

DEMOLITION NOTES

APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE

- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR
- ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES.
- LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S
- REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND
- 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING
- TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK. 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND
- OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER
- 14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- 15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND
- EXACT BUILDING UTILITY ENTRANCE LOCATIONS. 6. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN



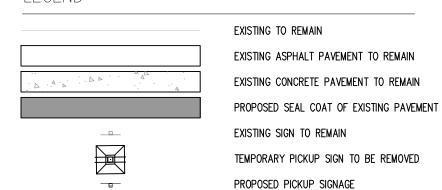
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

- 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND
- 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE
- 5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE
- 6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.,
- 7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS
- 9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY
- EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP). 11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
- 12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR
- 13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR
- ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- 16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS
- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A.
- 6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".





LEGEND



SITE & DEMOLITION SCHEDULE

- (1) EXISTING WALMART BUILDING TO REMAIN.
- 2) EXISTING CONCRETE SIDEWALK TO REMAIN. (3) EXISTING ASPHALT PAVEMENT TO REMAIN.
- (4) EXISTING STRIPING TO REMAIN.
- (5) EXISTING PARKING LOT STRIPING TO BE REMOVED.
- 6) EXISTING CURB AND GUTTER TO REMAIN. (7) EXISTING TEMPORARY PICKUP SIGNAGE TO BE REMOVED.
- (8) EXISTING ADA PAVEMENT MARKING TO REMAIN.
- 9 PROPOSED LIMITS OF SEAL COAT OVER EXISTING PAVEMENT.
- (10) PROPOSED PICKUP SIGNAGE TO BE MOUNTED TO NEW SIGN POST (REF. SITE DETAILS).
- PROPOSED SIGN MOUNTING AND BASE WITH BREAKAWAY POST (REF. SITE DETAILS). PROPOSED PICKUP STALL STRIPING AND NUMBER PAVEMENT MARKING (REF. SITE
- PROPOSED SAFETY YELLOW STRIPING, 2' O.C. @ 45*.
- (14) PROPOSED PICKUP DOOR.
- (15) EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- PROPOSED CONCRETE SIDEWALK AND RAMP (REF. SITE DETAILS).
- (17) PROPOSED PEDESTRIAN CROSSING SIGN W/ BOLLARD POST (RE. SITE DETAILS).

NEW CROSSWALK MARKINGS - 7.33" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.

DOCUMENT DATE: 09/14/20.

PROTO CYCLE:

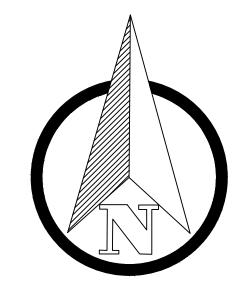
2021 MAJOR PROJECT

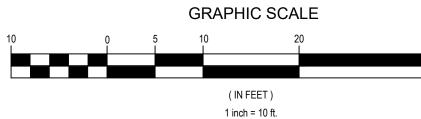
ISSUE BLOCK

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.





CS1

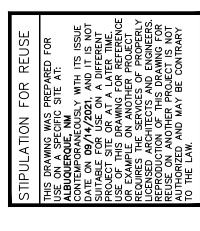
DEMOLITION

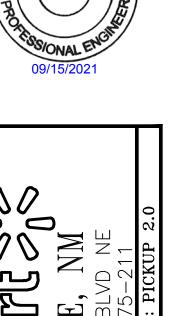
AND SITE

PLAN

SITE PLAN — PROPOSED PICKUP PARKING SCALE: 1"=10'







2021 MAJOR PROJECT ISSUE BLOCK

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PROTO CYCLE: DOCUMENT DATE: 09/14/202

SIGNAGE & STRIPING SCHEDULE NOTES

1) PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.

PROPSOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS. (3) PROPSOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.

(4) PROPOSED SIGN MOUTNING AND BASE ON BREAKAWAY POST (REF. SITE DETAILS).

5) PROPOSED SIGN MOUNTING AND BASE ON BOLLARD POST (REF. SITE DETAILS).

SITE SIGNAGE LEGEND

PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.

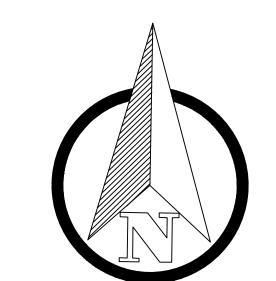
SITE SIGNAGE NOTES

THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/04/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.

2. REFERENCE SITE DETAILS FOR SIGN LOCATION.

PICKUP EXTERIOR SIGN SCHEDULE					
DESCRIPTION	DIMENSIONS	QUANTITY			
WAITING SPACES LEFT	18 X 24	_			
WAITING SPACES RIGHT	18 X 24	_			
WAITING SPACES AHEAD	18 X 24	_			
RESERVED WAITING	18 X 24	_			
PICKUP LEFT PHARMACY RIGHT	18 X 24	_			
PICKUP RIGHT PHARMACY LEFT	18 X 24	_			
STOP THANKS FOR ORDERING	18 X 36	_			
PICKUP HOURS	18 X 36	_			
RESERVED	18 X 18	3			
PHONE NUMBER	8 X 18	3			
VERTICAL PICKUP	18 X 36	3			
PICKUP LEFT	18 X 24	3			
PICKUP AHEAD	18 X 24	1			
PICKUP RIGHT	18 X 24	1			

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

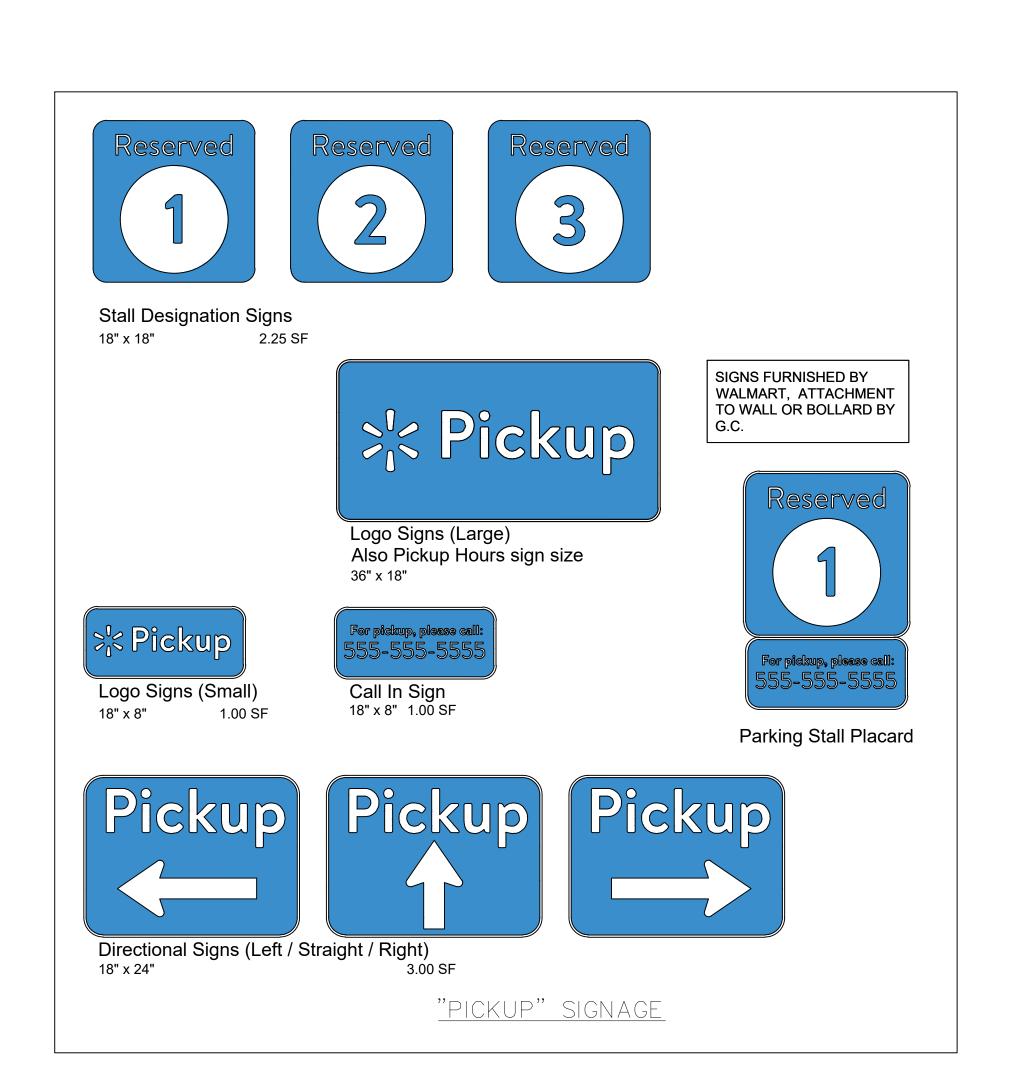


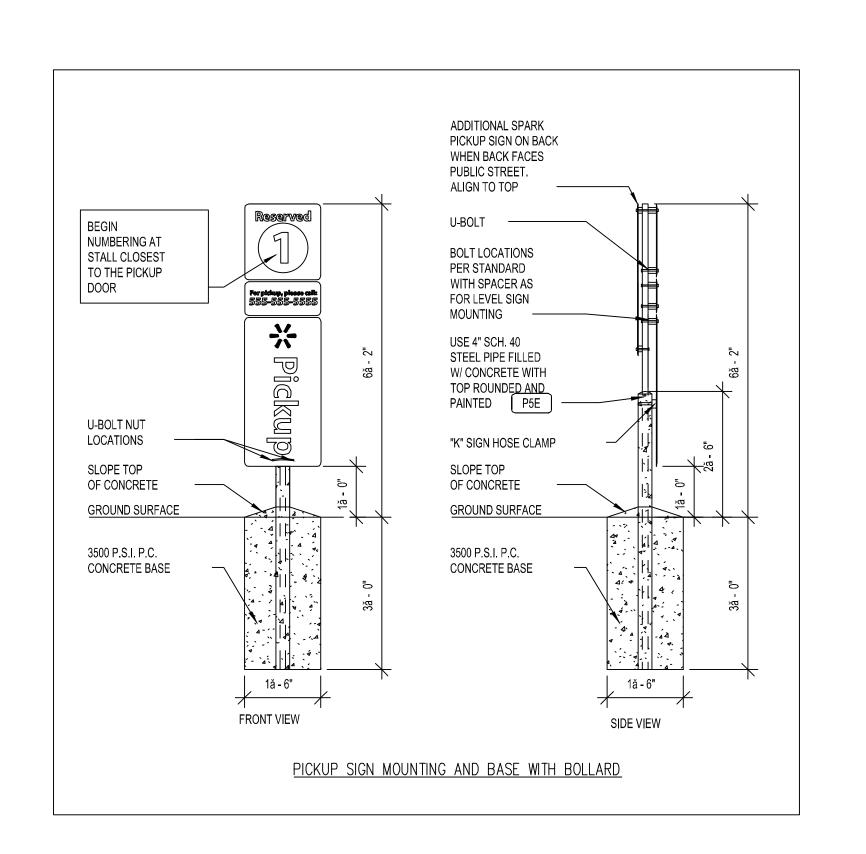
(IN FEET) 1 inch = 40 ft.

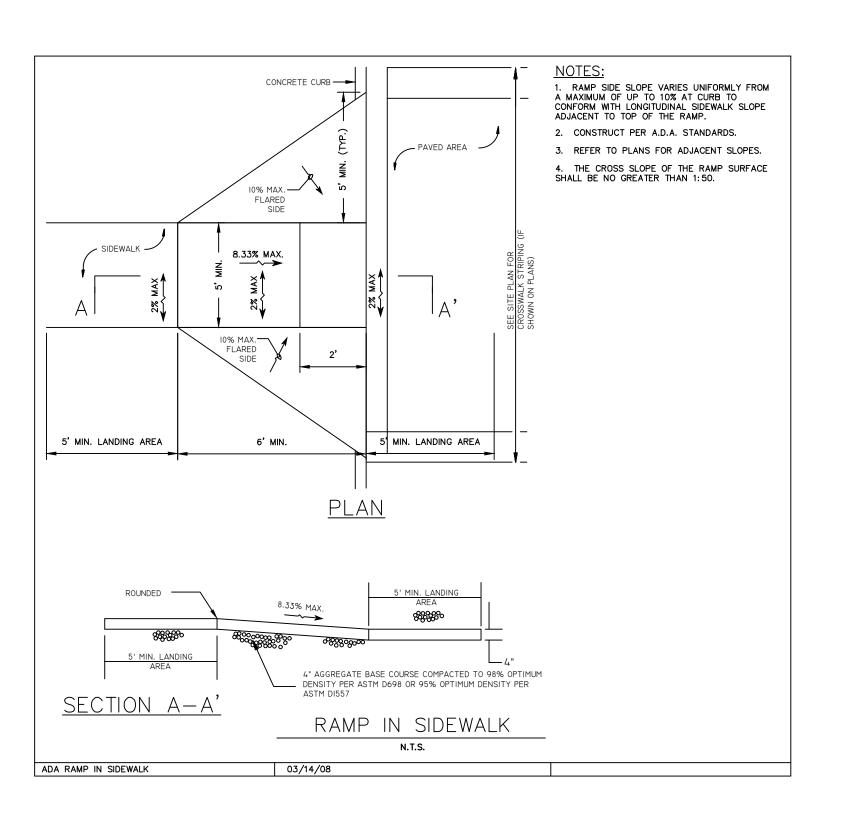
SITE SIGNAGE PLAN

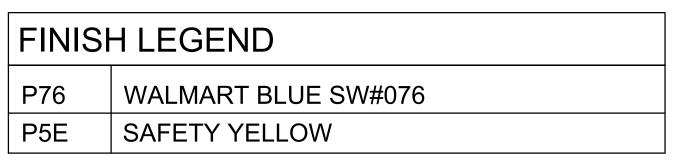
CS2

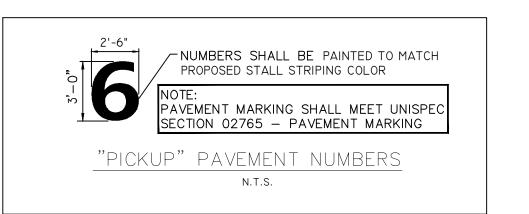


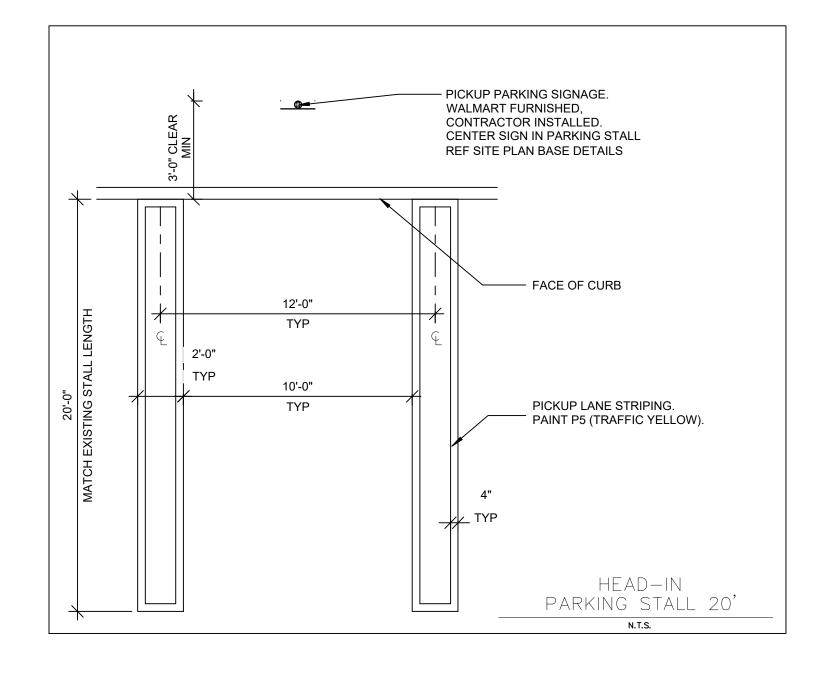




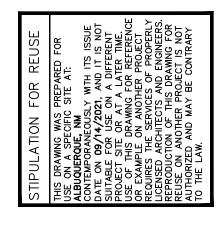








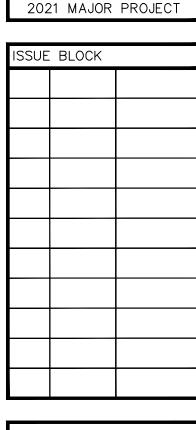






ALBUQUERQUE, NM

11001 MENAUL BLVD NE
STORE NO: 05675-211



CHECKED BY: JSB
DRAWN BY: DMH
PROTO CYCLE:
DOCUMENT DATE: 09/14/2021

SITE DETAILS

SHEET:



SITE AND DEMOLITION LEGEND

(A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.

(B) EXISTING STOP SIGN TO BE REMOVED.

C EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.

(D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.

(E) EXISTING CROSSWALK STRIPING TO BE REMOVED.

F EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.

H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.

J EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.

(K) EXISTING STOP SIGN TO REMAIN.

EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.

M EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.

(N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.

(P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.

Q EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.

R NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN.

S NEW 30"X30" STOP SIGN.

T NEW 36"X36" STOP SIGN.

U NEW SIGN MOUNTING AND BASE WITH BOLLARD.

(V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.

(W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.

NEW CROSSWALK MARKINGS – 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE

LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL

Z NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' GAPS.

(AA) NEW OPEN ARROW PAVEMENT MARKINGS.

BB NEW SOLID ARROW PAVEMENT MARKINGS.

(CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.

(DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.

EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.

(FF) NEW FIRE LANE STRIPING.

©G EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.

EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.

JJ NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.

(KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.

(LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.

MM) NEW "ALL WAY" PLAQUE.

(NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.

(PP) EXISTING ISLAND STRIPING TO BE REMOVED.

QQ NEW OGP CROSSWALK MARKINGS.

RR NEW CHANNELIZATION AT OGP DOOR. SEE DETAIL. (SS) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES

TT NEW 4" SOLID WHITE LINE

(UU) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.

PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).

WW EXISTING FIRE LINE STRIPING TO BE REMOVED.

(XX) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE. (YY) INSTALL SALVAGED STOP SIGN.

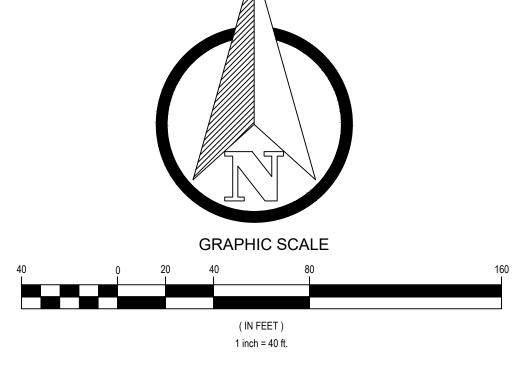
(ZZ) RE-STRIPE EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.

NOTES TO CONTRACTOR

BFR (BUILDING FRONTAGE ROAD) OCR (OUTER CIRCULATION ROAD)

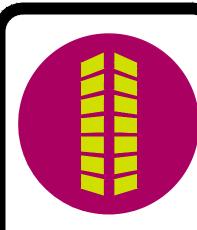
CONTRACTOR SHALL INSTALL 'NEW' STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.

ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.

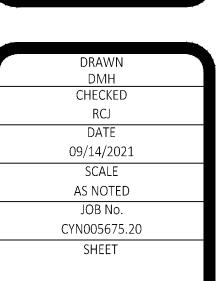


STOP SIGNS AND MARKINGS PLAN



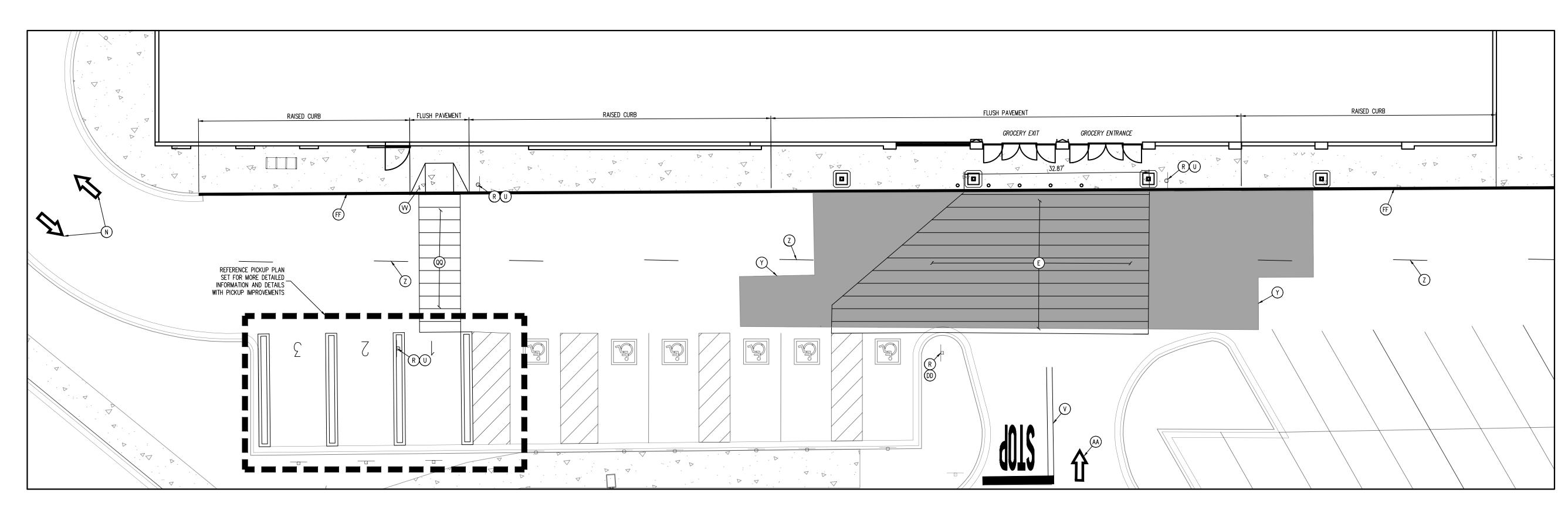






SSM-1

DEMOLITION PLAN



SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

1 inch = 10 ft.

- 1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- 2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- 3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- 4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

A)	EXISTING	PEDESTRIAN	CROSSING	SIGN	TO E	BE	REMOVED.	

- (B) EXISTING STOP SIGN TO BE REMOVED.
- © EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- D EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- F EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- G EXISTING CENTERLINE STRIPING TO BE REMOVED
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- K EXISTING STOP SIGN TO REMAIN.
- (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
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- S NEW 30"X30" STOP SIGN.
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- U NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45' @ 2'-0" O.C.

(V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.

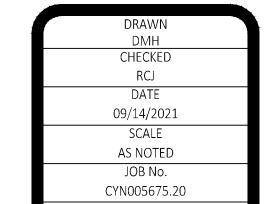
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- LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- Z NEW 4" WIDE PAINTED YELLOW STRIPES 6' LONG WITH 18' GAPS.
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- (BB) NEW SOLID ARROW PAVEMENT MARKINGS.
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- EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
- JJ NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
- (KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (MM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
- (NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (PP) EXISTING ISLAND STRIPING TO BE REMOVED.
- QQ NEW OGP CROSSWALK MARKINGS.

 (RR) NEW CHANNELIZATION AT OGP DOOR. SEE DETAIL.

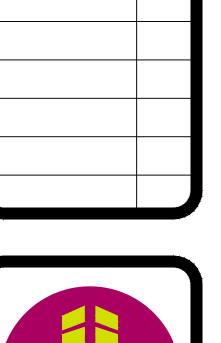
- SS EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES
- TT) NEW 4" SOLID WHITE LINE
- UU PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.
- PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
- (ww) EXISTING FIRE LINE STRIPING TO BE REMOVED.
- (XX) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.

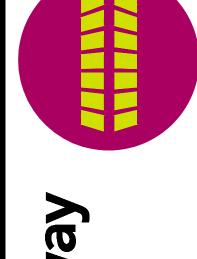
 (YY) INSTALL SALVAGED STOP SIGN.
- RE-STRIPE EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/G
- ZZ) RE-STRIPE EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.



SECP-1







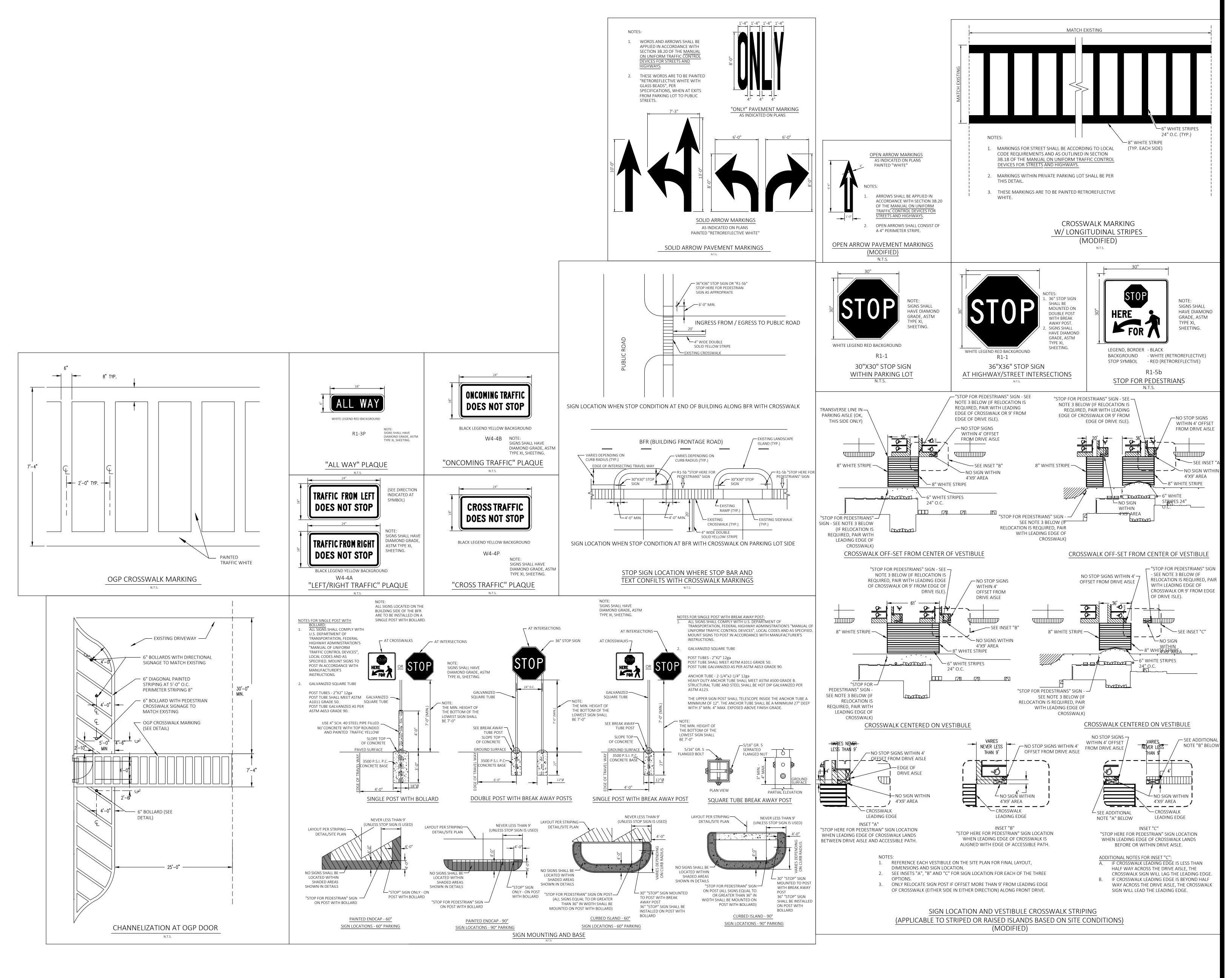




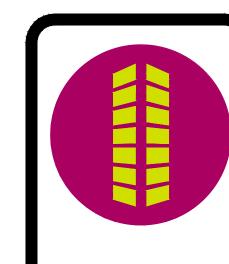
#US6/S-ZII BLVD NE , BERNALILLO COUNTY, NEW MEXICO

1001 MENAUL BLVD NE LBUQUERQUE, BERNAL VAL-MART STORES, INC





SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET



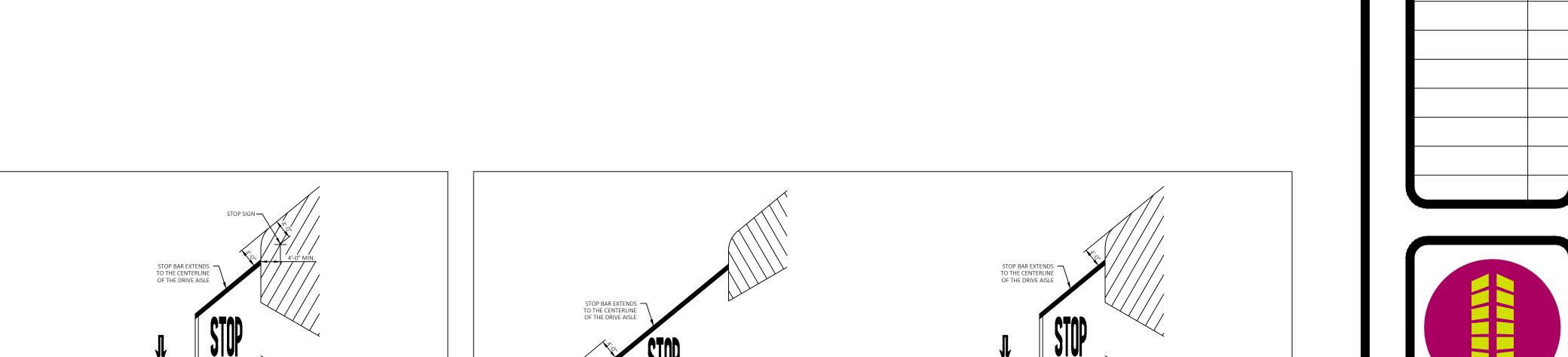
6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111 303.770.8884 GallowayUS.com

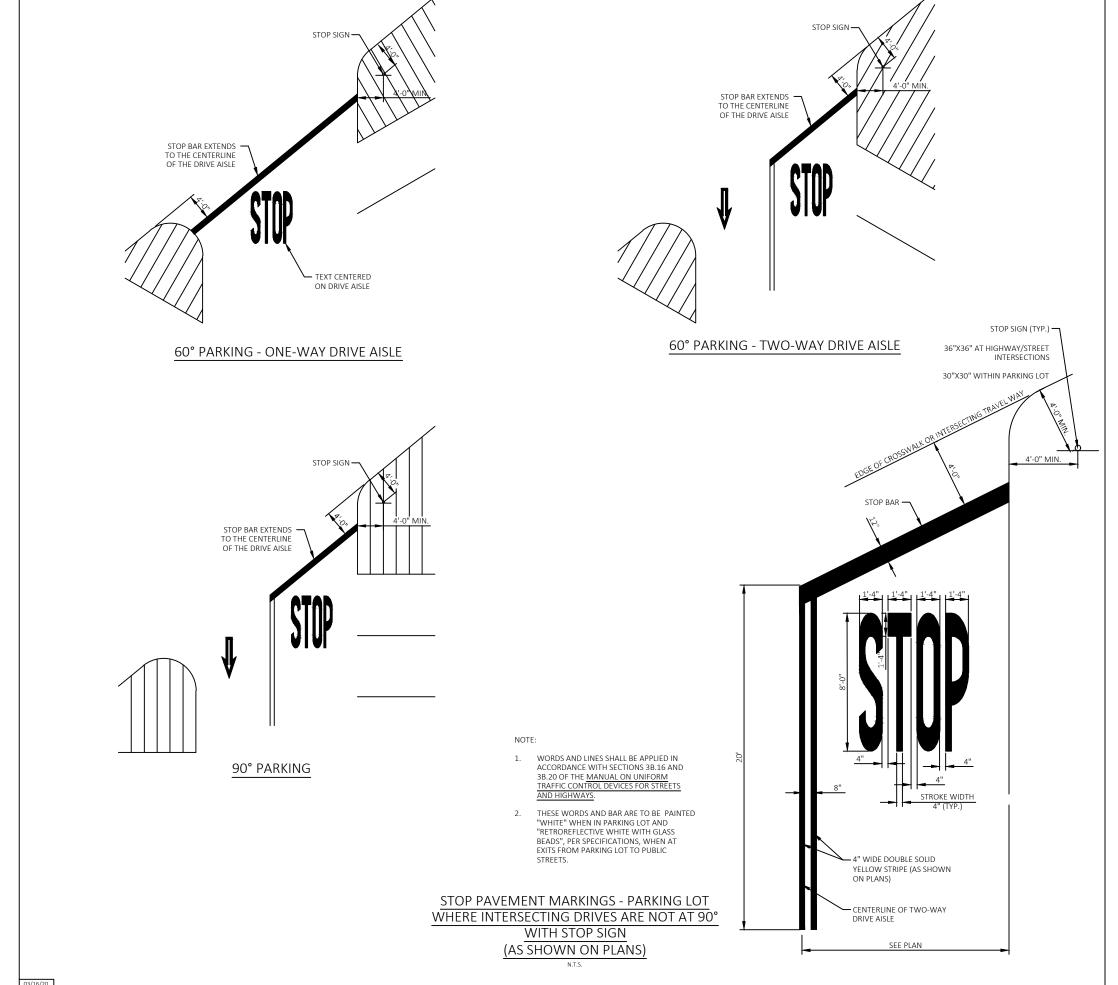


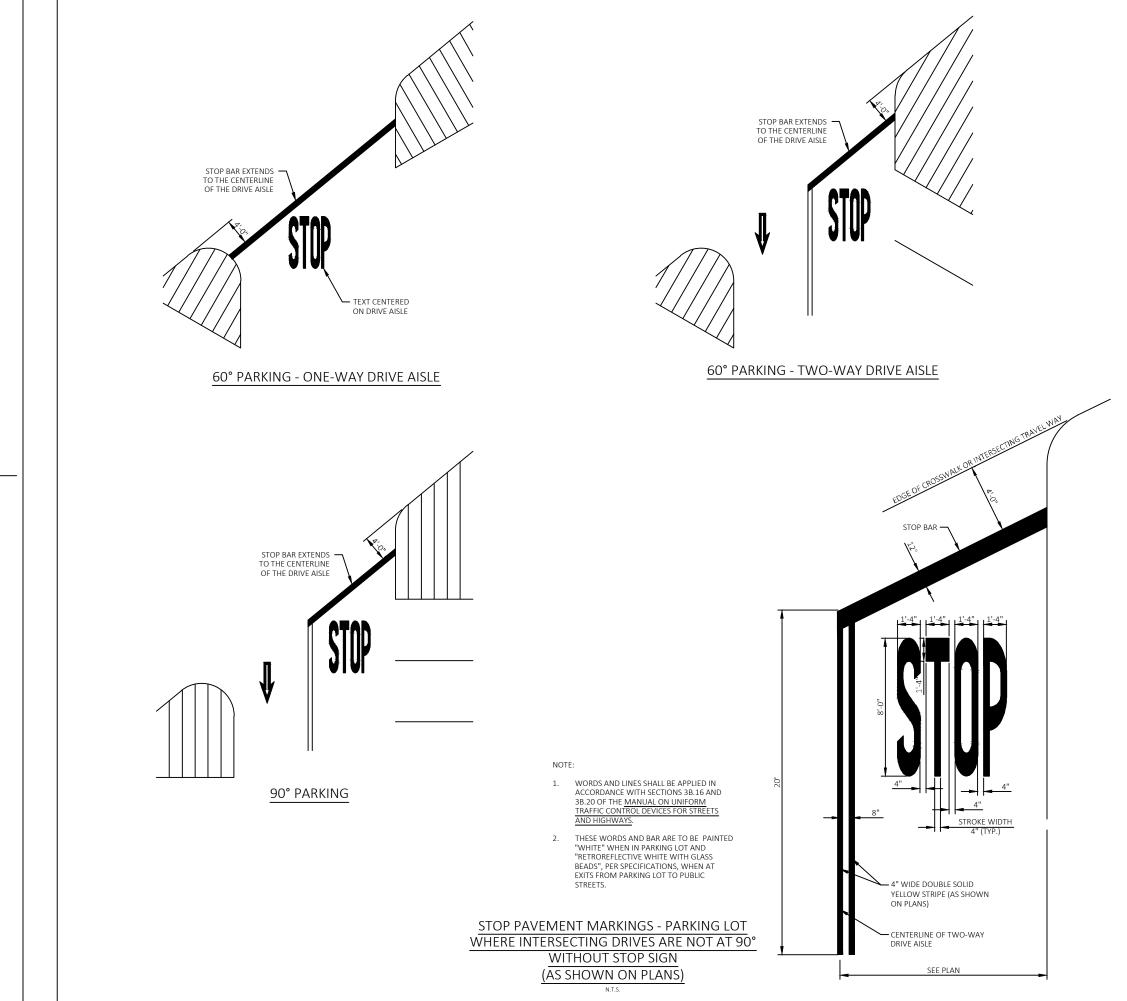
SUPERCENTER #05675-211
11001 MENAUL BLVD NE
ALBUQUERQUE, BERNALILLO COUNTY, NEW

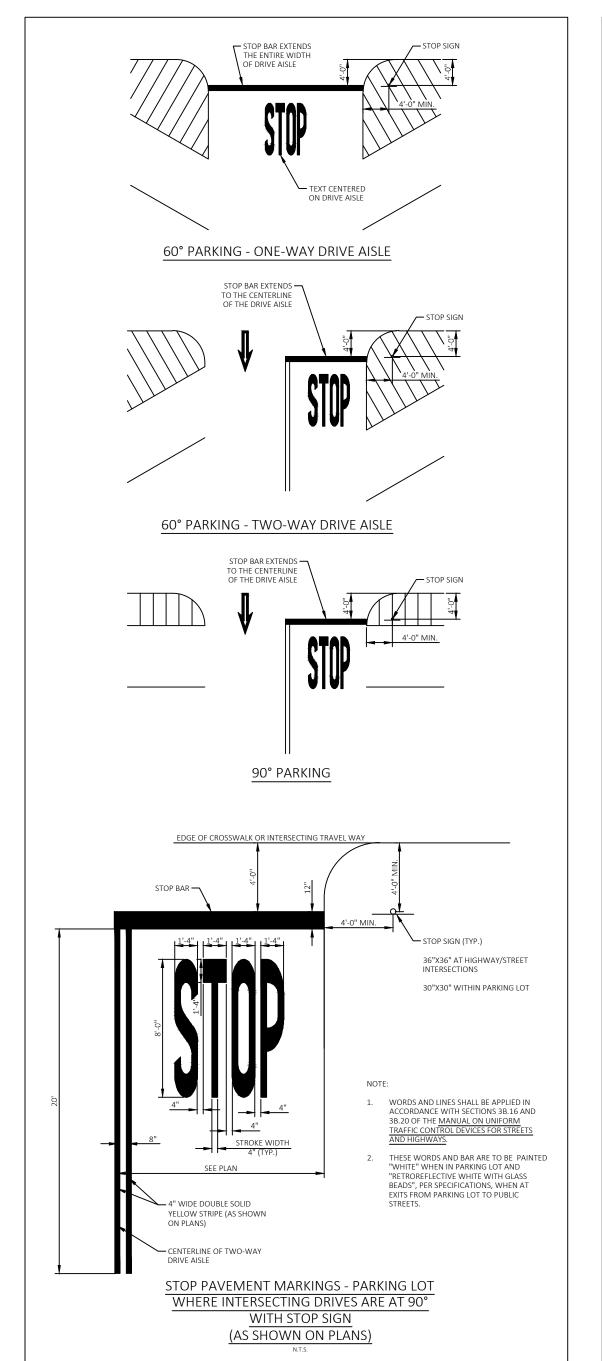
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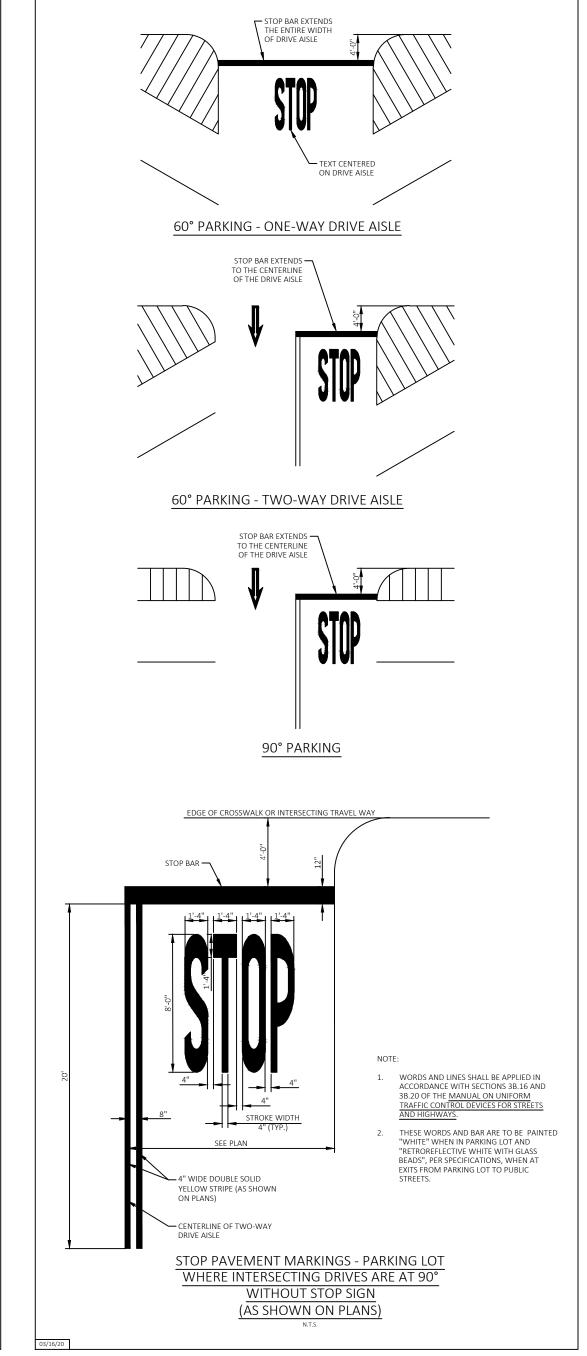
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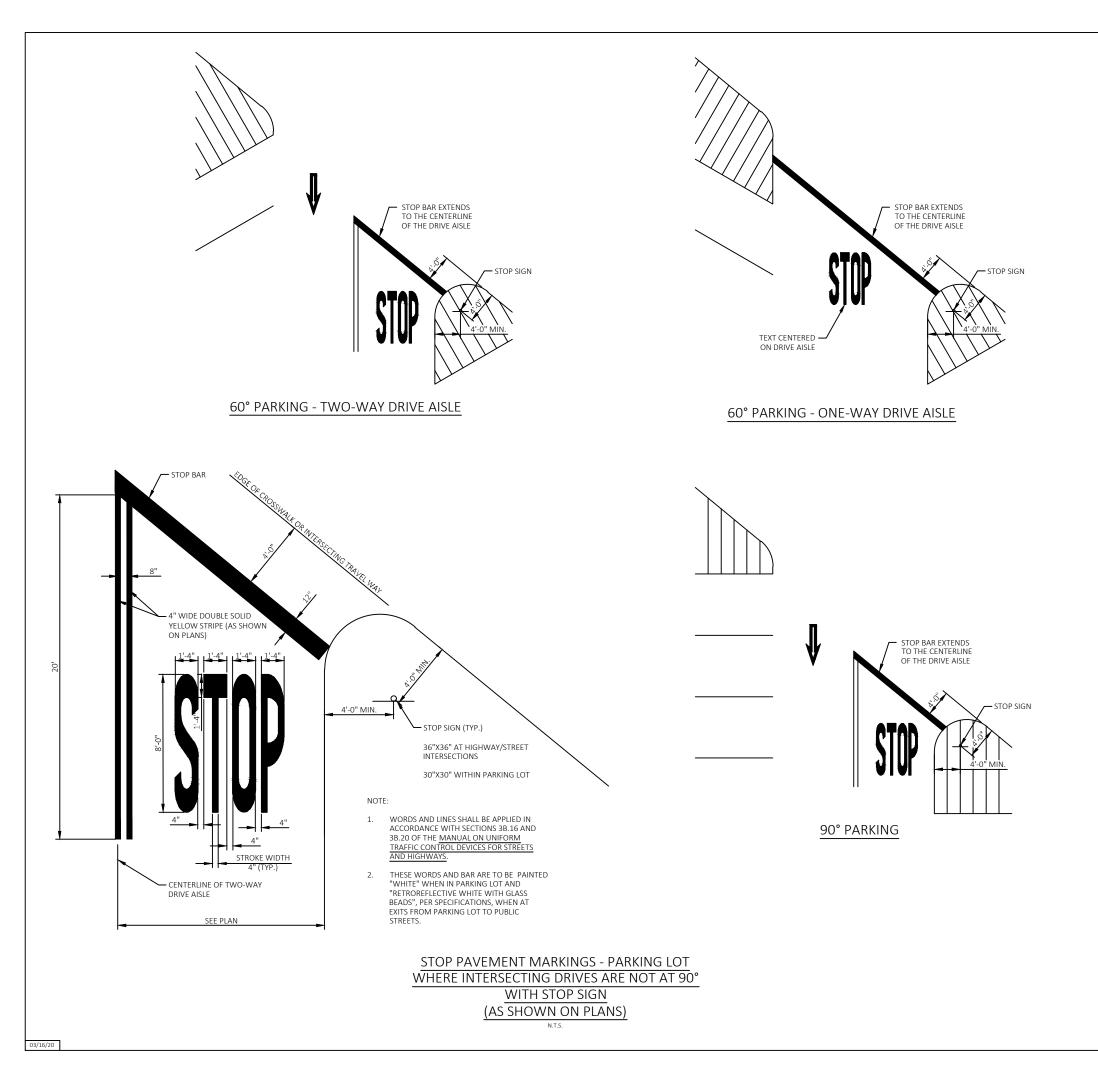


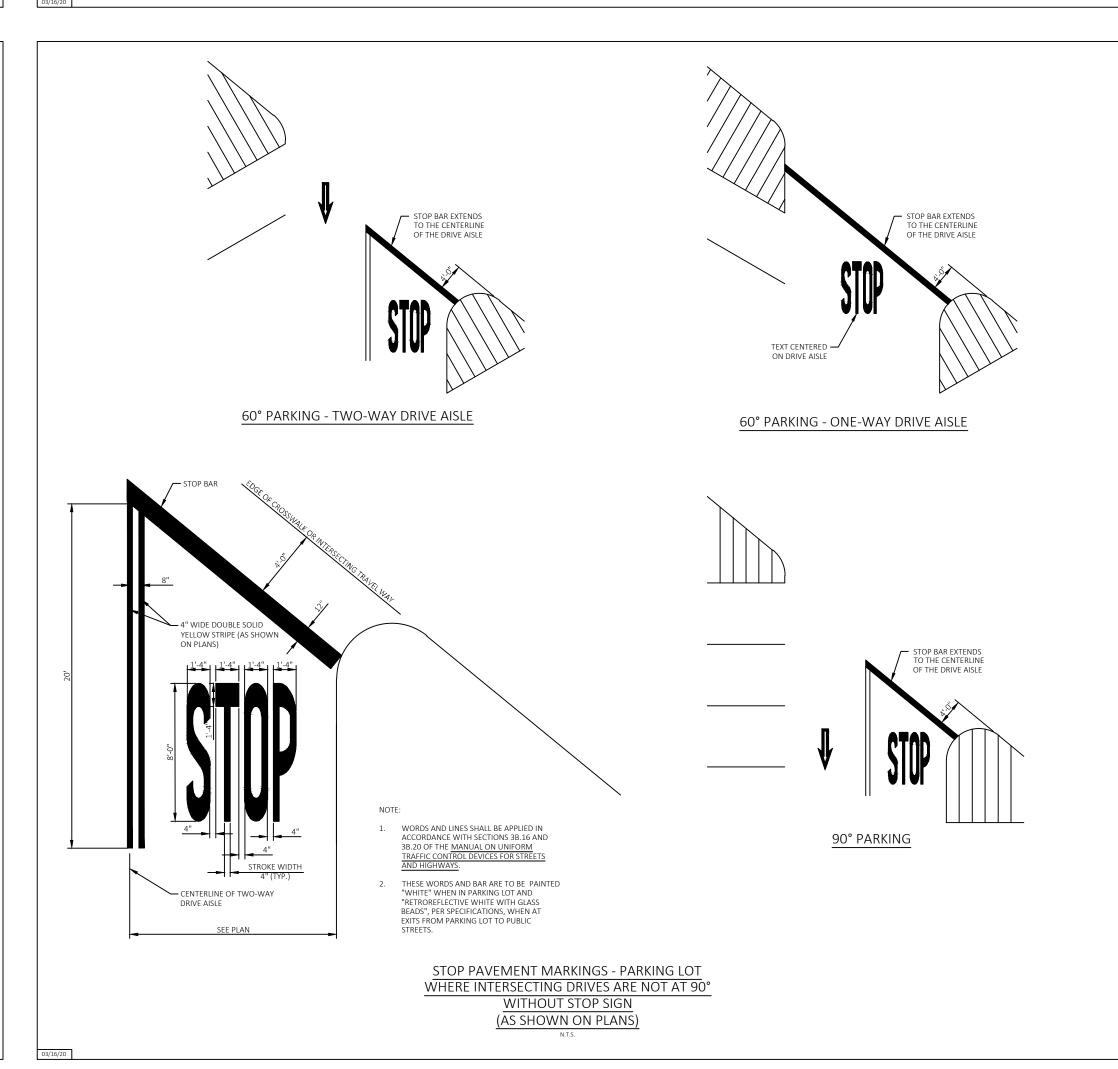




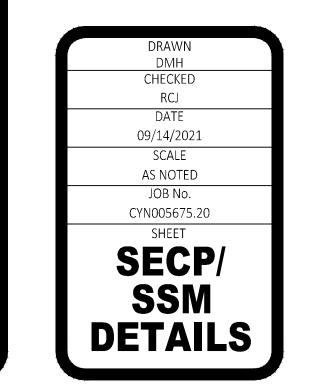




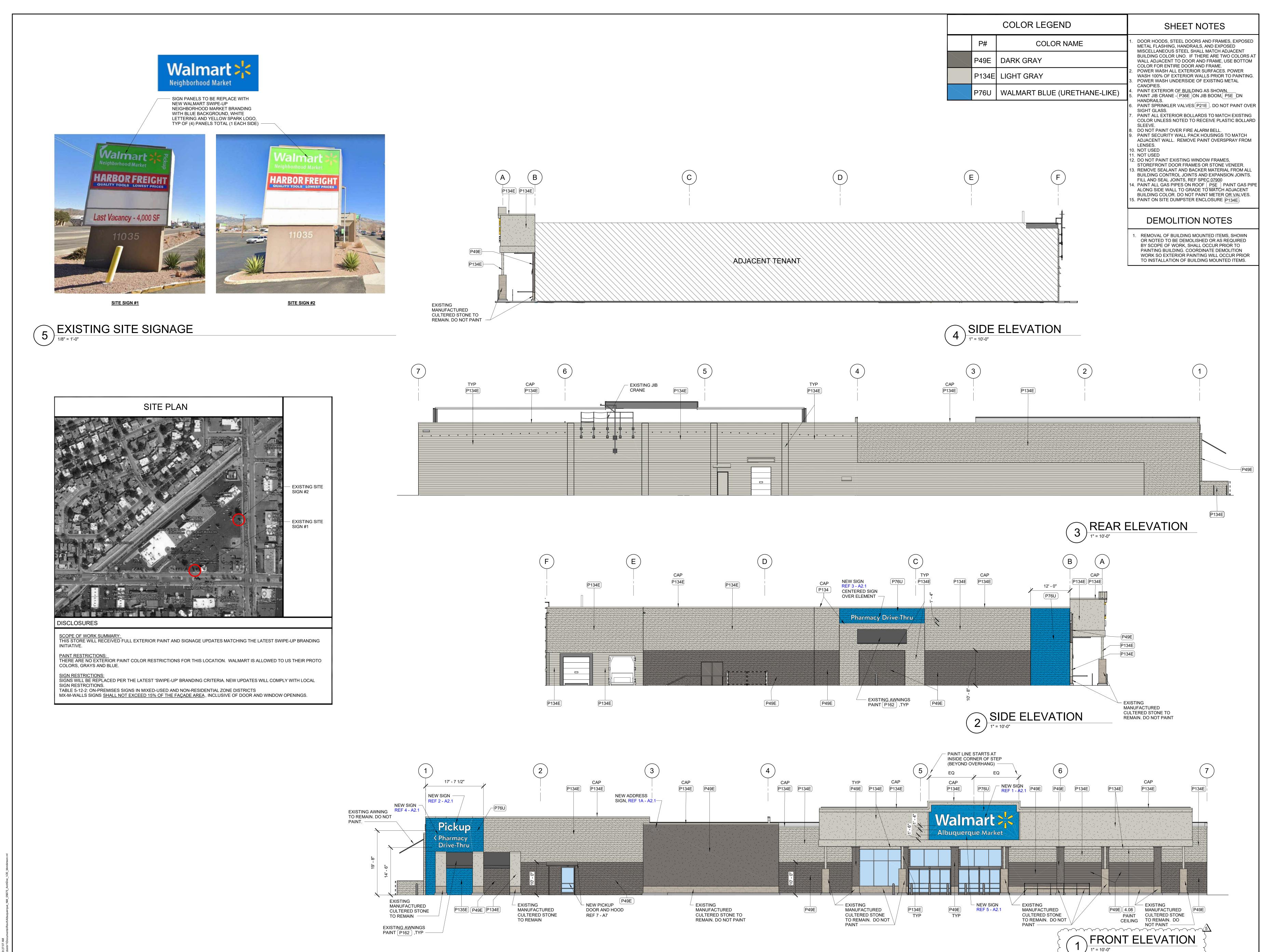








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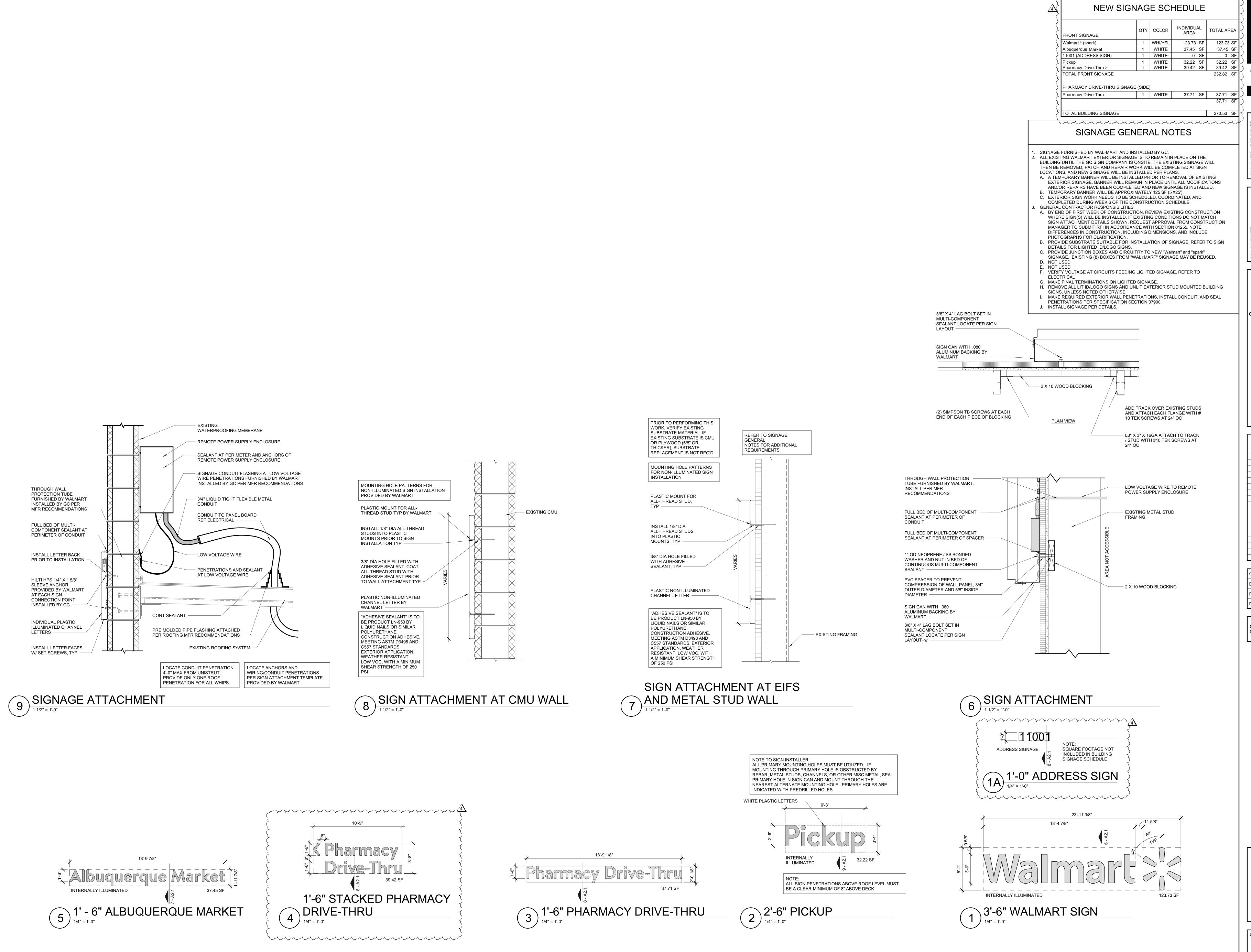
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JAMES EDWARD TURNER
ARCHITECT OF RECORD

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