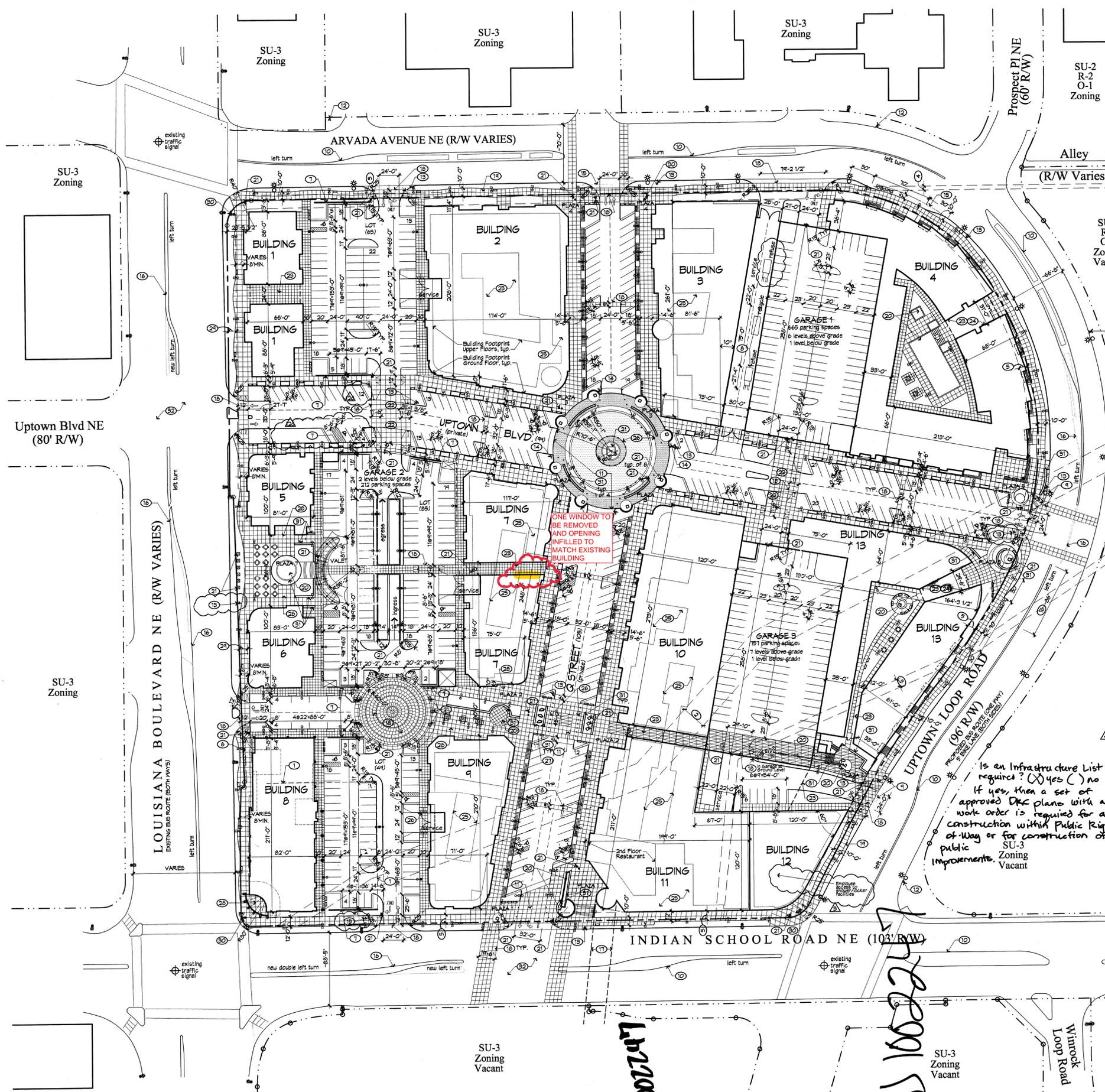


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



Site Data

SITE AREA: 11.6124 ACRES 164,031,524 SF
 FIRM: MIN. 01 MAX. 15 ACTUAL FIRM: 1,023,100 GSF/154,882 SF ± 1.33
 NOTE: GROSS SQUARE FOOTAGE (GSF) INCLUDES CORRIDORS, VERTICAL CIRCULATION AND INTERIOR RETAIL SERVICE AREAS. THE GSF IS SHOWN FOR THE PURPOSE OF CALCULATING THE FLOOR AREA RATIO (FAR). GROSS HEATED FLOOR AREA/PREMISE AREA. NET LEASABLE SQUARE FOOTAGE (NSLF) IS USED FOR ALL OTHER CALCULATIONS.

Building Data

BUILDING	USE	GSF	NSLF	DUS
BUILDING 1	RETAIL OR RESTAURANT	25,800	12,000	110
BUILDING 2	RETAIL OR RESTAURANT	154,100	68,000	16
BUILDING 3	RETAIL OR RESTAURANT	39,800	18,000	141
BUILDING 4	RETAIL OR RESTAURANT	28,000	12,000	16
BUILDING 5	RETAIL OR RESTAURANT	68,000	32,000	141
BUILDING 6	RETAIL OR RESTAURANT	150,000	68,000	141
BUILDING 7	RETAIL OR RESTAURANT	120,000	55,000	141
BUILDING 8	RETAIL OR RESTAURANT	100,000	45,000	141
BUILDING 9	RETAIL OR RESTAURANT	100,000	45,000	141
BUILDING 10	RETAIL OR RESTAURANT	100,000	45,000	141
BUILDING 11	RETAIL OR RESTAURANT	100,000	45,000	141
BUILDING 12	RETAIL OR RESTAURANT	100,000	45,000	141
BUILDING 13	RETAIL OR RESTAURANT	100,000	45,000	141
TOTALS		1,023,100	468,000	1,023,100

(1) MAXIMUM RETAIL AREA PERMITTED BASED UPON NET AREA OF DEVELOPMENT APPROVED BY THIS PLAN.
 (2) OF THE TOTAL NO MORE THAN AN AGGREGATE TOTAL OF 21,600 NSF CAN BE PERMITTED FOR OFFICE USES BEFORE A REVISION TO THE TRAFFIC IMPACT STUDY IS REQUIRED. THE PLANNING DIRECTOR MUST RECEIVE WRITTEN CONCURRENCE FROM THE DIRECTORS OF PUBLIC WORKS AND MUNICIPAL DEVELOPMENT BEFORE CONSIDERING PERMITTING OFFICE DEVELOPMENT EXCEEDING 21,600 NSF IN THIS CATEGORY OR 54,000 NSF TOTAL FOR THE SITE.
 (3) ASSUMES AVERAGE OF 850SF PER DWELLING UNIT.

Parking

VEHICULAR PARKING REQUIRED	RATIO	SPACES	REQUIRED
RETAIL OR RESTAURANT	1/300	161,600	54
RESTAURANT	1/200	150,000	75
SERVICE RETAIL	1/250	50,500	20
OFFICE	1/100	50,000	50
MULTI-FAMILY OR OFFICE	1/50	468,000	936
MULTI-FAMILY	1.5/DU	284,250	189
TOTALS		1,023,100	1,023,100

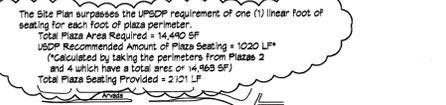
VEHICULAR PARKING PROVIDED	RATIO	SPACES	REQUIRED
RETAIL OR RESTAURANT	1/300	161,600	54
RESTAURANT	1/200	150,000	75
SERVICE RETAIL	1/250	50,500	20
OFFICE	1/100	50,000	50
MULTI-FAMILY OR OFFICE	1/50	468,000	936
MULTI-FAMILY	1.5/DU	284,250	189
TOTALS		1,023,100	1,023,100

Garage 1: 665 parking spaces
 Garage 2: 212 parking spaces
 Garage 3: 181 parking spaces

Open Space/ Plaza Diagram

Upper Component - 100% Residential (most stringent)	Provided	N.T.S.
Open Space: 150 SF/DU	150 x 123,100 = 18,465,000 SF	18,465,000 SF
Plazas: 156/Non-res. parking spaces	156 x 14,400 = 2,246,400 SF	2,246,400 SF
Plazas: 15 ft x 488 spaces	15 x 488 x 14,400 = 1,312,800 SF	1,312,800 SF
(After Uptown Sector Plan Section 18). In intense core plaza req. credits toward open space req.	Plazas: 41,898 SF	41,898 SF

The Site Plan surpasses the USPCDP requirement of one (1) linear foot of seating for each foot of plaza perimeter.
 Total Plaza Area Required = 14,400 SF
 USOP Recommended Amount of Plaza Seating = 1020 LF*
 (*Calculated by taking the perimeters from Plazas 2 and 4 which have a total area of 14,400 SF)
 Total Plaza Seating Provided = 2,311 LF



Is an Infrastructure List required? (X) yes () no
 If yes, then a set of approved DDC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

Index to Drawings

- 01 Site Development Plan for Building Permit
- 02 Landscape Plan
- 03 Enlarged Landscape and Plaza Plans (NW Quadrant)
- 04 Enlarged Landscape and Plaza Plans (NE Quadrant)
- 05 Enlarged Landscape and Plaza Plans (SW Quadrant)
- 06 Enlarged Landscape and Plaza Plans (SE Quadrant)
- 07 Building Elevations 1
- 08 Building Elevations 2
- 09 Building Elevations 3
- 10 Building Elevations 4
- 11 Building Elevations 5
- 12 Directional Signage and Art
- 13 Grading and Drainage Plan
- 14 Utility Plan

General Notes

- Approval of development proposals consistent with this Site Plan for Building Permit shall be by the Planning Director or his/her designee, and the City Engineer.
- No Single Retail: Retail shall exceed 28,000sf net leasable area per establishment.
- Refer to the Utility Plan for Fire Hydrant Distribution Lines, Proposed and Existing Water/Sewer Storm Drainage Facilities and Proposed PUEs.
- 20 Total Spaces to be dedicated to employee Carpool Parking located in employee designated parking areas in each garage.
- The site plan complies with the Traffic Mitigation Plan agreed to by the Applicant and Transit Department.
- Streets, Parking Spaces and Associated Drives to be Asphalt Unless Noted Otherwise.
- Surveys to be performed at the Applicant's Expense.
- The Design of the Foundations will comply with the intent of 6-11.1 (Design Regulations for Water Conservation, Landscaping and Water Paves) of the Albuquerque Code of Ordinances, which is to minimize the evaporation of municipal water being used for water features.

Keyed Notes

- EXISTING 3'-6" HIGH BRICK RETAINING WALL TO BE REMOVED.
- EXISTING DRAINAGE EASEMENT TO BE VACATED, WIDTH VARIES.
- EXISTING ABANDONED 10' SANITARY SEWER EASEMENT TO BE VACATED.
- EXISTING 6' METI.
- EXISTING 10' PUE TO BE VACATED.
- HATCHED AREA DESIGNATES EXISTING FPM AND MSTI EASEMENT.
- EXISTING 12' TALL METAL PANEL SCREEN WALL.
- CENTRAL TRASH COMPACTOR AND RECYCLE COLLECTION FOR ENTIRE DEVELOPMENT. ENCLOSED IN ALLEY. REFER TO ELEVATIONS FOR DECORATIVE GATE ENCLOSURE.
- INDIVIDUAL COLLECTION CARTS LOCATED INTERNALLY AT EACH BUILDING.
- RELOCATE EXISTING STREET POLE LIGHT FIXTURE AS INDICATED.
- EXISTING MEDIAN.
- RAISED PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
- EXISTING FIRE HYDRANT.
- PROPOSED FIRE HYDRANT.
- STOP SIGN, REFER DIRECTIONAL SIGNAGE AND ART, SHEET 12.
- EXISTING CONCRETE DRIVE PAVES TO BE REMOVED.
- MODIFY EXISTING MEDIAN AS INDICATED.
- PEDESTRIAN SKY BRIDGE OVER INDIAN SCHOOL ROAD, SHOWN FOR ILLUSTRATIVE PURPOSES, NOT PART OF THIS REQUEST.
- PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
- 10' WIDE MEANDERING SIDEWALK ALONG UPTOWN LOOP ROAD, TYP.
- WATER FEATURE REFER TO GENERAL NOTE 1.
- DIRECTIONAL SIGNAGE REFER TO ART, SHEET 12.
- PROPOSED CITY BUS STOP.
- BREEZEWAY AT GROUND FLOOR, COVERED BY UPPER FLOORS ABOVE.
- COURTYARD VEST TO SANITARY.
- ROOFTOP TERRACE (TO BE USED SOLELY AS OPEN SPACE).
- BOLLARDS, TYP.
- ROCK GARDEN.
- OUTDOOR DINING.
- EXISTING 10' PUE.
- ENTRY SIGN/ FREE STANDING MONUMENT SIGN, REFER BUILDING ELEVATIONS, SHEET 10.
- SEATWALL.
- ANY PROPOSAL BY THE APPLICANT TO CHANGE ACCESS, MOVEMENTS PERMITTED, OR TRAFFIC CONTROL AT UPTOWN BLVD/LOUISIANA BLVD, OR 111 Q STREET/INDIAN SCHOOL RD, INTERSECTIONS WILL REQUIRE THE WRITTEN CONCURRENCE OF THE DIRECTORS OF PUBLIC WORKS, MUNICIPAL PLANNING AND PLANNING PRIOR TO APPROVAL. ADDITIONAL TRAFFIC STUDIES MAY BE REQUIRED BEFORE SUCH CHANGES ARE CONSIDERED. THE CITY MAY MAKE SUCH MODIFICATIONS AS A PART OF ITS AUTHORITY TO MANAGE THE SYSTEM. SUCH CHANGES BY THE CITY WILL NOT REQUIRE AMENDMENTS TO THE SURROUNDING SITE DEVELOPMENT PLANS BUT WILL REQUIRE THE WRITTEN CONCURRENCE OF THE DIRECTORS OF PUBLIC WORKS AND MUNICIPAL DEVELOPMENT.

Furnishings Legend

- Pedestrian Scale Pole Light
- 20' conical Dark Sides Ordinance
- Refer Directional Signage, Art, Sheet 12
- Height 15'-0"
- 5' Bench
- Table and Chairs
- Height 20'-0"
- Area Pole Light
- 20' conical Dark Sides Ordinance
- Refer Directional Signage and Art, Sheet 12
- Height 20'-0"
- Existing Street Pole Light



VICINITY MAP
 1"=1000' 0 250 750 1000
 COA Zone Atlas Index Maps H-18-Z, J-18-Z, H-19-Z, J-19-Z

Owner: Hunt-Uptown, LLC
 Planning Consultant: Denish + Kline Assoc., Inc.
 Project Architect: Dekker/Perich/Sabatini
 Project Engineer: Bohannon-Huston
 Project Identity: Vaughn Wedeen Creative

PROJECT NUMBER: #1002247
 DRB NUMBER: 01-00928
 DRB SITE DEVELOPMENT PLAN APPROVAL

TRANSPORTATION DIVISION
 UTILITIES DIVISION
 PARKS AND RECREATION DEPARTMENT
 CITY ENGINEER

DATE: 1-23-04
 DATE: 7-7-04
 DATE: 6/23/04
 DATE: 2-16-05
 DATE: 10-22-04

SOLID WASTE MANAGEMENT
 DRB CHAIRPERSON, PLANNING DEPARTMENT

DATE: 6/25/04
 DATE: 6/25/04

ABQ
 u p t o w n
 DRB Submittal
 Site Development Plan for Building Permit

Site Plan 01 of 14

23 June 2004
 Project #1002247
 SCALE: 1" = 50'

SU-3 Zoning

SU-3 Zoning Vacant

SU-3 Zoning Vacant

Wimrock Loop Road

SU-3 Zoning

SU-3 Zoning Vacant

SU-3 Zoning Vacant

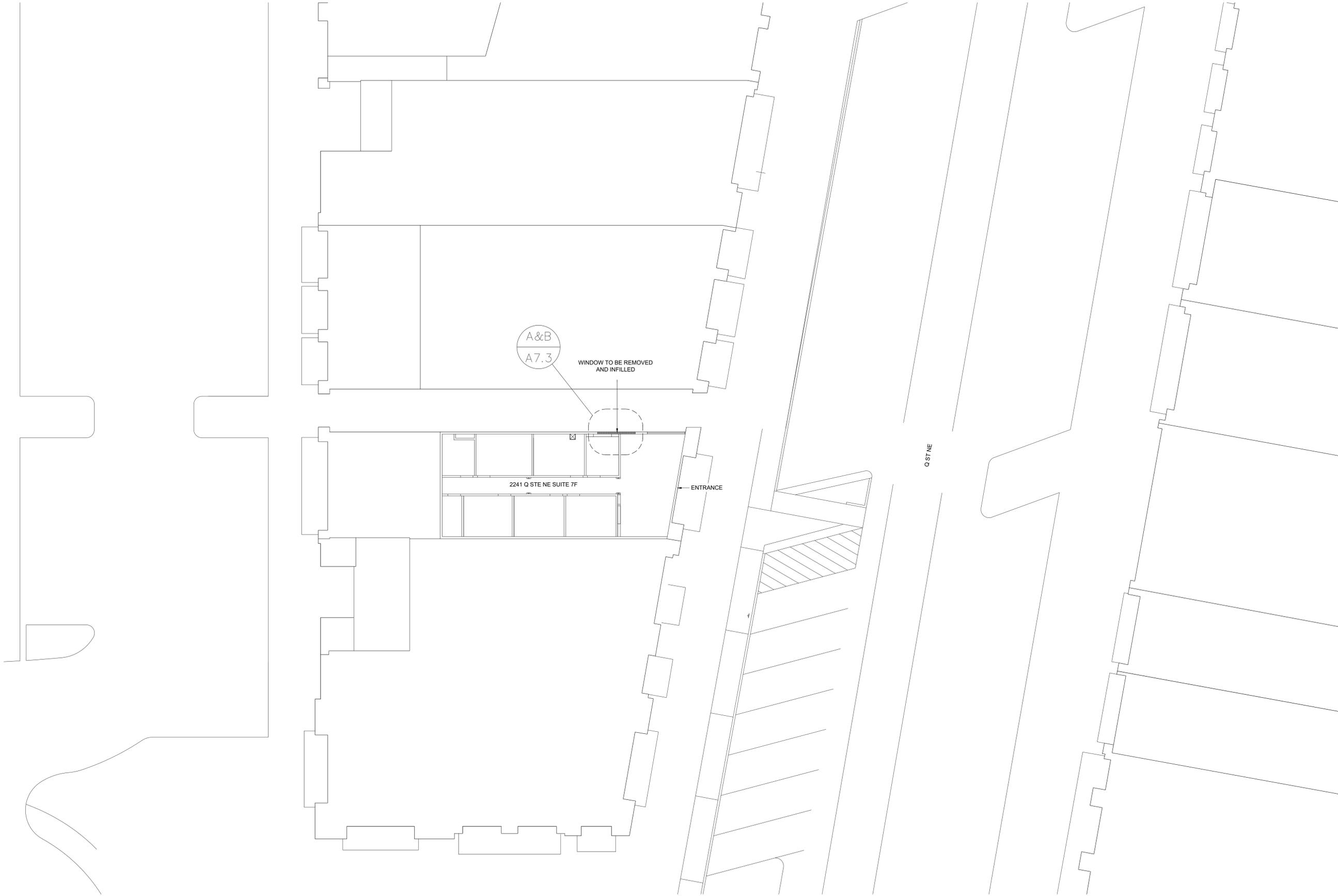
Wimrock Loop Road

SU-3 Zoning

SU-3 Zoning Vacant

SU-3 Zoning Vacant

Wimrock Loop Road



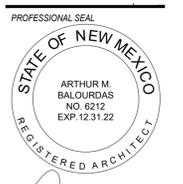
1 ENLARGED SITE PLAN

SCALE: 3/32" = 1'-0"

NOTE:
 ALL PROPERTY LINES, EASEMENTS AND BUILDINGS BOTH
 EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.

All ideas, design arrangements, and plans indicated or represented by this drawing are owned by, and the property of OCIO Design Group, Inc. and were created, evolved, and developed for use on and in connection with this project. None of such ideas, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of OCIO Design Group, Inc. Filing of these drawings or specifications with any public agency is not a publication of same. No reproduction is therefore permissible without the written consent of OCIO Design Group, Inc.

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Arthur M. Balourdas
 2.25.22

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 ARTHUR BALOURDAS, ARCHITECT
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 SANTEE, CA 92071
 858.204.1012
 PROFESSIONAL CERTIFICATION
 I CERTIFY THAT THESE
 DOCUMENTS WERE PREPARED OR
 APPROVED BY ME, AND THAT I AM
 A FULLY LICENSED ARCHITECT
 UNDER LAWS OF NEW MEXICO

LASERAWAY
TENANT IMPROVEMENT
 2241 Q ST NE SUITE 7F
 ALBUQUERQUE, NM 87110

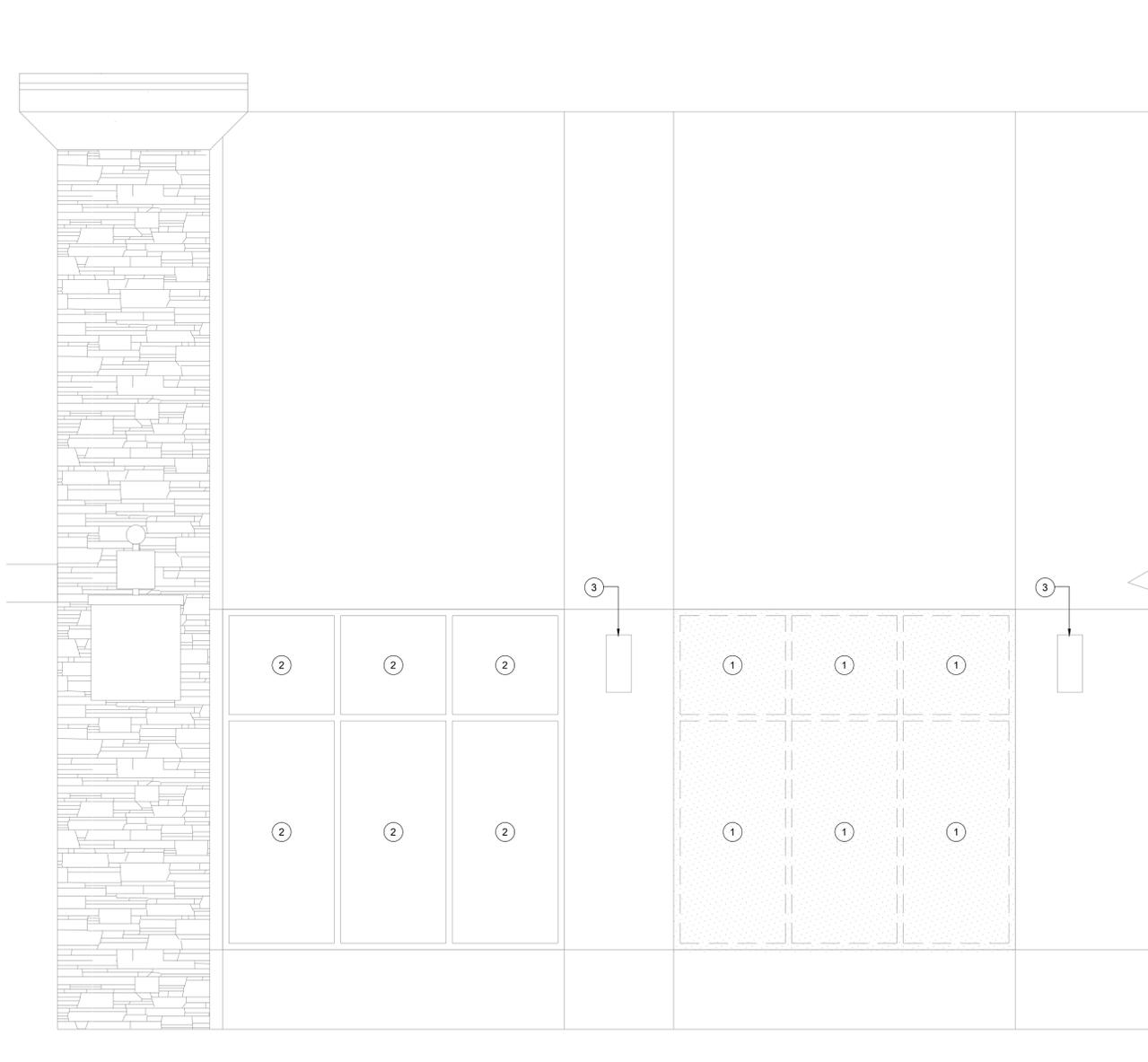
- TENANT PLAN APPROVAL: -
- CITY SUBMITTAL: -
- BID SET: -
- REVISION: - 1
- REVISION: - 2
- REVISION: - 3
- REVISION: -
- REVISION: -
- REVISION: -

ENLARGED SITE PLAN

THIS PERMIT APPLICATION SET OF DRAWINGS
 ARE INTENDED FOR BUILDING DEPARTMENT
 REVIEW ONLY. REVISIONS DUE TO PLAN
 CHECK AND OCIO DESIGN GROUP
 REVIEW/COORDINATION MAY BE REQUIRED.

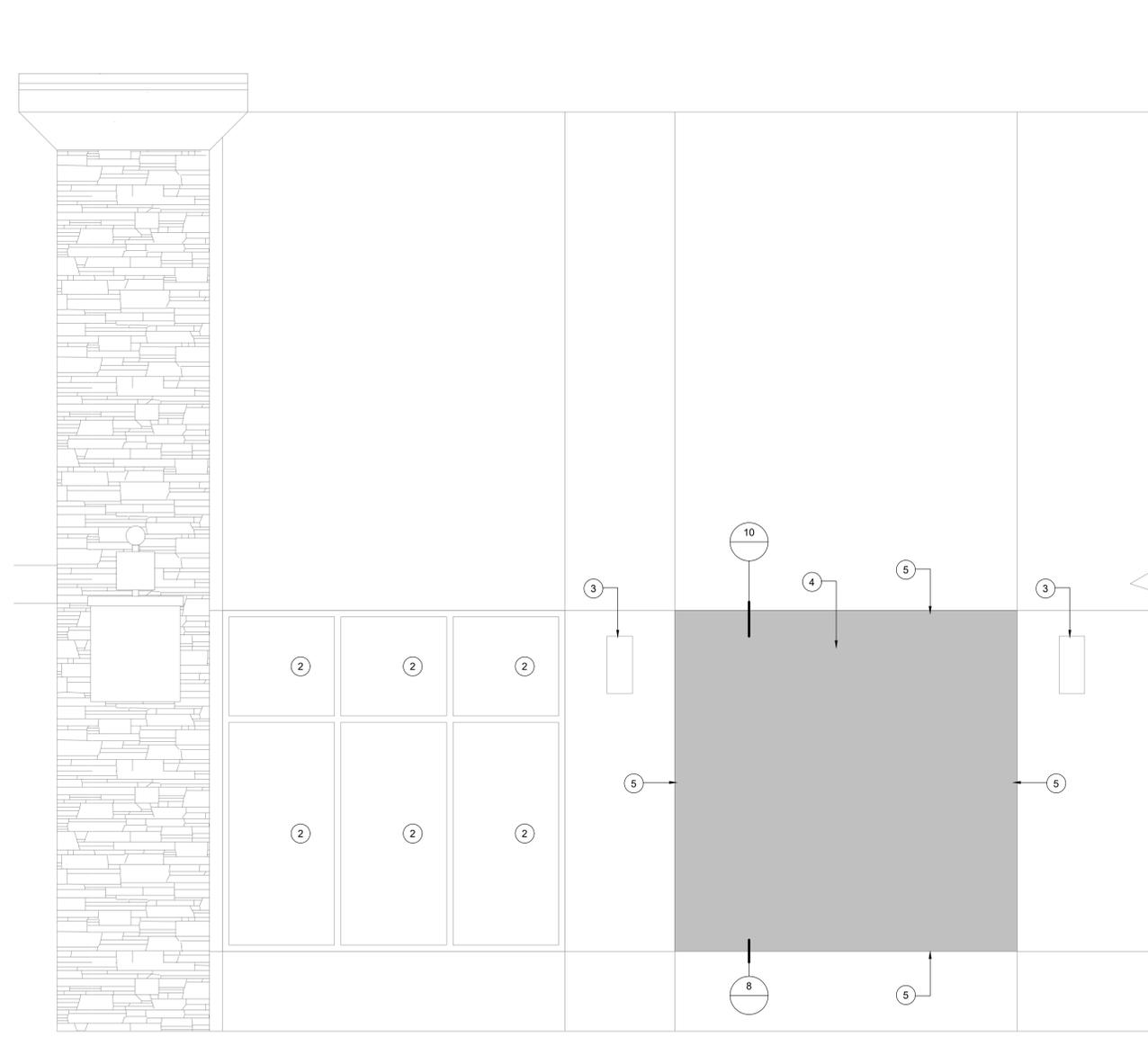
SCALE: AS NOTED
 PROJECT NO: 22018
 DRAWN: AC
 DATE: 02.25.2022

SHEET NO:
T1.1



A DEMO EXTERIOR - ELEVATION

SCALE: 1/2"=1'-0"



B NEW EXTERIOR - ELEVATION

SCALE: 1/2"=1'-0"

CONSTRUCTION REQUIREMENTS

1. NOTIFY OCIO DESIGN GROUP OF ANY DISCREPANCIES WITH PLANS. CALL TO OBTAIN CLARIFICATION PRIOR TO CONSTRUCTION/INSTALLATION/ORDERING.
2. CALL OCIO DESIGN GROUP IF DESIGN INTENT IS NOT CLEAR. AT NO TIME IS THE CONTRACTOR TO ASSUME OR GUESS OCIO DESIGN GROUP'S DESIGN INTENT.
3. PRIOR TO CONSTRUCTION VERIFY DR/ WIN SCHEDULE AND RCP PLAN FOR HEIGHTS.

NOTES:

1. PAINT TO MEET DURABILITY REQUIREMENTS FOR HEAVY TRAFFIC. PROVIDE PRODUCT DATA FOR ALL FIELD PAINTED EXTERIOR PAINT SYSTEMS.

KEYNOTES

- 1 DEMO EXISTING WINDOW WITH GLAZING AND FRAME COMPLETE
- 2 EXISTING WINDOW TO REMAIN
- 3 EXISTING WALL LIGHT TO REMAIN
- 4 FRAME-IN CLOSED OPENING WHERE WINDOW WAS REMOVED
- 5 CONTINUE CONTROL JOINTS ON ALL FOUR SIDES TO MATCH EXISTING



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TENANT PLAN APPROVAL:	-
CITY SUBMITTAL:	-
BID SET:	-
REVISION:	- 1
REVISION:	- 2
REVISION:	- 3
REVISION:	-
REVISION:	-
REVISION:	-

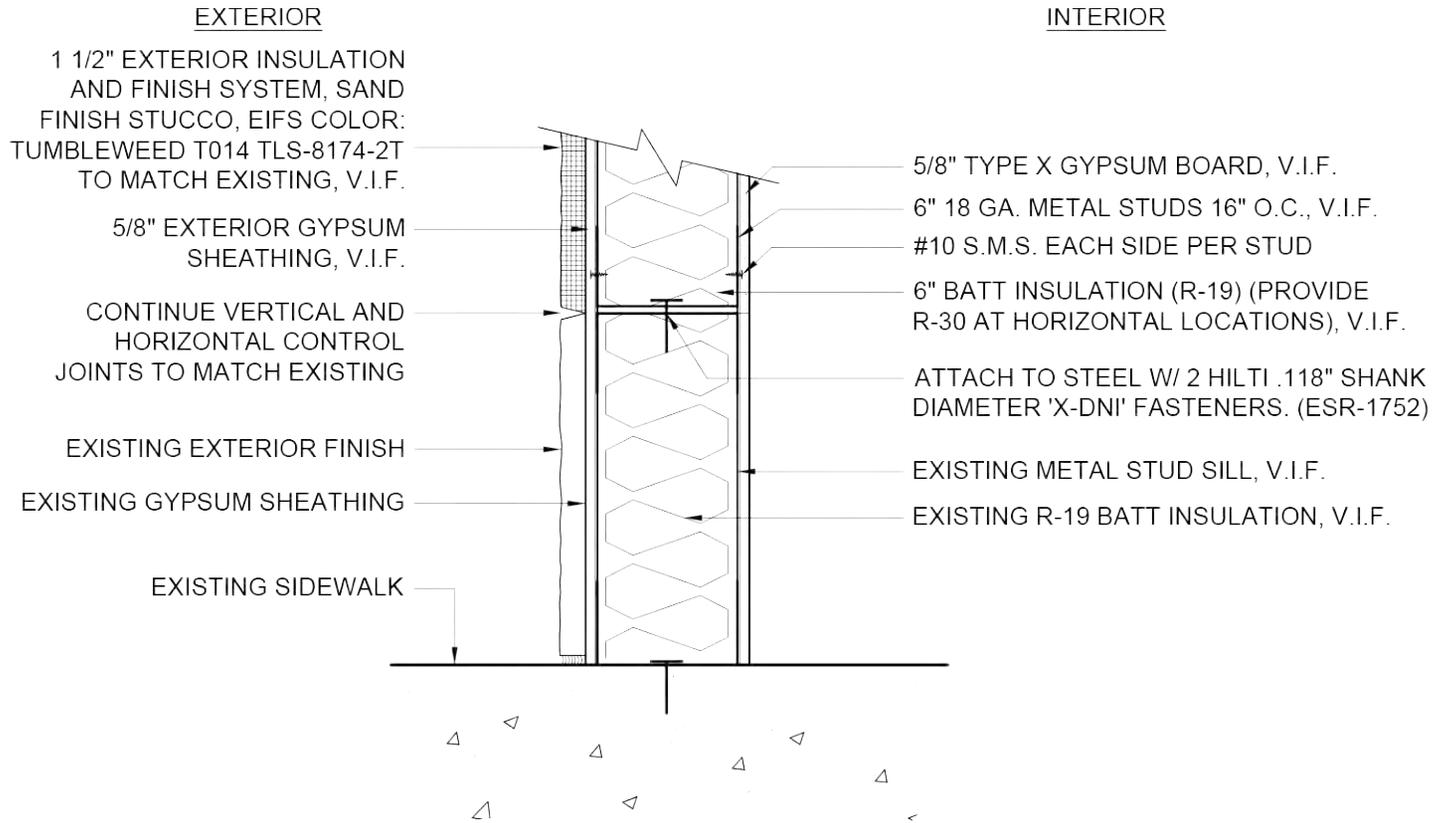
EXTERIOR ELEVATIONS

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REVIEW ONLY. REVISIONS DUE TO PLAN
CHECK AND OCIO DESIGN GROUP
REVIEW/COORDINATION MAY BE REQUIRED.

SCALE: AS NOTED
PROJECT NO: 22018
DRAWN: AC
DATE: 02.25.2022

SHEET NO:

A7.3



NOTE: VERIFY ABOVE MATCHES EXISTING IN FIELD TO MATCH WALL SYSTEM TO EXISTING

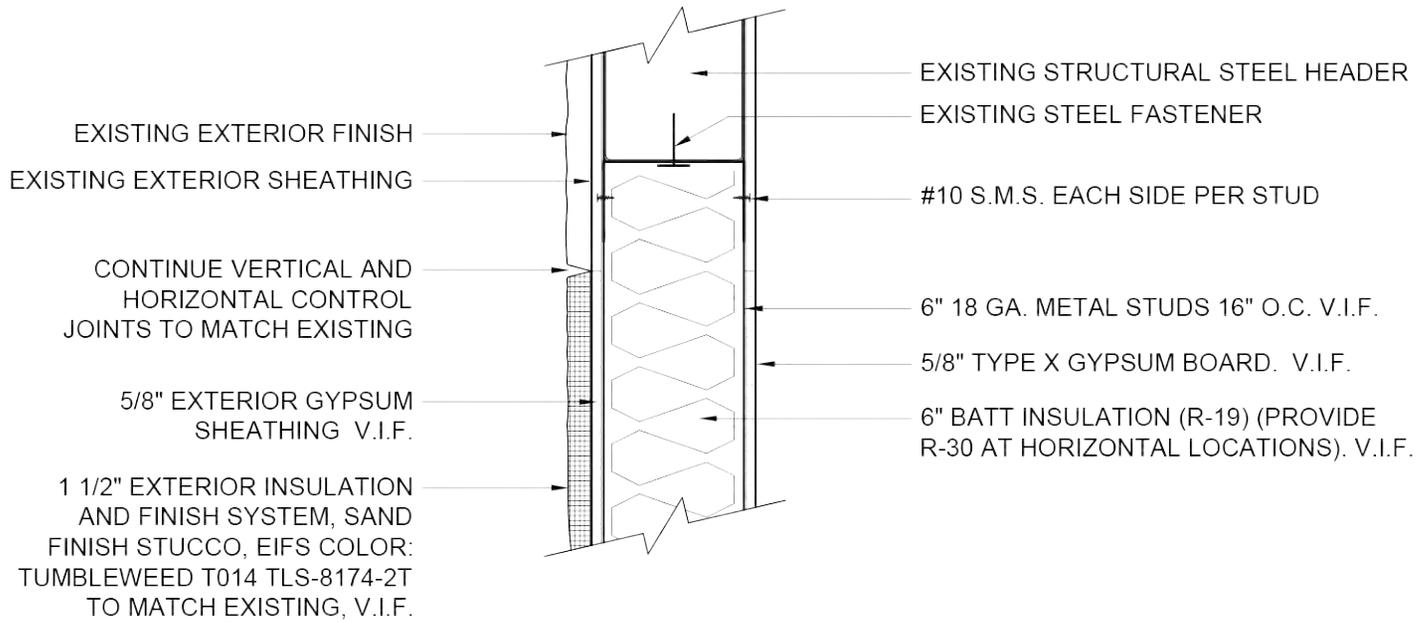
8

EXTERIOR IN-FILL WALL @ SILL

1/8" = 1'-0"

EXTERIOR

INTERIOR



NOTE: VERIFY ABOVE MATCHES EXISTING IN FIELD TO MATCH WALL SYSTEM TO EXISTING

10

EXTERIOR IN-FILL WALL @ HEADER

N.T.S.