEW FIRE LANE STRIPING.
- (AE) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REWASH/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
- (AF) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
- (AG) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.

- (AH) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (AI) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (AJ) NEW "ALL WAY" PLAQUE.
- (AK) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (AL) EXISTING ISLAND STRIPING TO BE REMOVED.
- (AM) NEW OSP CROSSWALK MARKINGS.
- (AN) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.
- (AO) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- (AP) NEW 4" SOLID WHITE LINE.
- (AQ) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.
- (AR) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
- (AS) EXISTING FIRE LANE STRIPING TO BE REMOVED.
- (AT) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.
- (AU) INSTALL SALVAGED STOP SIGN.
- (AV) RE-STRIP EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.

**NOTES TO CONTRACTOR**

- BFR (BUILDING FRONTAGE ROAD)  
OCR (OUTER CIRCULATION ROAD)
- CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.



**STOP SIGNS AND MARKINGS PLAN**

REVISIONS	BY



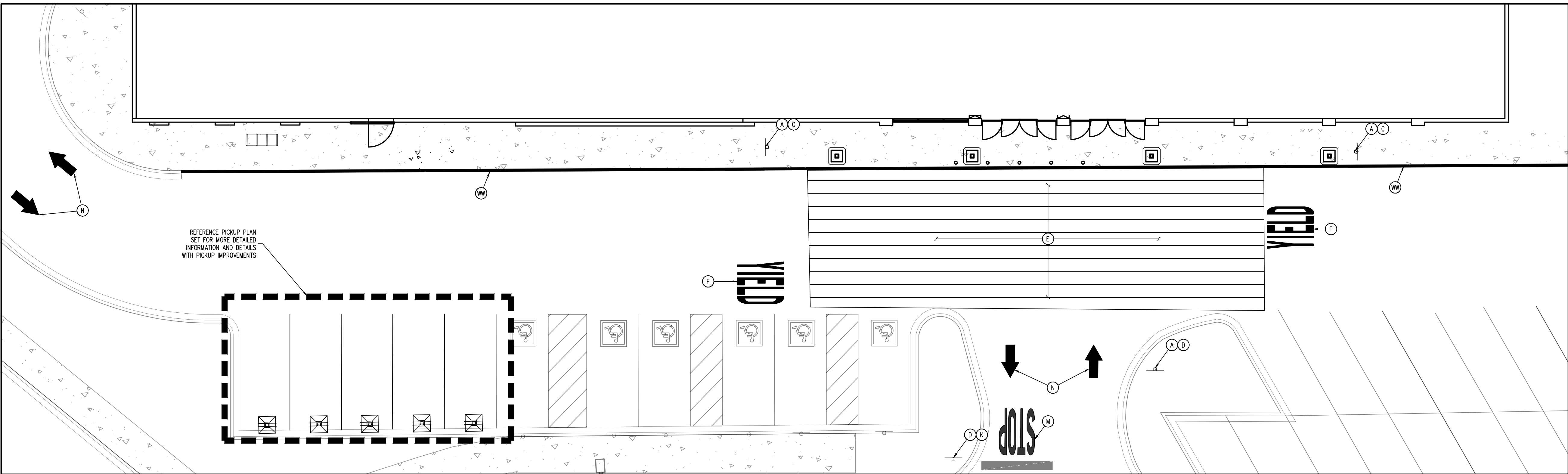
SUPERCENTER #05675-211  
11001 MENAUL BLVD NE  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
WAL-MART STORES, INC.  
BENTONVILLE, AR



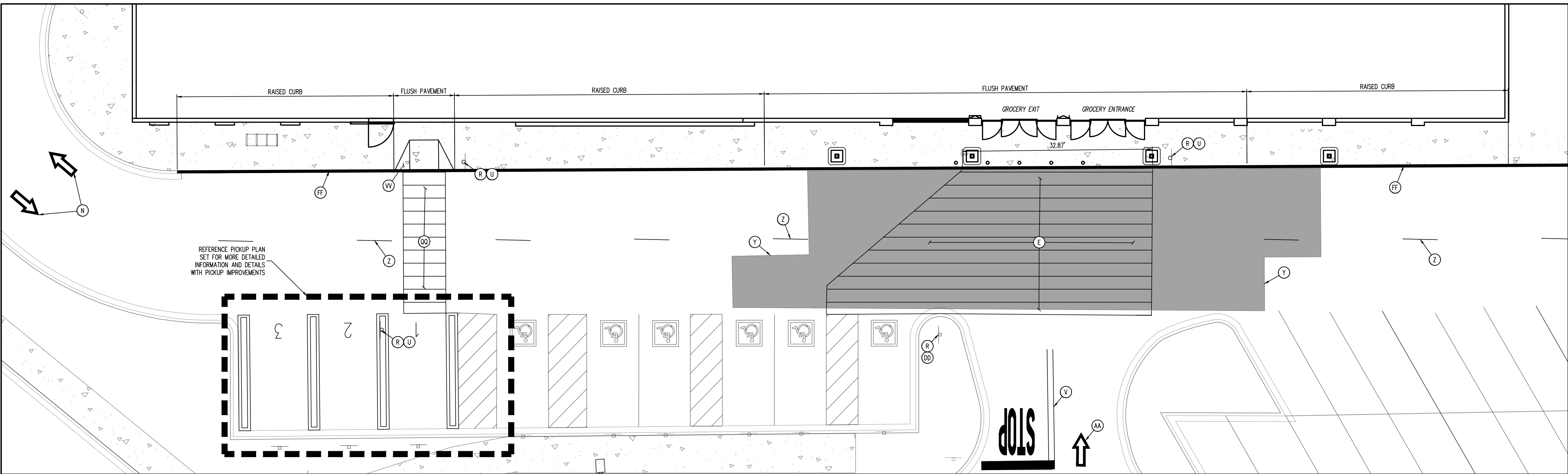
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DATE
05/14/2021
BY
AS NOTED
FOR NO.
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SHEET

SSM-1





DEMOLITION PLAN



SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

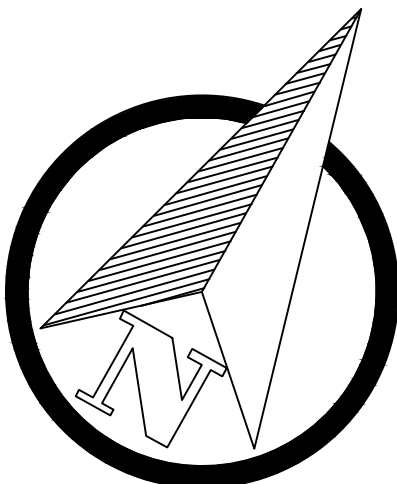
SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

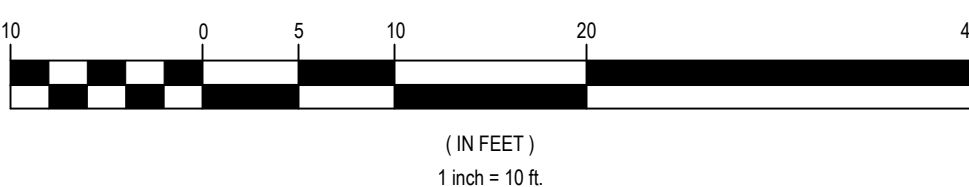
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
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- (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- (Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (R) NEW "STOP HERE FOR PEDESTRIANS" (R1-38) SIGN.
- (S) NEW 30"x30" STOP SIGN.
- (T) NEW 36"x36" STOP SIGN.
- (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.

- (X) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- (Y) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' CAPS.
- (AA) NEW OPEN ARROW PAVEMENT MARKINGS.
- (AB) NEW SOLID ARROW PAVEMENT MARKINGS.
- (AC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (AD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
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- (AF) NEW FIRE LANE STRIPING.
- (AG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
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- (AJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
- (AK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (AL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (AM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
- (AN) EXISTING "POCK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (AP) EXISTING ISLAND STRIPING TO BE REMOVED.
- (AQ) NEW OSP CROSSWALK MARKINGS.
- (AR) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.

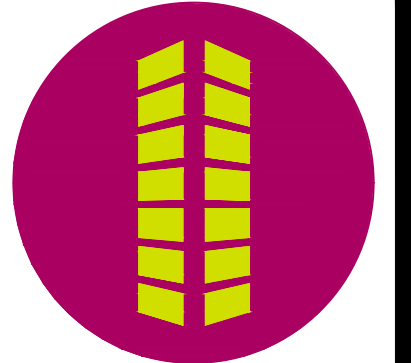
- (AS) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- (AT) NEW 4" SOLID WHITE LINE.
- (AU) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.
- (AV) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
- (AW) EXISTING FIRE LANE STRIPING TO BE REMOVED.
- (AX) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.
- (AY) INSTALL SALVAGED STOP SIGN.
- (AZ) RE-STRIPED EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.



GRAPHIC SCALE



DEMOLITION AND SITE CONSTRUCTION PLAN



Galloway

6162 S. Willow Drive, Suite 320  
Albuquerque, NM 87111  
360.770.8884  
GallowayUS.com



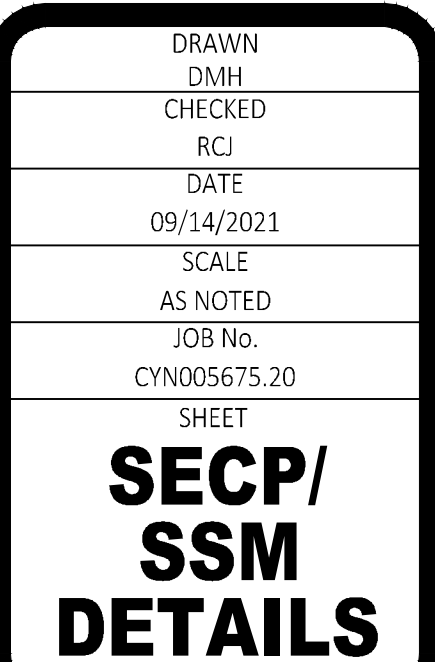
SUPERCENTER #05675-211  
11001 MENAUL BLVD NE  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
WAL-MART STORES, INC.  
BENTONVILLE, AR



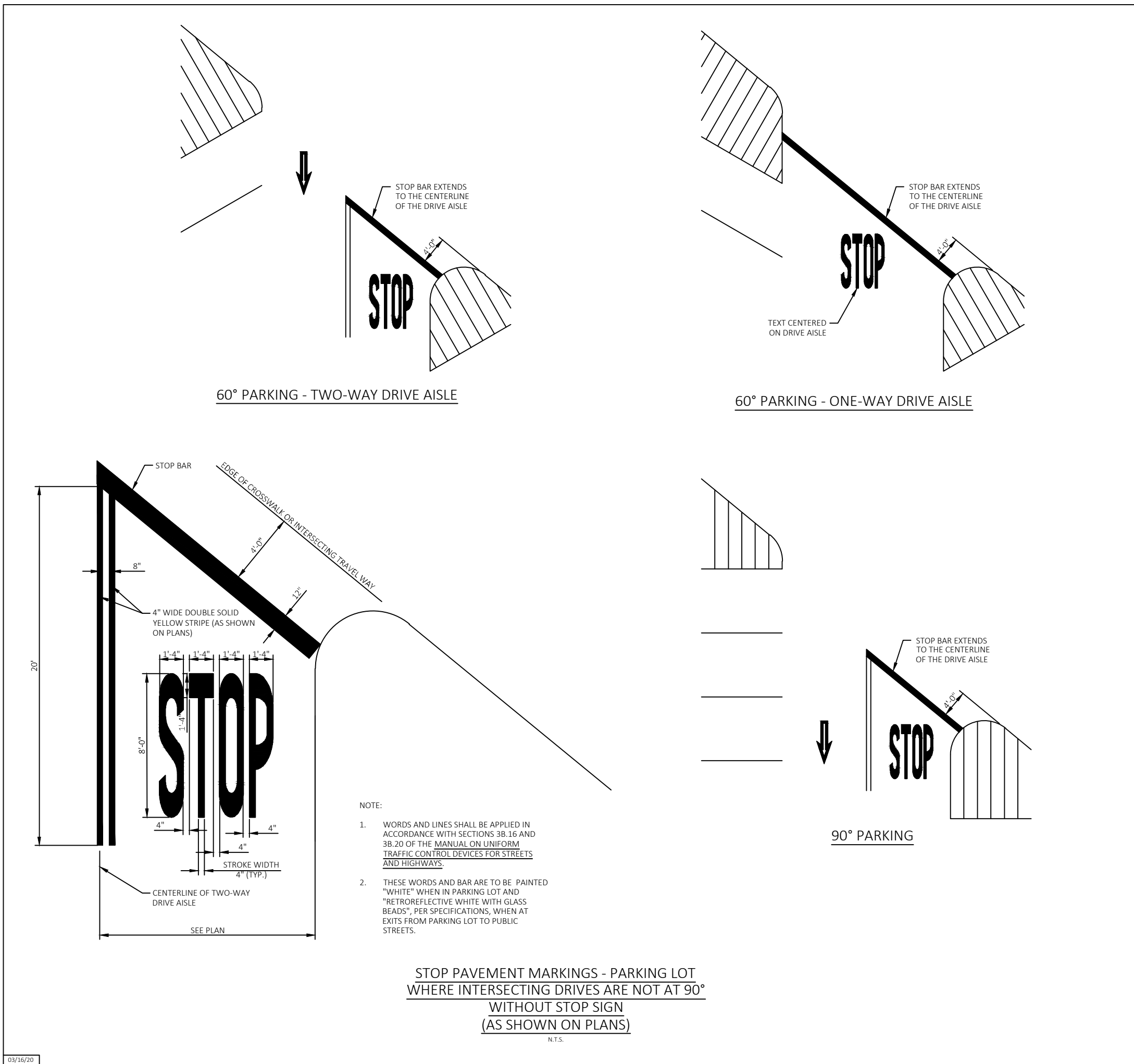
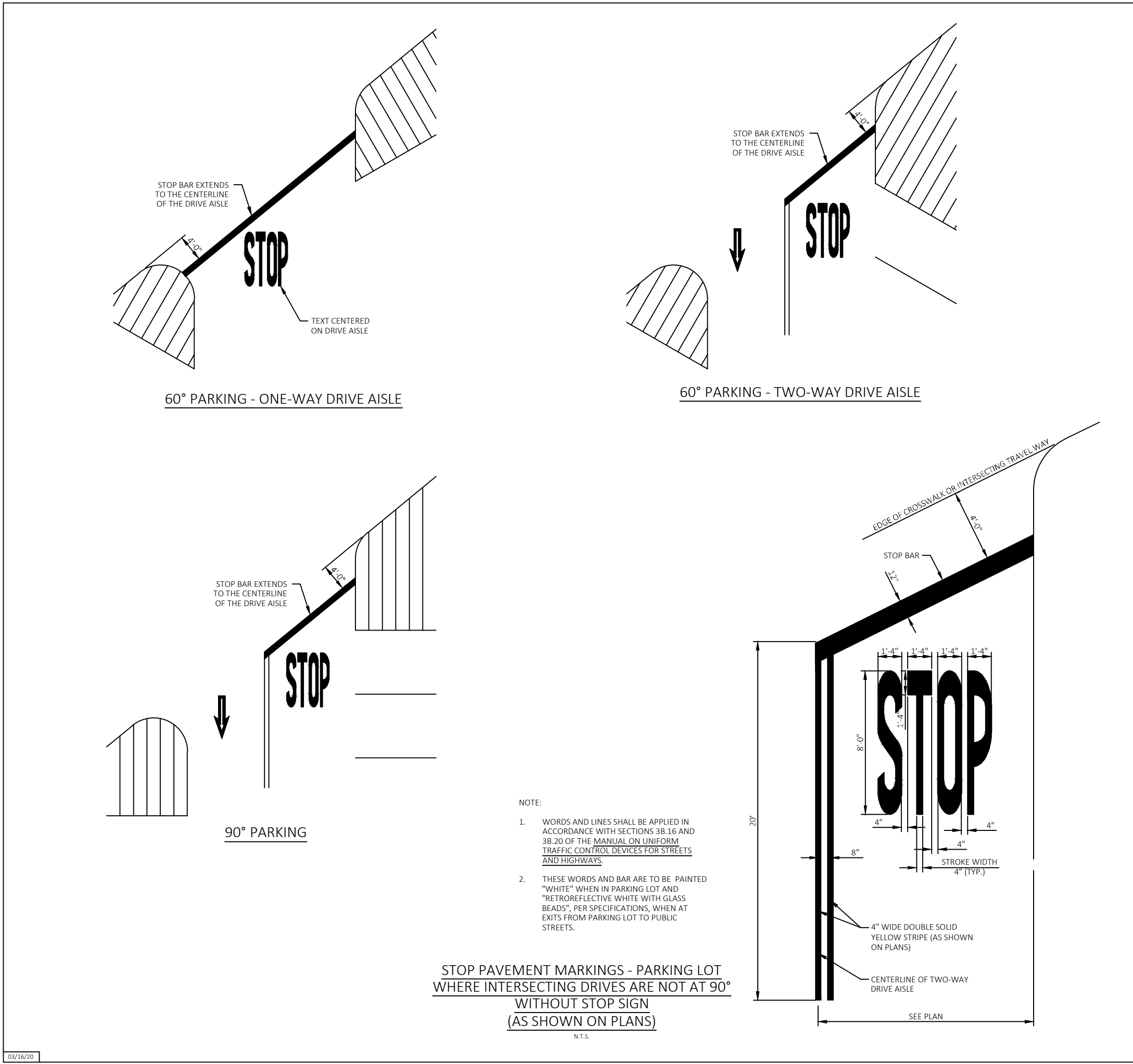
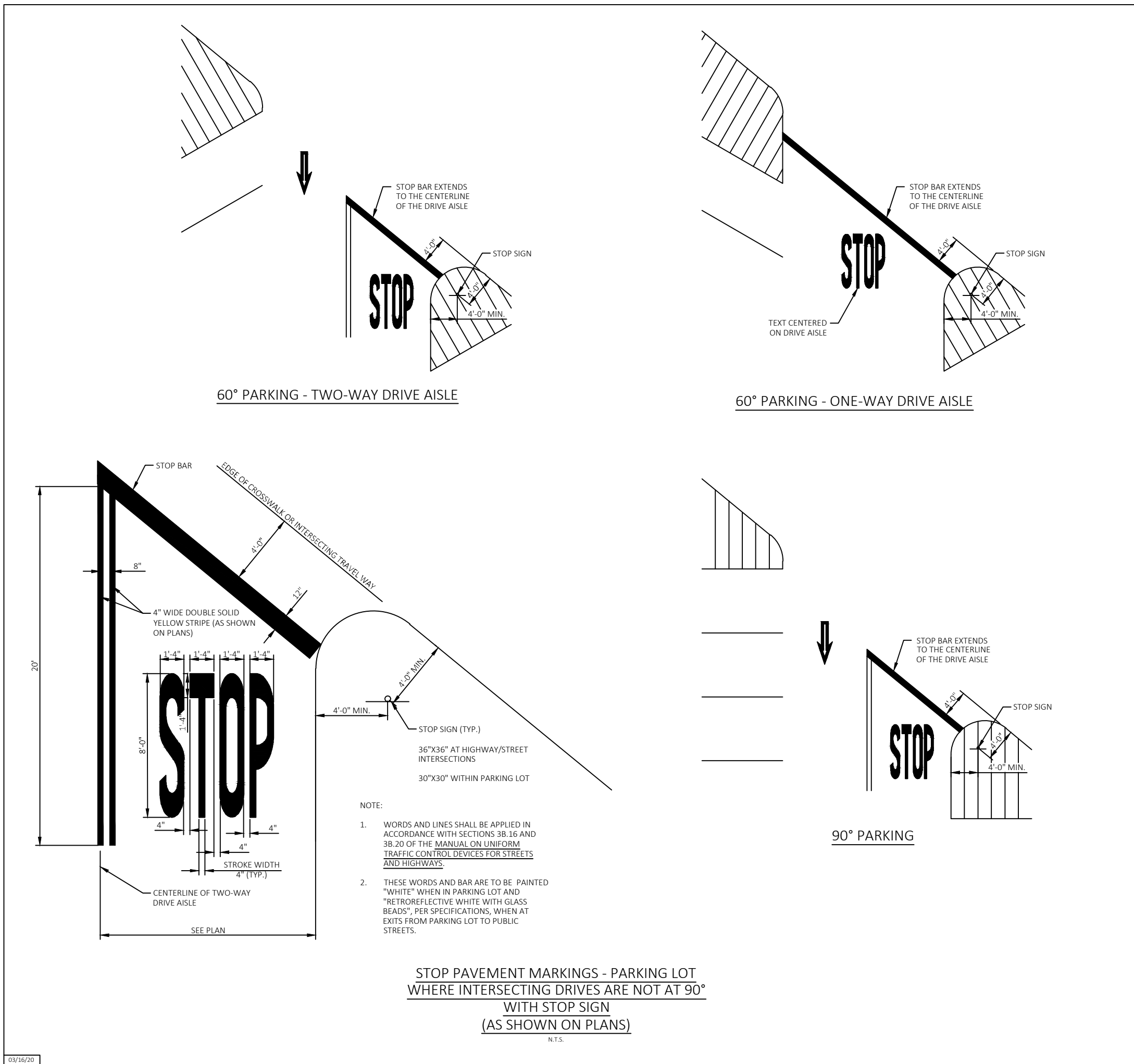
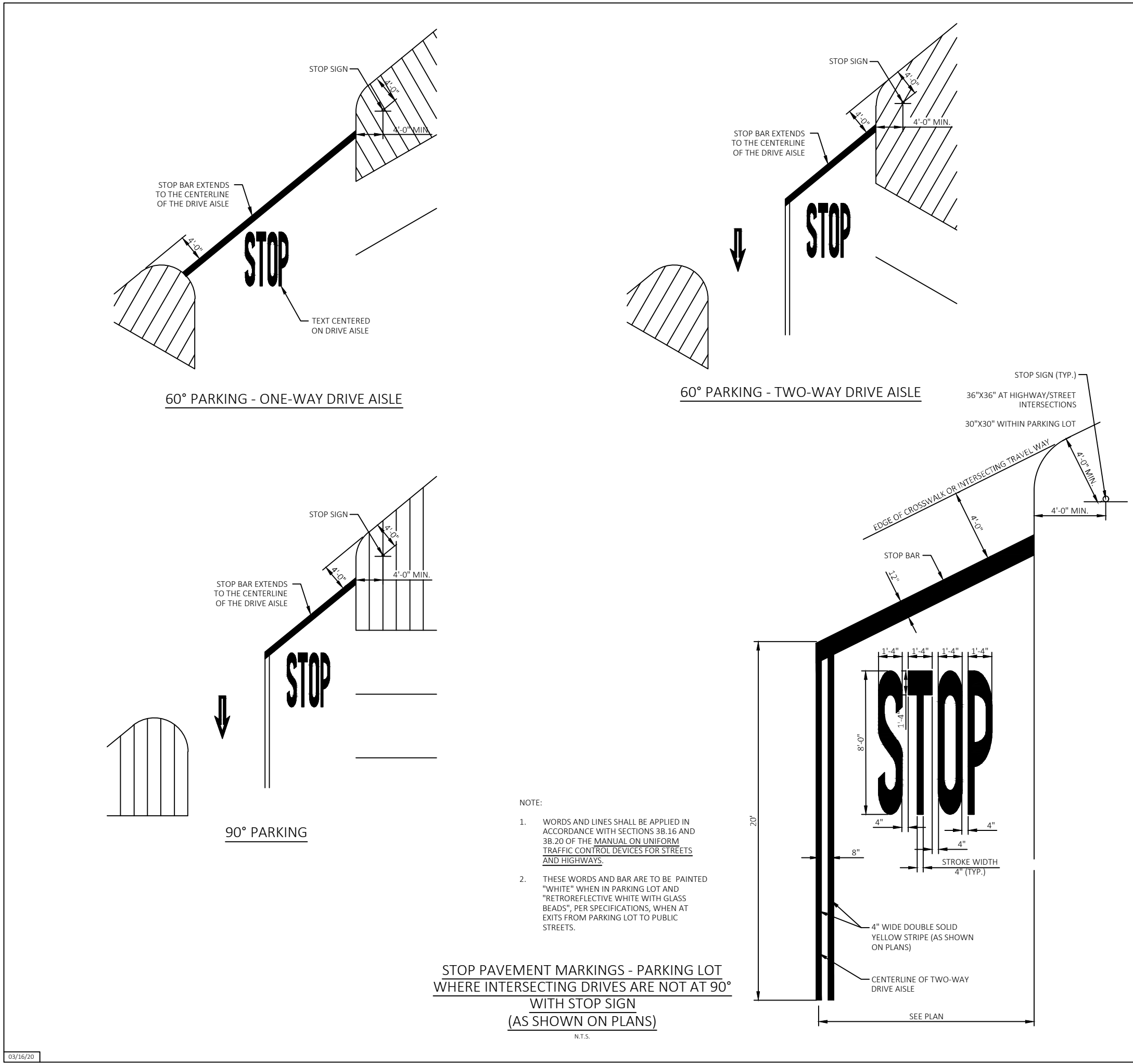
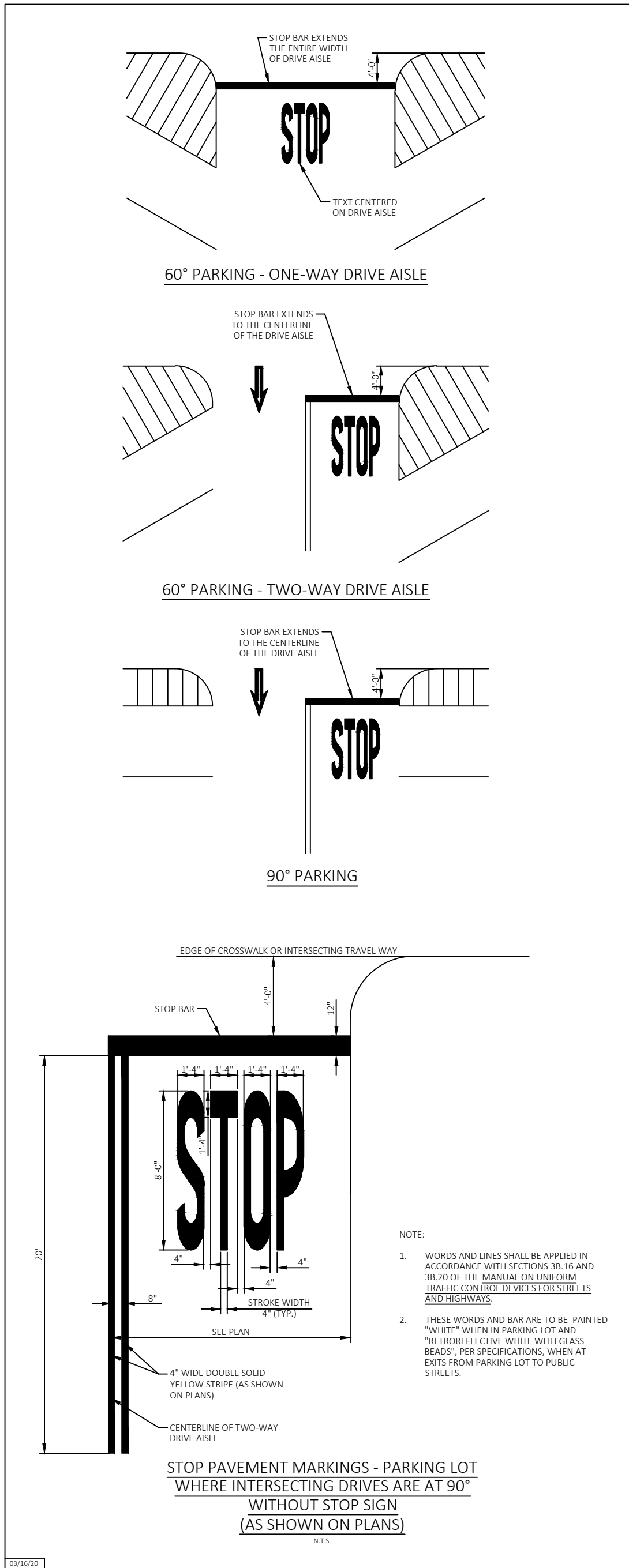
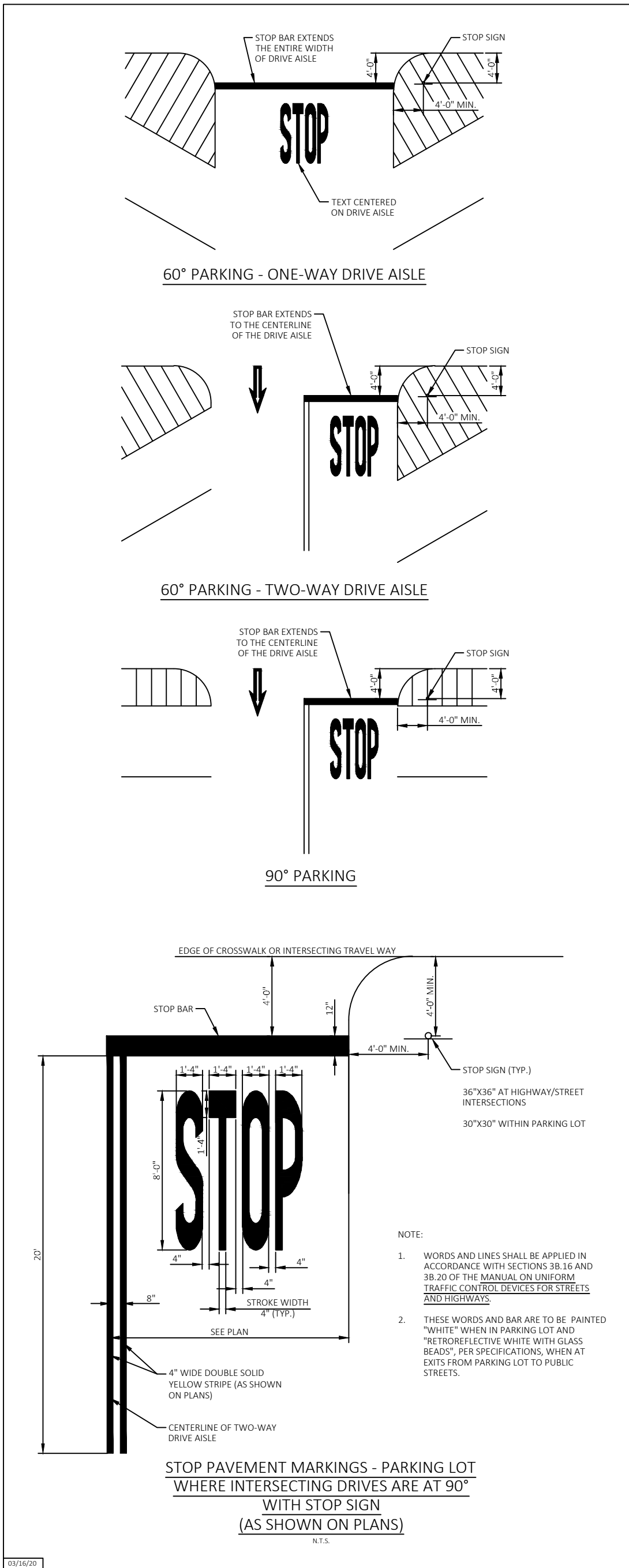
DRAWN	DMH
CHECKED	RCJ
DATE	09/14/2021
SCALE	AS NOTED
JOB NO.	CYN005675.20
SHEET	

SECP-1











SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET




**Galloway**  
602 S. Willow Drive, Suite 320  
Albuquerque, NM 87111  
505.770.8884  
gallowayus.com



**BRANDON ALLET**  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
09/15/2021

SUPERCENTER #05675-211  
11001 MENAUL BLVD NE  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
WAL-MART STORES, INC.  
BENTONVILLE, AR



**Walmart**

DRAWN	DNH
CHECKED	RCJ
DATE	09/14/2021
SCALE	AS NOTED
JOB No.	CYN005675-20
SHEET	
<b>SECP/SSM</b>	
<b>DETAILS</b>	



COLOR LEGEND		
	P#	COLOR NAME
	P49E	DARK GRAY
	P134E	LIGHT GRAY
	P76U	WALMART BLUE (URETHANE-LIKE)

# SHEET NOTES

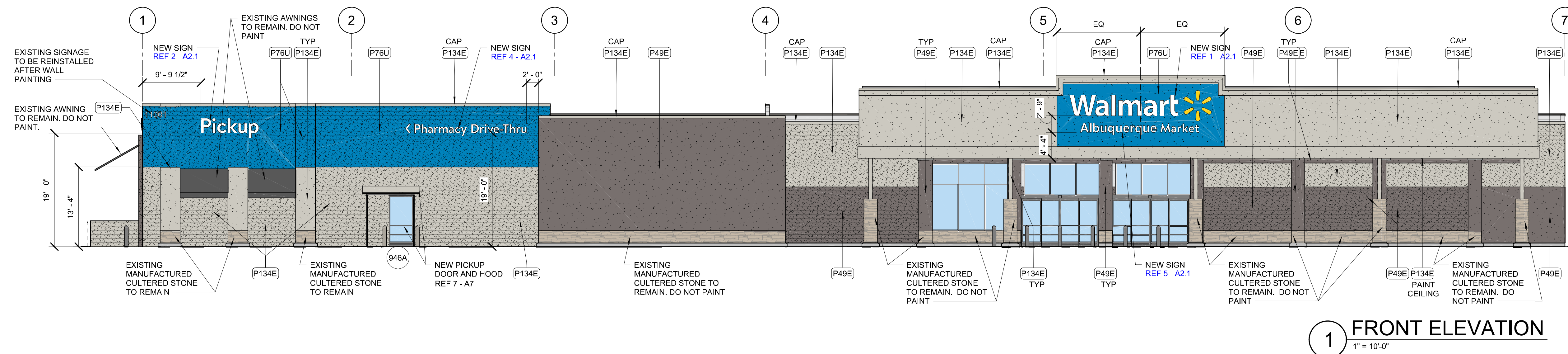
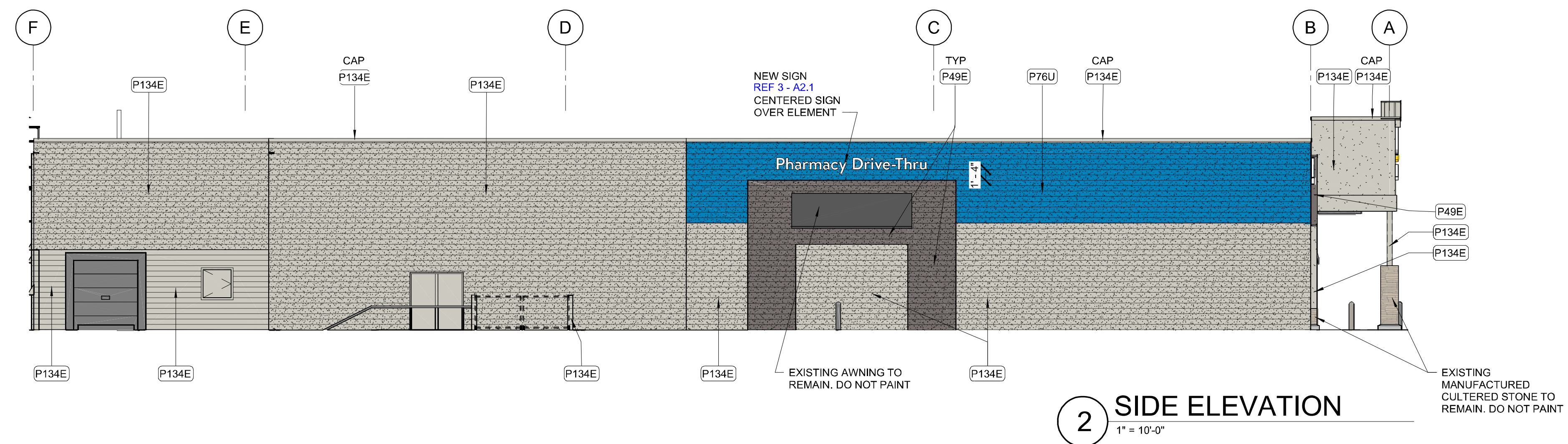
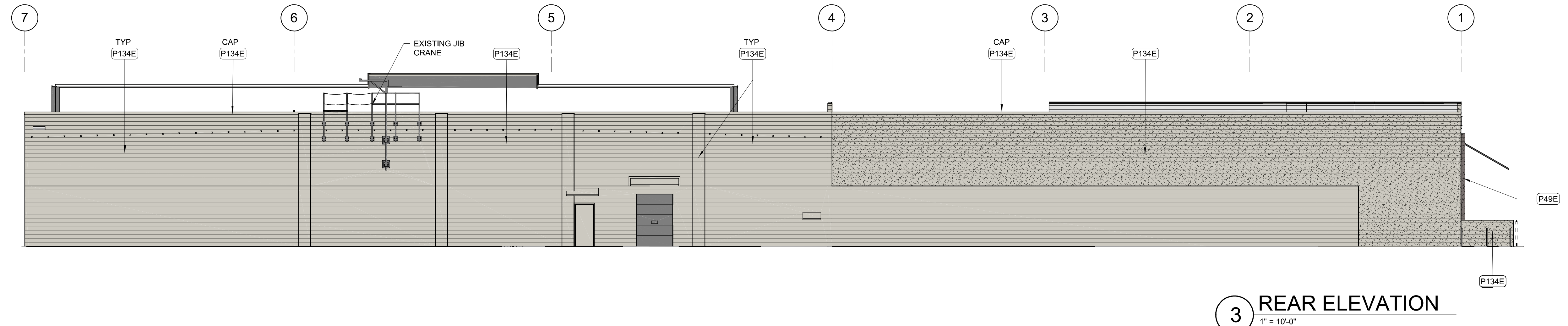
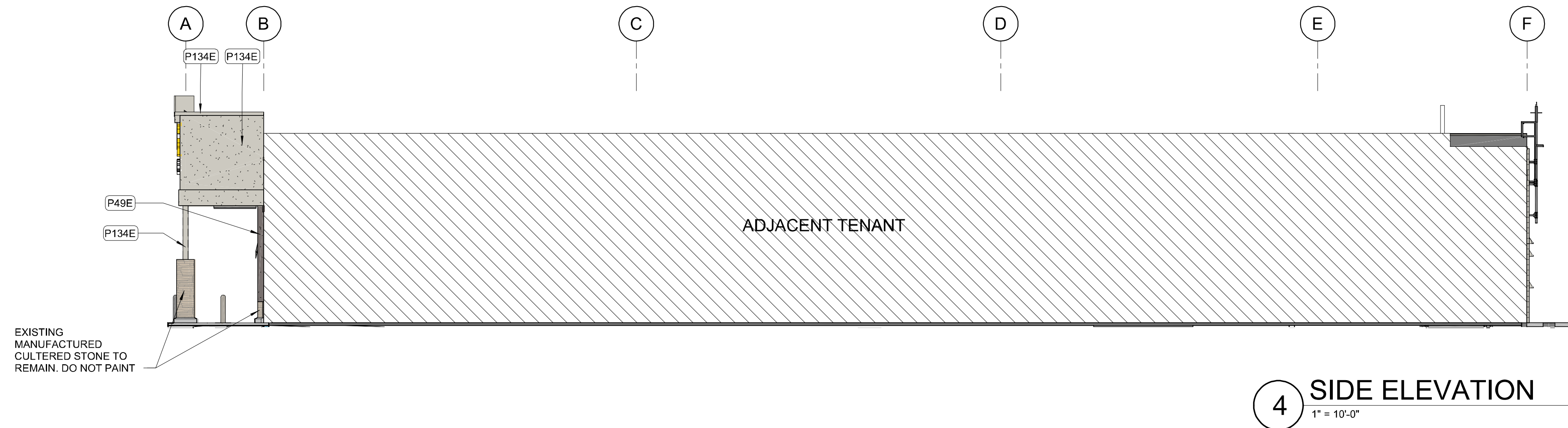
1. DOOR HOODS, STEEL DOORS AND FRAMES, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNIFORM. IF THERE ARE TWO COLORS AT WALL ADJACENT TO DOOR AND FRAME, USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME.
2. POWER WASH ALL EXTERIOR SURFACES. POWER WASH 100% OF EXTERIOR WALLS PRIOR TO PAINTING.
3. POWER WASH UNDERSIDE OF EXISTING METAL CANOPIES.
4. PAINT EXTERIOR OF BUILDING AS SHOWN.
5. PAINT JIB CRANE - P30E ON JIB BOOM. P5N ON HANDRAILS.
6. PAINT SPRINKLER VALVES P21E DO NOT PAINT OVER SIGHT GLASS.
7. PUT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
8. DO NOT PAINT OVER FIRE ALARM BELL.
9. PAINT SECURITY WALL CATCH HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LIGHT FIXTURES.
10. NOT USED
11. NOT USED
12. DO NOT PAINT EXISTING WINDOW FRAMES, STOREFRONT DOOR FRAMES OR STONE VENEER.
13. REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS. FILL AND SEAL JOINTS. REF-SEPC 07900
14. PAINT ALL GAS PIPES ON ROOF P5N PAINT GAS PIPE ON WALL P21E SMALL GAS PIPES ON WALL ADJACENT BUILDING COLOR. DO NOT PAINT METER OR VALVES.
15. PAINT ON SITE DUMPSTER ENCLOSURE P134E.

# DEMOLITION NOTES

1. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO DEMOLITION. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.



## 5 EXISTING SITE SIGNAGE

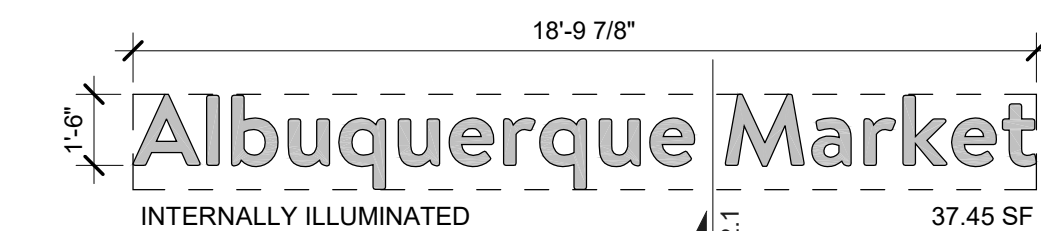
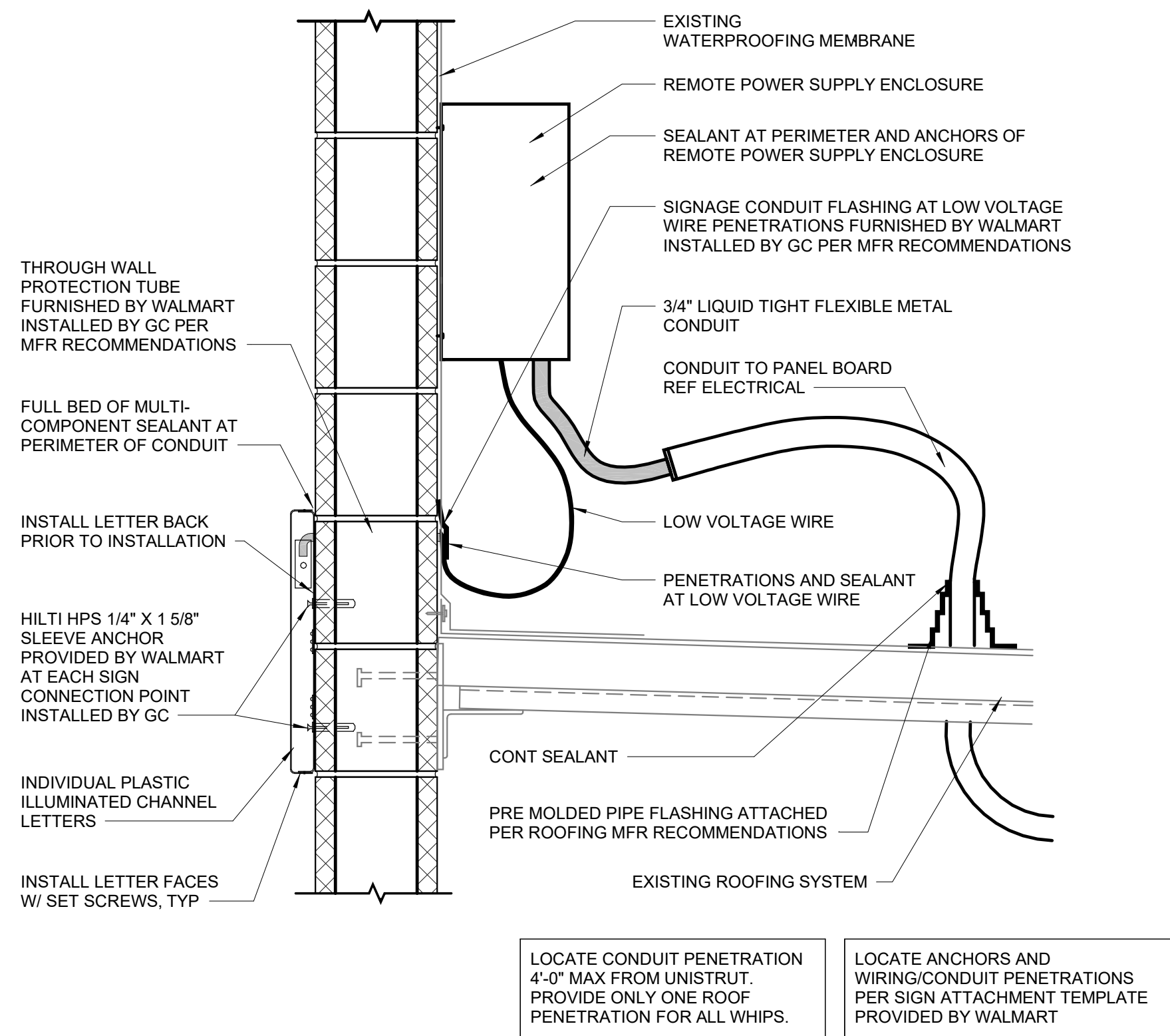




9/16/2021 11:22:51 AM  
C:\Users\jturner\OneDrive\Documents\Albuquerque Market Signage.dwg

## 9 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

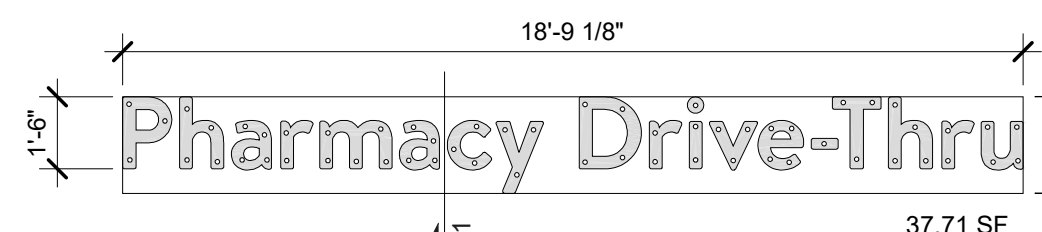
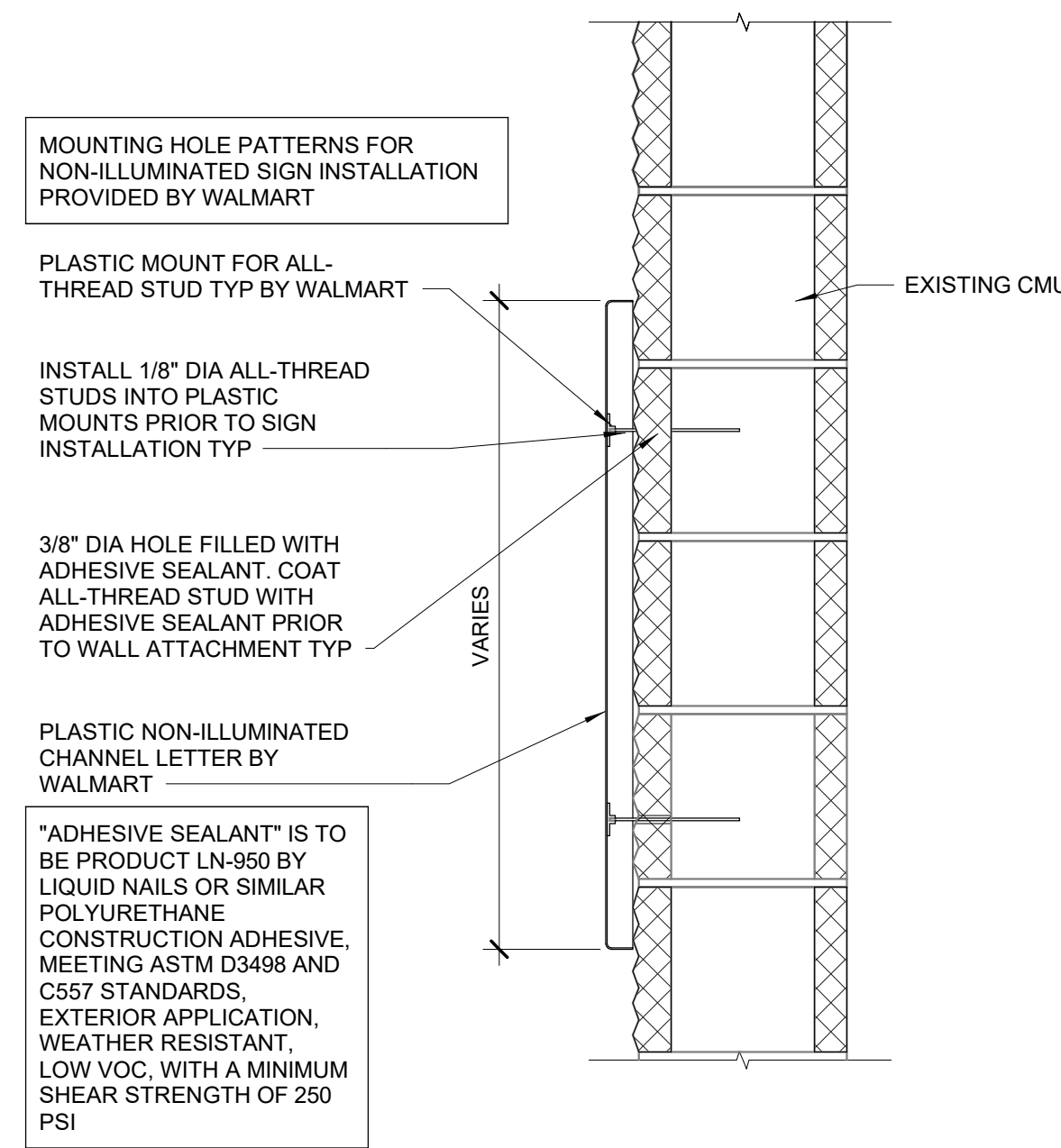


## 5 1' - 6\"/>

1/4\"/>

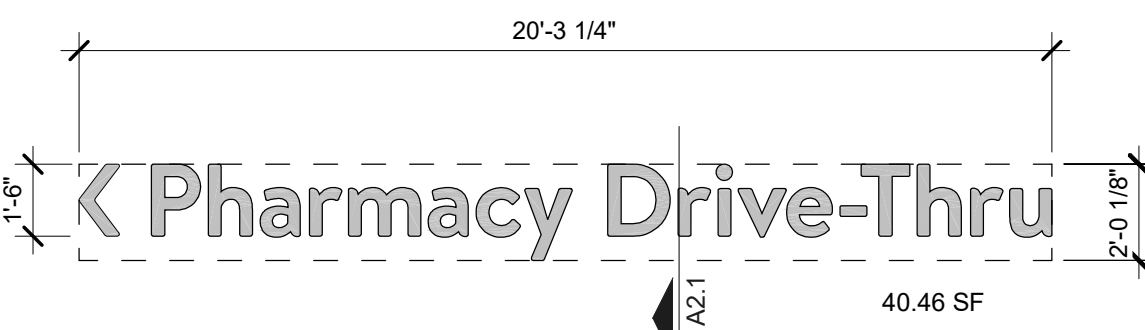
## 8 SIGN ATTACHMENT AT CMU WALL

1 1/2" = 1'-0"



## 3 1'-6\"/>

1/4\"/>

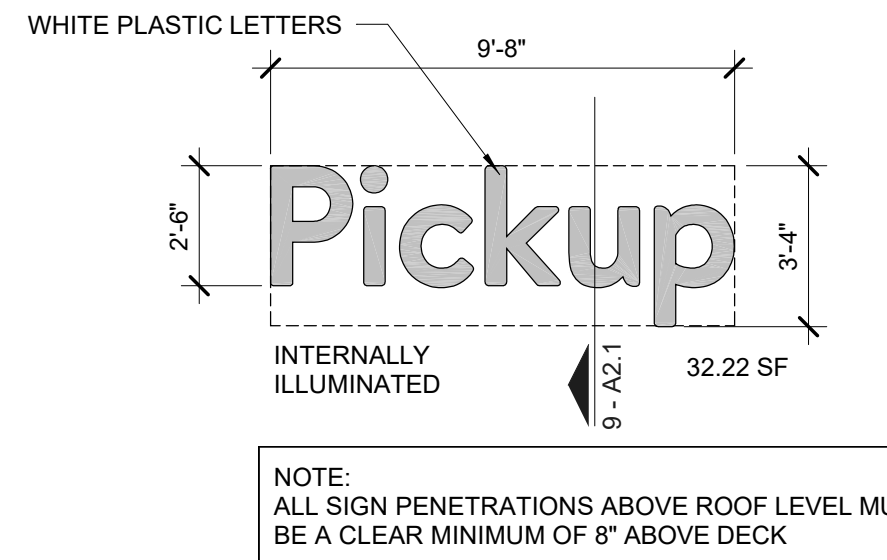
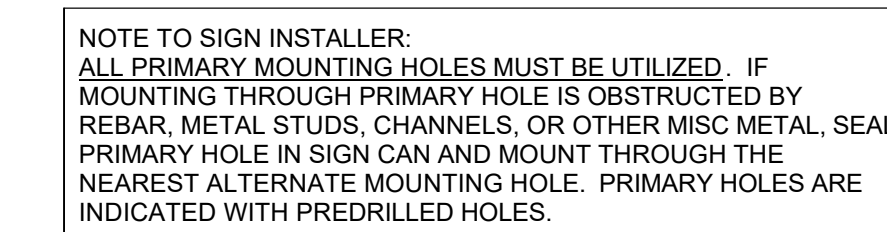
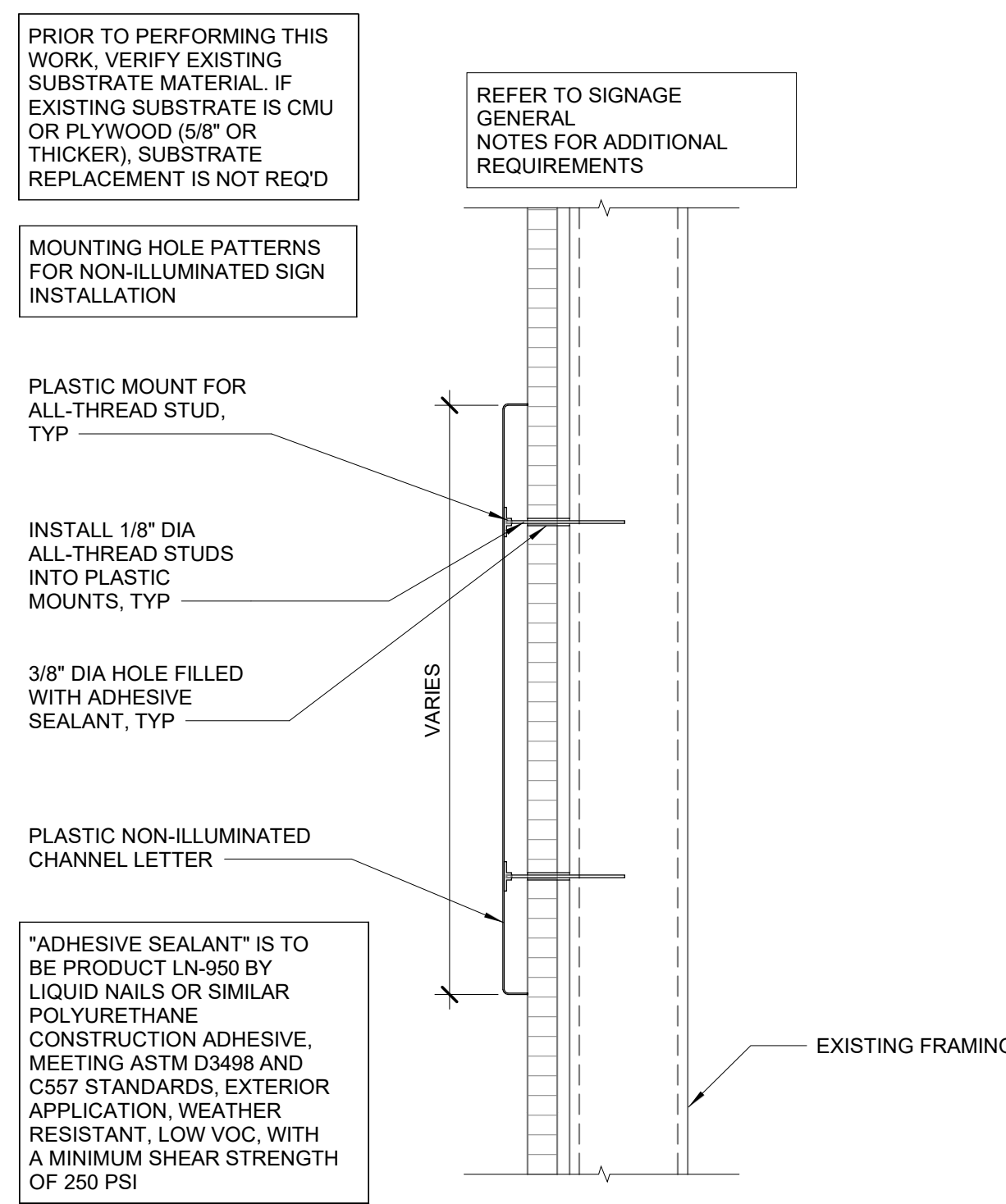


## 4 1'-6\"/>

1/4\"/>

## 7 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL

1 1/2" = 1'-0"

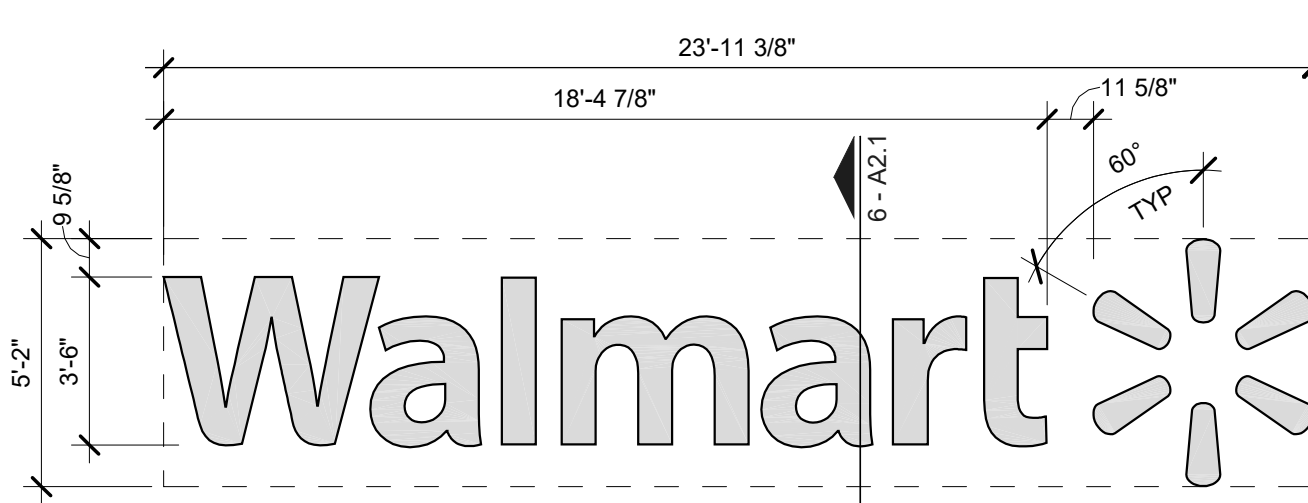
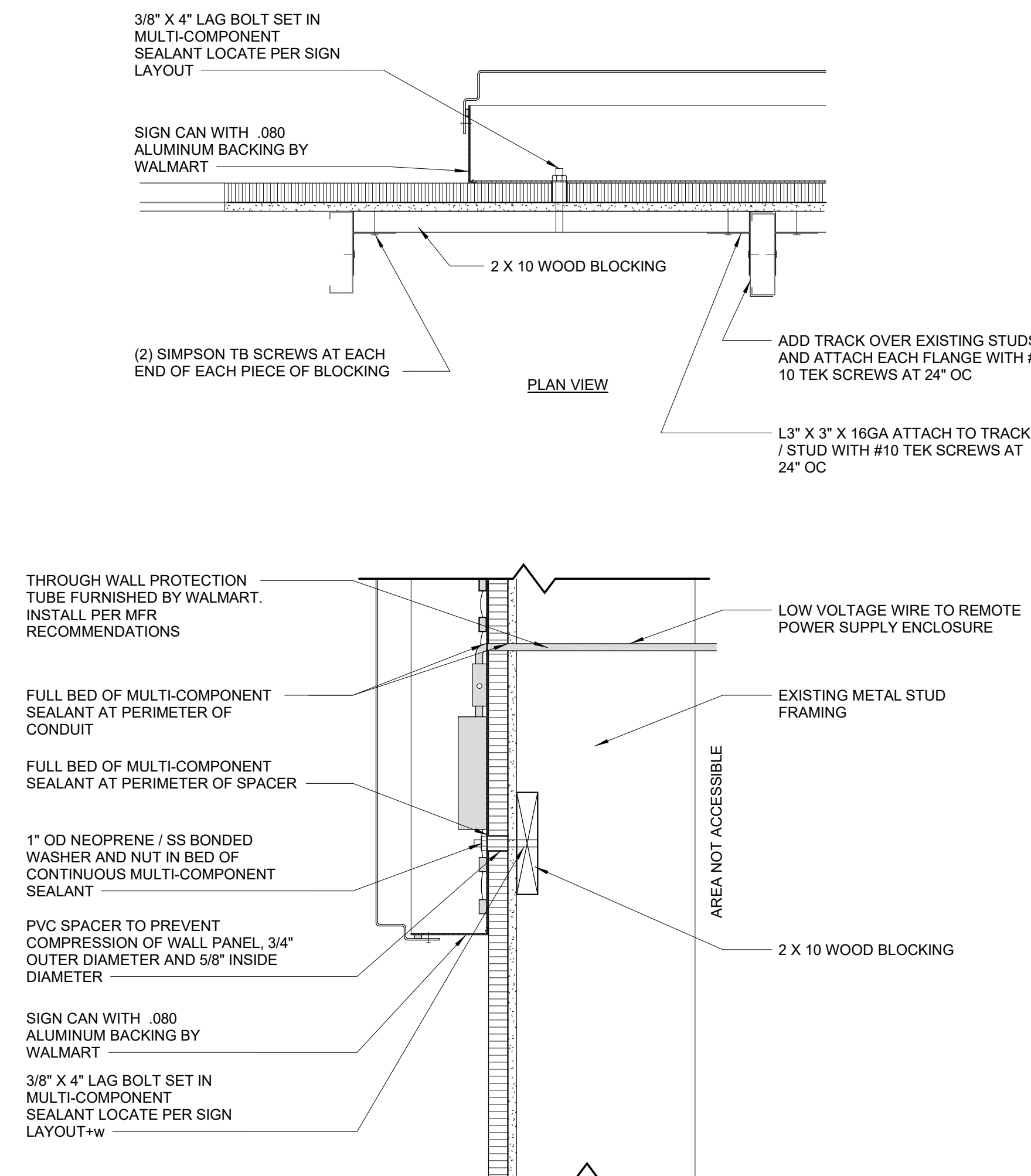


## 2 2'-6\"/>

1/4\"/>

## 6 SIGN ATTACHMENT

1 1/2" = 1'-0"



## 1 3'-6\"/>

1/4\"/>

## NEW SIGNAGE SCHEDULE

	QTY	COLOR	INDIVIDUAL AREA	TOTAL AREA
FRONT SIGNAGE				
Walmart * (spark)	1	WH/YEL	123.73 SF	123.73 SF
Albuquerque Market	1	WHITE	37.45 SF	37.45 SF
Pickup	1	WHITE	32.22 SF	32.22 SF
Pharmacy Drive-Thru >	1	WHITE	40.46 SF	40.46 SF
TOTAL FRONT SIGNAGE				233.86 SF
PHARMACY DRIVE-THRU SIGNAGE (SIDE)				
Pharmacy Drive-Thru	1	WHITE	37.71 SF	37.71 SF
TOTAL BUILDING SIGNAGE				271.57 SF

## SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON-SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED. PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND NEW SIGNAGE WILL BE INSTALLED PER PLANS.
  - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED.
  - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
  - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
  - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
  - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID/LOGO SIGNS.
  - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
  - NOT USED
  - NOT USED
  - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
  - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
  - REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
  - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
  - INSTALL SIGNAGE PER DETAILS.

THIS DRAWING HAS BEEN PREPARED FOR USE ON A SPECIFIC SITE BY AN INDIVIDUAL OR FIRM WHO HAS BEEN AUTHORIZED BY THE ORIGINAL DESIGNER TO DO SO. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE DRAWING. THE USER SHALL NOT REPRODUCE OR TRANSMIT THIS DRAWING OR ANY PART OF IT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ORIGINAL DESIGNER. AUTHORIZED AND MAY BE LOANED TO THE USER.

Walmart  
Neighborhood Market  
ALBUQUERQUE, NM  
STORE NO. 5675-211  
JOB NUMBER: USRM-008753 | PHOTO:

## ISSUE BLOCK

CHECKED BY: BW  
DRAWN BY: JA  
PROTO CYCLE: 07/30/21  
DOC DATE: 09/13/21

DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF ARCHITECT ARE NOT FOR CONSTRUCTION

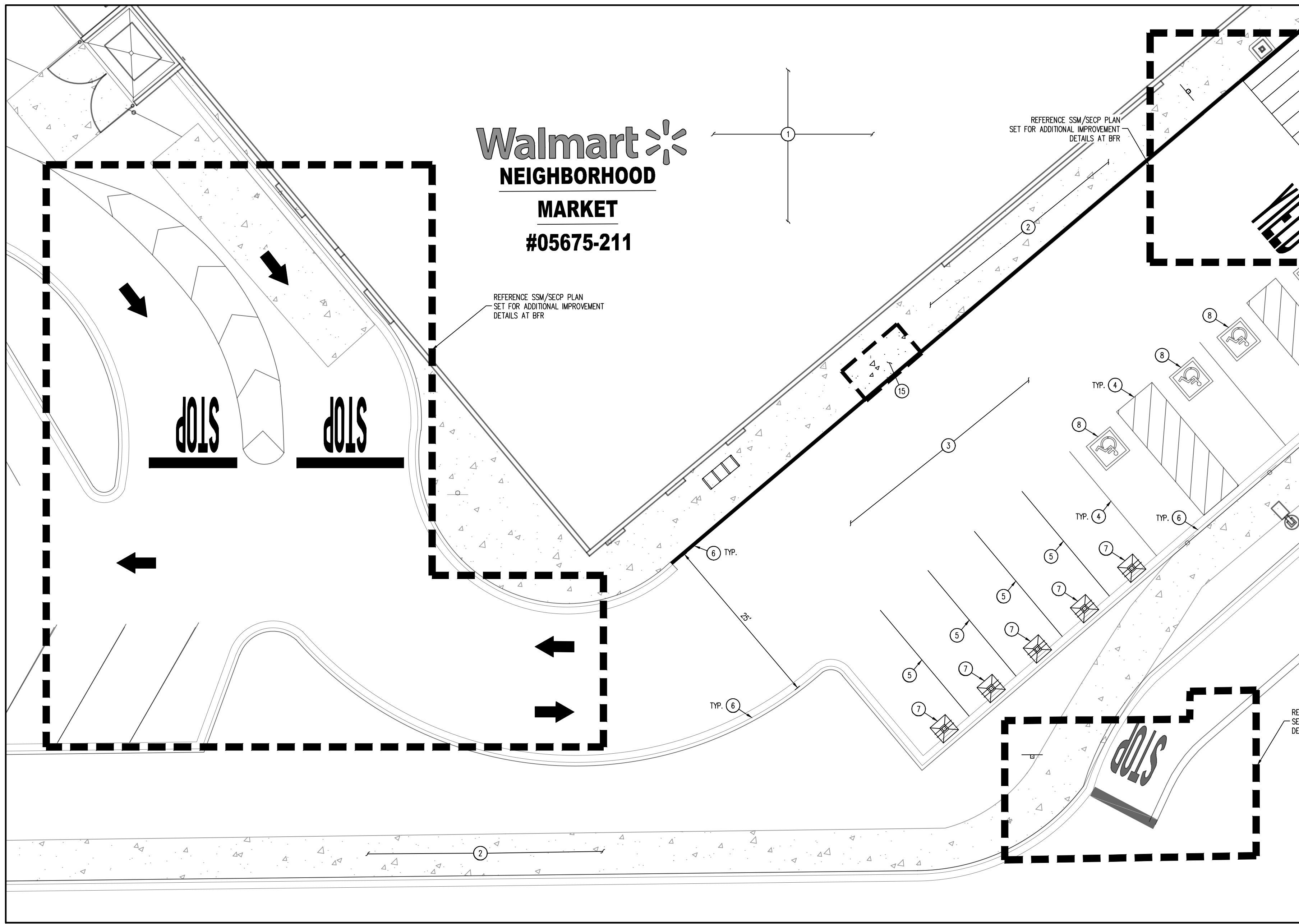
STATE OF NEW MEXICO  
JAMES EDWARD TURNER  
No. 004309  
REGISTERED ARCHITECT  
9/16/2021

JAMES EDWARD TURNER  
ARCHITECT OF RECORD

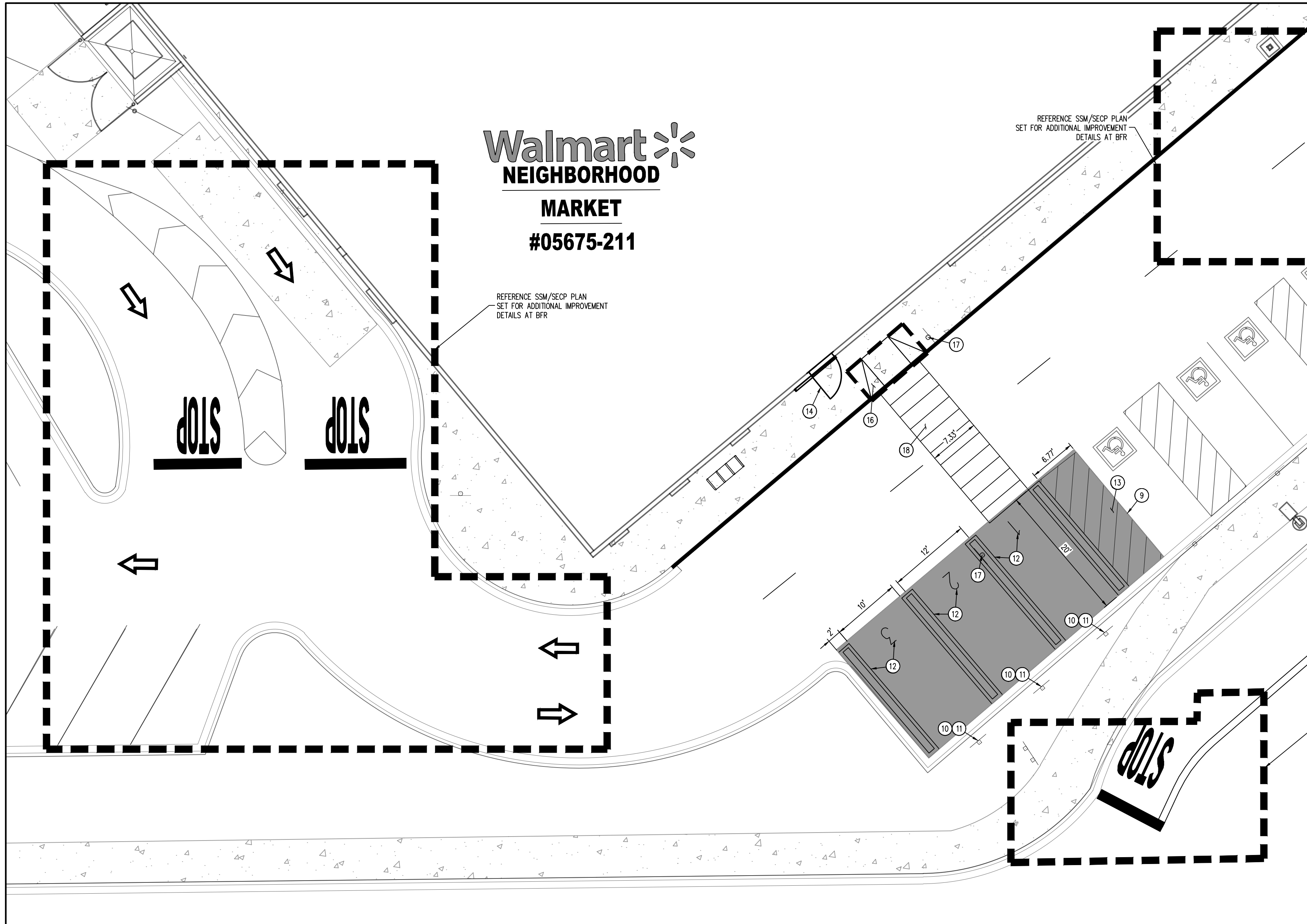
EXTERIOR  
DETAILS

SHEET:  
A2.1





DEMOLITION PLAN — EXISTING PICKUP PARKING  
SCALE: 1"=10'



SITE PLAN — PROPOSED PICKUP PARKING  
SCALE: 1"=10'

#### DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVES, WALLS, FOUNDATIONS, PARKING, DRIVEWAYS, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. ONE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND SHORING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

#### SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".



KEY MAP  
APPROX. 1" = 200'

#### LEGEND

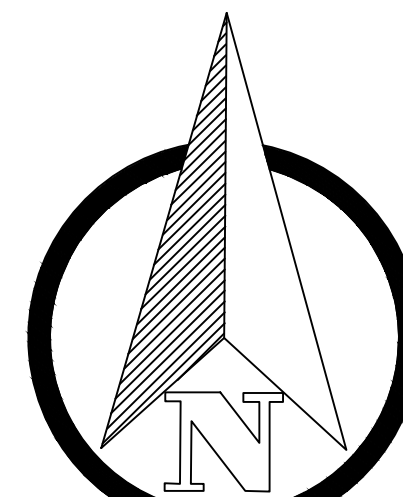
- EXISTING TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- PROPOSED SEAL COAT OF EXISTING PAVEMENT
- EXISTING SIGN TO REMAIN
- TEMPORARY PICKUP SIGN TO BE REMOVED
- PROPOSED PICKUP SIGNAGE

#### SITE & DEMOLITION SCHEDULE

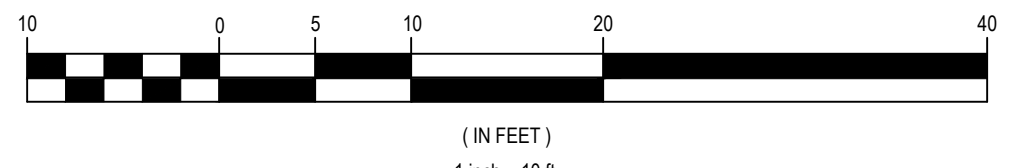
1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE SIDEWALK TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING STRIPING TO REMAIN.
5. EXISTING PARKING LOT STRIPING TO BE REMOVED.
6. EXISTING CURB AND OUTER TO REMAIN.
7. EXISTING TEMPORARY PICKUP SIGNAGE TO BE REMOVED.
8. EXISTING ADA PAVEMENT MARKING TO REMAIN.
9. PROPOSED LIMITS OF SEAL COAT OVER EXISTING PAVEMENT.
10. PROPOSED PICKUP SIGNAGE TO BE MOUNTED TO NEW SIGN POST (REF. SITE DETAILS).
11. PROPOSED SIGN MOUNTING AND BASE WITH BREAKAWAY POST (REF. SITE DETAILS).
12. PROPOSED PICKUP STALL STRIPING AND NUMBER PAVEMENT MARKING (REF. SITE DETAILS).
13. PROPOSED SAFETY YELLOW STRIPING, 2" O.C. @ 45°.
14. PROPOSED PICKUP DOOR.
15. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
16. PROPOSED CONCRETE SIDEWALK AND RAMP (REF. SITE DETAILS).
17. PROPOSED PEDESTRIAN CROSSING SIGN W/ BOLLARD POST (REF. SITE DETAILS).
18. NEW CROSSWALK MARKINGS - 7.35" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-4" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.

#### CAUTION — NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE

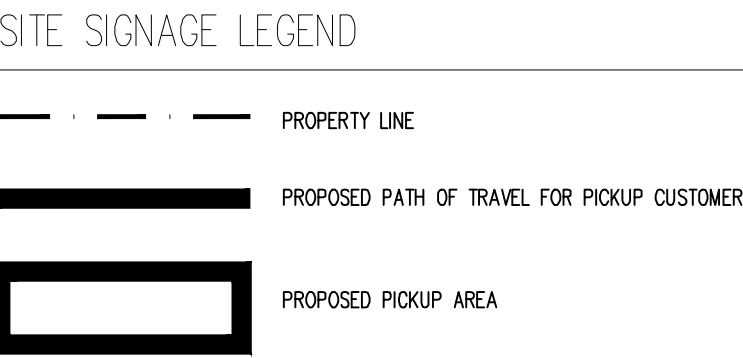


ISSUE BLOCK											





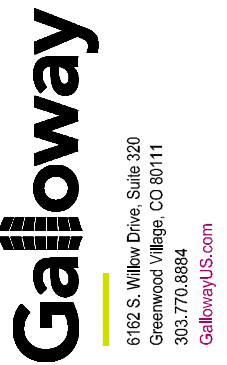
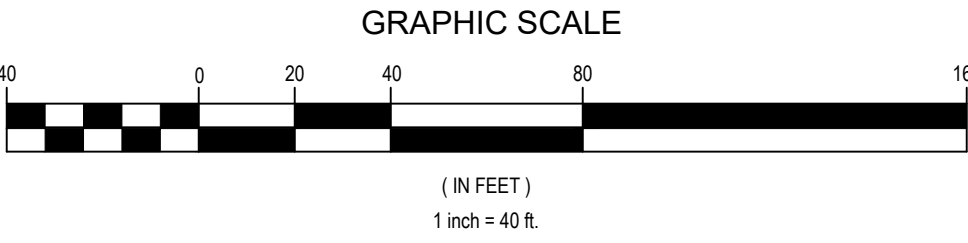
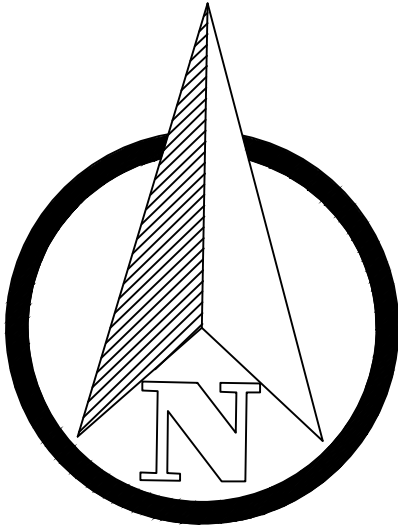
- SIGNAGE & STRIPING SCHEDULE NOTES
- ① PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
  - ② PROPOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
  - ③ PROPOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
  - ④ PROPOSED SIGN MOUNTING AND BASE ON BREAKAWAY POST (REF. SITE DETAILS).
  - ⑤ PROPOSED SIGN MOUNTING AND BASE ON BOLLARD POST (REF. SITE DETAILS).



- SITE SIGNAGE NOTES
- THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/04/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
  - REFERENCE SITE DETAILS FOR SIGN LOCATION.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	--
WAITING SPACES RIGHT	18 X 24	--
WAITING SPACES AHEAD	18 X 24	--
RESERVED WAITING	18 X 24	--
PICKUP LEFT PHARMACY RIGHT	18 X 24	--
PICKUP RIGHT PHARMACY LEFT	18 X 24	--
STOP THANKS FOR ORDERING	18 X 36	--
PICKUP HOURS	18 X 36	--
RESERVED	18 X 18	3
PHONE NUMBER	8 X 18	3
VERTICAL PICKUP	18 X 36	3
PICKUP LEFT	18 X 24	3
PICKUP AHEAD	18 X 24	1
PICKUP RIGHT	18 X 24	1

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEENER (brad.keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



STIPULATION FOR REUSE:  
THIS DRAWING WAS PREPARED FOR THE PROJECT OF WALMART NEIGHBORHOOD MARKET #05675-211, ALBUQUERQUE, NM. THE DATE OF THIS DRAWING IS 09/15/2021. THIS DRAWING IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GALLOWAY. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF GALLOWAY IS A VIOLATION OF THE LAW.



**Walmart**  
ALBUQUERQUE, NM  
11001 MENAUL BLVD NE  
STORE NO: 05675-211  
JOB NUMBER: CYN05675-211 PHOTO: PICKUP 2.0

2021 MAJOR PROJECT

ISSUE BLOCK


CHECKED BY: JSB  
DRAWN BY: DMH  
PROTO CYCLE:  
DOCUMENT DATE: 09/14/2021

SITE SIGNAGE  
PLAN


SHEET:  
CS2







REVISIONS	BY

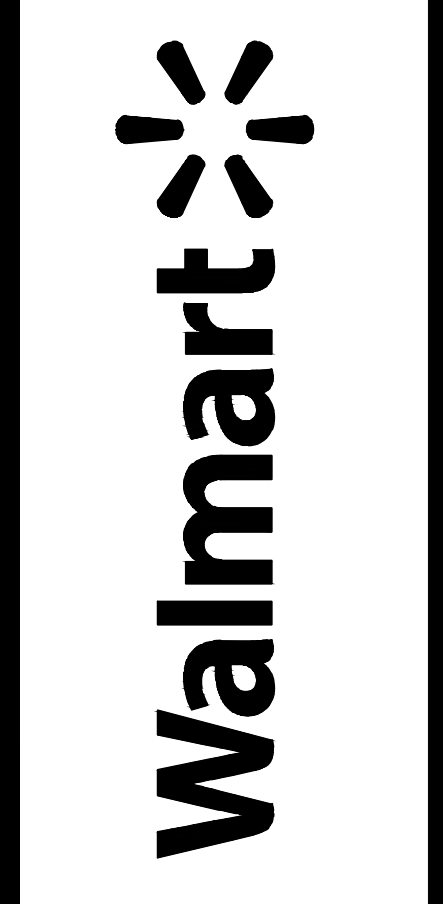


**Galloway**  
6102 S. Willow Drive, Suite 320  
Albuquerque, NM 87111  
505.770.8884  
gallowayus.com



BRANDON ALLET  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
09/15/2021

SUPERCENTER #05675-211  
11001 MENAUL BLVD NE  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
WAL-MART STORES, INC.  
BENTONVILLE, AR



**Walmart**

DRAWN	DMH
CHECKED	RCJ
DATE	09/14/2021
SCALE	AS NOTED
JOB NO.	CYN005675-20
SHEET	

SSM-1



## SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

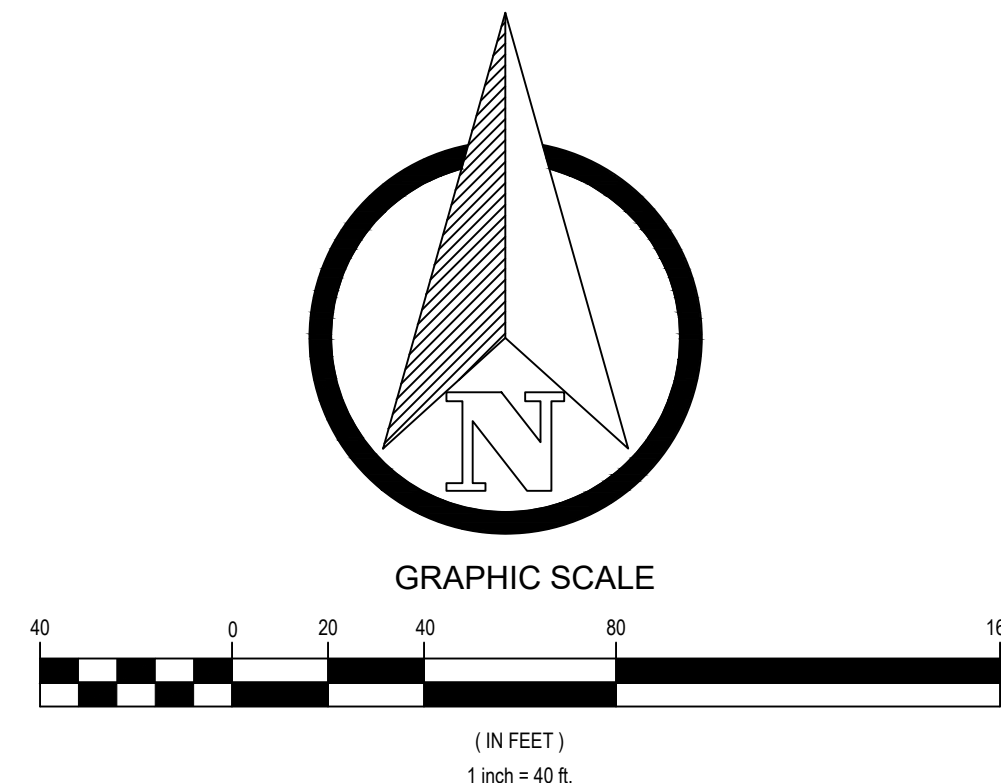
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PANDED.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
- (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PANDED TO MEET CURRENT DETAILS/GUIDELINES.
- (J) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- (K) EXISTING STOP SIGN TO REMAIN.
- (L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PANDED.
- (S) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (B) NEW "STOP HERE FOR PEDESTRIANS" (R1-50) SIGN.
- (S) NEW 30"x30" STOP SIGN.

- (T) NEW 36"x36" STOP SIGN.
- (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
- (X) NEW CROSSWALK MARKINGS - 4" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-4" WHITE STRIPES PERPENDICULAR ON BOTH ENDS (UNLESS NOTED OTHERWISE). ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- (Y) LIMITS OF SEAL COAT, APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
- (AA) NEW OPEN ARROW PAVEMENT MARKINGS.
- (BB) NEW SOLID ARROW PAVEMENT MARKINGS.
- (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPES.
- (DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (FF) NEW FIRE LANE STRIPING.
- (GG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
- (HH) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
- (JJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.

- (KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (MM) NEW "ALL WAY" PLAQUE.
- (NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (PP) EXISTING ISLAND STRIPING TO BE REMOVED.
- (QQ) NEW OSP CROSSWALK MARKINGS.
- (RR) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.
- (SS) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PANDED TO MEET CURRENT DETAILS/GUIDELINES.
- (TT) NEW 4" SOLID WHITE LINE.
- (UU) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.
- (VV) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
- (WW) EXISTING FIRE LANE STRIPING TO BE REMOVED.
- (XX) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.
- (YY) INSTALL SALVAGED STOP SIGN.
- (ZZ) RE-STRIPED EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.

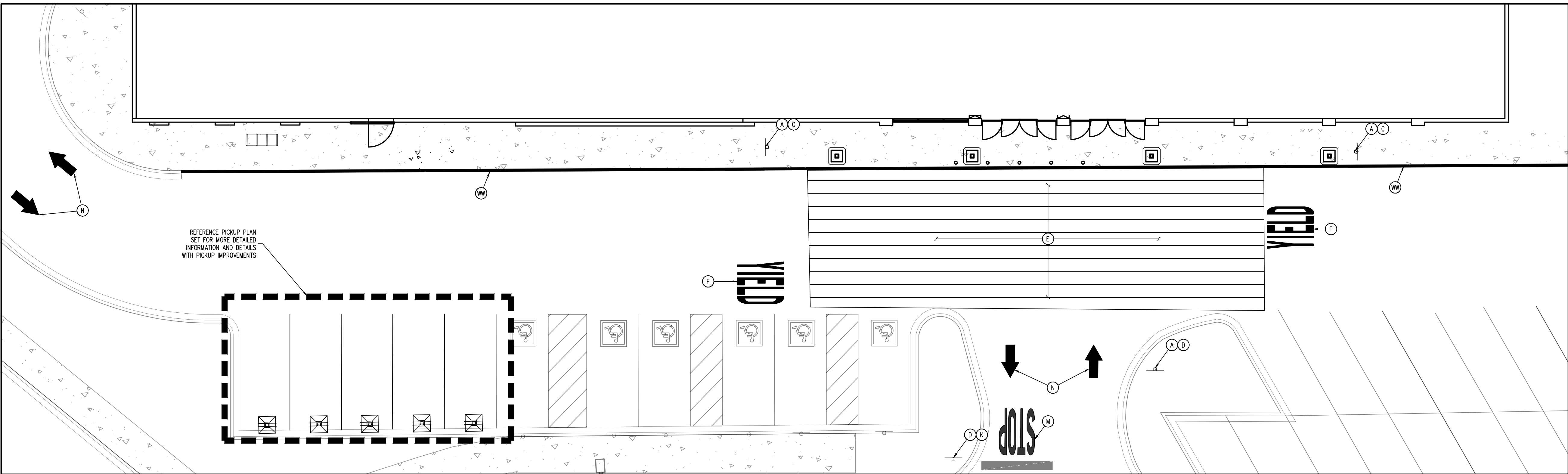
## NOTES TO CONTRACTOR

- BFR (BUILDING FRONTAGE ROAD)  
OCR (OUTER CIRCULATION ROAD)
- CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.

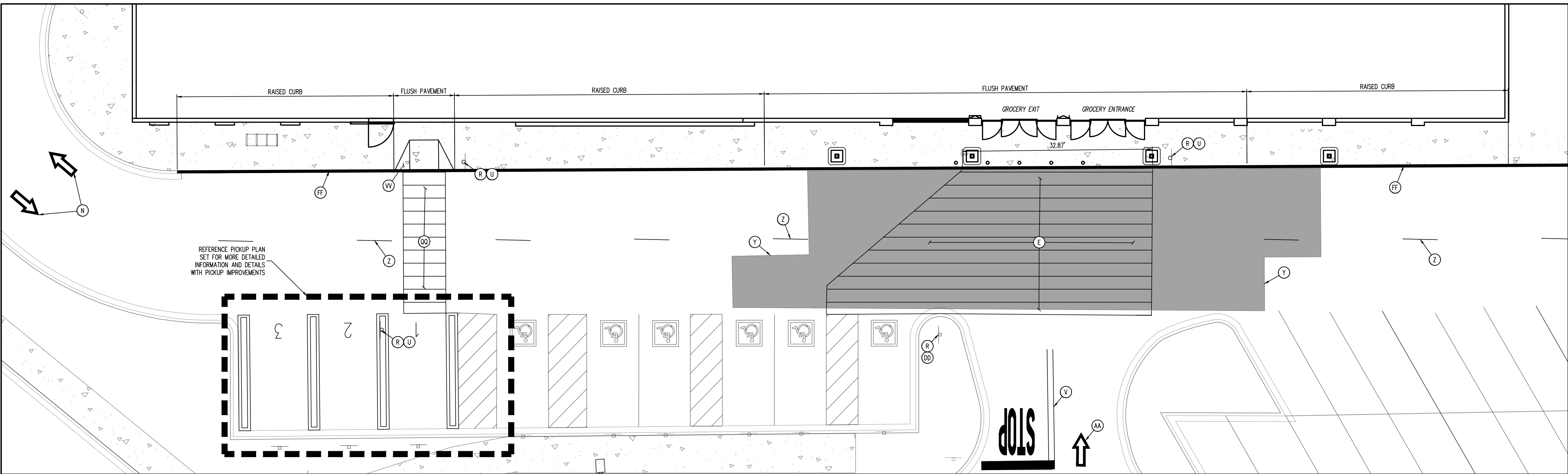


# STOP SIGNS AND MARKINGS PLAN





DEMOLITION PLAN



SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

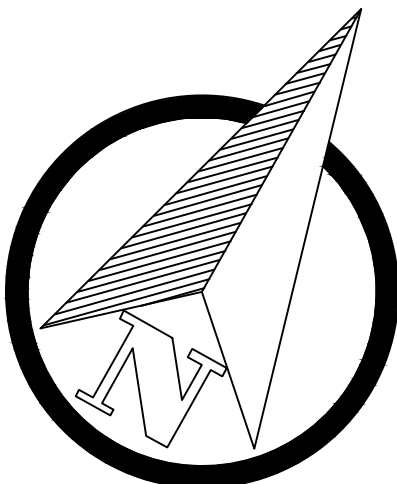
SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

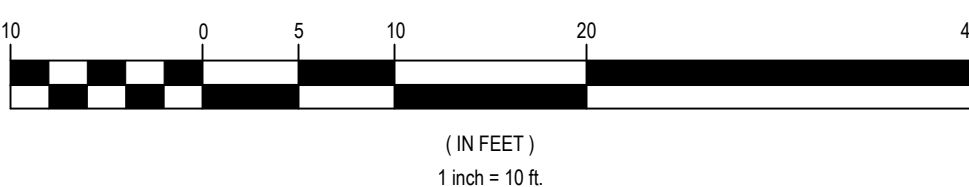
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
- (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.
- (J) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- (K) EXISTING STOP SIGN TO REMAIN.
- (L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- (Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (R) NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN.
- (S) NEW 30"x30" STOP SIGN.
- (T) NEW 36"x36" STOP SIGN.
- (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.

- (X) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- (Y) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' CAPS.
- (AA) NEW OPEN ARROW PAVEMENT MARKINGS.
- (AB) NEW SOLID ARROW PAVEMENT MARKINGS.
- (AC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (AD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (AE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (AF) NEW FIRE LANE STRIPING.
- (AG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
- (AH) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
- (AJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
- (AK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (AL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (AM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
- (AN) EXISTING "POCK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (AP) EXISTING ISLAND STRIPING TO BE REMOVED.
- (AQ) NEW OSP CROSSWALK MARKINGS.
- (AR) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.

- (AS) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- (AT) NEW 4" SOLID WHITE LINE.
- (AU) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.
- (AV) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
- (AW) EXISTING FIRE LANE STRIPING TO BE REMOVED.
- (AX) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.
- (AY) INSTALL SALVAGED STOP SIGN.
- (AZ) RE-STRIPED EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.




GRAPHIC SCALE



DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY

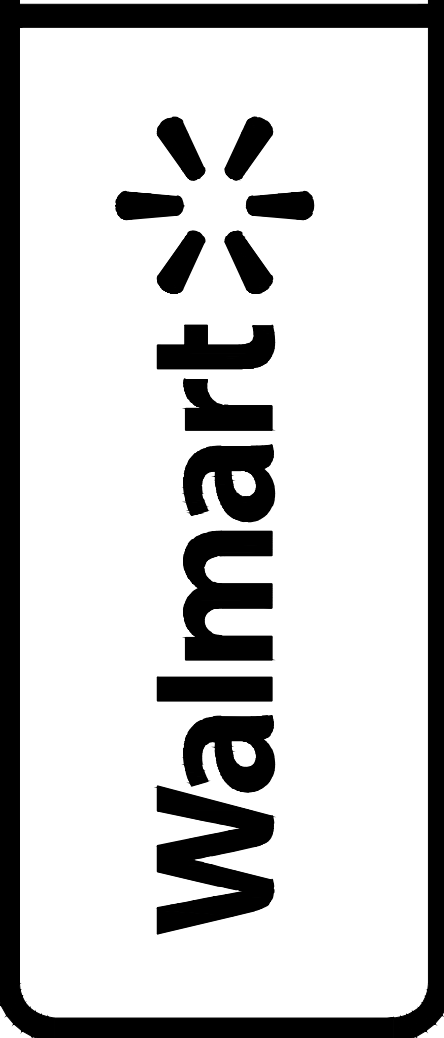


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BRANDON ALISTER  
NEW MEXICO  
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PROFESSIONAL ENGINEER  
09/15/2021

SUPERCENTER #05675-211  
11001 MENAUL BLVD NE  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
WAL-MART STORES, INC.  
BENTONVILLE, AR

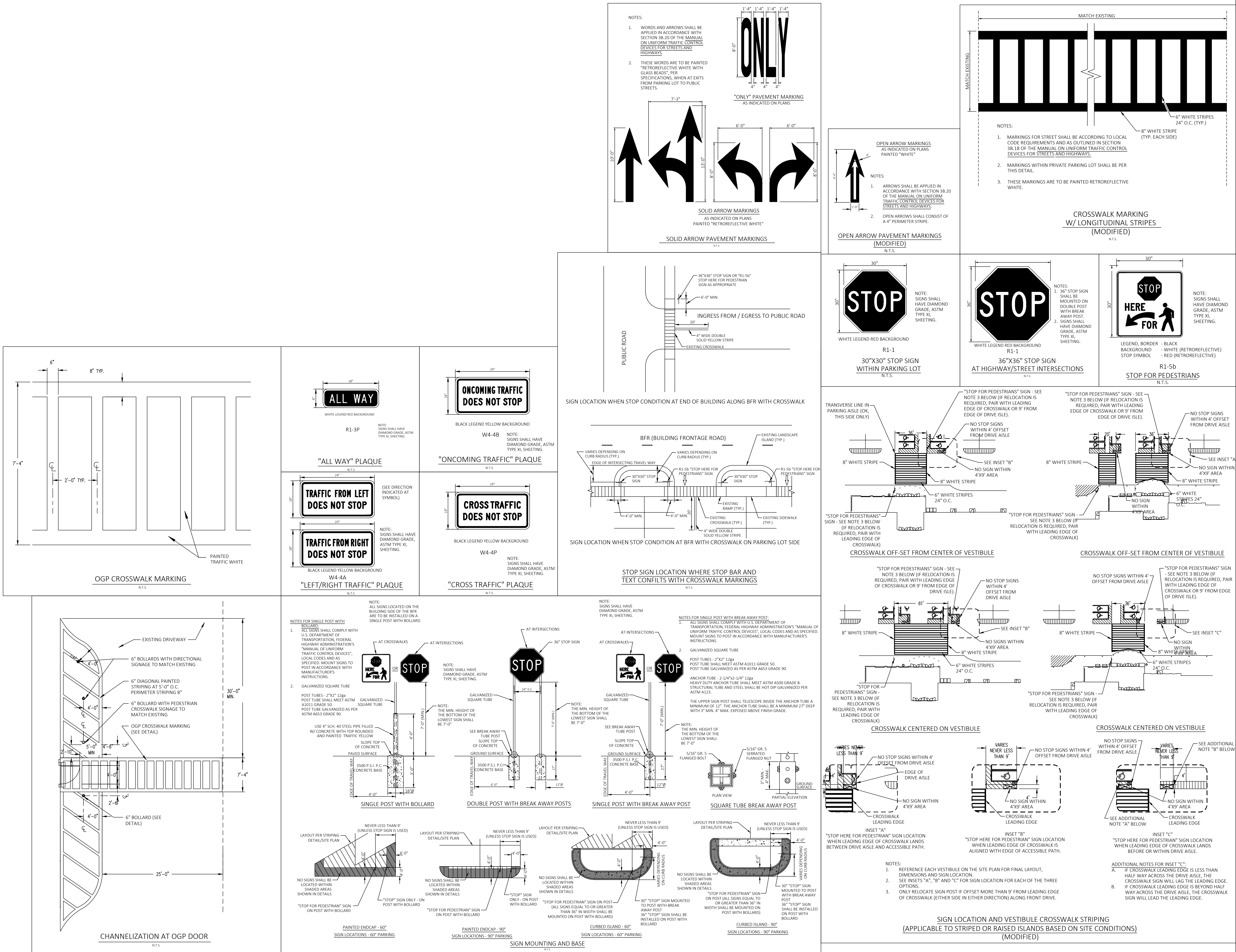


**Walmart**

DRAWN	DMH
CHECKED	RCJ
DATE	09/14/2021
SCALE	AS NOTED
JOB NO.	CYN005675.20
SHEET	

SECP-1





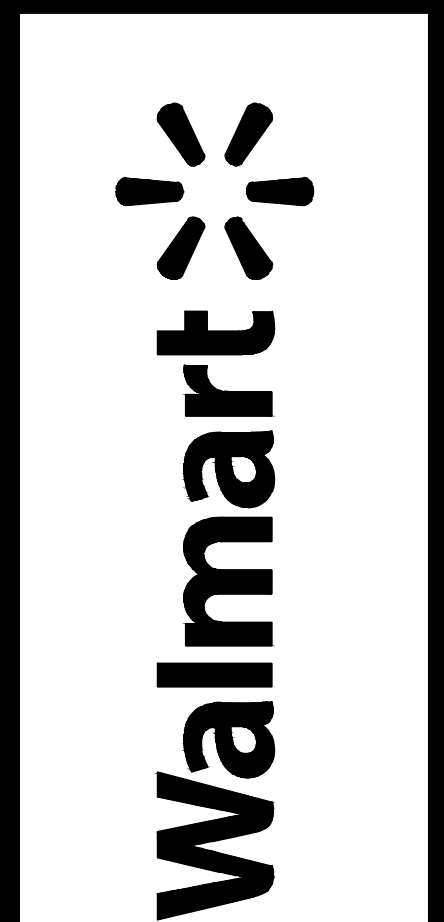
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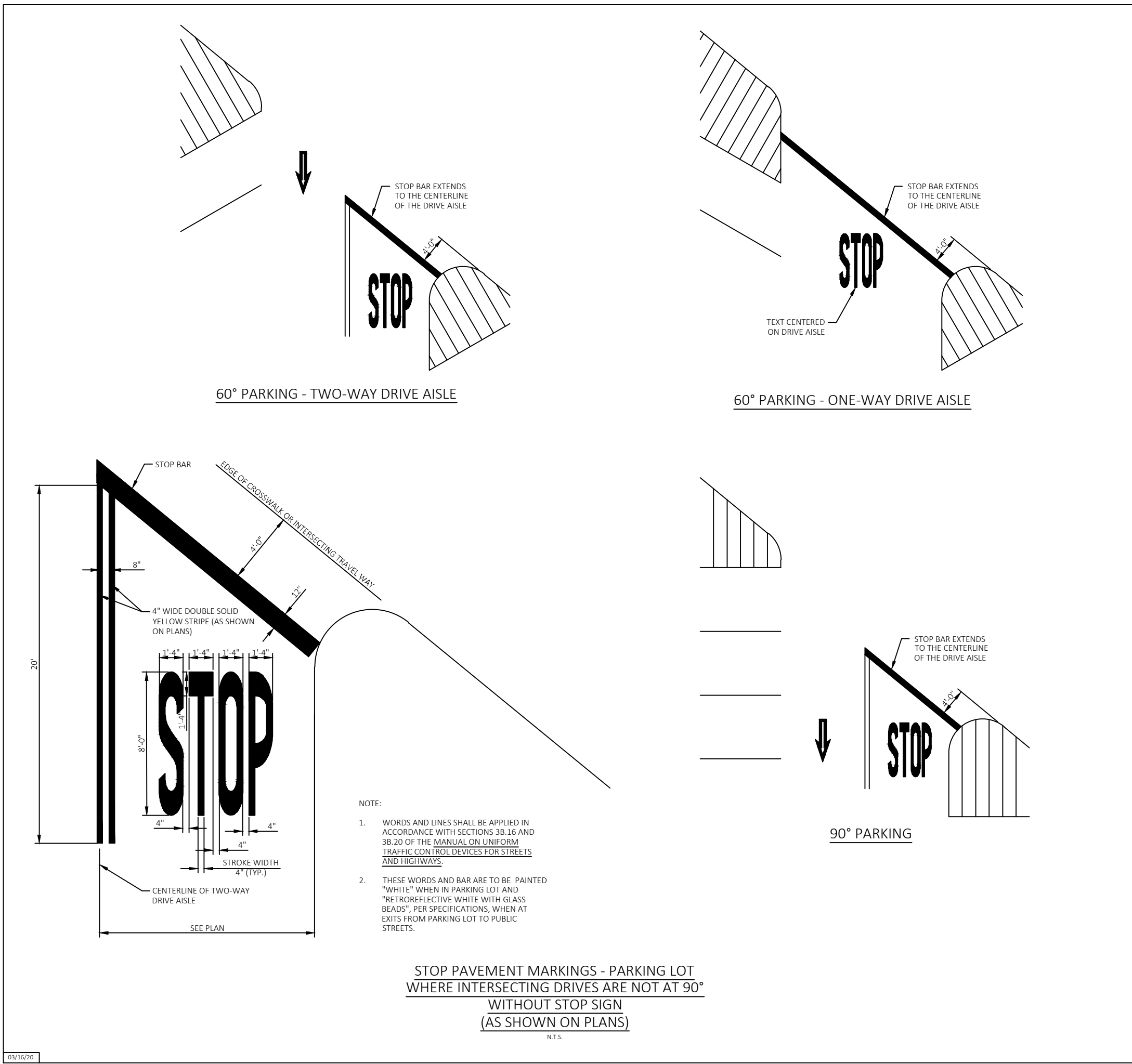
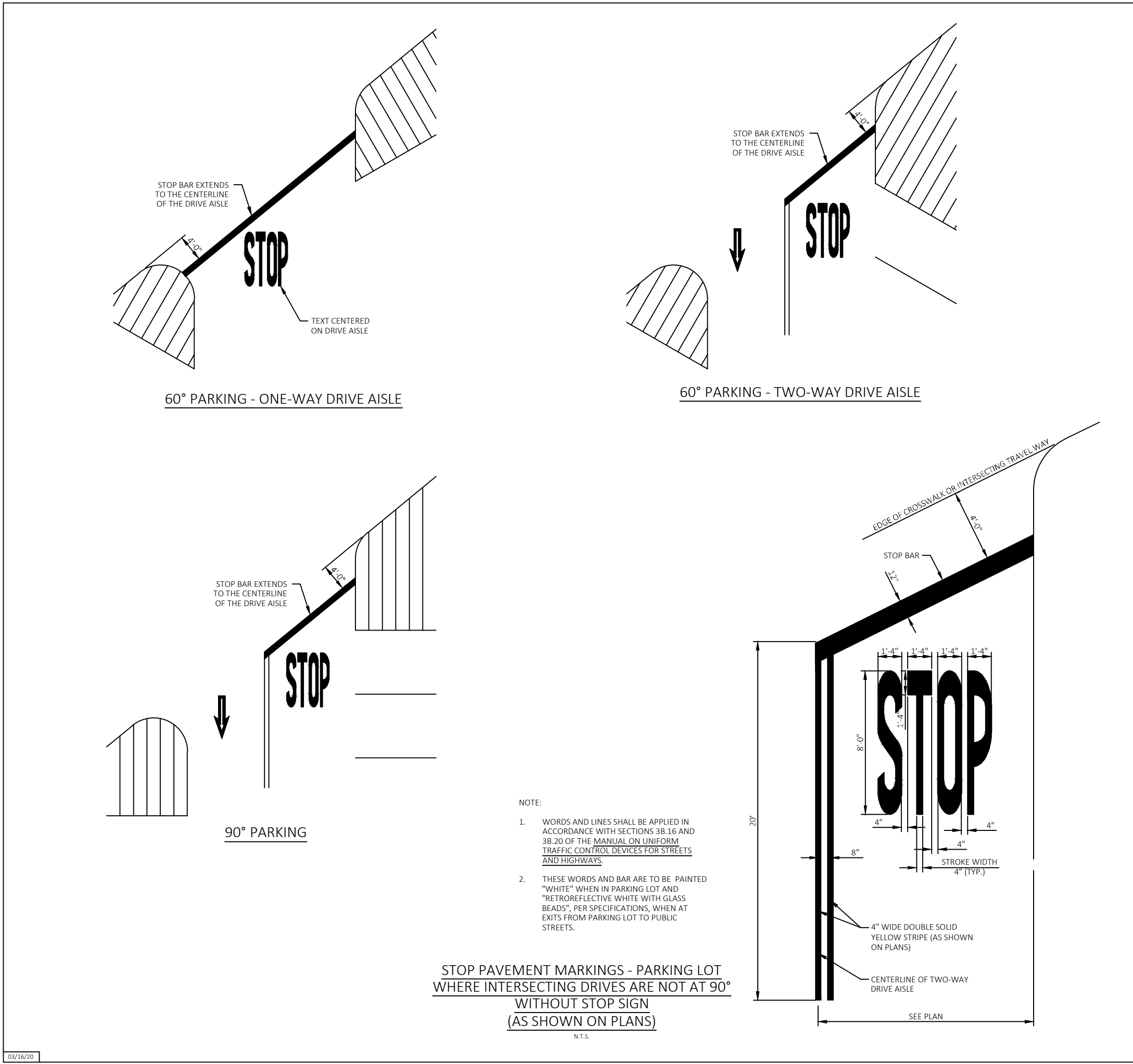
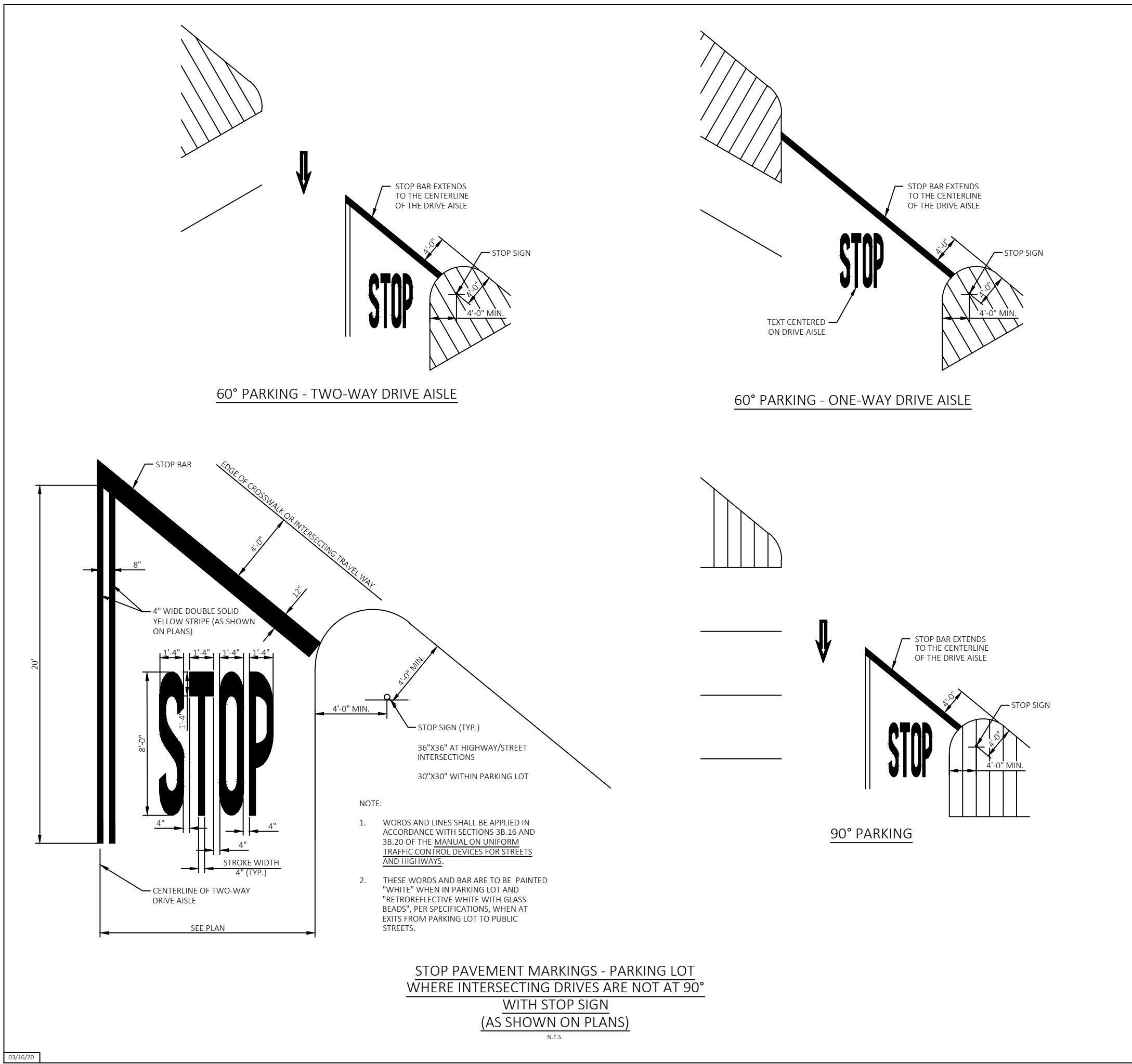
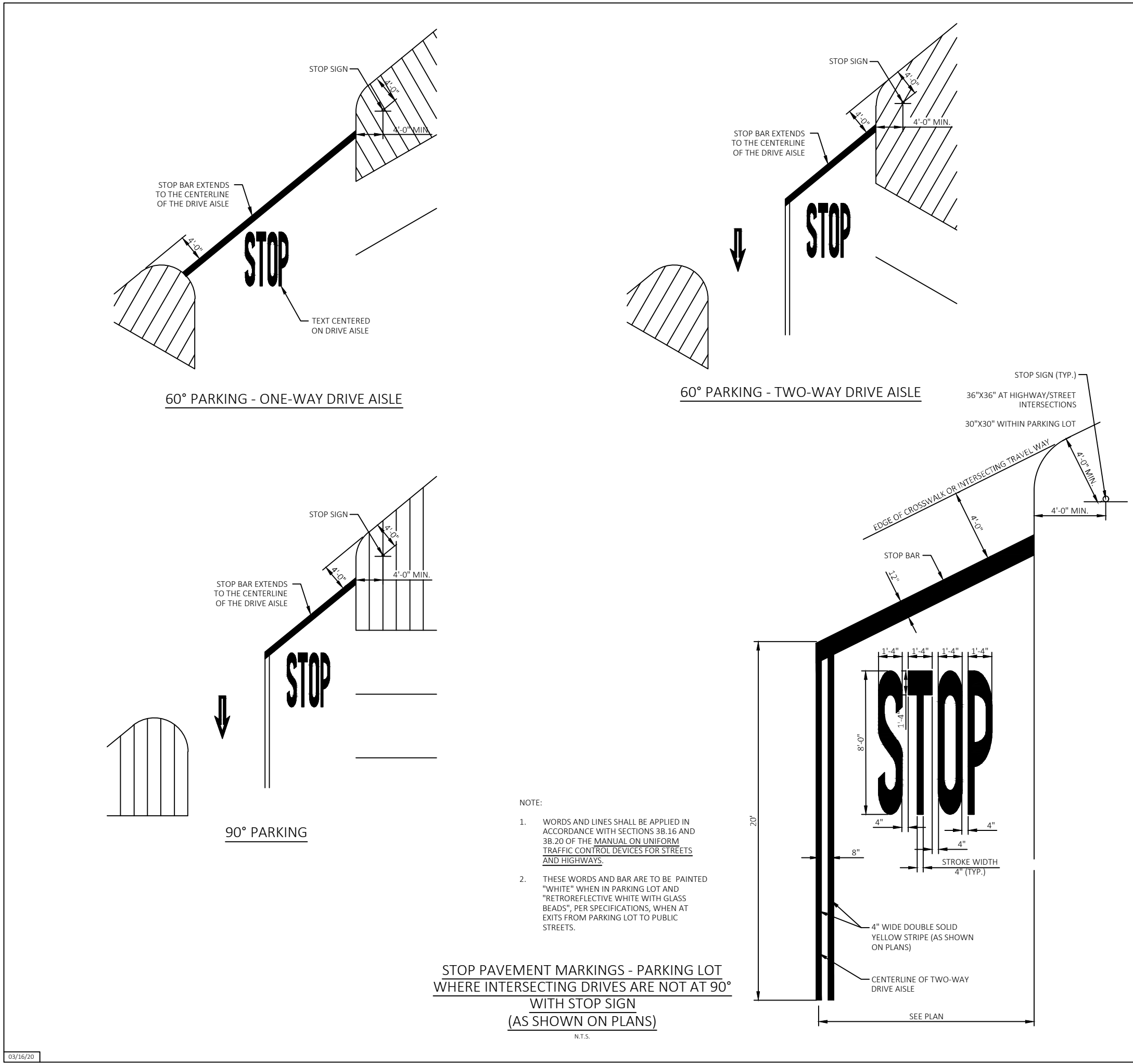
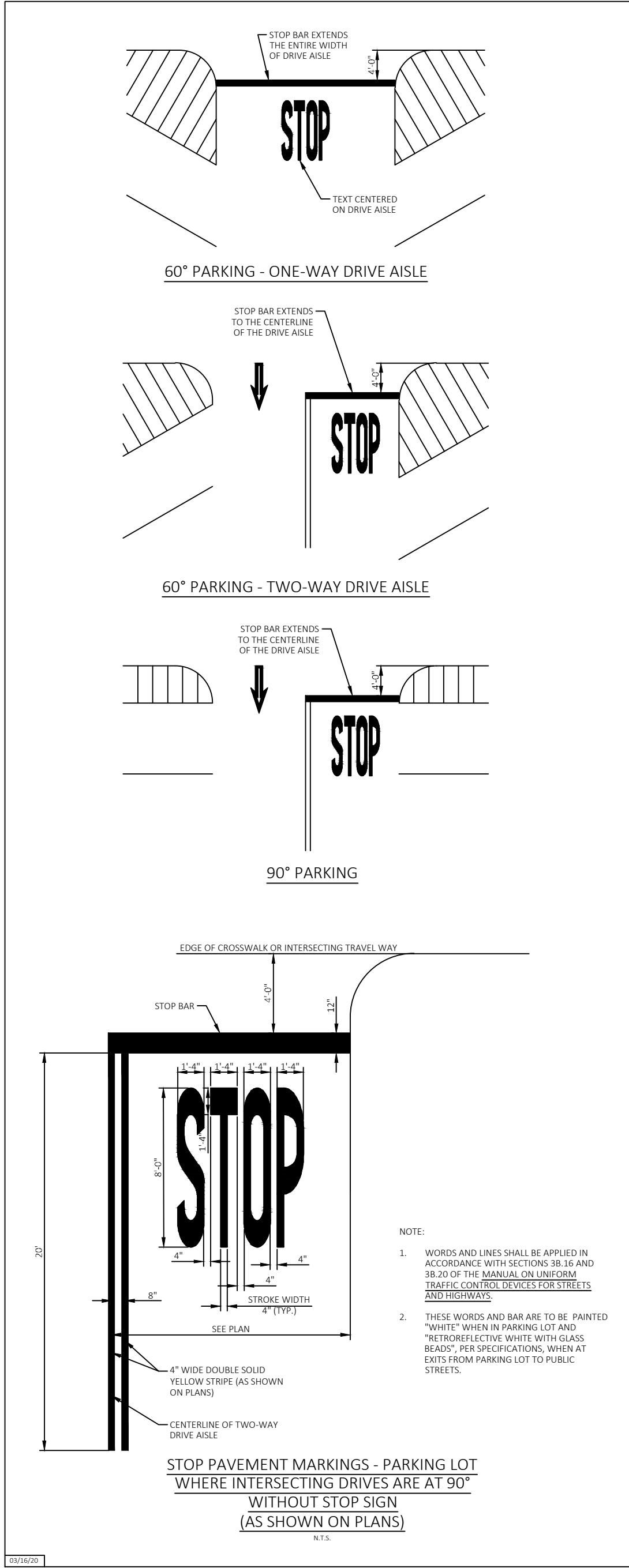
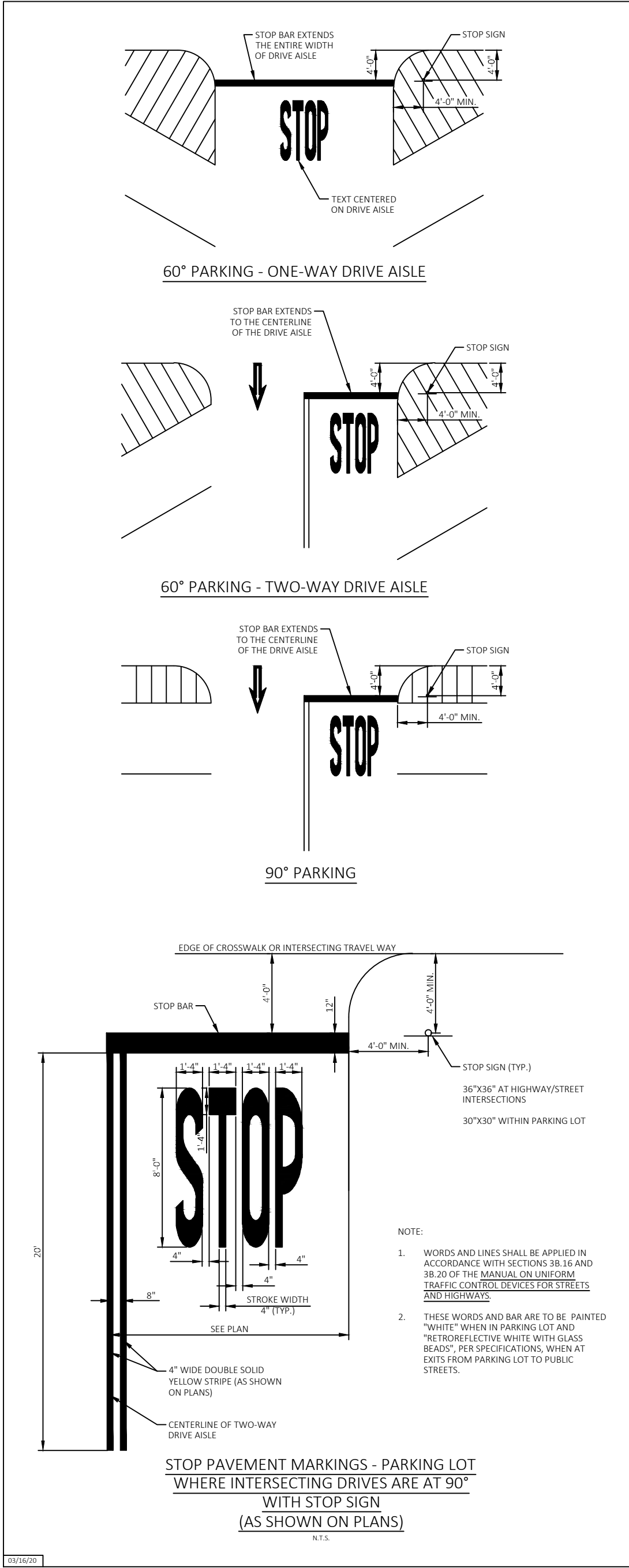
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DATE 09/14/2021
SCALE AS NOTED
JOB No. CYN005675.20
SHEET
<b>SECP/ SSM DETAILS</b>

# SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET





SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET

REVISIONS	BY

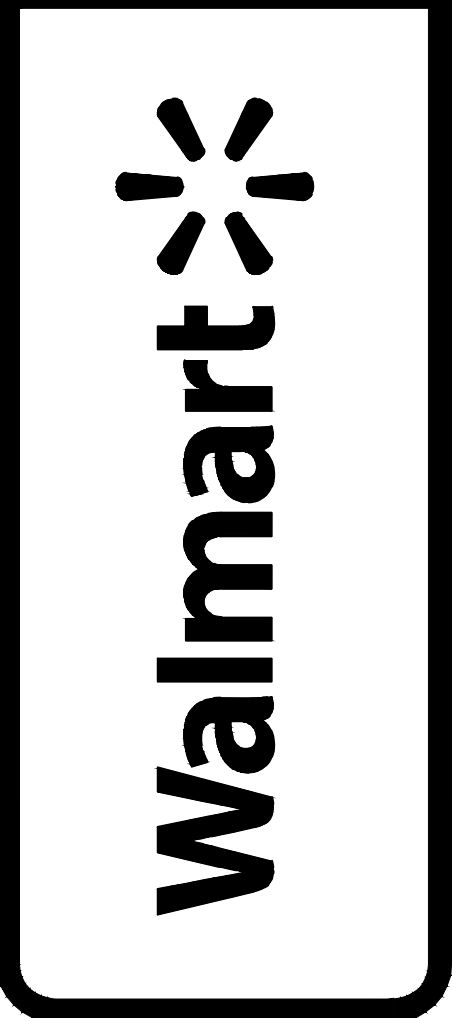


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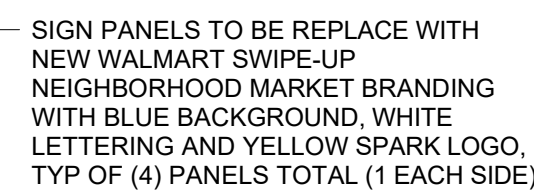
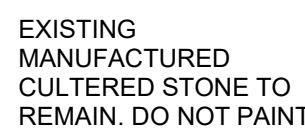
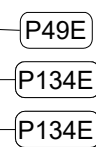
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SHEET <b>SECP/ SSM DETAILS</b>




$$1/8^{\circ} = 1'-0''$$

$$1^{\circ} = 10^0 \cdot 0^{\circ}$$
$$1'' = 10'-0''$$

$$1'' = 10^5 - 0''$$


1" = 10' 0"

### COLOR LEGEND

D405	DARK GRAY
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P134F | LIGHT GRAY

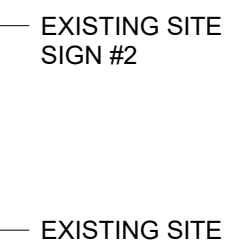
P76U | WALMART BLUE (URETHANE-LIKE)

## SHEET NOTES

1. DOOR THOMS, STEEL DOORS AND FRAMES. EXPOSED  
METAL FLASHING, HANDRAILS, AND EXPOSED  
MISCELLANEOUS STEEL SHALL MATCH ADJACENT  
FINISHES AND COLOR. IF THERE ARE TWO COLORS A  
W/ADJACENT TO DOOR AND FRAME, USE BOTTOM  
COLOR FOR ENTIRE DOOR AND FRAME.
2. PAINT ALL EXTERIOR WALLS WITH PSE ON  
WASH 100% OF EXTERIOR WALLS PRIOR TO PAINTING.  
POWER WASH UNDERSIDE OF EXISTING METAL  
CANOPS.
3. PAINT EXTERIOR OF BUILDING AS SHOWN.
4. PAINT GUANE - P598 ON JIB BOOM, P58 ON  
HANDRAILS.
5. PAINT SPRINKLER WALLS P212 DO NOT PAINT OVER
7. PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING  
COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD  
SLEEVES.
8. DO NOT PAINT OVER FIRE ALARM BEL.
9. PAINT SECURITY WALL PACE HOUSINGS TO MATCH  
ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM  
LENSES.
10. NOT USED
11. NOT USED
12. DO NOT PAINT EXISTING WINDOW FRAMES.
13. STOREFRONT DISPLAY WINDOW OR STONE VENEER.
14. PAINT ALL EXTERIOR PLANT AND TREES FROM ALL  
BUILDING CONTROL JOINTS AND EXPANSION JOINTS.  
FILL AND SEAL JOINTS, REF SPEC 07900
15. PAINT ALL EXTERIOR PLANT AND TREES WITH PAINT GIP  
ALONG SIDE WALL TO GRADE TO MATCH ADJACENT  
FINISHES AND COLOR. DO NOT PAINT OVER LENSES.
15. PAINT SITE DUMPS/TER ENCLOSURE REACH

## DEMOLITION NOTE

1. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.



SCOPE OF WORK SUMMARY:  
THIS STORE WILL RECEIVE FULL EXTERIOR PAINT AND SIGNAGE UPDATES MATCHING THE LATEST SWIPE-UP BRANDING INITIATIVE.

PAIN T RESTRICTIONS:  
THERE ARE NO EXTERIOR PAINT COLOR RESTRICTIONS FOR THIS LOCATION. WALMART IS ALLOWED TO US THEIR PROTO  
COLORS, GRAYS AND BLUE.

SIGN RESTRICTIONS:  
SIGNS WILL BE REPLACED PER THE LATEST 'SWIPE-UP' BRANDING CRITERIA. NEW UPDATES WILL COMPLY WITH LOCAL SIGN RESTRICTIONS.  
5-12-2: ON-PREMISES SIGNS IN MIXED-USED AND NON-RESIDENTIAL ZONE DISTRICTS  
MX-M-WALLS SIGNS SHALL NOT EXCEED 15% OF THE FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS.



