

Date: 26 April 2022

Response to city comments issued from the City of Albuquerque on April 22, 2022.

To:

City of Albuquerque
 Planning Department
 600 2nd St NW – 3rd Floor
 Albuquerque, NM 87102

Re:

Response to
 Transportation
 Development Comments

Chase US66 & Coors
 111 Coors Blvd NW
 Albuquerque, NM 87121

1. Comment: Please List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking. Contact Zoning for parking calculation requirements. I talked with zoning about your previous response to this comment, and they said you still need to do the parking calculation.
Response: Parking data based on the IDO has been added to the Project Data on sheet A1.
2. Comment: Show the dimensions of the existing parking spaces on site plan.
Response: Standard dimensions of the existing parking spaces have been added to the Overall Site Plan and Enlarged Site Plan at Drive Up ATM showing typical parking space dimensions on sheet A1.
3. Comment: Please update the existing ADA parking spaces and the existing ramp to the current standard.
Response: All ADA parking spaces and curb ramps related to this project will be updated to current standards. ADA parking Enlarged plan is shown on detail 1, sheet A2.1.
4. Comment: Show on site plan the ADA pathway from each ADA aisle to the building entrance.
Response: The existing ADA pathway to public ROW is shown on Overall Site Plan on sheet A1. ADA pathway from new ADA parking to new bank entrance has been added to Enlarged Plan at Accessible Parking Stalls detail 1 sheet A2.1.
5. Comment: The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of signs and provide face sign details.
Response: Added Accessible & Van Accessible Parking Signs detail 2 on sheet A2.1 which has verbiage matching NM statutes. Sign locations are called out on Enlarged Plan at Accessible Parking Stalls detail 1 sheet A2.1.
6. Comment: Drive-Up ATM: please provide "Do Not Turn Right" signage for the exit way from the ATM, due to the proposed new directional arrow.
Response: Dive aisle directional arrows previously drawn were inadvertently pointed in the wrong direction. Arrows have been revised and the need for a "Do Not Turn Right" sign has been eliminated.



Page: 2

7. Comment: Please place the new "STOP/DO NOT ENTER" sign on the existing landscape.

Response: "Stop/Do Not Enter" sign has been moved into landscape planter nearby original location.

We appreciate your time and consideration of this submittal. We are available and open to submitting any additional support documentation or questions you might have that would be needed for a final approval on this request.

Sincerely,

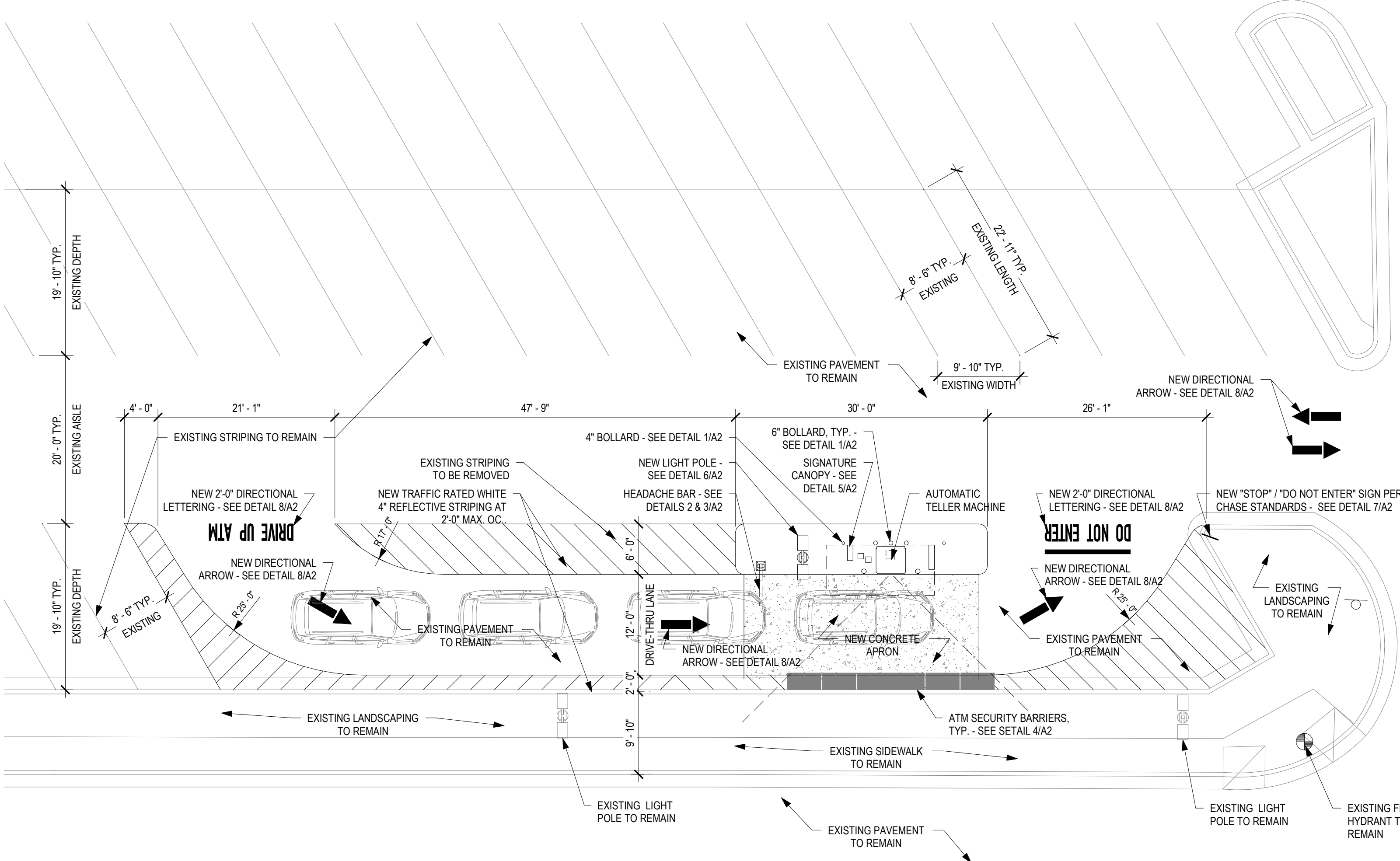
Juan C Gonzales – APMI, Inc.

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OVERALL SITE PLAN (FOR REFERENCE)

SCALE: NOT TO SCALE



ENLARGED PLAN AT DRIVE UP ATM

SCALE: 1" = 10'-0"

PROJECT DATA

PROJECT OWNER:

J.P. MORGAN CHASE, N.A.
CORP. REAL ESTATE SERVICES
201 NORTH CENTRAL AVENUE, 25TH FLOOR
PHOENIX, ARIZONA 85004

CONTACT: JOE M. HERNANDEZ
T 602.221.4601
E JOE.M.HERNANDEZ@JPMCHASE.COM

ARCHITECT:

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CONTACT: WILL REILLY, A.I.A.
T 480.998.0709
E WREILLY@APMI.COM

LANDLORD:

COORS CTR DSG LLC & COORS CTR SG LLC &
COORS CTR MB LLC & ETAL C/O DSG TRUST
1155 KELLY JOHNSON BLVD
SUITE 302
COLORADO SPRINGS, COLORADO 80920

CONTACT: KERI ASHLEY
T 303.318.0100
E KERI@OAKREALTYPARTNERS.COM

PROJECT LOCATION:

111 COORS BOULEVARD NORTHWEST
SUITE E-11
ALBUQUERQUE, NEW MEXICO 87121

LEGAL DESCRIPTION:

TR A-1A-2A OF TRS A-1A-2A, A-1A-2B & A-1A-2C HUBBELL PLAZACONT 9.8880 AC M/L OR 430,721 SF M/L

PROJECT SUMMARY:

CONSTRUCTION OF A NEW REMOTE DRIVE UP ATM UNIT IN THE EXISTING PARKING AREA. THIS WILL INVOLVE THE REMOVAL OF 12 EXISTING PARKING SPACES AND REALLOCATING THEM FOR DRIVE THRU QUEUING.

PARCEL NUMBER:

10100574233210101

ZONING:

MX-M (MIXED USE - MEDIUM INTENSITY ZONE)

TENANT IMPROVEMENT AREA:

3,000 S.F.

BUILDING HEIGHT:

±19'-6" (EXIST.)

BUILDING CODES:

2015 NEW MEXICO COMMERCIAL BUILDING CODE
2015 NEW MEXICO MECHANICAL CODE
2015 NEW MEXICO PLUMBING CODE
2017 NEW MEXICO ELECTRIC CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2015 CITY OF ALBUQUERQUE FIRE CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
*ALL CODES AS MODIFIED BY THE CITY OF ALBUQUERQUE AMENDMENTS

EXISTING OVERALL RETAIL AREA:

±73,000 S.F.

EXISTING PARKING ANALYSIS:

(RATIOS BASED ON THE CITY OF ALBUQUERQUE 1974 COMPREHENSIVE CITY ZONING CODE)

REQUIRED PARKING (1 SPACES/200 S.F.) 363 SPACES
REQUIRED H.C. PARKING 8 SPACES
REQUIRED BICYCLE PARKING 20 SPACES

EXISTING PARKING 410 SPACES
EXISTING H.C. PARKING 10 SPACES
EXISTING BICYCLE PARKING 8 SPACES

REVISED PARKING 396 SPACES
REVISED H.C. PARKING 12 SPACES
REVISED BICYCLE PARKING 20 SPACES

EXISTING PARKING ANALYSIS:

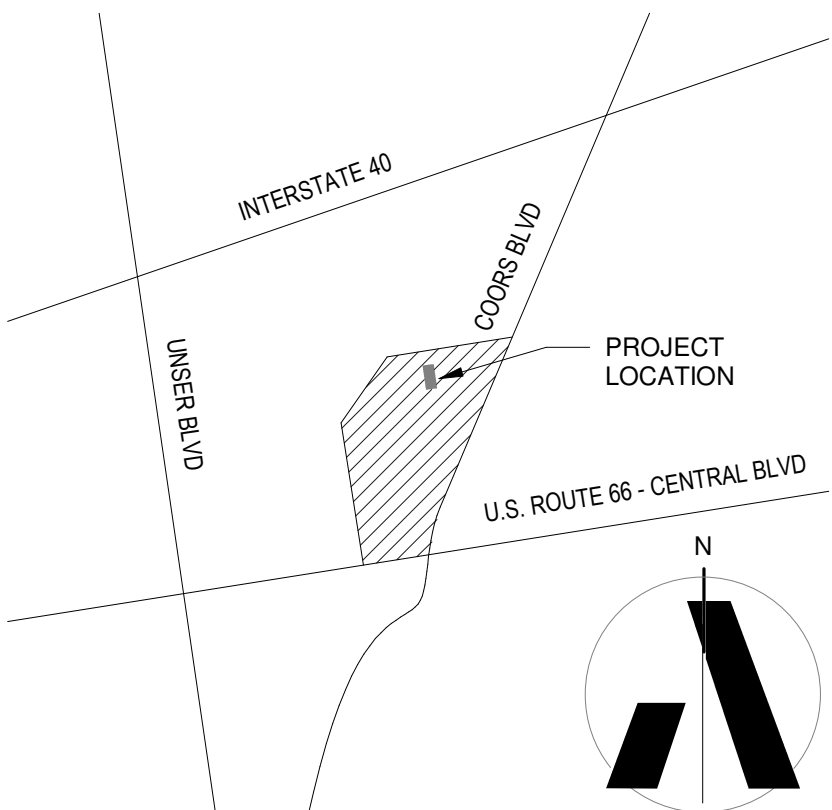
(RATIOS BASED ON THE CURRENT INTEGRATED DEVELOPMENT ORDINANCE)

REQUIRED PARKING (4 SPACES/1,000 S.F.) 292 SPACES
REQUIRED H.C. PARKING 8 SPACES
REQUIRED BICYCLE PARKING 30 SPACES
REQUIRED MOTORCYCLE PARKING 5 SPACES

EXISTING PARKING 410 SPACES
EXISTING H.C. PARKING 10 SPACES
EXISTING BICYCLE PARKING 8 SPACES
EXISTING MOTORCYCLE PARKING 0 SPACES

REVISED PARKING 396 SPACES
REVISED H.C. PARKING 12 SPACES
REVISED BICYCLE PARKING 20 SPACES
REVISED MOTORCYCLE PARKING 0 SPACES

TYPICAL PARKING DIMENSIONS				
TYPE OF PARKING	STALL LENGTH	STALL WIDTH	STALL DEPTH	MAX. OVERHANG
STANDARD 90°	18'-0"	8'-6"	18'-0"	2'-0"
STANDARD 60°	22'-11"	9'-10"	11'-6"	N/A
ADA	18'-0"	8'-6"	18'-0"	2'-0"
BICYCLE	6'-0"	2'-0"	6'-0"	1'-0"



VICINITY MAP

NOT TO SCALE

US66 & COORS

111 COORS BOULEVARD NORTHWEST, ALBUQUERQUE, NEW MEXICO 87121

CHASE

APMI
architecture

3003 NORTH CENTRAL AVENUE, SUITE 1100
PHOENIX, ARIZONA 85012
480.998.0709
apmi.com



EXP. DATE: 12-31-2022

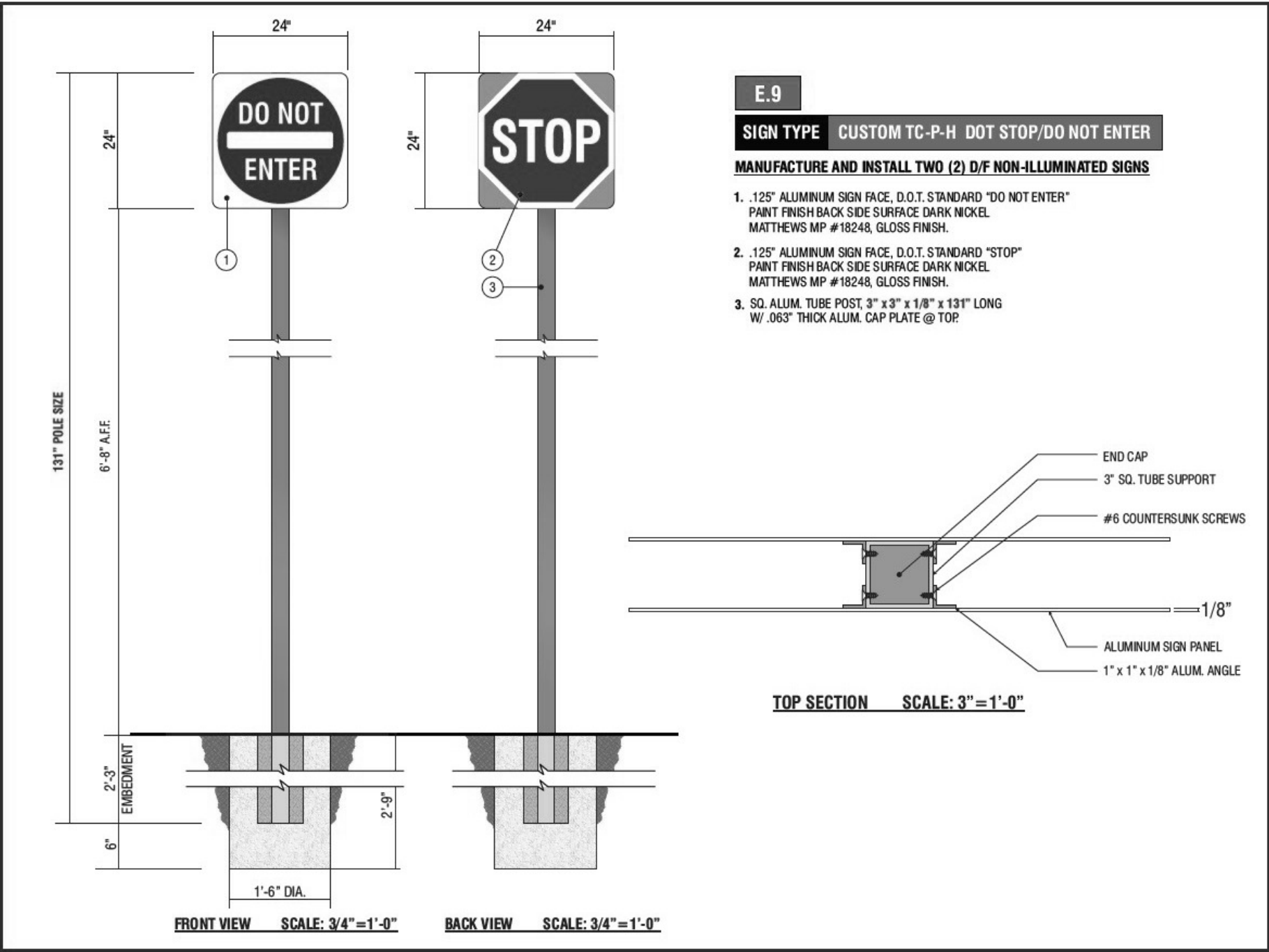
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DATE 25.APRIL.2022
PROJECT 21125.00

SITE PLAN

A1

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8 DIRECTIONAL STRIPING DETAIL
A2 SCALE: 1/4" = 1'-0"



7 STOP SIGN / DO NOT ENTER DETAIL
A2



CONSTRUCTION

Housing: Die-cast aluminum housing with integral heat sink for maximum heat transfer

Paint: Corrosion resistant polyester powder paint, minimum 2.0 mil thickness
Standard = Black, Dark Bronze Gray, White (RAL & custom colors available)
Optional coastal finish available

Weight: 18 lbs (8.16 kg) Max depending on configuration

OPTICAL SYSTEM

Lumens: 2,900 - 20,400

Distribution: Asymmetric Forward Type IV
Asymmetric Wide Type III
Asymmetric Narrow/Auto Type II

Efficacy: 123 - 143 LPW

CCT: 3000K, 4000K, 5000K
CRI: ≥70

ELECTRICAL

Input Voltage: 120-277V & 347-480V

Input Frequency: 50/60Hz

Power Factor: > 90% at rated watts

Total Harmonic Distortion: < 20% at rated watts

SURGE PROTECTION*

Typical (120 Strike)	Enhanced (40 Strike)	Extreme (60 Strike)
<input type="checkbox"/> 6kV/3kA	<input type="checkbox"/> 10kV/10kA	<input type="checkbox"/> 20kV/10kA

*Per ANSI C136.2-2015

LUMEN MAINTENANCE

Projected Lx per IES TM-21-11 at 25°C

Lumen Codes	25,000 HR	50,000 HR	60,000 HR
A2, A3, A4, B2, B3, B4, C2, C3, C4D2, D3, D4, E2, E3, E4, F2, F3, F4	L94	L90	L88
H2,H3, H4	L97	L96	L96

Note: Projected Lx based on LM80 (≥ 10,000 hour testing). Accepted industry tolerances apply to initial luminous flux and lumen maintenance measurements.

LUMINAIRE AMBIENT TEMPERATURE FACTOR

Ambient Temp (°C)	Initial Flux Factor	Ambient Temp (°C)	Initial Flux Factor
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00	50	0.97

RATINGS

Operating Temperature: -40°C to 50°C

Vibration: 3G vibration per ANSI C136.31-2018
LM-79: Testing in accordance with IESNA Standards

CONTROLS

Dimming: Standard - 0-10V ☐
Optional - DALI (Option U) ☐

Sensors: Photo Electric Sensors (PE) available
LightGrid and Daintree Compatible

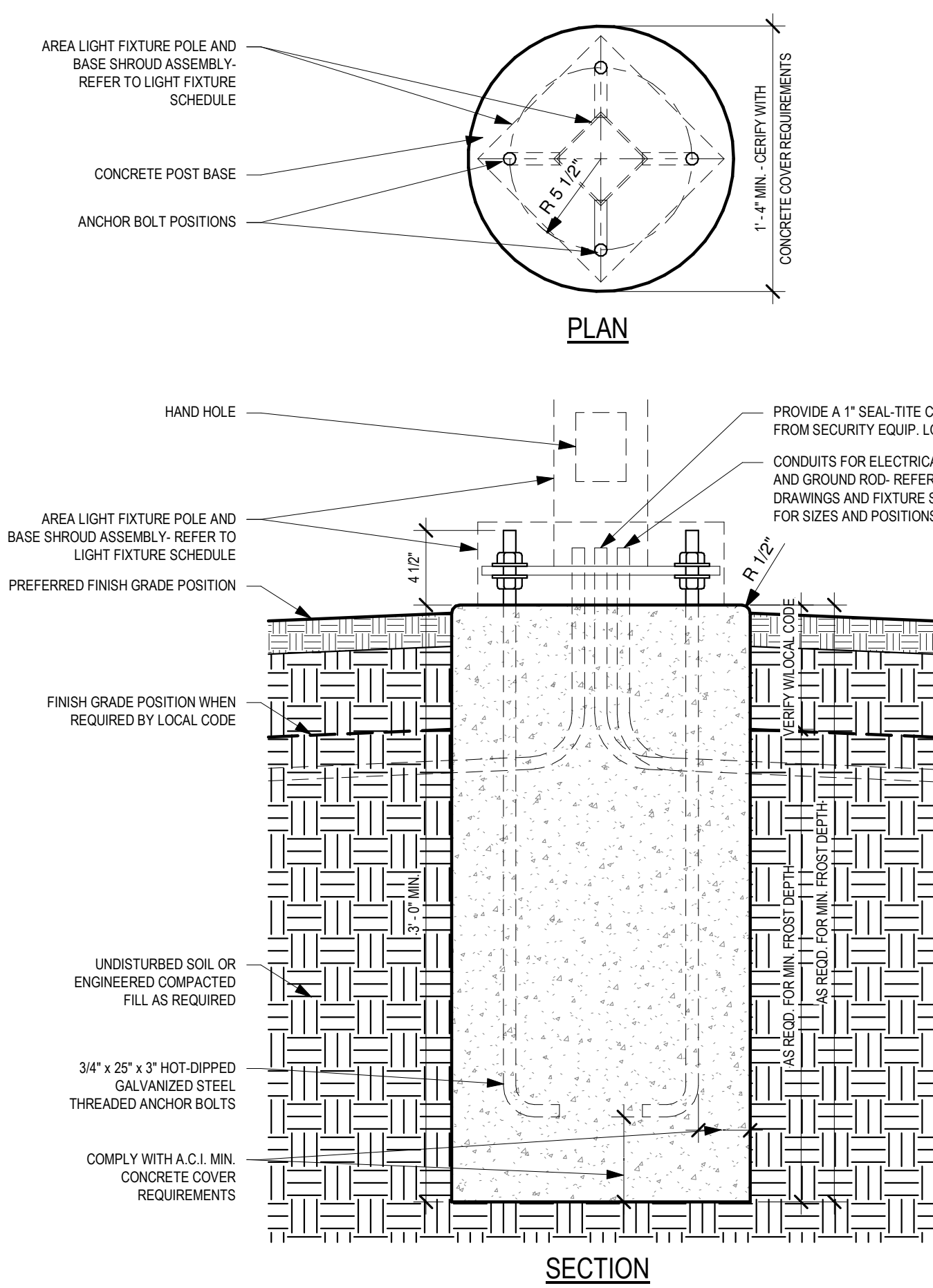
WARRANTY

☐ 5 Year (Standard)

GE current
a daintree company

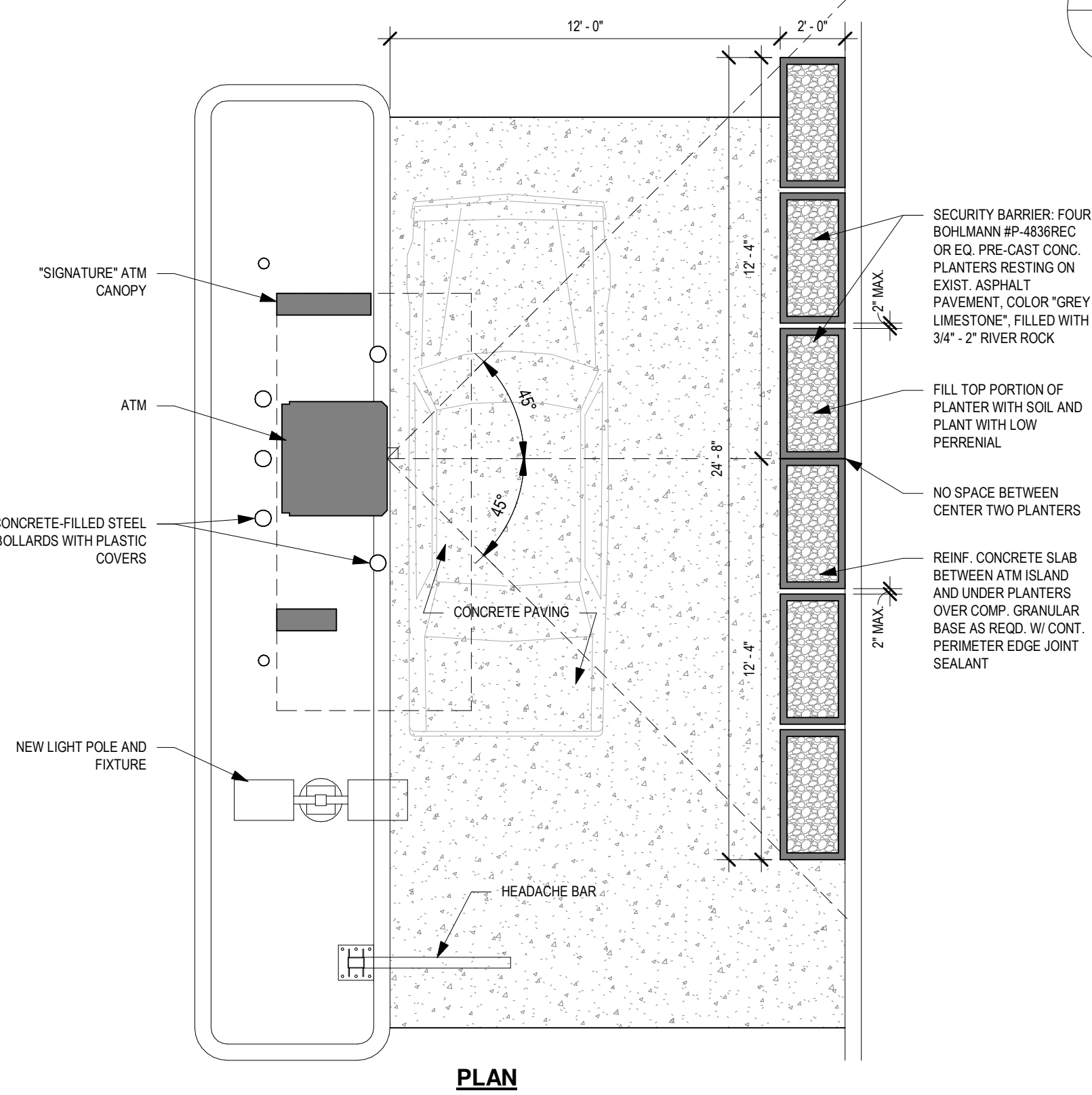
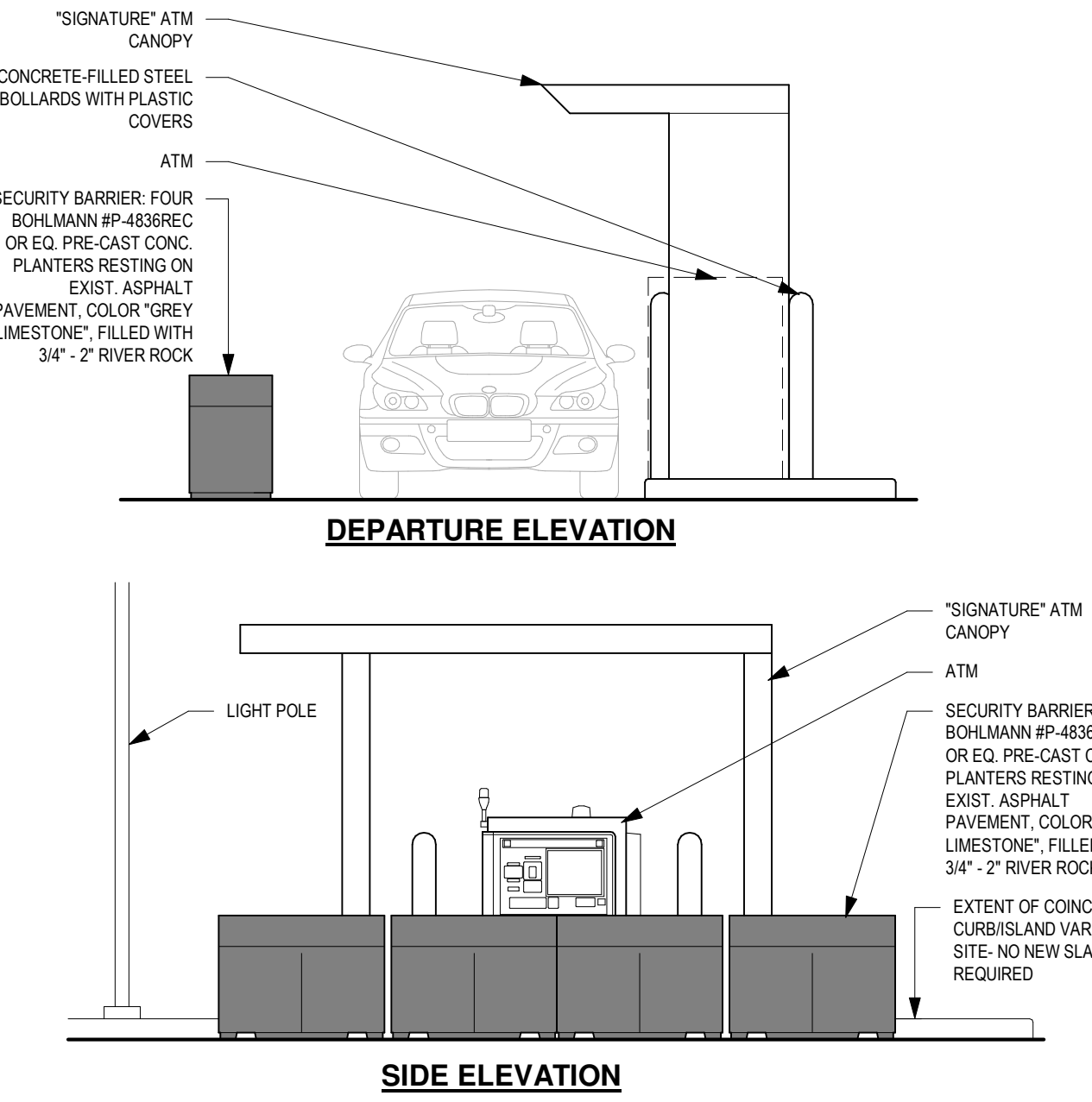
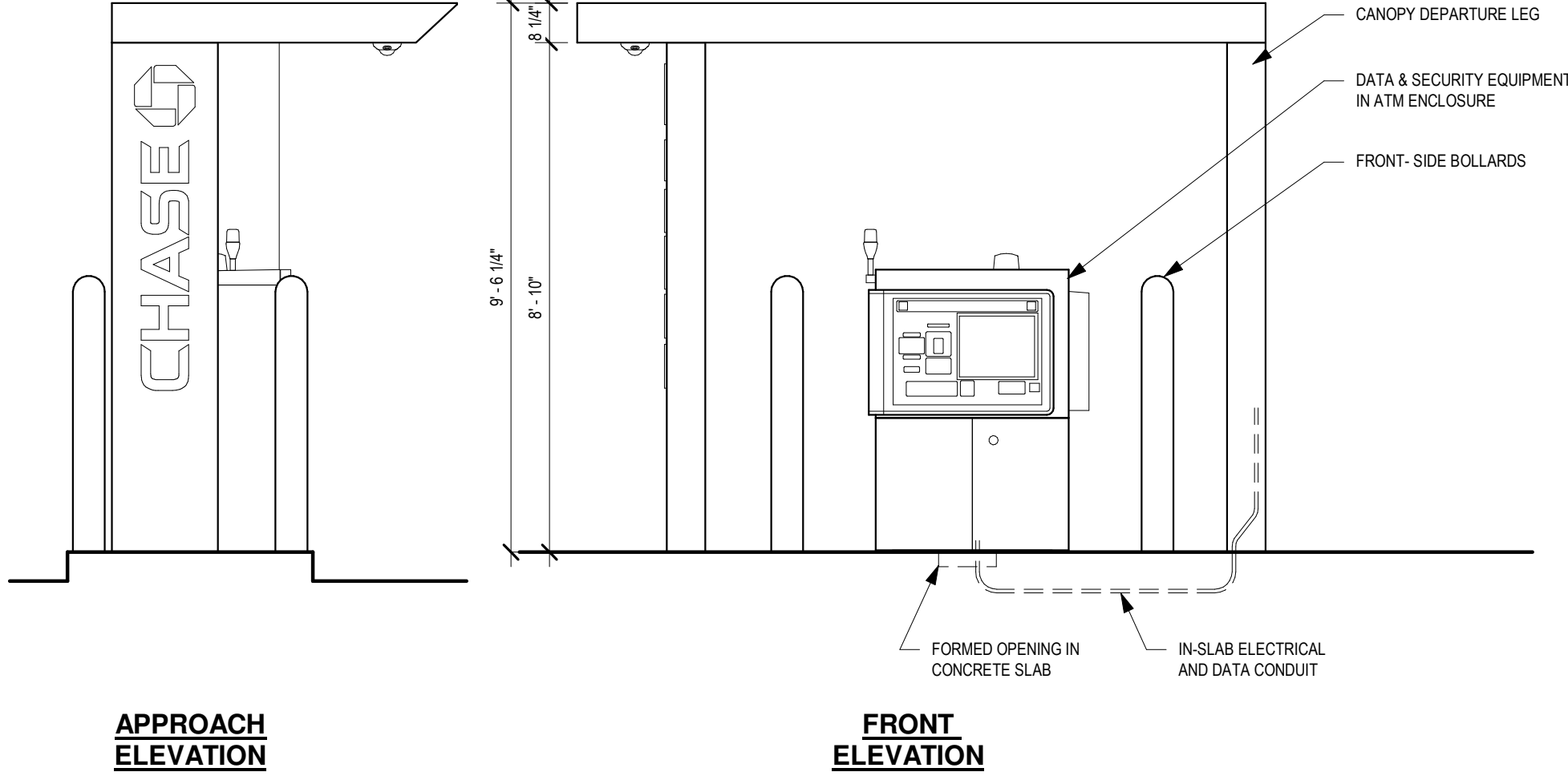
Note: All product variations listed on this page are UL qualified. Visit www.daintreegroup.com to confirm specifications.

6 LIGHT POLE BASE
A2 SCALE: 1 1/2" = 1'-0"

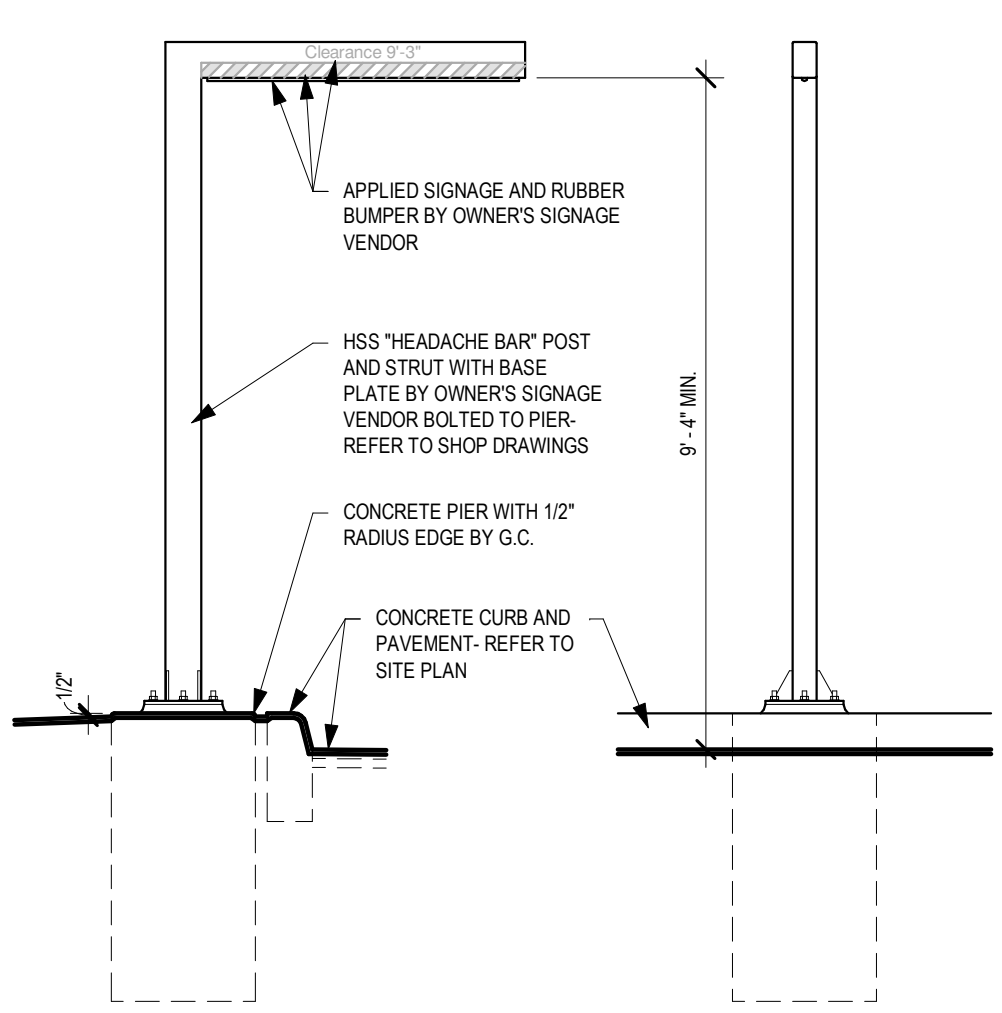


APPROACH ELEVATION

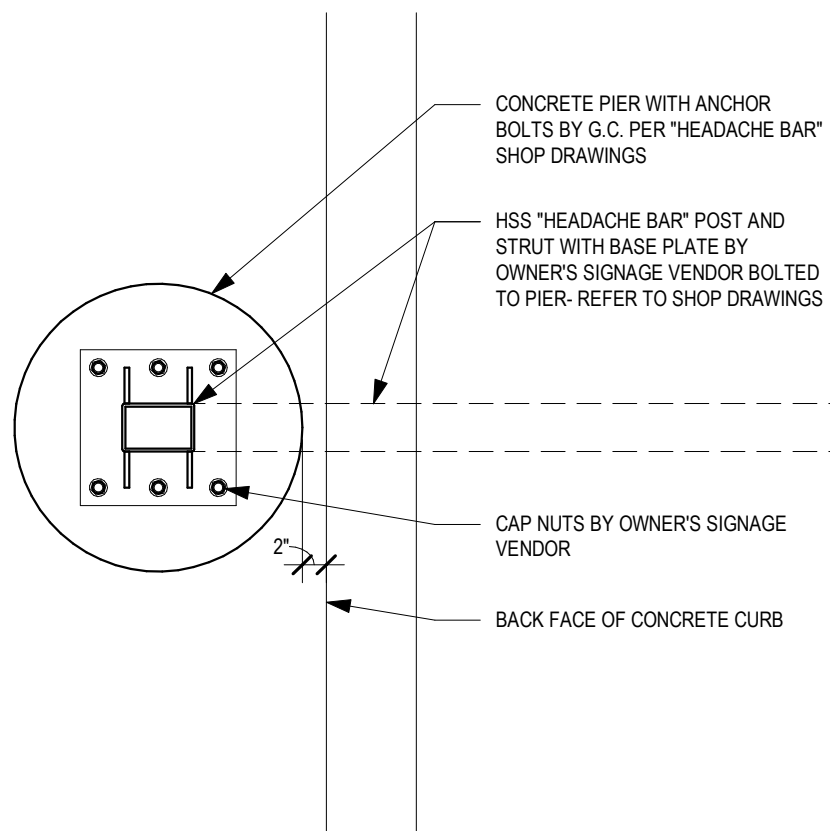
5 SIGNATURE CANOPY ELEVATIONS
A2 SCALE: 3/8" = 1'-0"



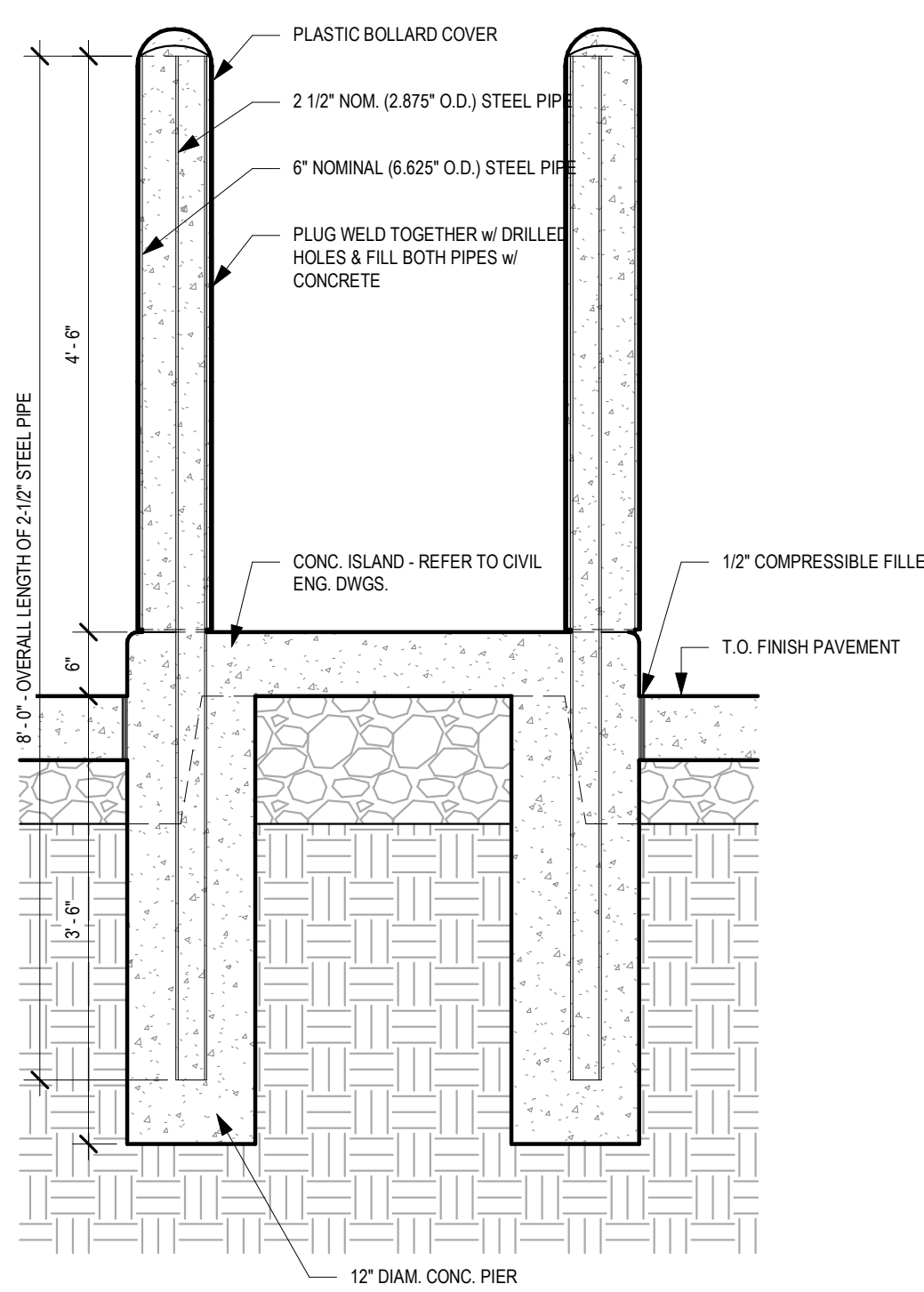
4 ATM SECURITY BARRIER AT SIGNATURE CANOPY
A2 SCALE: 1/4" = 1'-0"



3 DETACHED DRIVE-UP HEADACHE BAR ELEVATION
A2 SCALE: 3/8" = 1'-0"



2 DETACHED DRIVE-UP HEADACHE BAR PLAN
A2 SCALE: 3/4" = 1'-0"



1 DRIVE-UP ISLAND ATM BOLLARD
A2 SCALE: 3/4" = 1'-0"

US66 & COORS
111 COORS BOULEVARD NORTHWEST, ALBUQUERQUE, NEW MEXICO 87121

CHASE

APM architecture

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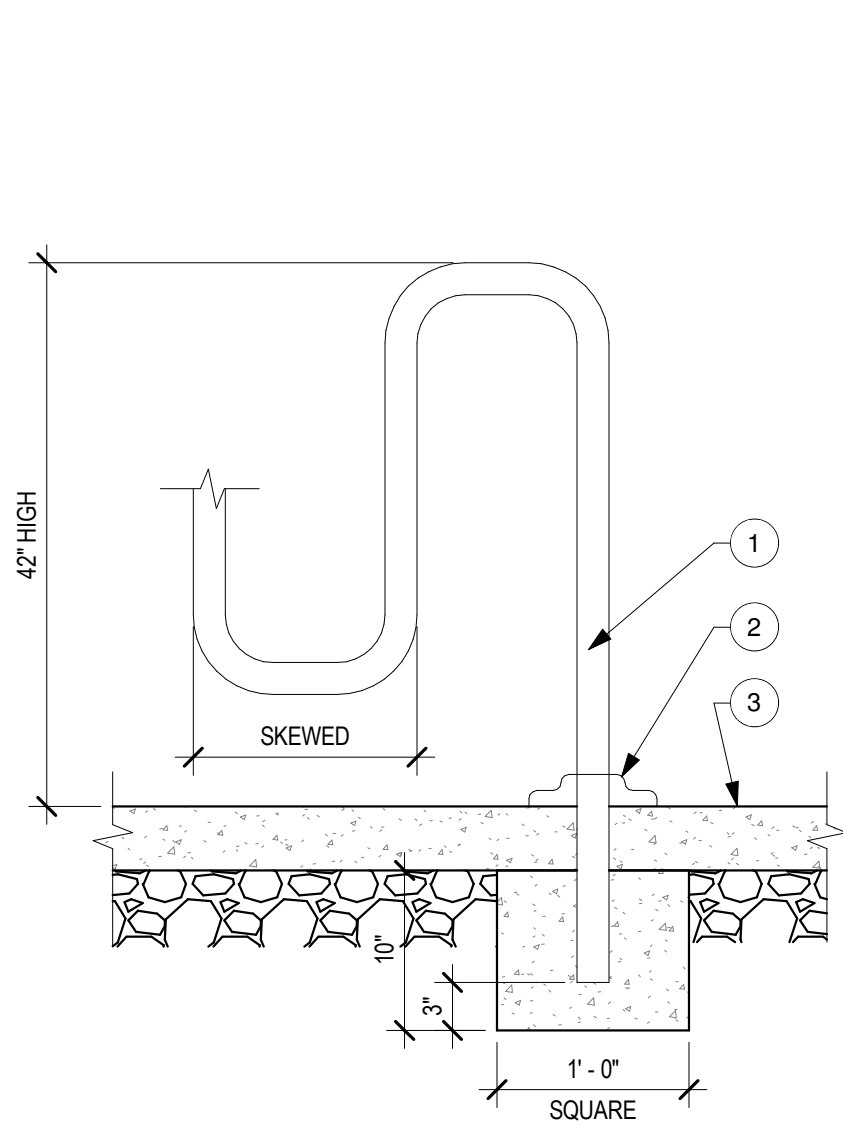
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DRAWN JCG
DATE 25.APRIL.2022
PROJECT 21125.00

SITE DETAILS

A2

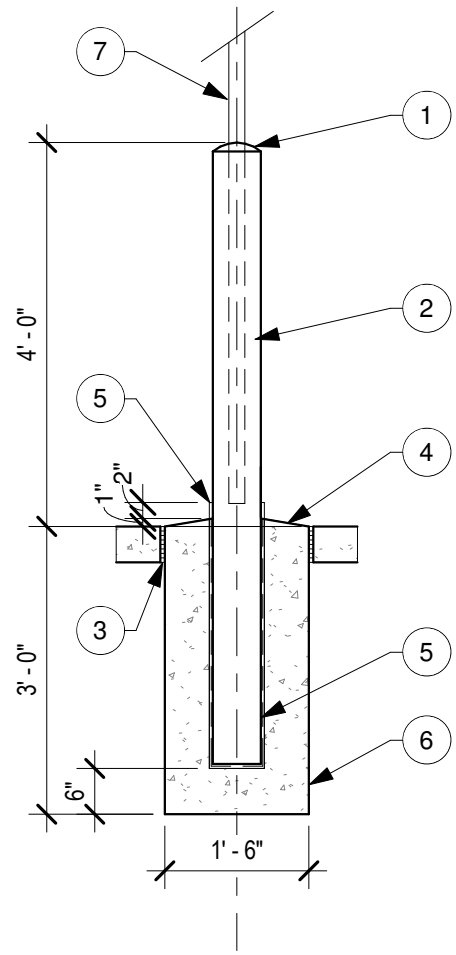
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- KEY NOTES:**
1. MOUNT (SURFACE MOUNT NOT ALLOWED)
 2. MATCHING BASE COVER
 3. 4" CONCRETE SLAB OVER 4" A.B.C.

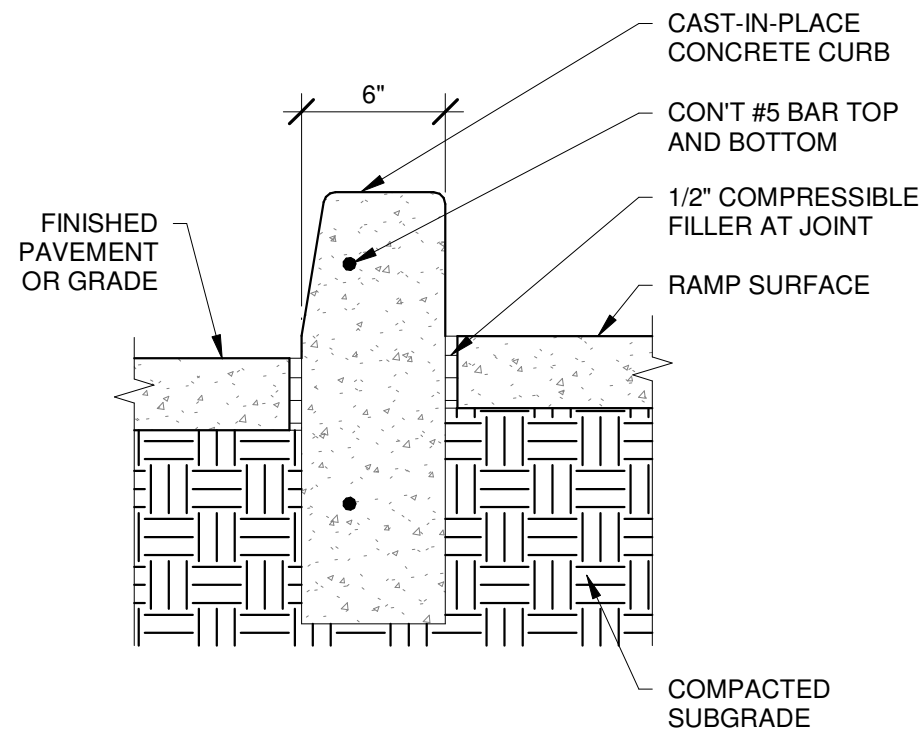
GENERAL NOTE:
GAMETIME BIKE RACK MODEL #F7700, FOR 4 BICYCLES. POWDERCOAT "BROWN"

8
A2.1 **BIKE RACK**
SCALE: 1" = 1'-0"

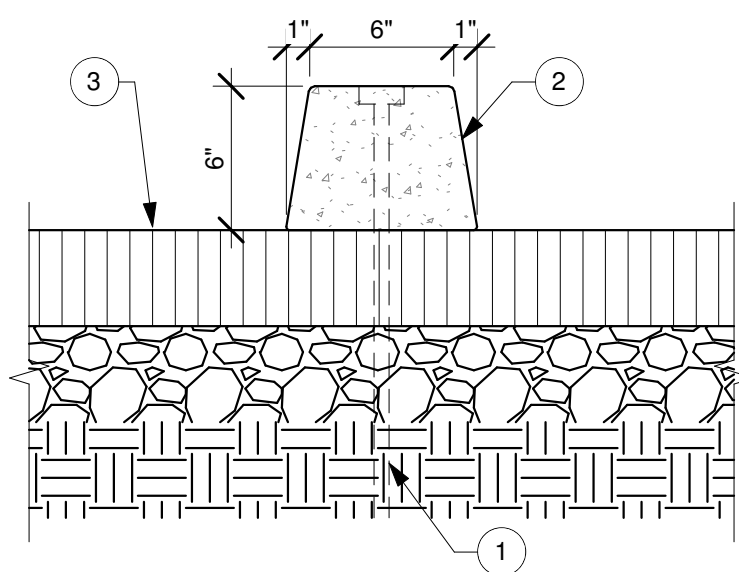


- KEY NOTES:**
1. ROUNDED CONCRETE TOP
 2. CONCRETE FILLED STEEL PIPE. REFER TO FLOOR PLAN FOR SIZE - PAINT OSHA YELLOW
 3. 1/2" PRE MOLDED EXPANSION JOINT WHERE CONCRETE OCCURS
 4. 1" CROWN
 5. WRAP POST AT BOTTOM AND ALL AROUND UP TO 2" ABOVE CROWN OF CONCRETE FOOTING WITH UNDERGROUND ELECTRICAL TAPE
 6. CONCRETE FOOTING
 7. NEW 2" SQUARE METAL POST

7
A2.1 **TYPICAL SIGN POST BASE**
SCALE: 1/2" = 1'-0"

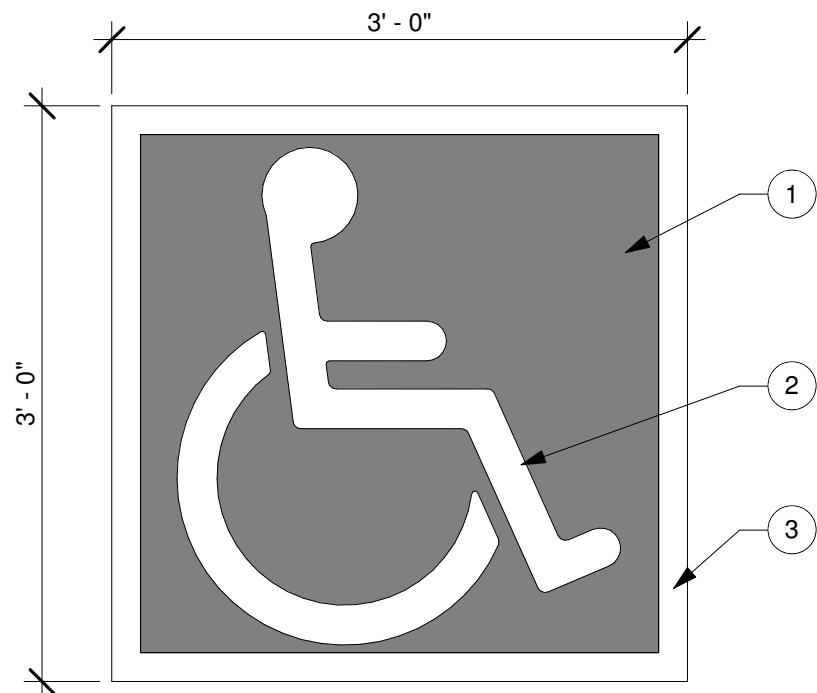


6
A2.1 **CAST-IN-PLACE CONCRETE CURB @ RAMP**
SCALE: 1 1/2" = 1'-0"



- KEY NOTES:**
1. 5/8" DIA. X 24" DOWELS AT 4'-0" O.C.
 2. PRECAST CONCRETE BUMPER.
 3. FINISHED PAVEMENT OR GRADE

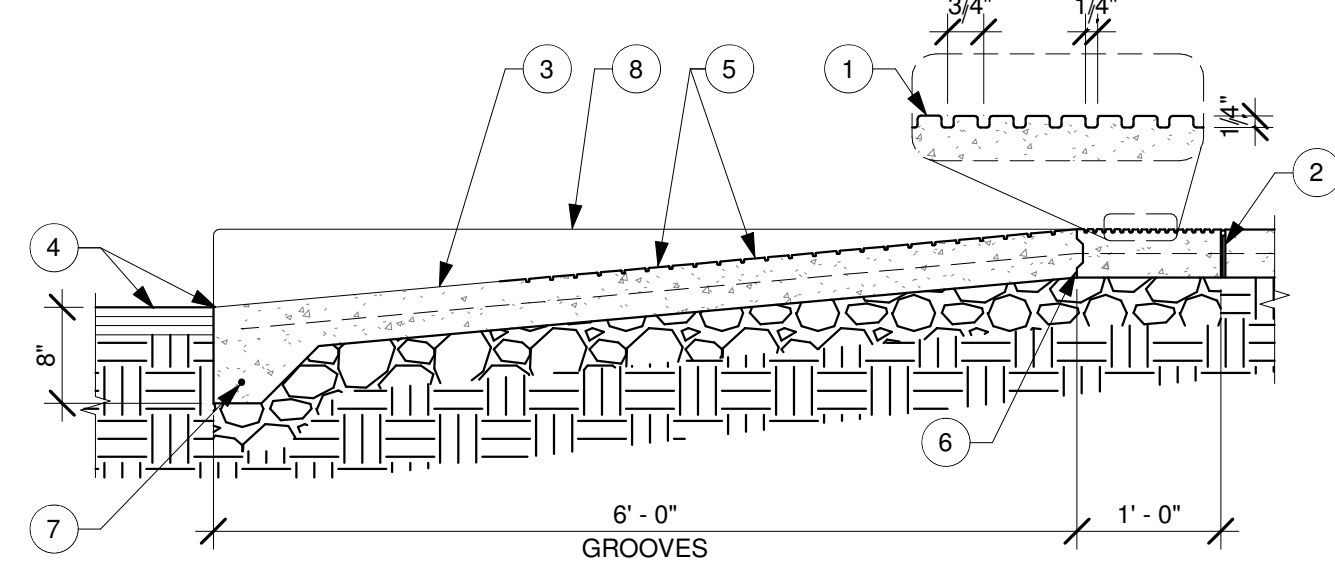
5
A2.1 **TYPICAL WHEEL STOP**
SCALE: 1 1/2" = 1'-0"



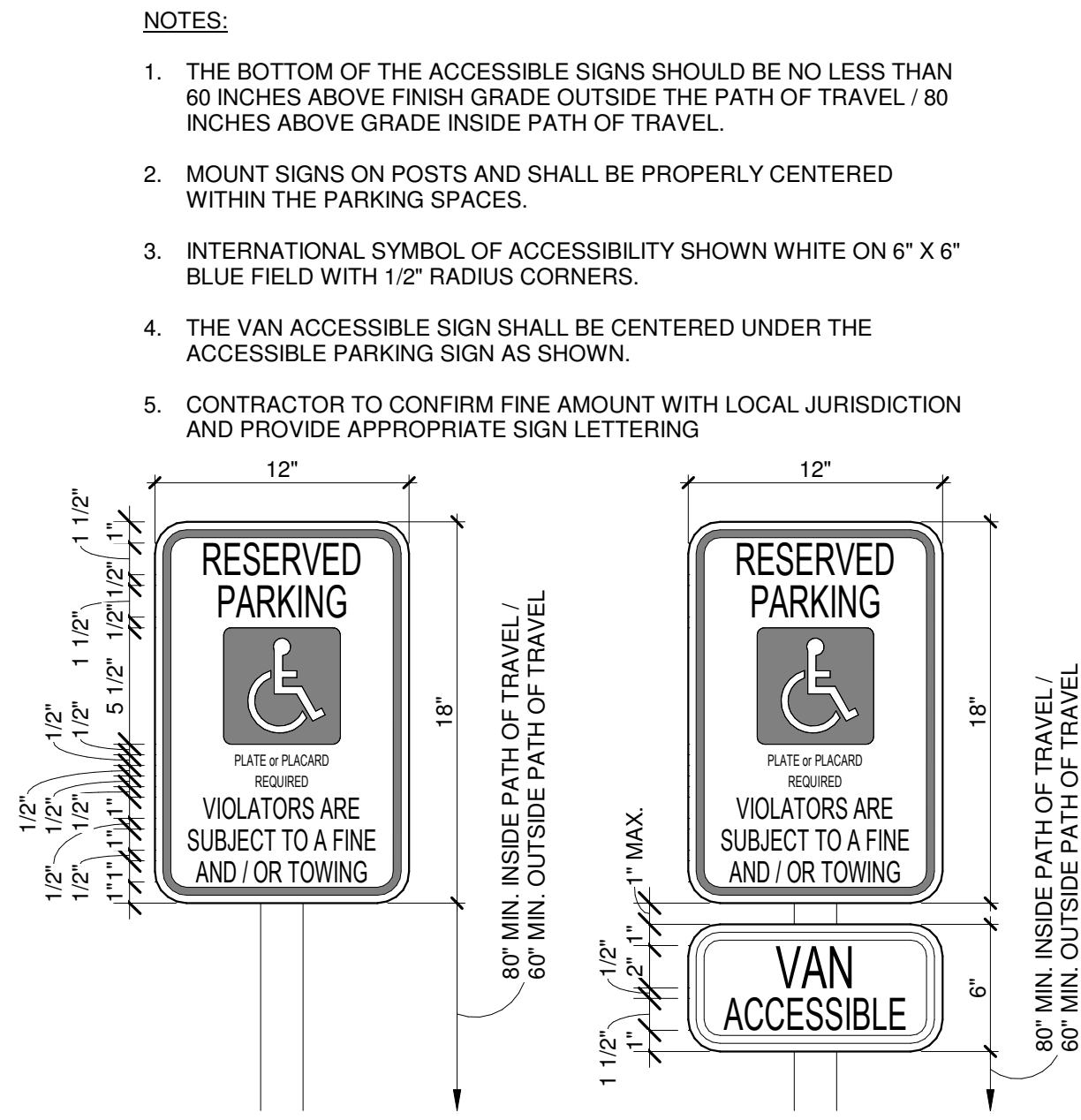
- KEY NOTES:**
1. PAINT BLUE (TRAFFIC)
 2. PAINT WHITE (FIGURE)
 3. PAINT WHITE (BORDER)

4
A2.1 **ACCESSIBLE SYMBOL**
SCALE: 1" = 1'-0"

- KEY NOTES:**
1. 1/4" DEEP SCORE JOINTS AT 3/4" O.C. (TACTILE WARNING).
 2. 3/8" EXPANSION JOINT - RECESS 1/2" BELOW TOP OF SLAB AND FILL WITH TRAFFIC DUTY SEALANT.
 3. NOT USED
 4. TOP OF PAVING AND RAMP WITH 1/2" MAX. LIP - BEVEL UP AT 24° ANGLE.
 5. 4" CONCRETE RAMP WITH #3 REINF. BAR AT 16" O.C. BOTH WAYS.
 6. CONTINUOUS KEY JOINT.
 7. #5 CONTINUOUS REBAR - DOWEL INTO CURB EACH SIDE.
 8. CURB BEYOND.

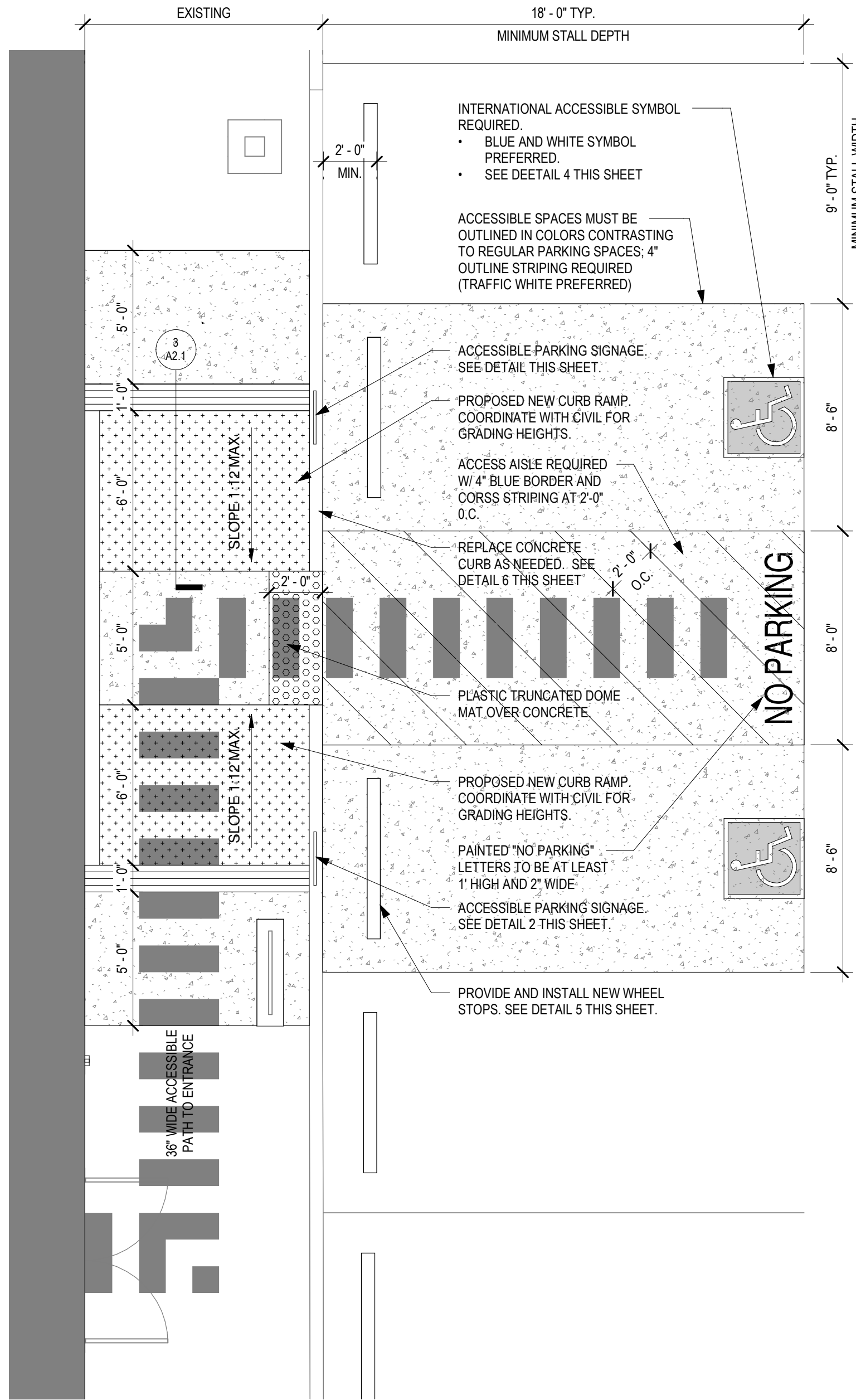


3
A2.1 **RAMP SECTION**
SCALE: 3/4" = 1'-0"



2
A2.1 **ACCESSIBLE & VAN ACCESSIBLE PARKING SIGNS**
SCALE: 1 1/2" = 1'-0"

- GENERAL NOTES:**
- CONCRETE TO BE INTEGRAL COLOR, DAVIS COLOR #8084 GRAPHITE IN ADA PARKING AND ACCESS AISLE.
 - NO SLOPES GREATER THAN 2% IN ANY DIRECTION WITHIN PARKING STALLS AND ACCESS AISLE. COORDINATE WITH CIVIL PLAN.



1
A2.1 **ENLARGED PLAN AT ACCESSIBLE PARKING STALLS**
SCALE: 1/4" = 1'-0"