

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

PARKING CALCULATIONS

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:

WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING PAGES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

PER TABLE 5-5-1, OFF-STREET PARKING REQUIREMENTS:
VOCATIONAL SCHOOL: 3 SPACES / 1,000 SQ FT

EXISTING BUILDING: 44,877 SF / 1,000 = 44.88
PROPOSED CLASSROOM BUILDING: 2,000 SF / 1,000 = 2.00
46.88

TOTAL PARKING REQUIRED:

TOTAL REQUIRED SPACES: 46 x 3 = 138

PROVIDED PARKING:

EXISTING REGULAR SPACES = 232
EXISTING COMPACT SPACES = 20
NEW MOTORCYCLE SPACES = 5
EXISTING ADA SPACES = 12
TOTAL PROVIDED = 269

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5-(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND AS ADJUSTED BY SECTION 14-16-5-5(C)(5), 3 - (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

PER ADAAG:

TOTAL PARKING IN PROJECT LOT: 201-300, 7 ADA ACCESSIBLE PARKING SPACES SHALL BE PROVIDED.

PROVIDED: 12 ADA ACCESSIBLE PARKING SPACES.

REQUIRED MOTORCYCLE SPACES:

PER IDO 5-5(D)(1) IN ADDITION TO PARKING SPACES REQUIRED BY TABLE 5-5-1, AT LEAST THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES FOR MOTORCYCLES, MOPEDS, AND MOTOR SCOOTERS LISTED IN TABLE 5-5-4 SHALL BE PROVIDED ON THE SITE FOR ALL USES EXCEPT RESIDENTIAL USES. THE MINIMUM NUMBER OF REQUIRED OFF-STREET PARKING BETWEEN 151-300 SPACES, 5 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 5 SPACES

REQUIRED BICYCLE SPACES:

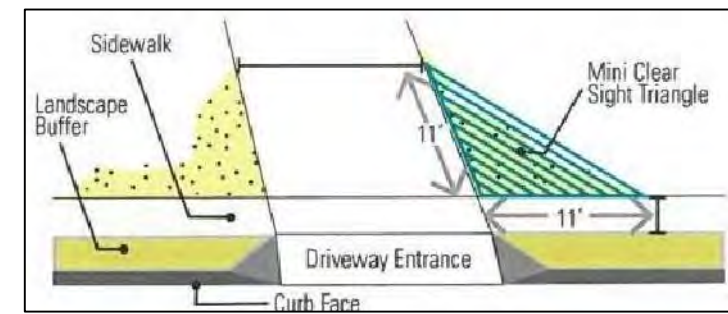
PER IDO 5-5(E)(1) AND TABLE 5-5-5, UNLESS SPECIFIED OTHERWISE IN THE IDO, ALL DEVELOPMENT SHALL PROVIDE ON-SITE PARKING SPACES FOR BICYCLES, WHERE THE MINIMUM BICYCLE PARKING IS BASED ON THE TOTAL NUMBER OF OFF-SITE STREET PARKING SPACES PROVIDED ON SITE, REGARDLESS OF THE MINIMUM REQUIREMENT FOR OFF-STREET PARKING.

USE: VOCATIONAL SCHOOL 3 SPACES / 1,000 SQ. FT. GFA
REQUIRED BICYCLE SPACES: 2,000 SF PROPOSED BUILDING

6 SPACES REQUIRED AND PROVIDED

CLEAR SIGHT TRIANGLE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



PROJECT DESCRIPTION:

THIS PROJECT IS NEW CONSTRUCTION OF A 2,000 SF NEW CLASSROOM BUILDING, ASSOCIATED SITE WORK AND LANDSCAPING, AND AN ADA ACCESSIBLE RAMP AND STAIRS. THE PROPOSED BUILDING WILL BE LOCATED NORTH OF AND ADJACENT TO AN EXISTING VOCATIONAL SCHOOL AND IS PART OF THE SCHOOL CAMPUS.

13 PARKING SPACES WILL BE REMOVED FOR THE ADDITION OF THE NEW BUILDING. THERE IS NO MODIFICATION TO THE EXISTING SITE OTHER THAN THE WORK ASSOCIATED WITH THE NEW CLASSROOM.

THE CAMPUS IS SITUATED IN THE PAVILIONS AT SAN MATEO, AN EXISTING RETAIL SHOPPING DISTRICT WITH A MIX OF RETAIL, RESTAURANT AND SERVICE TENANTS. EXISTING INFRASTRUCTURE INCLUDES STANDARD, COMPACT AND HC PARKING, EXISTING FIRE HYDRANTS, SIDEWALKS, BICYCLE SPACES, LOADING DOCK AND SOLID WASTE DUMPSTER.



BUBBLED AREA INDICATES NEW WORK.

BUILDING ADDRESS:

4400 CUTLER AVE NE
ALBUQUERQUE, NM 87110

LEGAL DESCRIPTION:

TR 1A REVISED PLAT OF PAVILIONS
AT SAN MATEO CONT 4.2761 ACM/L
OR 186,267 SF M/L

OCCUPANCY GROUP: B

IDO ZONING
INFORMATION:

NR-C: COMMERCIAL ZONE DISTRICTS

SITE ACREAGE:

4.28 ACRES

BUILDING GROSS

EXISTING BUILDING: 44,877 GSF

SQUARE FOOTAGE:

PROPOSED CLASSROOM BUILDING: 2,000 GSF

TOTAL BUILDINGS: 46,877 GSF

PROJECT PHASING:

THE PROPOSED CLASSROOM BUILDING SHALL BE COMPLETED UNDER ONE PHASE.

EXISTING RADIUS INFORMATION:

① = 25'-0" ③ = 21'-6"
② = 23'-6" ④ = 3'-0"

NEW RADIUS INFORMATION:

⑤ = 3'-0"

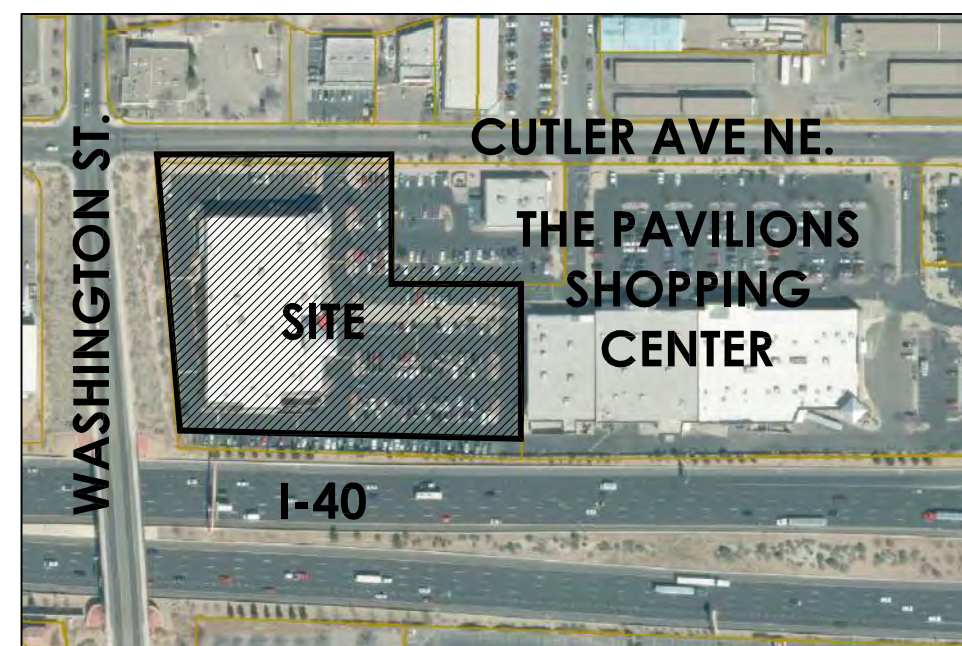
GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
[B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
[C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
[D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
[E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
[F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
[G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
[H] ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
[I] BUILDING ELEVATIONS FOR NEW CLASSROOM BUILDING WILL BE REQUIRED TO BE APPROVED VIA ADMINISTRATIVE AMENDMENT AND COMPLY WITH THE DESIGN REGULATIONS AND AESTHETICS CREATED BY THE TWO BUILDINGS IN THIS SUBMITTAL.
[J] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
[K] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
[L] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
[M] ALL SITE LIGHTING IS EXISTING TO REMAIN 'AS IS'.

KEYED NOTES:

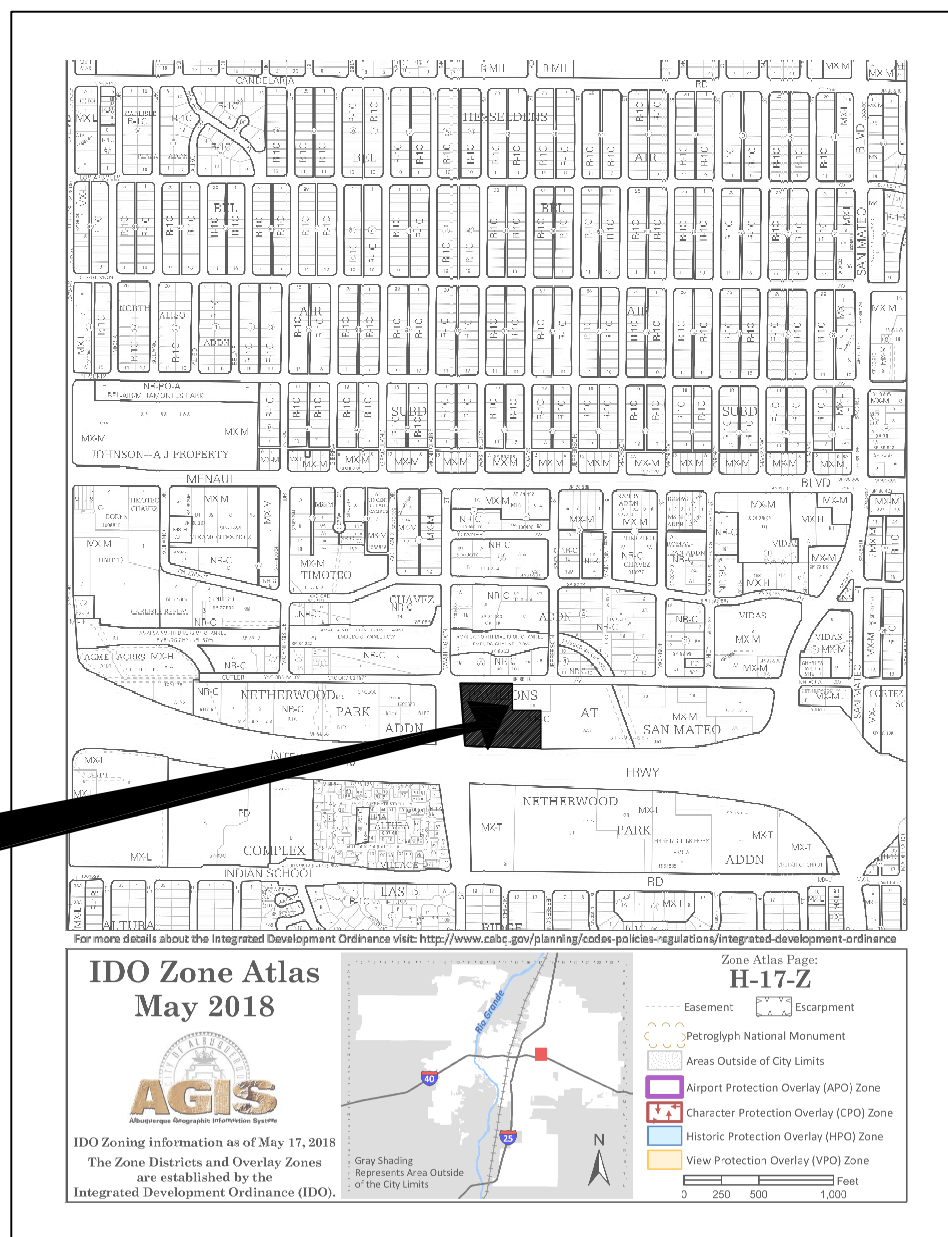
- [1] EXISTING CITY SIDEWALK TO REMAIN.
[2] EXISTING CITY CURB AND GUTTER TO REMAIN.
[3] EXISTING PROPERTY LINE.
[4] NOT USED.
[5] PROPOSED HEADER CURB.
[6] EXISTING FIRE HYDRANT TO REMAIN.
[7] CITY REFUSE TRUCK AND TURNING RADIUS, FOR REFERENCE ONLY.
[8] NOT USED.
[9] PROPOSED ADA ACCESSIBLE RAMP.
[10] EXISTING SIGNAGE TO REMAIN.
[11] PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE. SEE DETAIL 4/TCL002.
[12] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
[13] PROPOSED CONCRETE SIDEWALK 4' WIDE MINIMUM WITH CONTROL JOINTS EVERY 5'-0" WITH EXPANSION JOINTS EVERY 20'-0".
[14] PROPOSED FIRE DEPARTMENT KNOX BOX.
[15] PROPOSED PAINTED CURB 'FIRE LANE'.
[16] EXISTING TRASH COMPACTOR TO REMAIN.
[17] EXISTING LOADING DOCK TO REMAIN.
[18] EXISTING BICYCLE PARKING TO REMAIN.
[19] EXISTING COMPACT PARKING SPACE TO REMAIN.
[20] EXISTING SIDEWALK TO REMAIN.
[21] EXISTING SIDEWALK RAMP TO REMAIN.
[22] EXISTING ENTRY DRIVE TO REMAIN.
[23] EXISTING ASPHALT PARKING LOT TO REMAIN.
[24] PROPOSED STAIR AND LANDINGS.
[25] EXISTING PAINTED FIRE LANE TO REMAIN.
[26] PROPOSED BIKE RACK WITH 6 SPACES. SEE DETAIL 1/A002.
[27] EXISTING CURB TO REMAIN.
[28] EXISTING HC PARKING AND ACCESS AISLE TO REMAIN.
[29] EXISTING DESIGNATED CROSSWALK TO REMAIN.
[30] PROPOSED LANDSCAPE AREA.
[31] EXISTING 10' UTILITY EASEMENT.
[32] EXISTING 20' WATERLINE EASEMENT.
[33] THESE SPACES NOT COUNTED IN PARKING CALCULATIONS AS THEY ARE OVER THE PROPERTY LINE.
[34] EXISTING LANDSCAPE TO REMAIN.
[35] EXISTING BUILDING SETBACK.
[36] EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
[37] EXISTING TRANSFORMER TO REMAIN.
[38] EXISTING SITE LIGHT TO REMAIN.

VICINITY MAP



ZONING MAP

ZONE ATLAS PAGE H-17-Z



SITE

DESCRIPTION

BY

DATE

REV

4

3

2

1

0

PRELIMINARY

NOT FOR

CONSTRUCTION

MULLEN HELLER ARCHITECTS

1718 CENTRAL AVE. SW

ALBUQUERQUE, NM 87102

P | 505.268.4144

F | 505.268.4244

www.mullenheller.co

JOB NUMBER

DRAWN BY

PROJECT MGR

DATE

04

PHASE

TITLE

A001

PROJECT

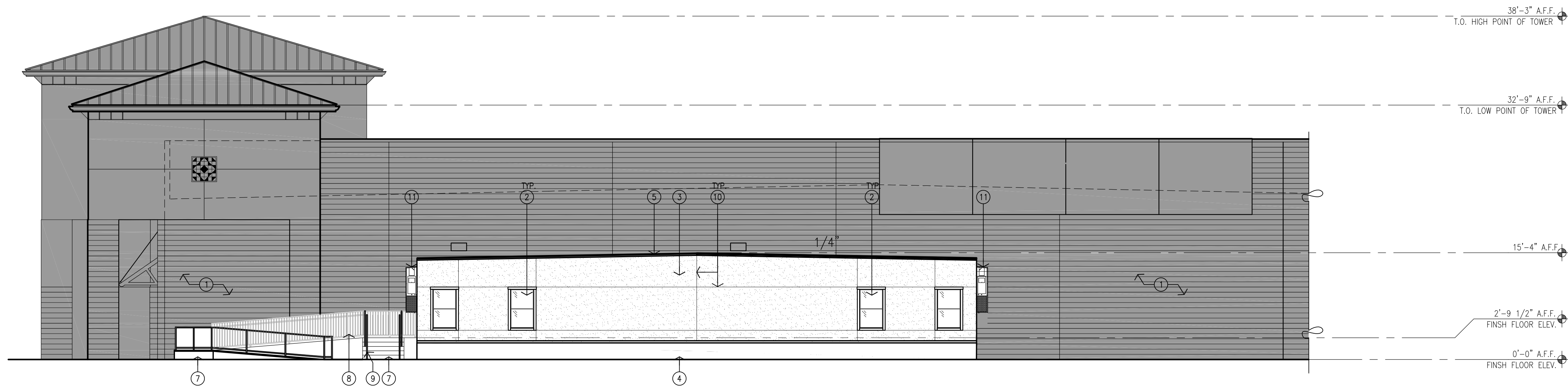
Pima Medical Institute New Classroom Building

4400 Cutler Ave. NE

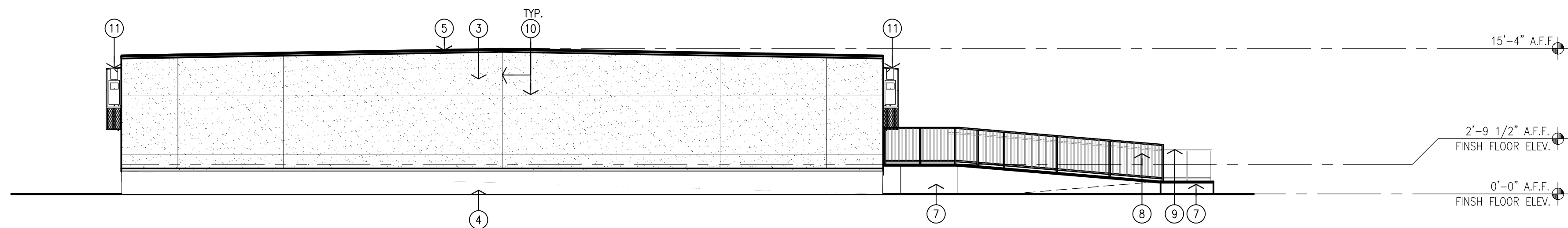
Albuquerque, NM 87110

SHEET

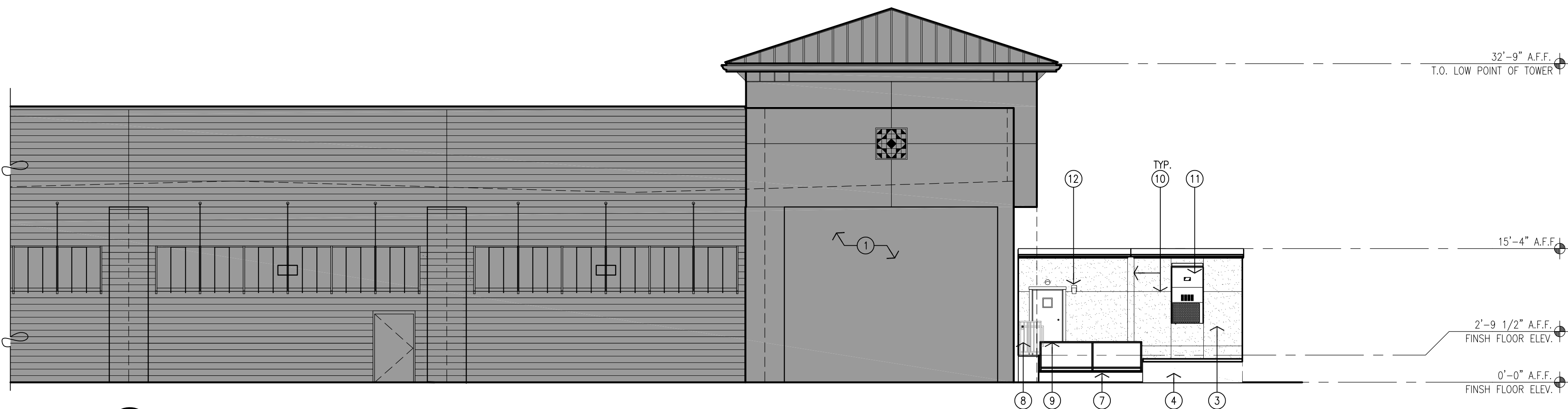
A001



1 North Elevation
Scale: 1/8"=1'-0"



2 South Elevation
Scale: 1/8"=1'-0"



3 East Elevation
Scale: 1/8"=1'-0"



4 West Elevation
Scale: 1/8"=1'-0"

- KEYED NOTES:
- [1] EXISTING EXTERIOR MASONRY WALL.
 - [2] NEW WINDOW.
 - [3] NEW STUCCO SYSTEM. COLOR TO MATCH EXISTING BUILDING.
 - [4] NEW WOOD SKIRTING COLOR TO MATCH EXISTING BUILDING
 - [5] NEW EPDM ROOFING SYSTEM.
 - [6] NEW HOLLOW METAL DOOR AND TRIM.
 - [7] NEW COMPOSITE DECKING STAIR AND RAMP SYSTEM.
 - [8] NEW GUARDRAIL SYSTEM.
 - [9] NEW HANDRAIL SYSTEM.
 - [10] NEW STUCCO CONTROL JOINT.
 - [11] NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL.
 - [12] NEW WALL PACK.

THERE IS NO NEW SIGNAGE PROPOSED FOR THIS PHASE OF THE PROJECT

DESCRIPTION

BY

DATE

REV

mullen heller architecture

PRELIMINARY
NOT FOR
CONSTRUCTION

MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE. D
ALBUQUERQUE, NM | 87109
P | 505.268.4144
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www.mullenheller.com

JOB NUMBER 20-08

DRAWN BY AG/MP

PROJECT MGR JDH

DATE 04-13-22

PHASE CD

PROJECT
Pima Medical Institute New Classroom Building
4400 Cutler Ave. NE
Albuquerque, NM 87110

TITLE
Exterior Elevations

SHEET

A401



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT

PERMIT NUMBER: EP-21-0002893
APPROVED DATE: 01/06/22

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND
APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN
ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL
FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180
DAYS. FINAL INSPECTION IS REQUIRED.

CODE DATA

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CODE DATA FOR THE PROPOSED CLASSROOM

BUILDING ADDRESS:	4400 CUTLER AVE NE ALBUQUERQUE, NM 87110
LEGAL DESCRIPTION:	TR 1A REVISED PLAT OF PAVILIONS AT SAN MATEO CONT 4.2761 ACM/L OR 186,267 SF M/L
UPC:	101705929110840209
CONSTRUCTION TYPE:	V-B
OCCUPANCY GROUP:	B
OCCUPANT LOAD:	PER IBC 2015, TABLE 1004.1.2 NEW MODULAR BUILDING 2,000 SF / 50 = 40 TOTAL OCCUPANTS: 40
OCCUPANCY SEPARATION:	PER IBC 2015 TABLE 508.4: TYPE "B" - NOT REQUIRED
SQUARE FOOTAGE:	NEW MODULAR BUILDING: 2,000 GROSS SF TOTAL BUILDING: 2,000 GROSS SF
BUILDING HEIGHT:	20'-0" ABOVE FINISH FLOOR LEVEL.
FIRE PROTECTION:	NON-SPRINKLERED
FIRE SEPARATION:	NO FIRE SEPARATION REQUIRED.

FIRE FLOW CALCULATIONS:

PER 2015 IFC: APPENDIX B, TABLE B105.1

PROPOSED CLASSROOM BUILDING: V-B @ 2,000 SF
= 1,500 GALLONS/MINUTE (2 HOUR DURATION)

(NO REDUCTION FOR FIRE SPRINKLER SYSTEM)
TOTAL BUILDING FIRE FLOW = 1,500 GALLONS/MINUTE

EXISTING VOCATIONAL SCHOOL BUILDING: II-B @ 44,877 SF
= 4,500 GALLONS/MINUTE (4 HOUR DURATION)

(75% REDUCTION FOR FIRE SPRINKLER SYSTEM BUT SHALL NOT BE LESS THAN 1,500 GALLONS/MINUTE)
= 1,125 GALLONS/MINUTE (WITH REDUCTION) - UNDER MIN.
= 1,500 GALLONS/MINUTE (2 HOUR DURATION)

FIRE HYDRANT DISTRIBUTION:

PER 2015 IFC: APPENDIX B, TABLE C105.1

1 FIRE HYDRANT REQUIRED PER APPENDIX C (1,500 GPM FIRE FLOW)

3 EXISTING FIRE HYDRANTS PROVIDED

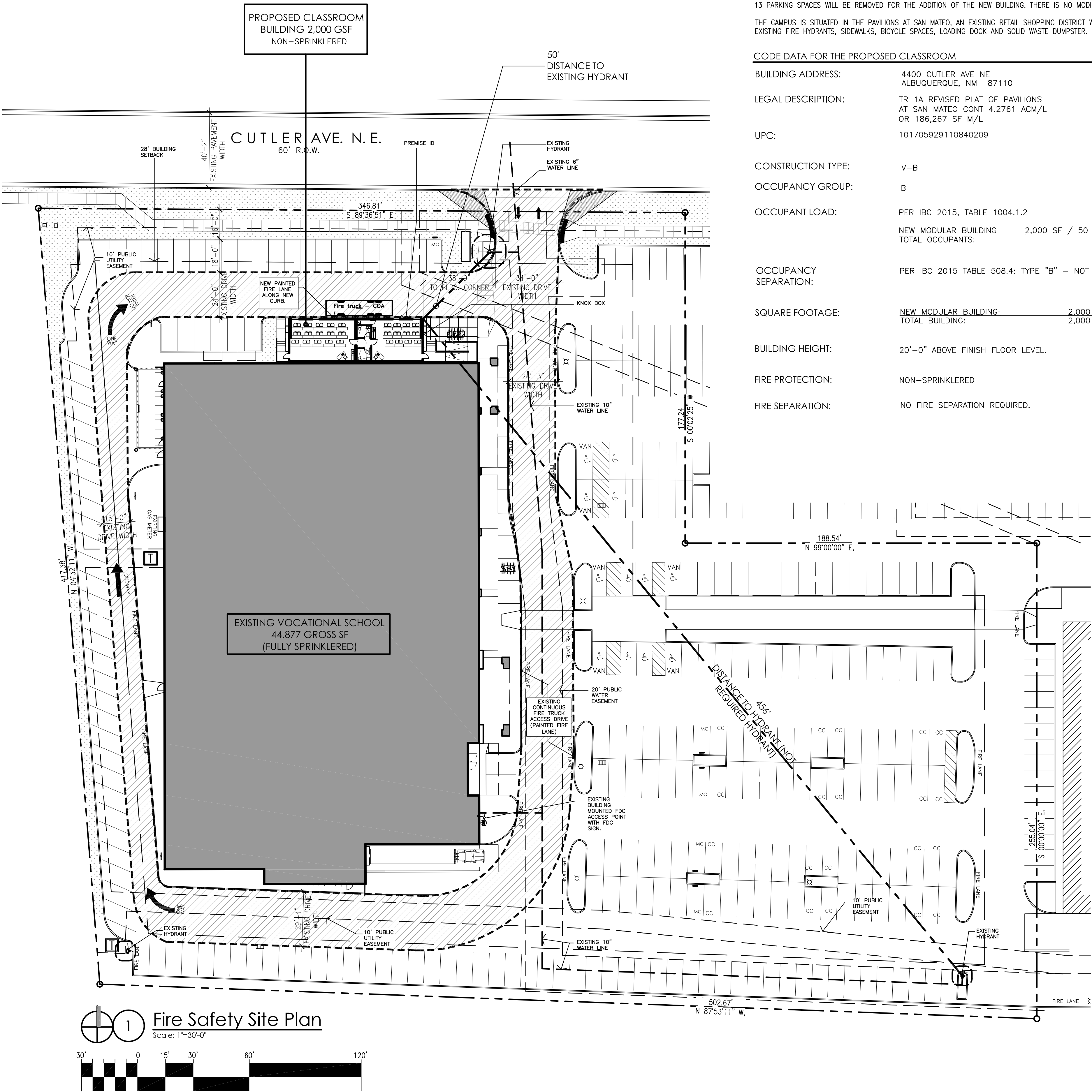
AVERAGE SPACING BETWEEN HYDRANTS SHALL BE 500 FEET

MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT SHALL BE 250 FEET

FIRE ACCESS ROAD REQUIREMENTS:

ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE.

ACCESS ROAD TO BE CONSTRUCTED OF ASPHALT MATERIAL CAPABLE OF SUPPORTING THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS

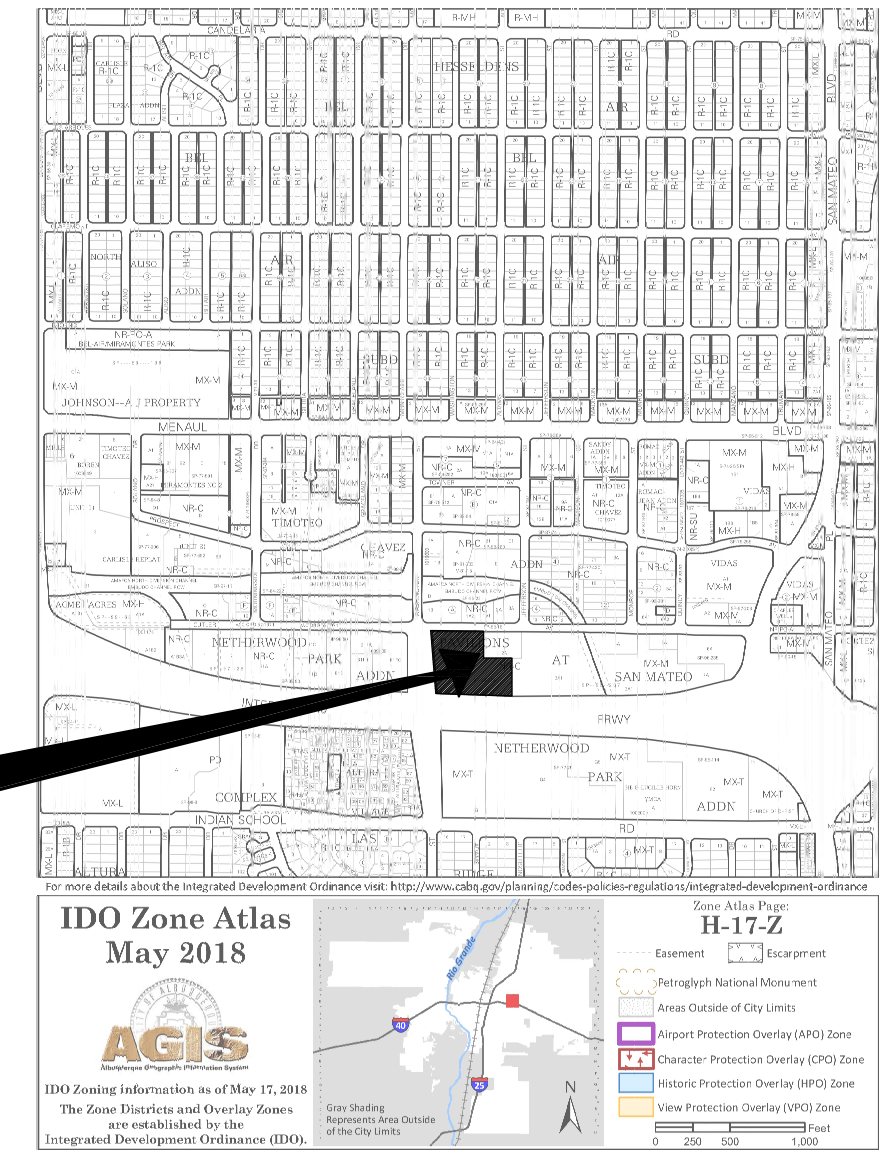


VICINITY MAP

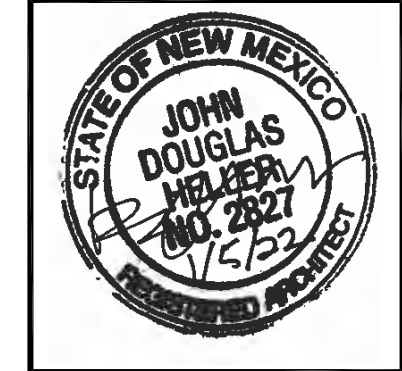
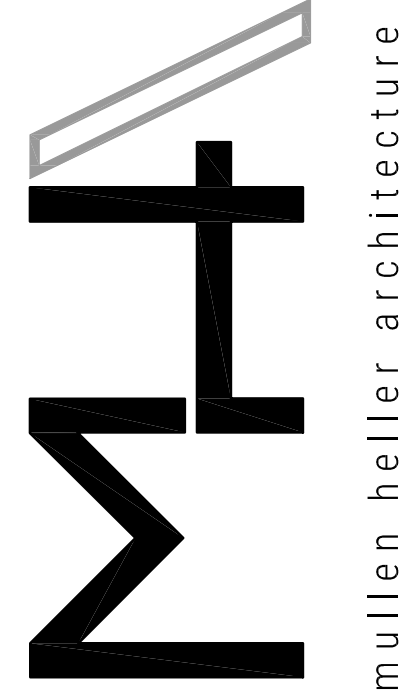


ZONING MAP

ZONE ATLAS PAGE H-17-Z



REV	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE D
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JOB NUMBER	20-08
DRAWN BY	AG/MP
PROJECT MGR	JDH
DATE	01-05-22
PHASE	SD

PROJECT	Pima Medical Institute New Classroom Building
	4400 Cutler Ave. NE
	Albuquerque, NM 87110
TITLE	Fire Safety Site Plan

SHEET	FIRE 1
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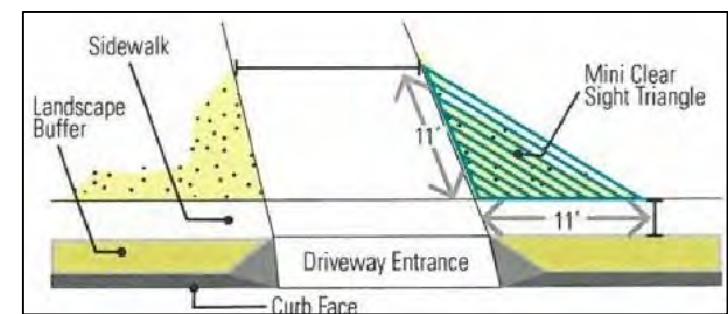
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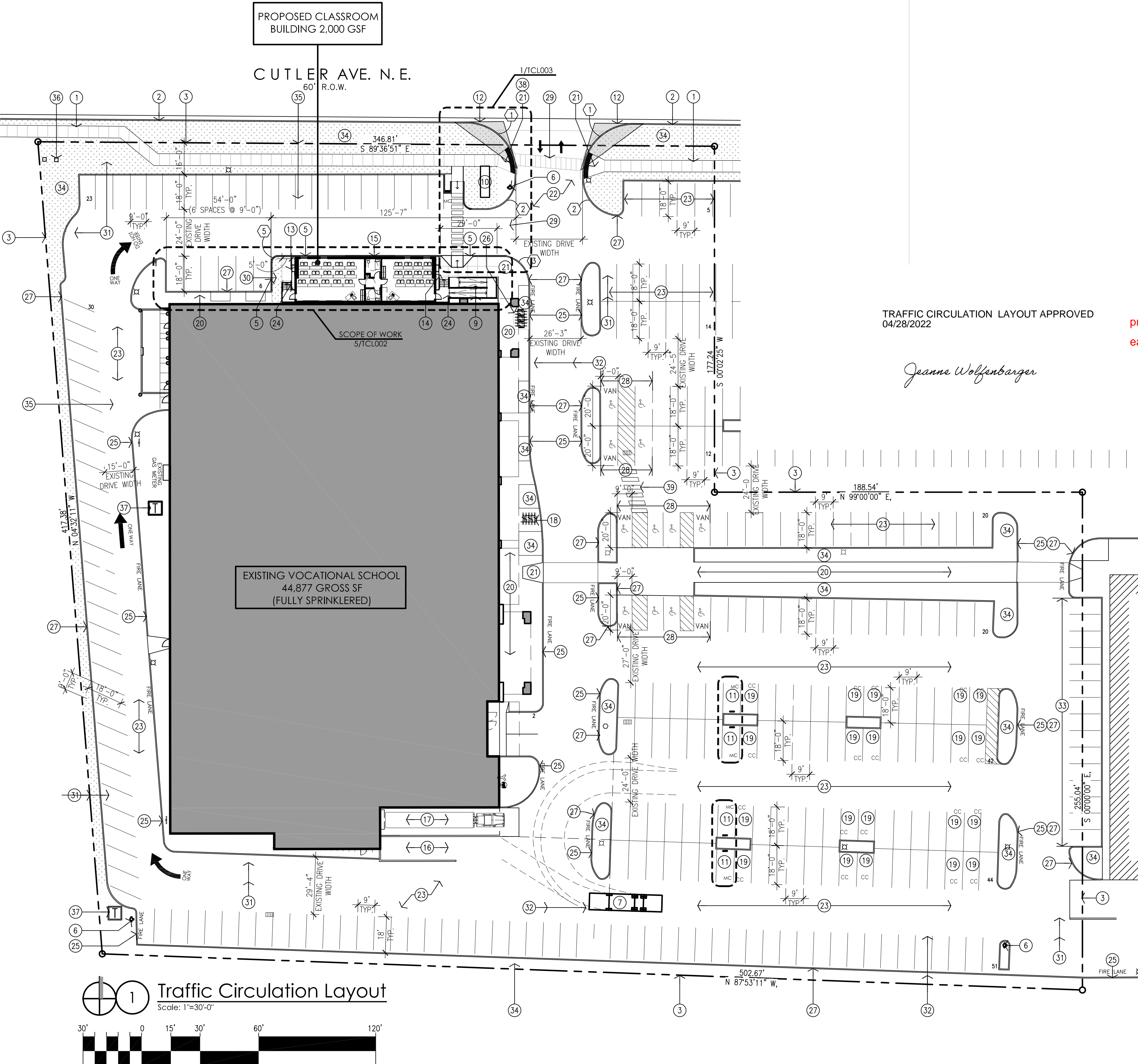
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NEW RADIUS INFORMATION:

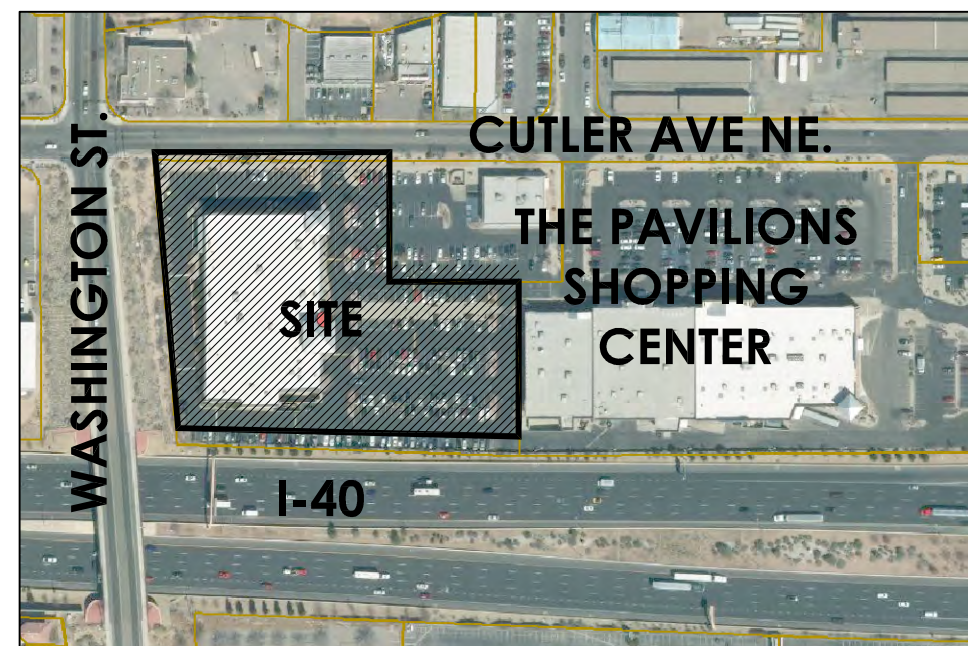
prior to Certificate of Occupancy, please have the city sidewalk easement in place as requested by Mr. Salgado.

TRAFFIC CIRCULATION LAYOUT APPROVED
04/28/2022

Jeanne Wolfenbarger

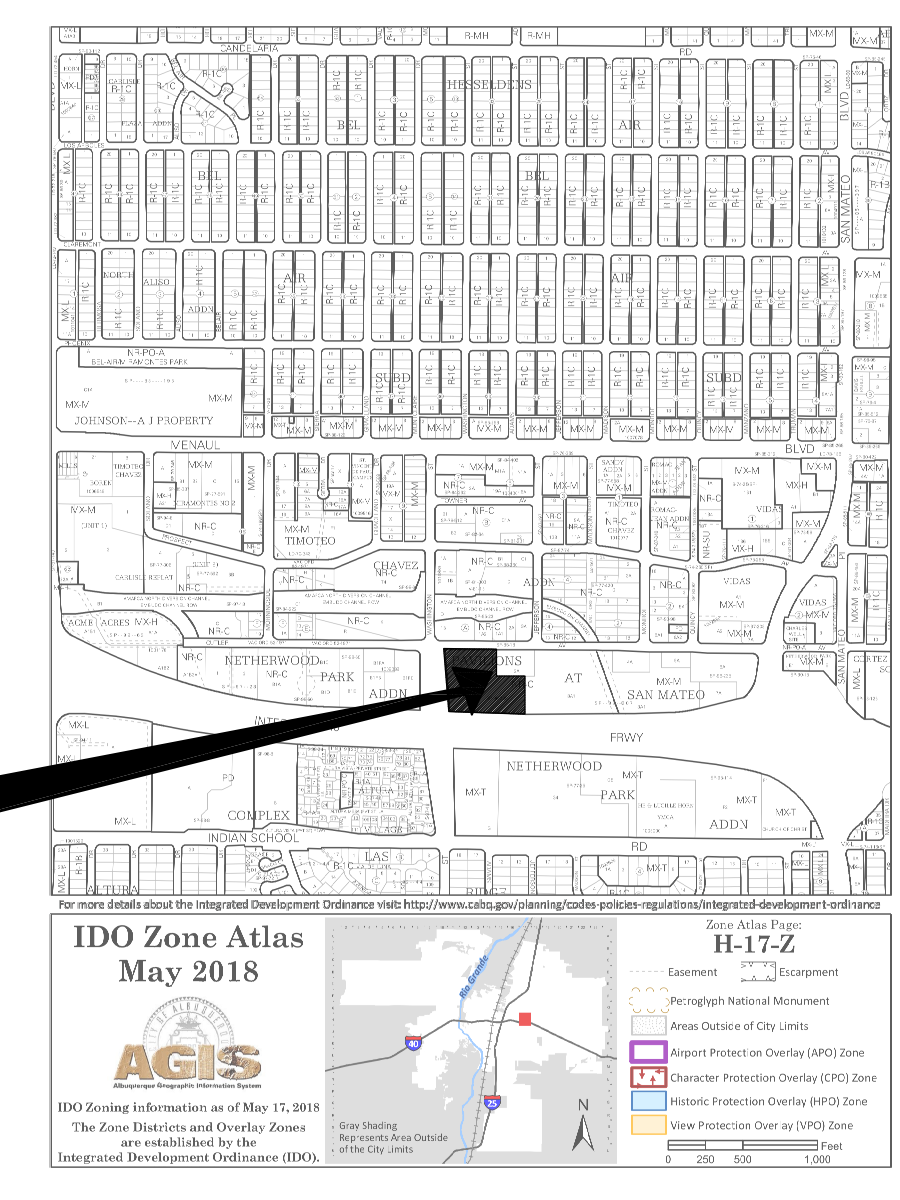


VICINITY MAP



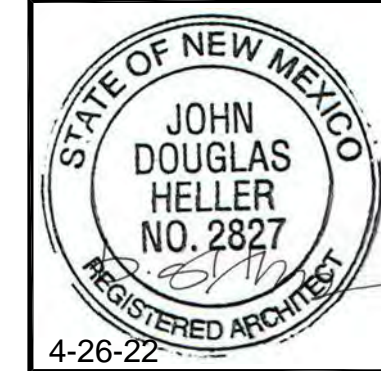
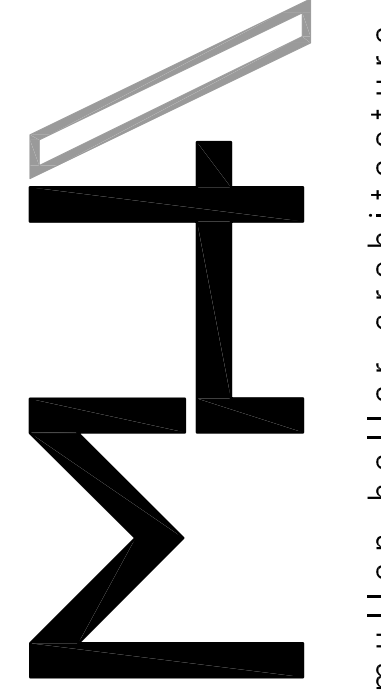
ZONING MAP

ZONE ATLAS PAGE H-17-Z



SITE

REV	DATE	DESCRIPTION
1	04/28/2022	ISSUED FOR PERMIT
2	04/28/2022	REVISIONS
3	04/28/2022	REVISIONS
4	04/28/2022	REVISIONS
5	04/28/2022	REVISIONS



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE. SW | STE D
ALBUQUERQUE, NM 87109
P | 505.268.4144
F | 505.268.4244
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JOB NUMBER 20-08

DRAWN BY AG/MP

PROJECT MGR JDH

DATE 04-26-22

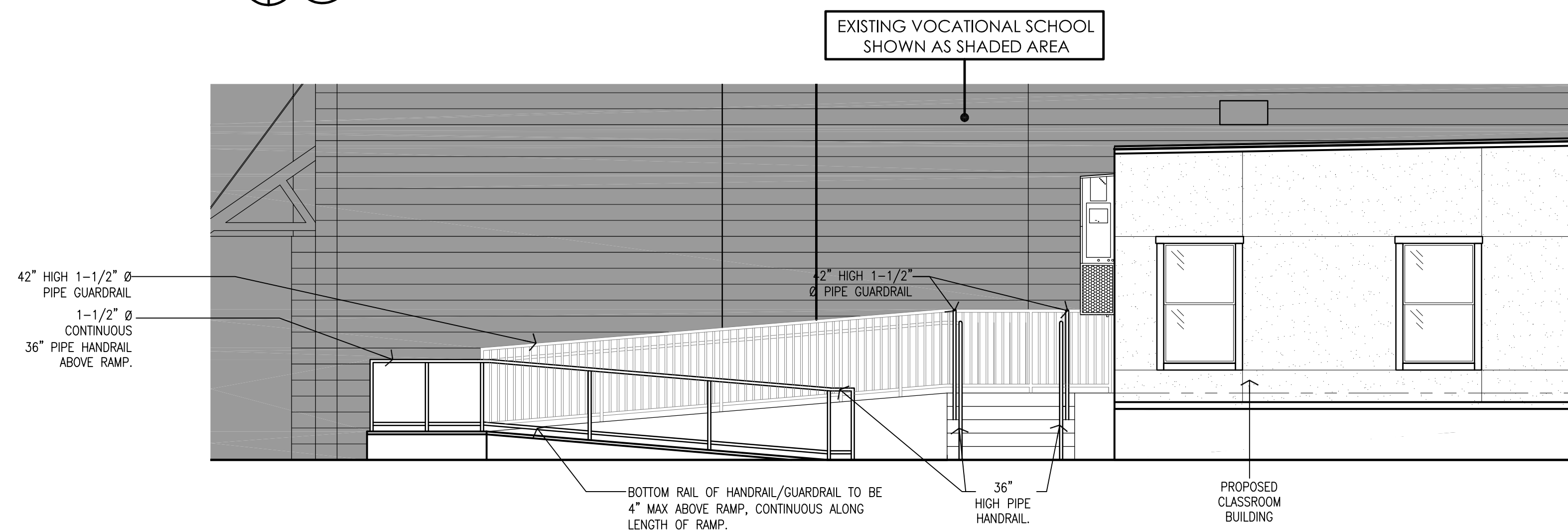
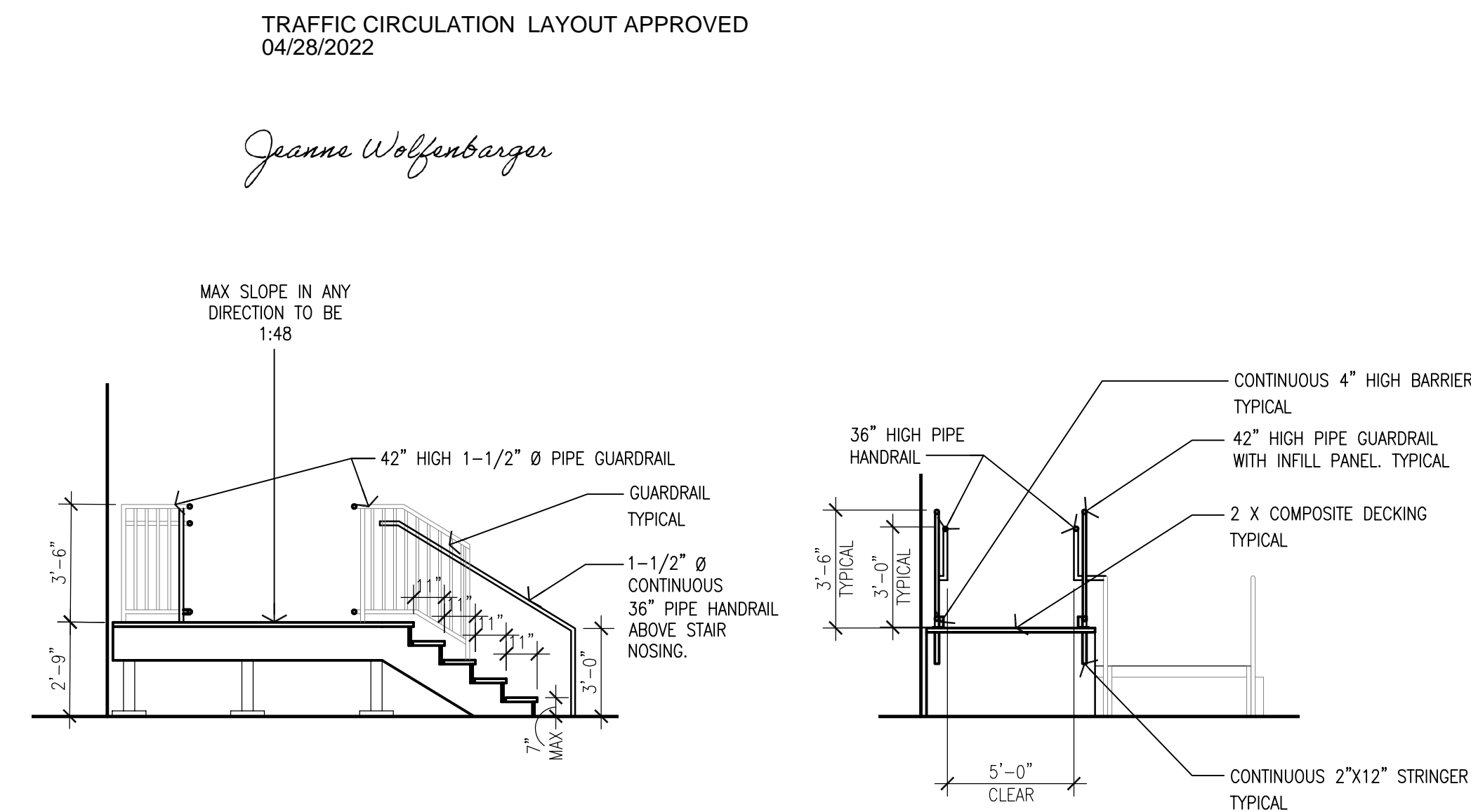
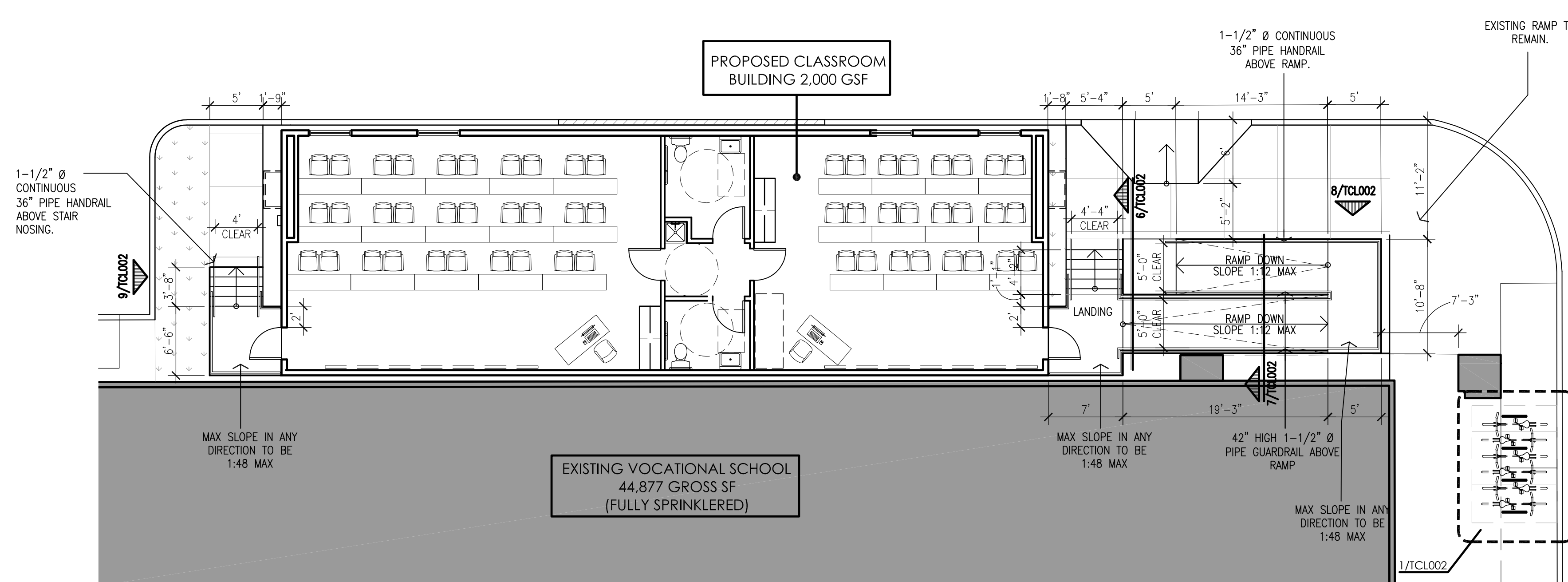
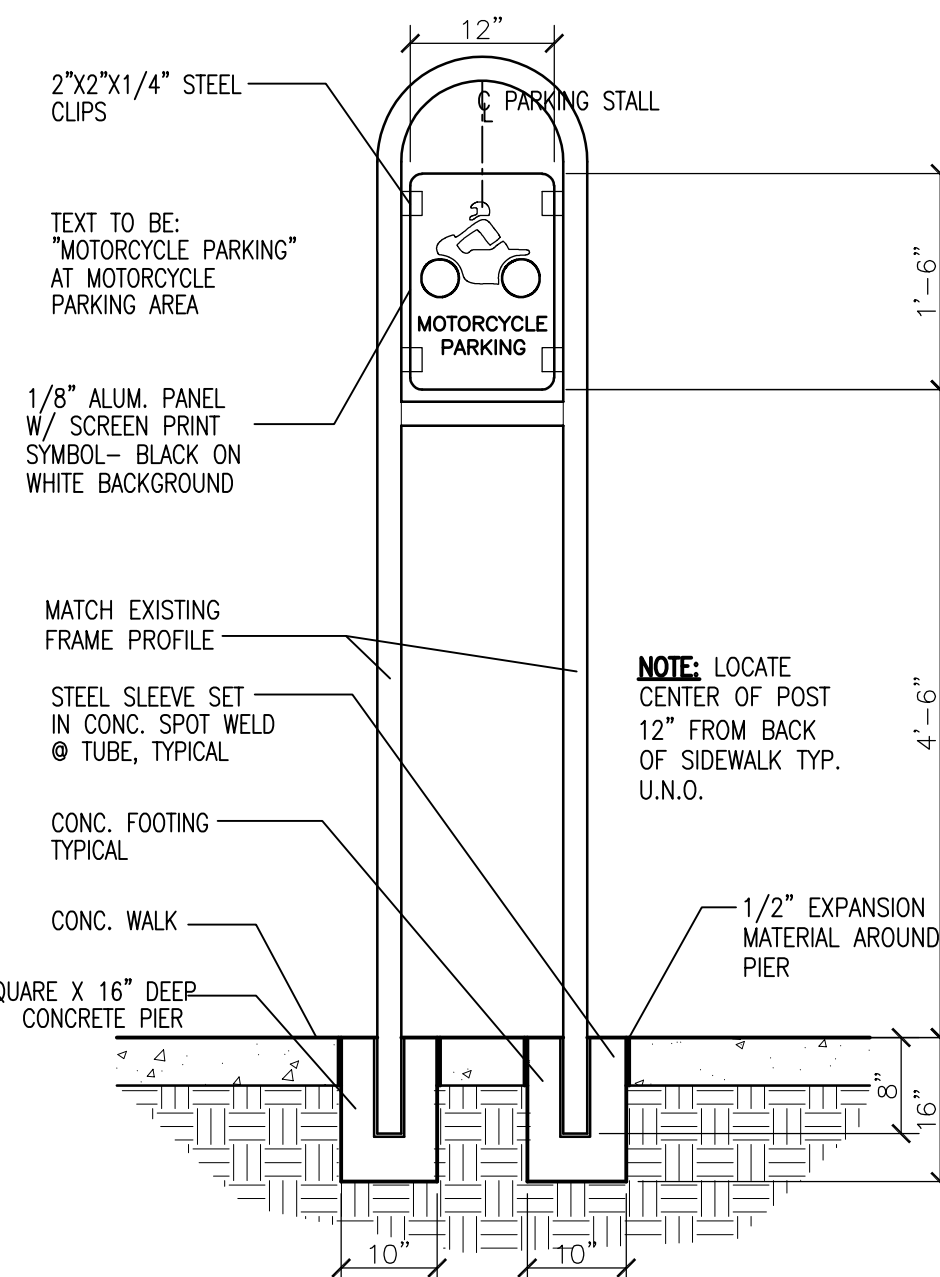
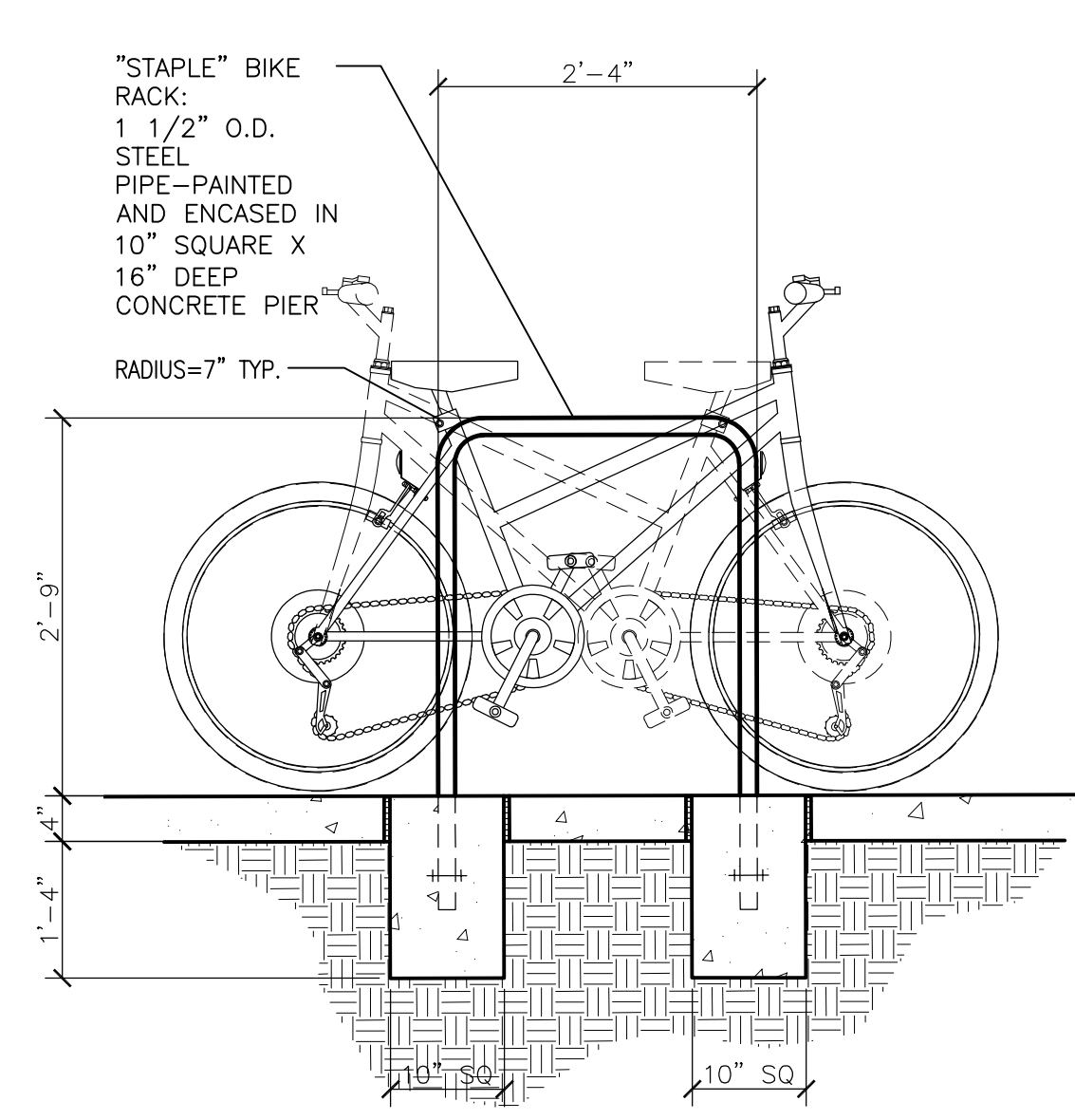
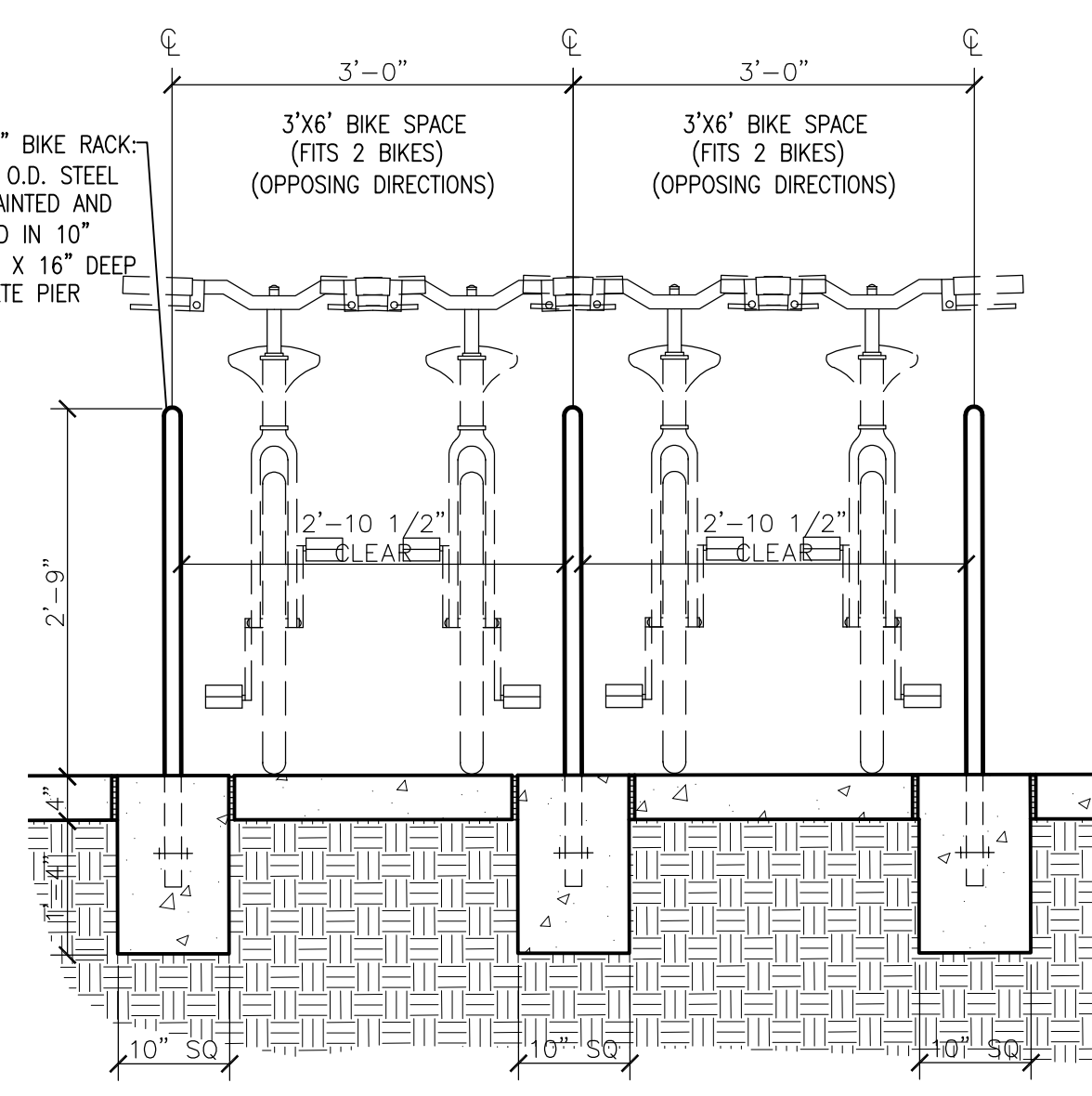
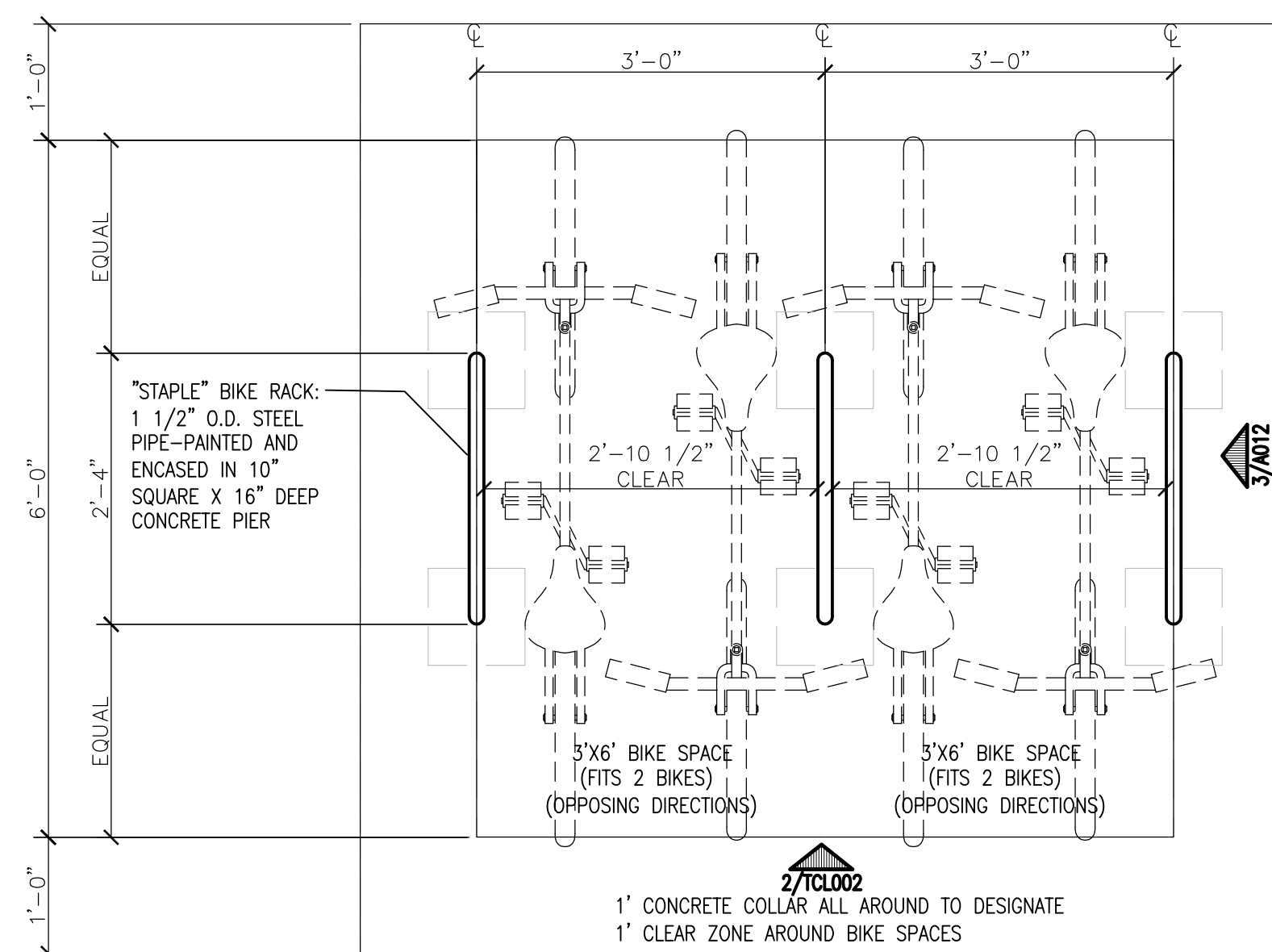
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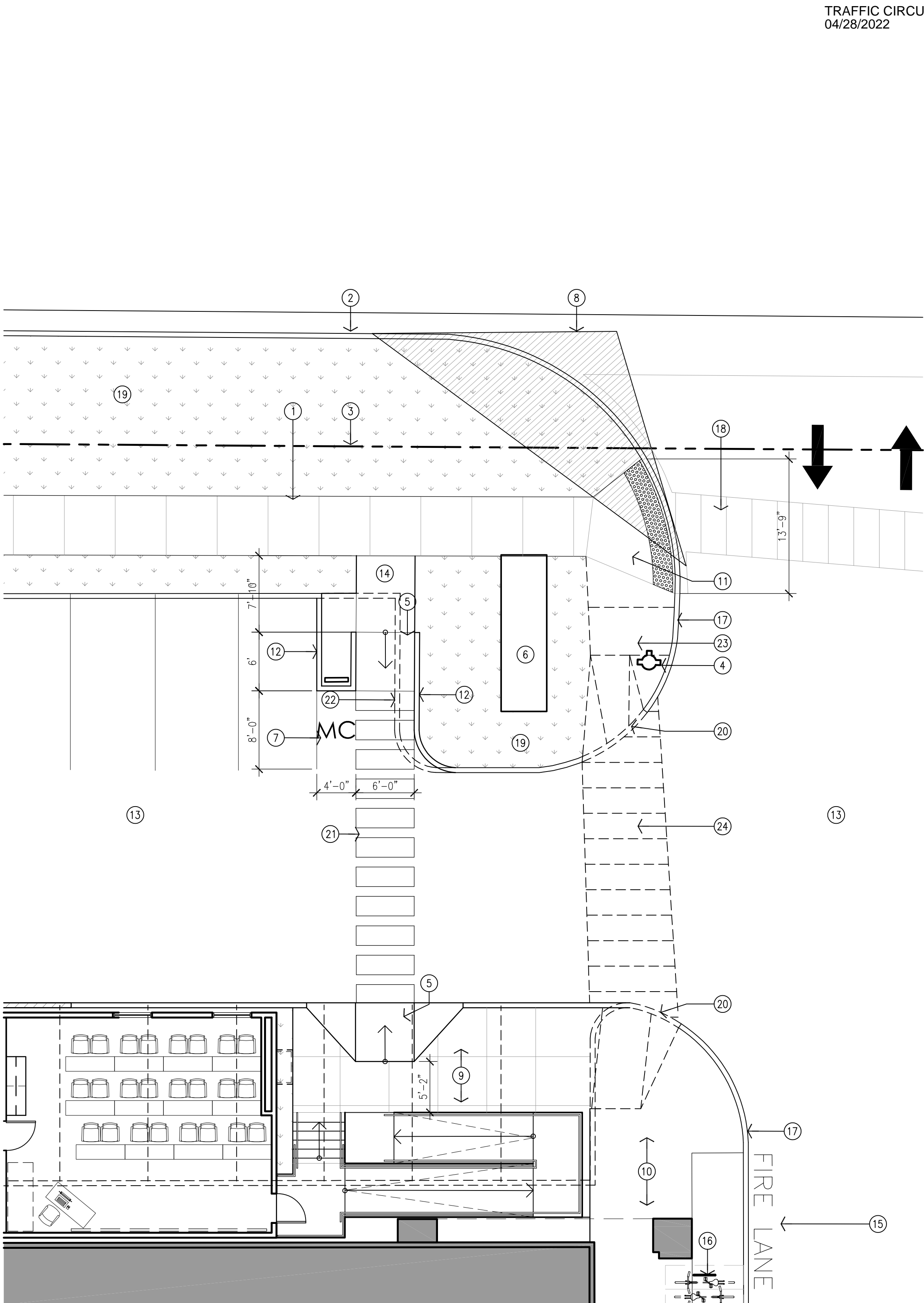
PROJECT
Pima Medical Institute New Classroom Building
4400 Cutler Ave. NE
Albuquerque, NM 87110

TITLE
Traffic Circulation Layout

SHEET

TCL001

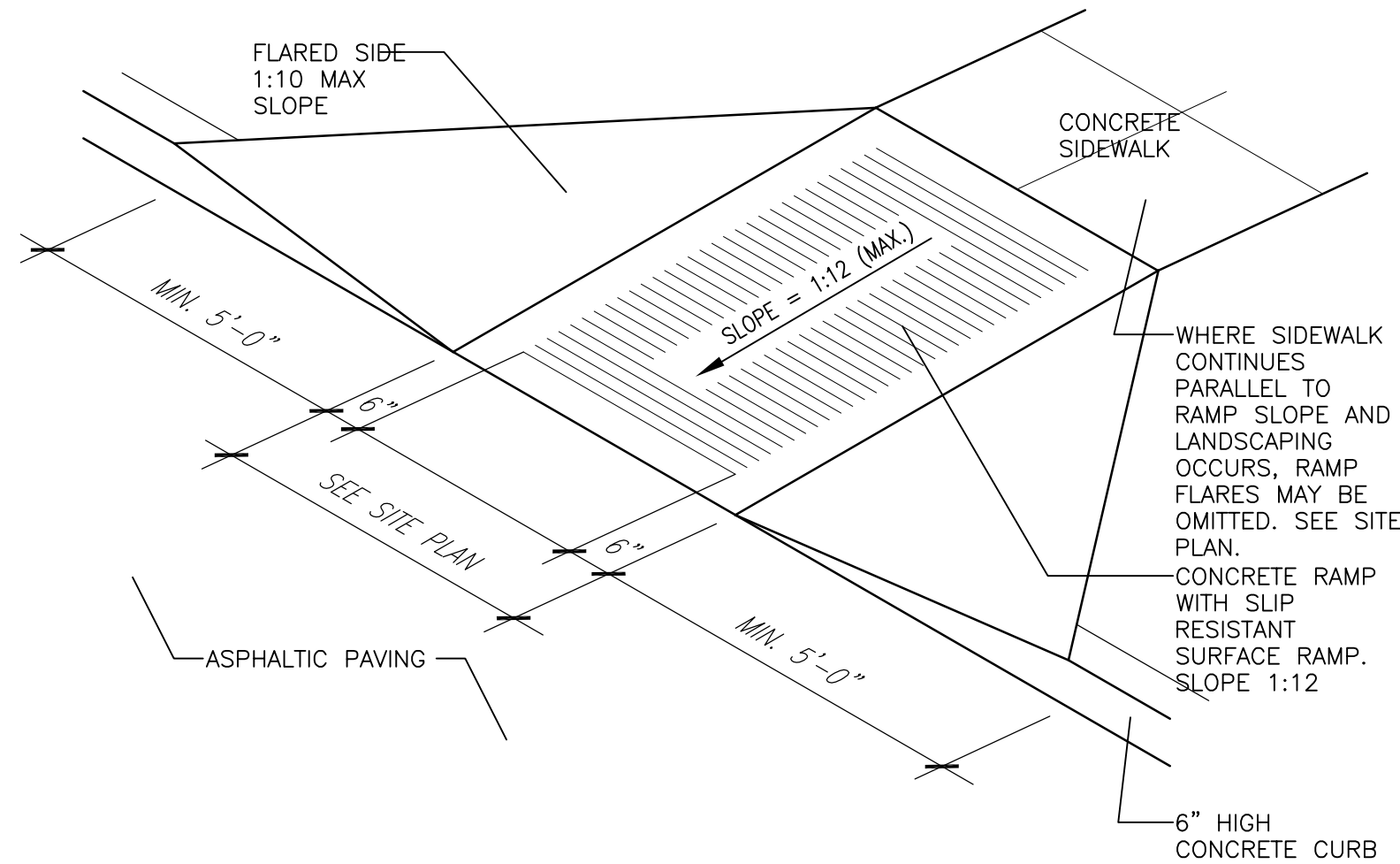




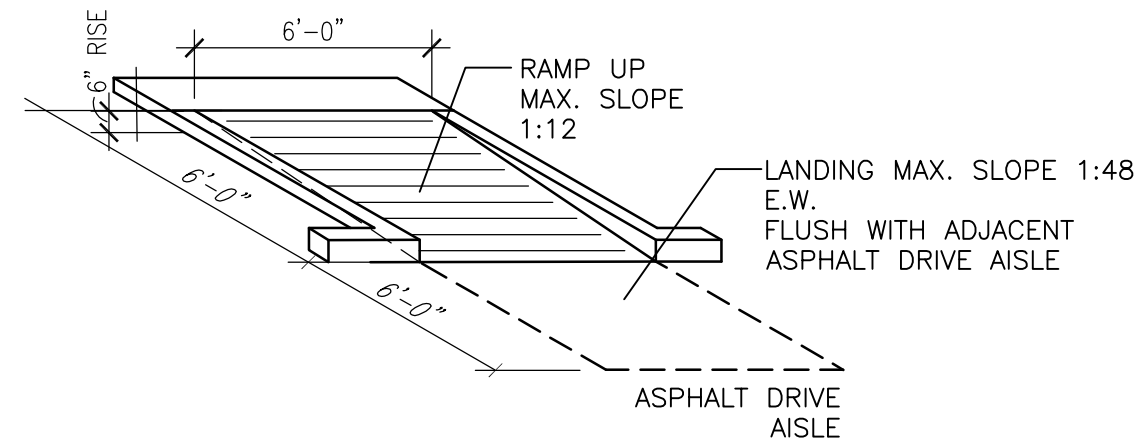
1 Enlarged Site Plan
Scale: 1/8"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
04/28/2022

Jeanne Wolfenbarger



2 H.C. Ramp Detail
Scale: Not To Scale (Isometric) FOR INFORMATION ONLY

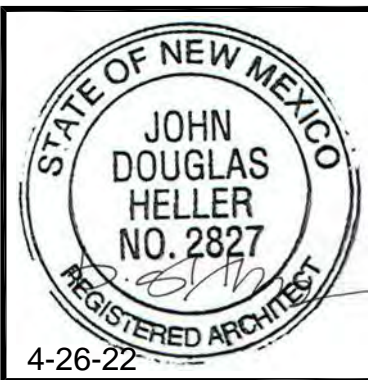
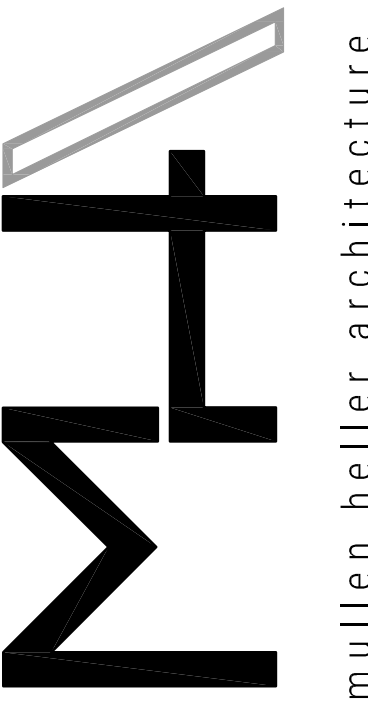


3 H.C. Ramp Details
Scale: Not To Scale (Isometric)

KEYED NOTES:

- [1] EXISTING CITY SIDEWALK TO REMAIN.
- [2] EXISTING CITY CURB AND GUTTER TO REMAIN.
- [3] EXISTING PROPERTY LINE.
- [4] EXISTING FIRE HYDRANT TO REMAIN.
- [5] PROPOSED ADA ACCESSIBLE RAMP. SEE 2 AND 3/TCL003.
- [6] EXISTING SIGN TO REMAIN.
- [7] PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE. SEE DETAIL 4/TCL002.
- [8] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [9] PROPOSED CONCRETE SIDEWALK 4' WIDE MINIMUM WITH CONTROL JOINTS EVERY 5'-0" WITH EXPANSION JOINTS EVERY 20'-0".
- [10] EXISTING SIDEWALK TO REMAIN.
- [11] EXISTING CURB RAMP TO REMAIN. INSTALL TRUNCATED DOMES PER COA STANDARD DETAIL #2446. CROSSWALK SLOPE 2% MAX AND RUN SLOPE 8.3% MAX.
- [12] PROPOSED CONCRETE CURB.
- [13] EXISTING ASPHALT PARKING LOT TO REMAIN.
- [14] NEW 6'-0" WIDE CONCRETE SIDEWALK CONNECTION FROM CITY SIDEWALK.
- [15] EXISTING PAINTED FIRE LANE TO REMAIN.
- [16] PROPOSED BIKE RACK WITH 6 SPACES. SEE DETAIL 1/TCL002.
- [17] EXISTING CURB TO REMAIN.
- [18] EXISTING DESIGNATED CROSSWALK TO REMAIN.
- [19] EXISTING LANDSCAPE TO REMAIN.
- [20] EXISTING SIDEWALK RAMP TO BE REMOVED AND REPLACED WITH NEW CONCRETE CURB.
- [21] PROPOSED DESIGNATED CROSSWALK.
- [22] REMOVE PORTION OF CURB.
- [23] REMOVE CONCRETE PAVING AND INSTALL LANDSCAPING.
- [24] REMOVE CONCRETE PAVING. PATCH WITH ASPHALT PAVING.

REV	DATE	BY	DESCRIPTION
A			
A			
A			
A			



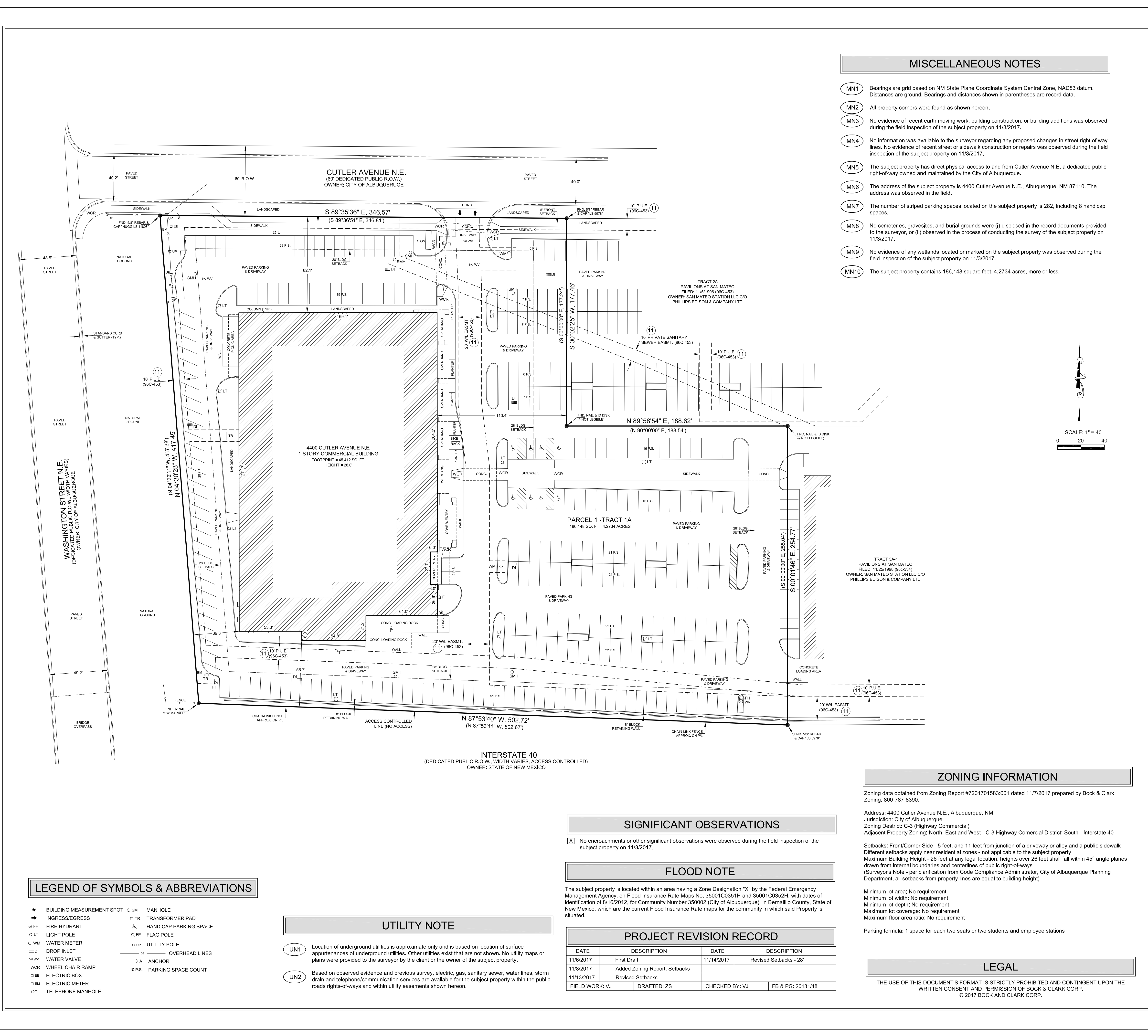
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PROJECT
Pima Medical Institute New Classroom Building
4400 Cutler Ave. NE
Albuquerque, NM 87110

TITLE
Traffic Circulation Layout - Enlarged Plan

SHEET
TCL003



LEGEND OF SYMBOLS & ABBREVIATIONS

- BUILDING MEASUREMENT SPOT
- INGRESS/EGRESS
- FIRE HYDRANT
- LIGHT POLE
- WM
- DROP INLET
- WATER VALVE
- WCR
- WHEEL CHAIR RAMP
- EB
- EM
- OT
- SMH
- MANHOLE
- TRANSFORMER PAD
- HANDICAP PARKING SPACE
- FLAG POLE
- UTILITY POLE
- OK
- ANCHOR
- 10 P.S.
- PARKING SPACE COUNT

UTILITY NOTE

- UN1 Location of underground utilities is approximate only and is based on location of surface appurtenances of underground utilities. Other utilities exist that are not shown. No utility maps or plans were provided to the surveyor by the client or the owner of the subject property.
- UN2 Based on observed evidence and previous survey, electric, gas, sanitary sewer, water lines, storm drain and telephone/communication services are available for the subject property within the public roads rights-of-ways and within utility easements shown hereon.

SIGNIFICANT OBSERVATIONS

- A No encroachments or other significant observations were observed during the field inspection of the subject property on 11/3/2017.

FLOOD NOTE

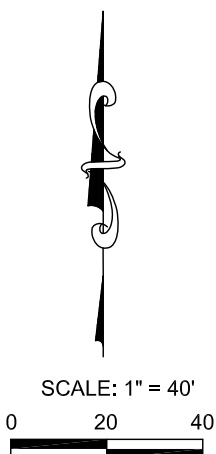
The subject property is located within an area having a Zone Designation "X" by the Federal Emergency Management Agency, on Flood Insurance Rate Maps No. 35001C03351H and 35001C0332H, with dates of identification of 8/16/2012, for Community Number 350002 (City of Albuquerque), in Bernalillo County, State of New Mexico, which are the current Flood Insurance Rate maps for the community in which said Property is situated.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
11/6/2017	First Draft	11/14/2017	Revised Setbacks - 25'
11/8/2017	Added Zoning Report, Setbacks		
11/13/2017	Revised Setbacks		
FIELD WORK: VJ	DRAFTED: ZS	CHECKED BY: VJ	FB & PG: 2013/148

MISCELLANEOUS NOTES

- MN1 Bearings are grid based on NM State Plane Coordinate System Central Zone, NAD83 datum. Distances are ground. Bearings and distances shown in parentheses are record data.
- MN2 All property corners were found as shown hereon.
- MN3 No evidence of recent earth moving work, building construction, or building additions was observed during the field inspection of the subject property on 11/3/2017.
- MN4 No information was available to the surveyor regarding any proposed changes in street right of way lines. No evidence of recent street or sidewalk construction or repairs was observed during the field inspection of the subject property on 11/3/2017.
- MN5 The subject property has direct physical access to and from Cutler Avenue N.E., a dedicated public right-of-way owned and maintained by the City of Albuquerque.
- MN6 The address of the subject property is 4400 Cutler Avenue N.E., Albuquerque, NM 87110. The address was observed in the field.
- MN7 The number of striped parking spaces located on the subject property is 282, including 8 handicap spaces.
- MN8 No cemeteries, gravesites, and burial grounds were (i) disclosed in the record documents provided to the surveyor, or (ii) observed in the process of conducting the survey of the subject property on 11/3/2017.
- MN9 No evidence of any wetlands located or marked on the subject property was observed during the field inspection of the subject property on 11/3/2017.
- MN10 The subject property contains 186,148 square feet, 4.2734 acres, more or less.



RECORD DESCRIPTION

Parcel No. 1:
Tract "1A", Revised Plat of Pavilions at San Mateo, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on November 5, 1996, in Plat Book 96C, Page 453.

Parcel No. 2:
A non-exclusive appurtenant easement as described in that Reciprocal Easement Agreement by and between Pavilion Partners, L.L.C., an Arizona limited liability company, and Washburn Plano Co., an Arizona corporation, dated February 15, 2000, recorded February 15, 2000 in Book A2, Page 5054 as Doc. No. 2000015129, as amended by First Amendment to Reciprocal Easement Agreement by and between S/W Albuquerque, L.P., a Texas limited partnership, and Herdote Development, LLC, an Arizona limited liability company, recorded March 31, 2010 as Doc. No. 2010027116, records of Bernalillo County, New Mexico. Blanket easement affecting Tracts 1A, 2A, 3A1, 4A, 5A, 6A and 7A of the Pavilions at San Mateo development, Not plottable, Not plotted. See location map for all tracts.

The above legal description describes the same parcel of land as described in the commitment for title insurance No. 1707036 dated 9/7/2017 by Old Republic National Title Insurance Company.

ALTA/NSPS LAND TITLE SURVEY

PIMA
B&C Project No. 201703519/Site 1
4400 Cutler Avenue N.E., Albuquerque, NM 87110

Based upon Old Republic National Title Insurance Company Commitment No. 1707036 bearing an effective date of September 7, 2017

Surveyor's Certification

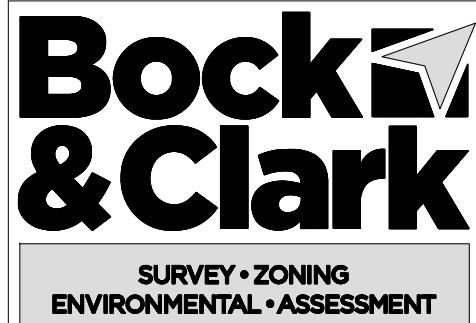
To: Broadstone PMI Portfolio, LLC; Vaisey Nicholson & Nearpass PLLC; Broadstone Net Lease Acquisitions, LLC; Old Republic National Title Insurance Company; and Bock & Clark Corporation

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17, 18, and 20 of Table A thereof. The field work was completed on November 3, 2017.

Vladimir Jirik
Registration No. 10464 in the State of New Mexico
Date of Survey: 11/6/2017
Date of Last Revision: 11/14/2017
Bock & Clark NSN Project No. 201703519/1

Survey Performed by: Professional Surveying LLC
P.O. Box 94595, Albuquerque, NM 87199
1102 Marigold Drive N.E., Albuquerque, NM 87122
Phone: 505.892.4597, Call 505.620.4228
professional.surveying@comcast.net

SHEET 1 OF 1



National Coordinators
1-(800)-SURVEYS (787-8397)
Bock & Clark Corporation
3550 W. Market Street, Suite 200, Akron, Ohio 44333
maywehelpyou@bockandclark.com
www.bockandclark.com

ZONING INFORMATION

Zoning data obtained from Zoning Report #7201701583:001 dated 11/7/2017 prepared by Bock & Clark Zoning, 800-787-8390.

Address: 4400 Cutler Avenue N.E., Albuquerque, NM
Jurisdiction: City of Albuquerque
Zoning District: C-3 (Highway Commercial)
Adjacent Property Zoning: North, East and West - C-3 Highway Commercial District; South - Interstate 40

Setbacks: Front/Corner Side - 5 feet, and 11 feet from junction of a driveway or alley and a public sidewalk
Different setbacks apply near residential zones - not applicable to the subject property
Maximum Building Height - 26 feet at any legal location, heights over 26 feet shall fall within 45° angle planes drawn from internal boundaries and centerlines of public right-of-ways
(Surveyor's Note - per clarification from Code Compliance Administrator, City of Albuquerque Planning Department, all setbacks from property lines are equal to building height)

Minimum lot area: No requirement
Minimum lot width: No requirement
Minimum lot depth: No requirement
Maximum lot coverage: No requirement
Maximum floor area ratio: No requirement

Parking formula: 1 space for each two seats or two students and employee stations

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORP.
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