



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Chick- Fil- A Inc		Phone:
Address: 5200 Buffington Road		Email:
City: Atlanta	State: GA	Zip: 30349
Professional/Agent (if any): Frank Gawdun		Phone: 480-755-0959
Address: 1743 E McNair Drive Suite 200		Email: gawdun@esencia.org
City: Tempe	State: AZ	Zip: 85283
Proprietary Interest in Site:		List all owners: 2274 Wyoming Boulevard Owner LLC

BRIEF DESCRIPTION OF REQUEST

Installation of free standing metal canopies to protect employees from harsh weather conditions while working their shift.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 3	Block: 0000	Unit:
Subdivision/Addition: Wyoming Mall	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-19-Z/ H-20-Z	Existing Zoning: MXM	Proposed Zoning: No Change
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 0.36

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2274 Wyoming Blvd NE	Between: Menaul Blvd NE	and: Northeastern Blvd NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 5-31-2022
Printed Name: FRANK GAWDUN	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ The approved Site Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired


☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

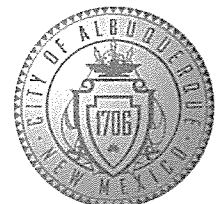
I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 
Printed Name: Frank Gawdun

Date: 5-31-2022
☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. ***The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

5. Design should allow for natural ventilation as much as possible.

Achieved

☐

Achieved in Part

☒

Evaluated Only

☐

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

8. North facing windows are encouraged as they require little to no shading.

Achieved

☐

Achieved in Part

☒

Evaluated Only

☐

9. Any west facing building entries and windows should mitigate solar effects.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies.
Deciduous trees planted in small or large groups are preferred.

N/A

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

N/A

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved

☒

Achieved in Part

☐

Evaluated Only

☐

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved

☐

Achieved in Part

☒

Evaluated Only

☐

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project CHICK FIL-A # 3484 and Application No. _____.

[Signature] 004961
Signature of Project Architect/License No.

N/A
Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

May 31, 2022

City of Albuquerque
Planning Department
600 2nd NW.
Albuquerque, NM 87102
(505) 924-3339

Regarding: **Project Justification Letter**
Chick-Fil-A # 3484
2274 Wyoming Blvd. NE
Albuquerque, New Mexico

Dear Planning Dept.,

Chick-Fil-A would like to submit the following documents as they are seeking a Minor Amendment to the existing approved site plan for their existing restaurant located at 2274 Wyoming Blvd., near the corner of Menaul Blvd. NE and Wyoming Blvd. NE.

The existing parcel is a .81-acre pad site currently zoned MX-M (Mixed Use-Moderate Intensity District) and is incorporated into the Wyoming Mall Shopping Center. The fast-food restaurant has been in operation for several years and fully developed per the City of Albuquerque and Wyoming Mall design standards. The existing 4,526 sq. ft. fast-food restaurant building is located on the south side of the Chick-Fil-A parcel. Existing site amenities include a dual lane drive-thru tapering to a single lane at the pick-up window equipped with (2) two-way communication order point menu boards, drive-up window offering for take-out food service, illuminated off street paved shared parking lot, an existing masonry screen wall trash enclosure with metal gates. The property, and street scape are fully landscaped with drought tolerant trees, turf and shrubbery native to the area. The site was designed and remains in compliance with the accessibility standards outlined in the Dept. of Justice ADA standards. The existing order point menu boards and drive-thru lane was designed to route traffic around the north, west and south side of the restaurant building. There are three main points of entry to this site, a shared entrance drives off of Wyoming Blvd. NE, and two internal entrance drives from the adjacent Walmart parking lot. There is no direct access to the Chick-Fil-A parcel from Wyoming Blvd. NE.

Restaurant operating hours will continue to follow the current schedule of being open from 6:00 AM thru 10:00 PM Monday thru Saturday, closed on Sundays, Thanksgiving Day, Christmas Day, and Easter Sunday, the store will be open on other holidays unless that holiday is on a Sunday, in which case the store is always closed. Peak hours of operation are 7:00 AM to 9:00 AM, 11:00 AM – 2:00 PM and 4:30 PM to 7:30 PM.

Chick-Fil-A has seen success with the order point menu boards located in the queuing aisle, and they would like to install two canopies in the existing drive thru lane to help enhance their operations further. The Face-to-Face canopy an 895 sq. ft. steel shade structure at 9'-6" above top of pavement is proposed to be located in the drive-thru lane on the west side of the property near the existing order point menu board. A 576 sq. ft. metal curved Meal Delivery shade structure at 9'-6" above top of pavement is proposed to be installed adjacent to the existing pick-up window at the south and west side of the existing restaurant building. Chick-Fil-A is seeking a Minor Site Plan Amendment to allow installation of these two shade structures.

Chick-Fil-A has recognized that at their sites during peak hours of operation that the existing two-way communication menu boards cannot process the orders quick enough, at some sites this has led to on site traffic congestion as well as vehicles blocking entrances to other business, or even backing up out onto the public streets creating a public safety issue. To help improve the issue Chick-Fil-A now requires their Team Members to be out-fitted with Smart Tablets and work out-doors during those peak hours of operation. These efforts continue to be hampered, as the weather remains a big factor and employees only are able to work outdoors sporadically.

The purpose of these two canopies is to provide Team Members working outdoors relief of the inclement weather conditions and aide with public safety. Under cover, up to (6) Team Members working at the Face-to-Face canopy can serve several vehicles at one time. The Meal Delivery Canopy like the Face-to-Face Canopy will have up to (3) Team Members working outdoors taking food orders from the pick-up window and delivering the orders to the cars waiting in line, this tandem effort helps provide a quicker service in the drive thru lane by reducing wait times and allows for the Team Members outdoors to work longer shifts. Protective striping is applied to the traffic lanes under both canopies to divert traffic away from the Team Members, bollards will be installed to keep the vehicle path clear of damaging the canopy structure.

Both canopies will be independent open sided free-standing structures, constructed of steel framing, cantilevered beams with caisson footings. The supporting columns at this site will be exposed steel with a powder-coat paint finish matching the color of the existing building awnings. This will allow the canopies to remain architecturally harmonious with the rest of the Shopping Center and neighboring community. The new canopies will be outfitted with recessed L.E.D. lighting installed within a premanufactured powder coat finished metal deck. Fans will be installed to provide relief to the Team Members from the summer heat and gas radiant heaters will be installed for warmth during the winter season. This slim line design will provide the appearance as if the canopies were part of the original construction of the restaurant.

Chick-Fil-A feels the installation of these canopies conform with the requirements of IDO Section 14-16-6-(Y)(2) as the installation of the canopies will not cause an adverse effect on the site, will not emit noise or noxious odors, nor add or alter existing drainage water flow patterns, not cause any flooding or cause a negative impact to the adjacent neighboring properties or cause property to devalue in the neighborhood. Existing landscaping will not be affected as no trees or shrubs will need to be removed for the canopy installation, pervious and non-pervious areas will be altered by no more than 0.08%. The construction of the canopies will not have an adverse effect on the neighboring parcels as all rain water from the canopies is directed to drain and daylight on to the existing pavement by the use of internal rain gutters or scuppers. Stormwater from the roof is deflected on to the existing pavement below and will utilize the existing water flow pattern previously designed on the site, the storm water will be mitigated by the properties existing drainage system already in place. Fire danger is non-existent as the canopies are constructed of steel. With regards to the canopies being constructed atop the existing telephone easement, Chick-Fil-A has obtained permission to proceed and construct over the easement from Century Link / QWEST Corp., please refer to separate attachment letter form QWEST.

With Chick-Fil-A being closed on Sundays, the construction of the canopies is a three-phase process. In the first week, the footings, and underground conduit are installed, backfill of trenching and patching the pavement occurs, the work takes place starting on Saturday at 10:00 PM and finishes on Monday morning at 6:00 AM. All excess dirt from the footing and trenching is immediately hauled off the site, so no storm water pollution occurs. During the second week, steel is erected, roof decking installed, along with the lights, and fans, in the third week, utility connections are finalized and the C of O is scheduled. Between the construction weekends, during normal hours of operation there is no impact to the site or adjacent properties as the restaurant and drive thru service remain in operation and the construction areas are safely barricaded off protecting the public during the duration of construction.

Chick-Fil-A is excited about this proactive opportunity in providing a healthier work environment for their Team Members as well as help provide public safety before it becomes a matter of contention. We feel the canopies are a much-needed accessory to this site and we are looking forward to working with the City of Albuquerque Planning Department staff to help achieve Chick-Fil-A's goals for this vibrant community.

Frank Gawdun, Project Manager
esencia Architecture & Urban Design
480-755-0959 ext. 121

AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

When the Permit Application will be executed by a person other than the property owner, prior to issuing the permit, the following shall be completed by the property owner and returned to the agency responsible for issuing the permit:

I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain all required Building Permit and/or Planning approvals for the project described below.

Scope of Construction Project (or Description of Work): Install two (2) shade canopies over the existing drive
thru to provide protection from the elements to both employees and customers.

Project Location or Address: 2274 Wyoming Blvd. Albuquerque, NM 87112

Name of Authorized Agent: Frank Gawdun Esencia , LLC

Address of Authorized Agent: 1743 E. McNair Dr., Suite 200, Tempe, Arizona 85283

Phone Number of Authorized Agent: 480-755-0959

I am the property owner for the address listed above, I have reviewed the above information and certify its accuracy.


Property Owner's Signature

6/1/22
Date

Jason Rosier
Property Owner's Printed Name



2/17/2022

Chick-Fil-A
C/O Stephanie Espinoza
Permit Expediter
Esencia Architecture
1743 E. McNair Dr, Suite 200
Tempe, AZ 85283

SUBJECT: APPROVAL TO PROCEED / ENCROACHMENT

Project Name & Location:

Chick-Fil-A canopy construction encroaching on the 7 foot Qwest Corporation Easement at 2274 Wyoming Blvd NE, Albuquerque, NM

Chick-Fil-A Corporation:

QWEST CORPORATION d/b/a CENTURYLINK QC ("CenturyLink") is holder of Easement Rights granted by that certain Plat filed April 2, 2007 as Plat Book 2007C, Page 80 on file in the office of the County Recorder of Bernalillo County, New Mexico.

CenturyLink has reviewed your request to proceed with improvements as shown on Exhibit "A" ("Improvements"), said Exhibit "A" attached hereto and incorporated by this reference, within the Easement Tract and has no objections providing, however, the following terms and conditions are agreed to, and met, by Chick-Fil-A Corporation:

1. Locates must be performed by a state recognized organization (i.e., Call Before You Dig, Blue Stake, etc.).
2. A minimum of three feet of cover above CenturyLink facilities is always maintained and the final grade provides for no less than three feet of cover.
3. If any CenturyLink facilities are damaged or require relocation because of said Improvements, or the act of installing, maintaining, or removing said Improvements, Chick-Fil-A Corporation agrees to bear the cost of repair and/or relocation of said CenturyLink facilities.
4. No buildings or structures are to be placed within the Easement Tract other than those, if any, that are approved by this APPROVAL TO PROCEED.

Prior to commencing construction, please execute this Agreement below and return a copy to CenturyLink to the attention of RJ Rodgers.


It is the intent and understanding of CenturyLink that this action shall not reduce our rights to any existing easements or rights we have on this site or in the area.


If you have any questions or would like to discuss this action further, please contact RJ Rodgers at 602-315-7656 or Robert.Rodgers@Lumen.com

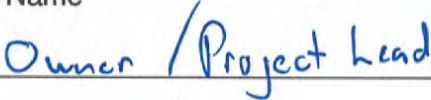
Sincerely yours,

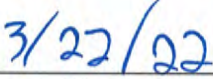
Diane Willatto
Network Infrastructure Services
Diane.Willatto@lumen.com
P840742

I hereby agree to the terms and conditions as described in this document.



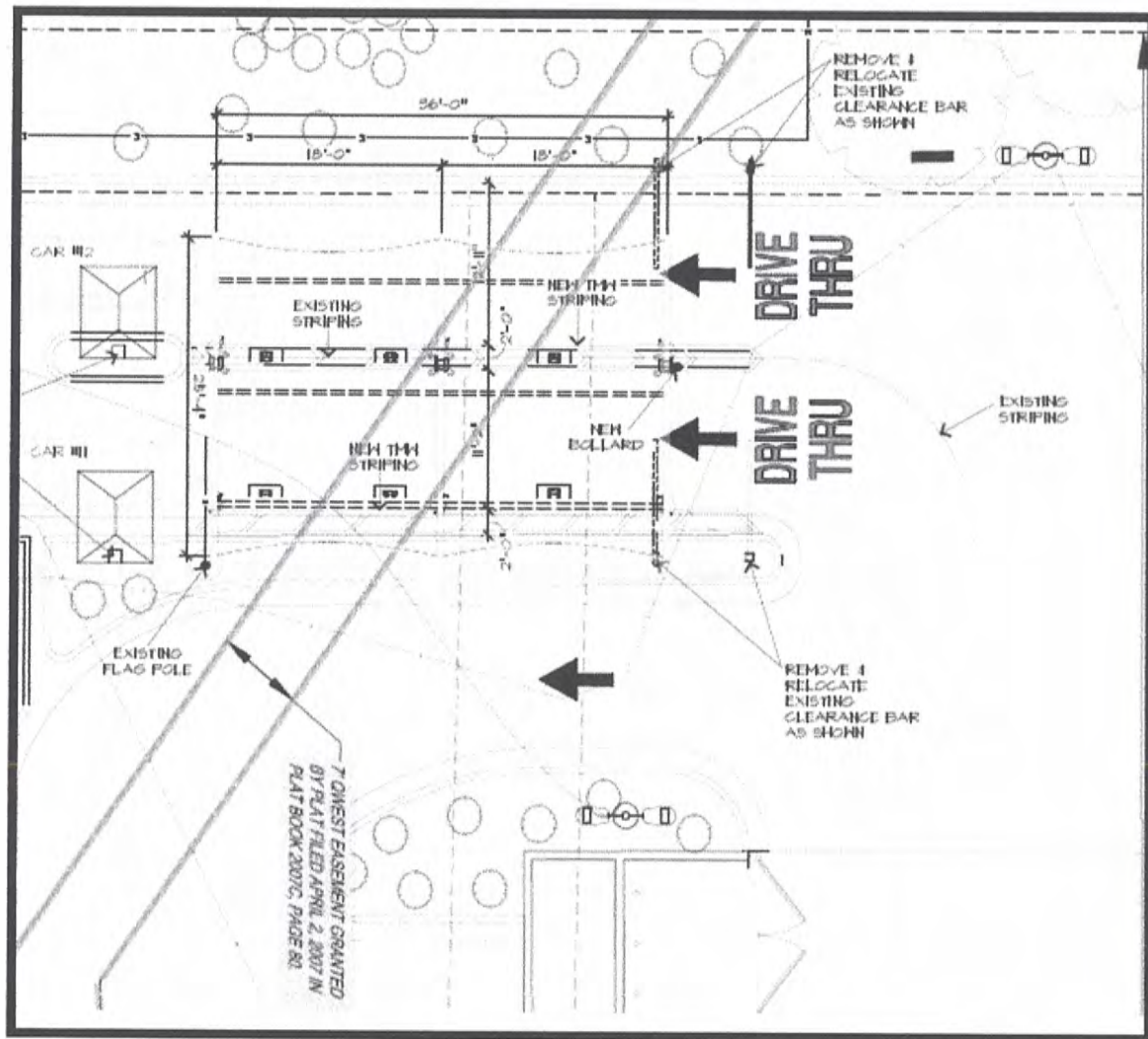
Signature


Printed Name


Title


Date

EXHIBIT A





CHICK-FIL-A #3484 CANOPY PROGRAM

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

IMPERVIOUS / PERVIOUS AREA TABULATION

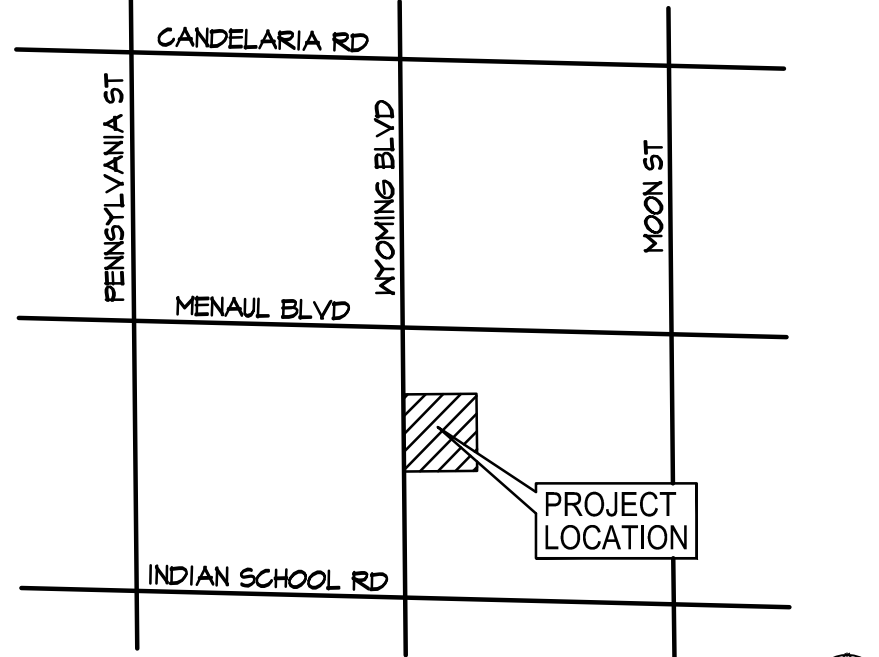
CATEGORY	2015 CONSTRUCTION PLAN	2022 CANOPY PROGRAM IMPROVEMENT	NET INCREASE/ DECREASE 2022 CANOPY PROGRAM	REMARKS
1. IMPERVIOUS AREA : a. BUILDING AREA: b. SHADE STRUCTURE: c. CONCRETE / NON-PERVIOUS AREA: d. AREA SUBTOTAL:	4,526 S.F. 0 S.F. 4,244 S.F.	4,526 S.F. 1,471 S.F. 2,836 S.F.	+13 S.F.	• DENOTES NEW CANOPY AREA SUBTRACTED FROM THE ASPHALT / CONC. PAVEMENT AREA, AS STORM WATER IS COLLECTED FROM THE CANOPY ROOF TOP AND DIRECTED TO DAYLIGHT ON TO THE PAVEMENT AREA BELOW. • DENOTES NEW NON-PERVIOUS AREA (PORTION OF NEW CANOPY) COVERING EXISTING PERVIOUS LANDSCAPE AREA RESULTING IN A 0.08% LOSS OF PERVIOUS AREA FOR THIS SITE.
2. PERVIOUS AREA: a. LANDSCAPE / PLANTING AREA: b. AREA SUBTOTAL: c. TOTAL SITE AREA:	6,805 S.F. 6,805 S.F. (43.55%) 15,625 S.F. (100%)	** 6,742 S.F. 6,742 S.F. (43.47%) 15,625 S.F. (100%)	-13 S.F. -0.08%	• ALL WATER FROM BOTH CANOPIES WILL BE INTERNALLY DRAINED AND DAY LIGHT TO IMPERVIOUS AREA LOCATED UNDER CANOPY COLUMNS.



1 KEY PLAN
NO SCALE



VICINITY MAP



VICINITY MAP
SCALE: 1" = 300'-0"

SHEET INDEX

ARCHITECTURAL
T-0 TITLE SHEET
A-1 SITE PLAN ADMINISTRATIVE AMENDMENT (RECORD COPY)
A-2 PROJECT DATA & OVERALL SITE PLAN
A-3 ENLARGED CANOPY PLAN
A-4 ELEVATION PLAN
C-2.0 RECORD COPY SITE PLAN (FOR REFERENCE ONLY)
L-1.0 RECORD COPY LANDSCAPE PLAN (FOR REFERENCE ONLY)
C3.0 RECORD COPY GRADING PLAN (FOR REFERENCE ONLY)
DN-1.0 RECORD COPY DRAINAGE MAP (FOR REFERENCE ONLY)

PROJECT DIRECTORY

OWNER:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30344
TROY TRIPP, DIRECTOR OF CONST.
tray.tripp@cfacorp.com
(404) 305-4613
ARCHITECT:
esencia LLC
1743 E. McNAIR DRIVE
SUITE 200
TEMPE, AZ. 85283
JEFFREY WINTER, R.A.
winter@esencia.org
(480) 755-0954 EXT 120

PROJECT MANAGER:
BUREAU VERITAS, LLC
17200 N. PERIMETER DRIVE
SUITE 275
SCOTTSDALE, ARIZONA 85255
MICHAEL ANDERSON, CPM
(480) TTT-1800
MUNICIPALITY:
CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
600 2ND ST. NW
ALBUQUERQUE, NM 87102
BRENNON WILLIAMS
bwilliams@cabq.gov
(505) 424-3334

PROJECT DATA

- PROJECT NAME: CHICK-FIL-A, #3484
- PROJECT ADDRESS: 2274 WYOMING BLVD. NE ALBUQUERQUE, NM 87112
- PROJECT WORKSCOPE: INSTALLATION OF FABRIC FACE TO FACE AND STEEL FRAMED MEAL DELIVERY CANOPY (EMPLOYEE SHADE STRUCTURES) WITH MINOR ELECT. / PLUMB. WORK.
- PARCEL NO: 10200540111413146
- ZONING: MXM COMMERCIAL
- USE: EXIST. FAST FOOD RESTAURANT (NO CHANGE)
- PROPERTY AREA:
a. ACCESS EASEMENT: 14,932 S.F. (46 ACRES)
b. PROPERTY AREA: 15,625 S.F. (35 ACRES)
c. TOTAL AREA: 35,557 S.F. (81 ACRES)
- FIRE SPRINKLERS: YES A.F.E.S. (EXISTING BUILDING)
- TYPE OF CONSTRUCTION:
a. EXISTING BUILDING: VB (EXIST. UN-CHANGED)
b. NEW MEAL DELIVERY CANOPY: 11B
c. NEW FACE TO FACE CANOPY: 11B
- OCCUPANCY:
a. EXISTING BUILDING: A-2 (EXIST. UNCHANGED)
b. NEW MEAL DELIVERY CANOPY: A-2
c. NEW FACE TO FACE CANOPY: U (ACCESSORY USE TO A-2)
- BUILDING AREA:
a. EXISTING BUILDING: 50, FT.
b. NEW MEAL DELIVERY CANOPY: 4,526 S.F.
c. NEW FACE TO FACE CANOPY: 576 S.F.
d. TOTAL AREA: 845 S.F.
- ALLOWABLE AREA, PER IBC TABLE 506.2
a. FIRE SPRINKLERED BUILDING: 24,000 S.F. (EXIST. 1-STORY BLDG)
* b. ACTUAL BUILDING AREA: 5,947 S.F.
* NOTE: INCLUDED NEW CANOPIES IN TOTAL AREA IN CALCULATIONS
- AREA OF CONSTRUCTION: 1,471 S.F.
- CANOPY HEIGHT:
a. EXIST. CHICK-FIL-A BUILDING: 24'-1"
b. MEAL DELIVERY CANOPY: 9'-6" BOTT. OF CANOPY
c. FACE TO FACE CANOPY: 9'-6" BOTT. OF CANOPY
- BUILDING SETBACKS:
a. NORTH PROP LINE: 0'-0"
b. WEST PROP LINE: 5'-0" (WYOMING BLVD NE)
c. SOUTH PROP LINE: 0'-0"
d. EAST PROP LINE: 0'-0"
- PARKING REQUIREMENTS: (EXIST. PARKING SPACES TO REMAIN, NO CHANGE)
a. EXIST. PARKING SPACES: 25 SPACES
b. EXIST. VAN ACCESSIBLE SPACES: 1 SPACE
c. EXIST. STANDARD A.D.A. SPACES: 1 SPACE
d. TOTAL PARKING PROVIDED: 27 SPACES
e. TOTAL PARKING REQUIRED: 27 SPACES
f. MOTORCYCLE PARKING: 2 SPACES

NOTE: PARKING SPACES REFLECT THE REQUIREMENTS ASSOCIATED WITH THE MASTER SITE PLAN, IN WHERE CROSS ACCESS AND CROSS PARKING AGREEMENTS BETWEEN TENANTS AND ADJACENT PARCELS ARE MAINTAINED.

GOVERNING CODES

BUILDING: 2015 NEW MEXICO COMMERCIAL BUILDING CODE
MECHANICAL: 2015 NEW MEXICO MECHANICAL CODE
PLUMBING: 2015 NEW MEXICO PLUMBING CODE
ENERGY: 2018 NEW MEXICO ENERGY CODE
ELECTRICAL: 2017 NEW MEXICO ELECTRICAL CODE
FUEL / GAS: 2015 NEW MEXICO I.F.C.
FIRE: 2015 NEW MEXICO I.F.C.
ACCESSIBLE: 2004 EDITION OF A.N.S.I.

SWPP GENERAL NOTE

NOTE TO CITY / COUNTY ENGINEERING DEPT. THE CONSTRUCTION OF THIS PROJECT DOES NOT REQUIRE ANY CUT / FILL OR GRADING. ALL FOOTINGS REGARDLESS OF TYPE ARE EXCAVATED ON THE FIRST DAY OF CONSTRUCTION, EXCESS DIRT HAULED OFF IMMEDIATELY AND DISPOSED OF PER CITY / COUNTY REQUIREMENTS. ALL TRENCHING IS DIG. ELECTRICAL AND OR GAS LINES INSTALLED, TRENCH IS BACKFILLED ON THE SAME DAY. NO GRADING ELEVATIONS CHANGES OCCUR NOR DISTURBANCE OF ANY WATER DRAINAGE PATTERNS. PERVIOUS OR NON-PERVIOUS AREAS ARE NOT AFFECTED. THEREFORE A STORM WATER PREVENTION PLAN IS NOT REQUIRED FOR THIS PROJECT.

GENERAL NOTES

- PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
- WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
- ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.
- UPON INSTALLATION OF FOOTINGS, IT SHALL BE THE G.C. RESPONSIBILITY TO OBTAIN THE SERVICES OF A LAND SURVEYOR TO PROVIDE TOP OF ASPHALT/CONC. DIVE TOPO POINTS TO THE CANOPY FABRICATOR PRIOR TO CANOPY FABRICATION. SAID LAND SURVEYOR SHALL PROVIDE A DRAWING DEPICTING TOPO POINTS, NO EXCEPTIONS TAKEN.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO SEE THAT CONCRETE TRUCKS DO NOT WASH THEIR TRUCKS DOWN ON SHOPPING CENTER PROPERTY OR ANY ADJACENT LAND TO THE SHOPPING CENTER. ARRANGEMENTS SHALL BE MADE TO HAIL CONCRETE MIX OFF SITE IN A LEGAL AND ACCEPTABLE MANNER PER LOCAL JURISDICTION APPLICABLE LAWS.

APPROVAL BLOCK

IDO ZONE ATLAS MAP



Chick-fil-A
5200 BUFFINGTON ROAD.
ATLANTA, GEORGIA 30349
(404) 765 - 8000

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esencia

1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
Telephone 480-755-0959

Jeffrey W. Winter



12-09-2021

Revision Schedule

Rev	Date	By	Description

Project Name: CANOPY PROGRAM

CHICK-FIL-A
STORE #3484

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

Issue Date: 12-09-2021

Drawn By: ZT
Job Number: 19060

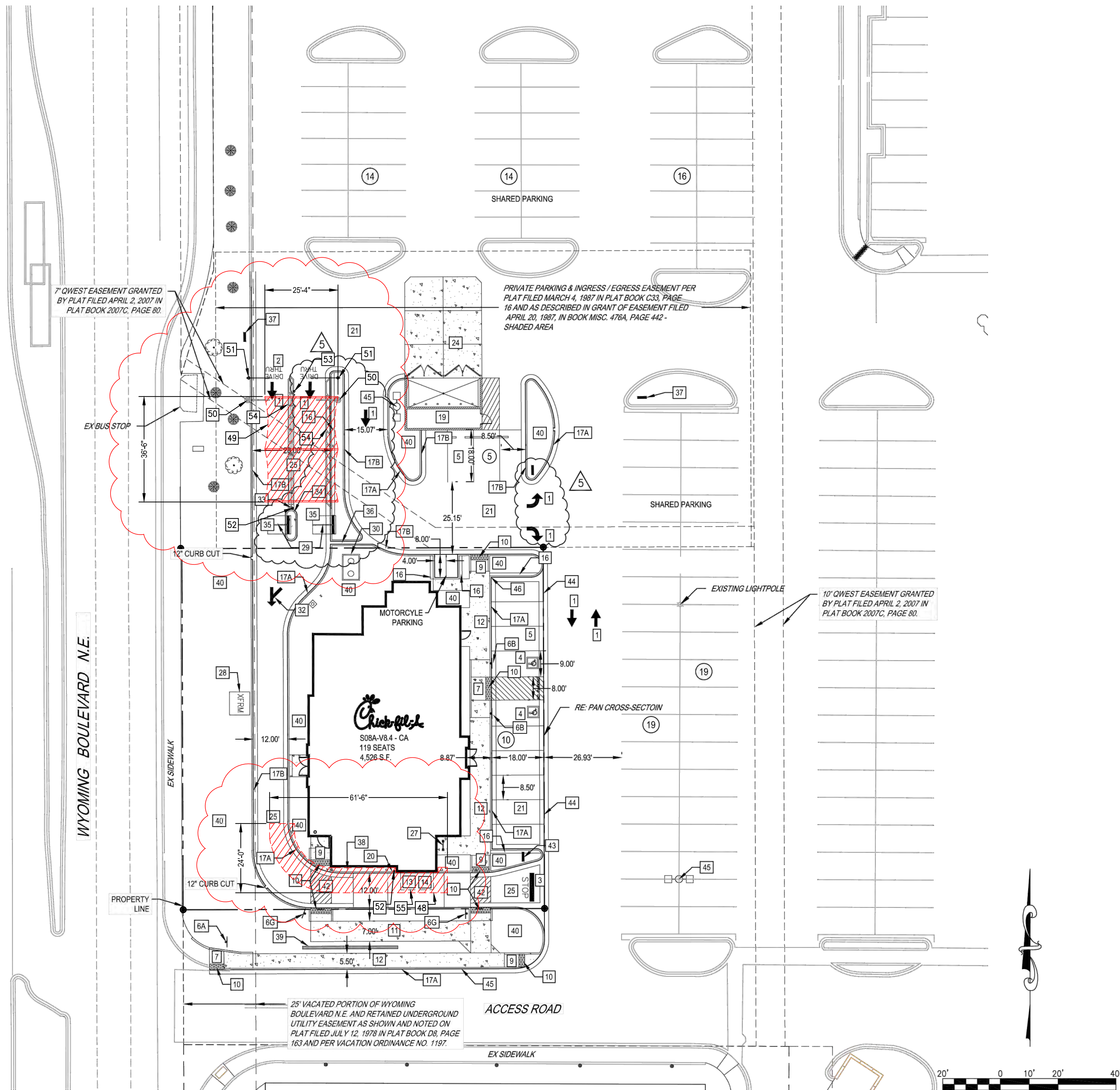
Sheet Title:

Title Sheet

Scale: As indicated

Sheet Number:

T-0



SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBLE PARKING SYMBOL
- 5 STANDARD PARKING STALL
- 6 DIRECTIONAL SIGNAGE

ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION.

- 6A STOP SIGN
- 6B ACCESSIBLE SIGN
- 6C "CAUTION - WATCH FOR PEDESTRIANS" SIGN
- 7 SIDEWALK HANDICAP RAMP
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK w/ CURB & GUTTER
- 13 DRIVE THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 16 18" STEP-OFF CURB
- 17 24" CONCRETE CURB & GUTTER
- 17A SPILLING SECTION
- 17B CATCHING SECTION
- 19 REFUSE ENCLOSURE FOUNDATION PLAN
- 20 PICK UP WINDOW BOLLARD
- 21 TYPICAL PAVEMENT SECTION
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING @ DRIVE THRU LANE
- 27 BIKE RACK
- 28 ELECTRIC TRANSFORMER
- 29 CANOPY ORDERING STATION
- 30 GREASE INTERCEPTOR
- 32 DRIVE THRU DIRECTIONAL GRAPHICS
- 33 DRIVE THRU ORDER POINT BOLLARD
- 34 DRIVE THRU ORDER POINT ISLAND CURB
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 1' CONCRETE CHASE
- 37 DRIVE-THRU SIGN REFER TO SIGNAGE PLANS
- 38 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 39 RETAINING WALL RE: SHEET C-3.0
- 40 LANDSCAPED AREA
- 42 COLORED CONCRETE AT PEDESTRIAN CROSSING
- 43 THANK YOU SIGN REFER TO SIGNAGE PLANS
- 44 3' CONCRETE PAN
- 45 LIGHT POLE
- 46 4" CURB FACE
- 47 8" CURB FACE

NOTES:

1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
3. REFER TO SHEET C-5.0 - C-5.2 FOR CIVIL DETAILS.
4. REFER TO ARCHITECTURE PLANS FOR BIKE RACK MODEL & SPECIFICATIONS.
5. REFER TO ARCHITECTURE PLANS FOR RETAINING WALL DETAILS.
6. COLORED & TEXTURED CONCRETE TO UTILIZE INTEGRAL COLORING AS OPPOSED TO STAINED CONCRETE. COLOR FOR CROSSWALKS TO BE A DARK RED COLOR.
7. FOR ALL SIGNAGE REFER TO THE SIGNAGE PLANS FOR DETAILS AND SPECIFICATIONS.
8. REFER TO PS-1.0 FOR SITE UTILITIES.
9. REFER TO ARCHITECTURE PLANS FOR REFUSE ENCLOSURE PLANS.

- 1 C-4.0
- 2 C-4.0
- 3 C-4.0
- 4 C-4.0
- 5 C-4.0
- 6 C-4.0

- 7 C-4.0
- 9 C-4.0
- 10 C-4.0
- 11 C-4.0
- 12 C-4.1
- 13 C-4.1
- 14 C-4.1

- 17 C-4.1

- 20 C-4.1
- 21 C-4.1
- 24 C-4.1
- 25 C-4.2

- 33 C-4.2
- 34 C-4.2
- 35 C-4.2
- 36 C-4.2

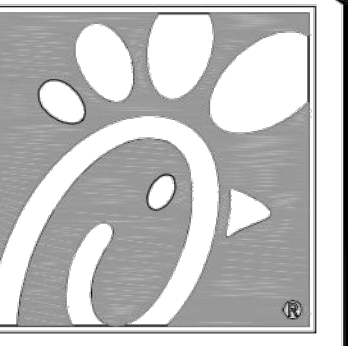
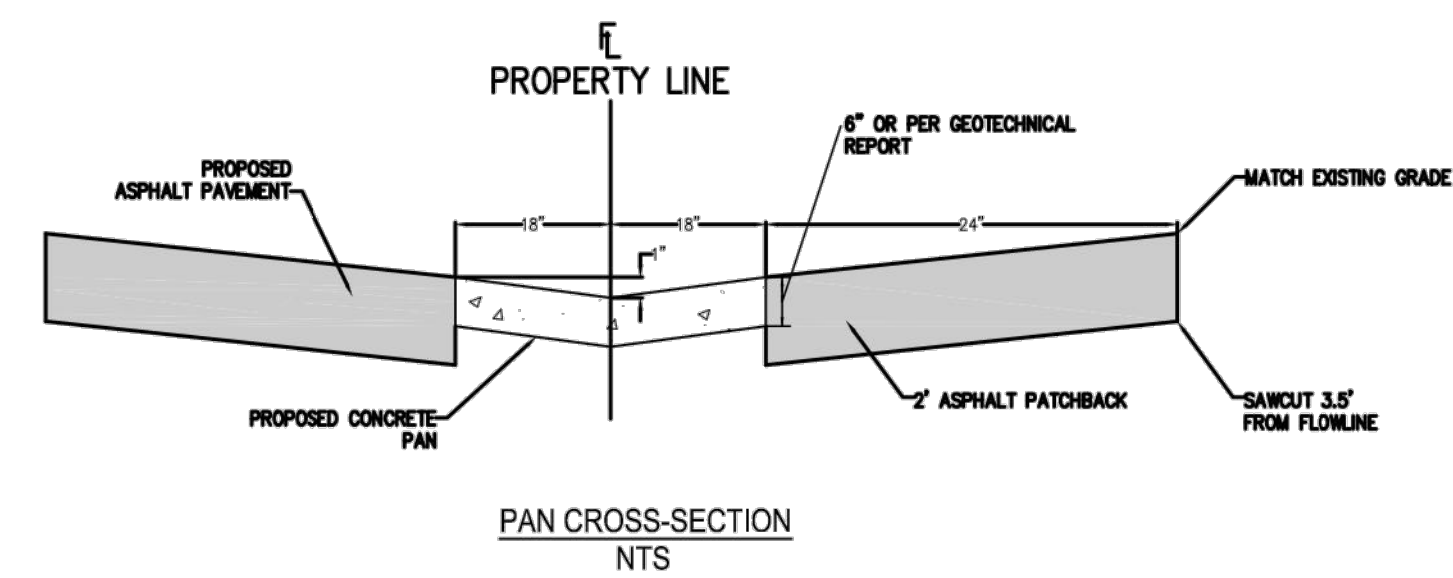
- 44 C-4.2
- 46 C-4.1
- 47 C-4.1

- 48 DASHED LINE INDICATING OUTLINE OF PROPOSED MEAL DELIVERY CANOPY
- 49 DASHED LINE INDICATING OUTLINE OF PROPOSED FACE TO FACE CANOPY
- 50 DASHED LINE INDICATING EXISTING CLEARANCE BAR TO BE REMOVED
- 51 LOCATION OF NEW CLEARANCE BAR TO BE INSTALLED PER CHICK-FIL-A STANDARDS
- 52 EXISTING BOLLARD TO BE REMOVED
- 53 LOCATION OF NEW BOLLARD TO BE INSTALLED. SEE DETAIL ON SHEET A-2
- 54 NEW STRIPING FOR TEAM MEMBER WALKWAY
- 55 EXISTING AWNING TO BE REMOVED

SITE PLAN CHANGES:

1. INSTALLATION OF STEEL FRAMED MEAL DELIVERY CANOPY: 576 S.F.
2. INSTALLATION OF STEEL FRAMED WITH FABRIC FACE TO FACE CANOPY: 895 S.F.
3. (2) CLEARANCE BARS TO BE REMOVED
4. (2) CLEARANCE BARS TO BE INSTALLED
5. (1) BOLLARDS TO BE REMOVED
6. (1) BOLLARD TO BE INSTALLED
7. NEW 24" WIDE TEAM MEMBER DEMARCATION STRIPING. MIN. (2) COATS TRAFFIC RATED PAINT, COLOR: PER CFA STANDARDS
8. EXISTING AWNING ABOVE PICK UP WINDOW TO BE REMOVED

SUBMITTED FOR
REFERENCE ONLY



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
3 05/01/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.

Mark Date By
5 08/05/2015
OWNER REV.

Seal

For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
SOBH-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

SITE PLAN
ADMINISTRATIVE
AMENDMENT

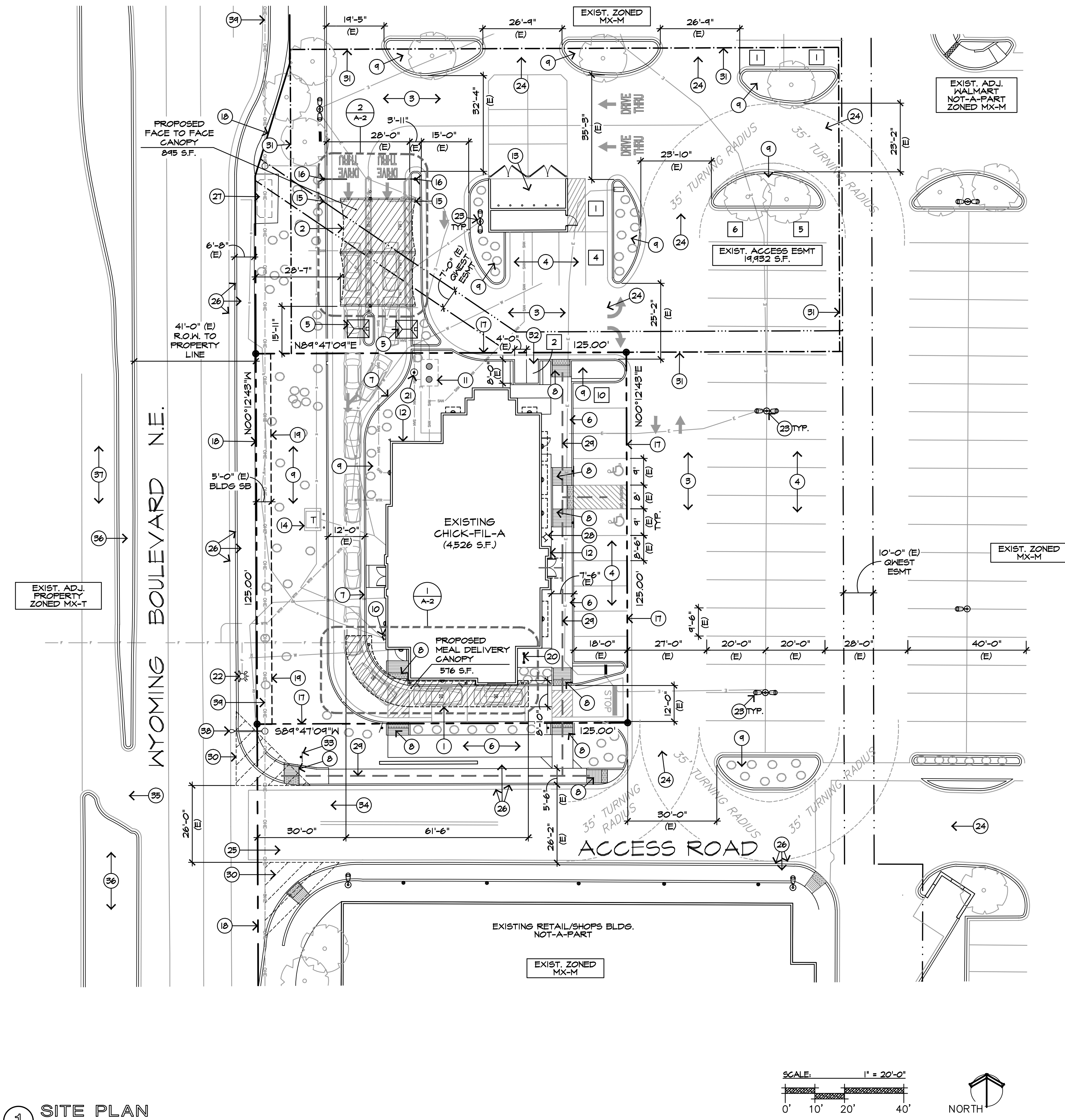
VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

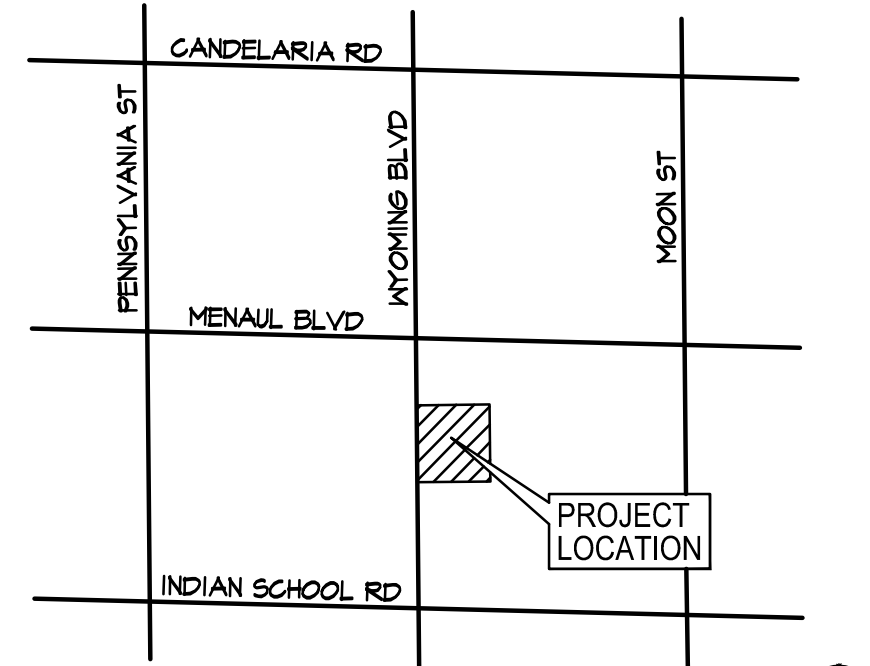
Sheet

A-1

1 SITE PLAN
SCALE: 1" = 20'-0"



VICINITY MAP



VICINITY MAP
SCALE: 1" = 300'-0"

PROJECT DATA

- PROJECT NAME: CHICK-FIL-A, #3484
 - PROJECT ADDRESS: 2274 WYOMING BLVD. NE ALBUQUERQUE, NM 87112
 - PROJECT WORKSCOPE: INSTALLATION OF FABRIC FACE TO FACE AND STEEL FRAMED MEAL DELIVERY CANOPY (EMPLOYEE SHADE STRUCTURES) WITH MINOR ELECT. / PLUMB. WORK.
 - PARCEL NO: 102005901114131346
 - ZONING: MXM COMMERCIAL
 - USE: EXIST. FAST FOOD RESTAURANT (NO CHANGE)
 - PROPERTY AREA:
 - a. ACCESS EASEMENT: 14,932 S.F. (.46 ACRES)
 - b. PROPERTY AREA: 15,625 S.F. (.35 ACRES)
 - c. TOTAL AREA: 35,551 S.F. (.81 ACRES)
 - FIRE SPRINKLERS: YES A.F.E.S. (EXISTING BUILDING)
 - TYPE OF CONSTRUCTION:
 - a. EXISTING BUILDING: VB (EXIST. UN-CHANGED)
 - b. NEW MEAL DELIVERY CANOPY: IIB
 - c. NEW FACE TO FACE CANOPY: IIB
 - OCCUPANCY:
 - a. EXISTING BUILDING: A-2 (EXIST. UNCHANGED)
 - b. NEW MEAL DELIVERY CANOPY: A-2
 - c. NEW FACE TO FACE CANOPY: U (ACCESSORY USE TO A-2)
 - BUILDING AREA:
 - a. EXISTING BUILDING: 4,526 S.F.
 - b. NEW MEAL DELIVERY CANOPY: 576 S.F.
 - c. NEW FACE TO FACE CANOPY: 845 S.F.
 - d. TOTAL AREA: 5,947 S.F.
 - ALLOWABLE AREA: PER IBC TABLE 506.2
 - a. FIRE SPRINKLERED BUILDING: 24,000 S.F. (EXIST. 1-STORY BLDG)
 - * b. ACTUAL BUILDING AREA: 5,947 S.F.
 - * NOTE: INCLUDED NEW CANOPIES IN TOTAL AREA IN CALCULATIONS
 - AREA OF CONSTRUCTION: 1,471 S.F.
 - CANOPY HEIGHT:
 - a. EXIST. CHICK-FIL-A BUILDING: 24'-7"
 - b. MEAL DELIVERY CANOPY: 9'-6" BOTT. OF CANOPY
 - c. FACE TO FACE CANOPY: 9'-6" BOTT. OF CANOPY
 - BUILDING SETBACKS:
 - a. NORTH PROP LINE: 0'-0"
 - b. WEST PROP LINE: 5'-0" (WYOMING BLVD NE)
 - c. SOUTH PROP LINE: 0'-0"
 - d. EAST PROP LINE: 0'-0"
 - PARKING REQUIREMENTS. (EXIST. PARKING SPACES TO REMAIN. NO CHANGE)
 - a. EXIST. PARKING PARKING SPACES: 25 SPACES
 - b. EXIST. VAN ACCESSIBLE SPACES: 1 SPACE
 - c. EXIST. STANDARD A.D.A. SPACES: 1 SPACE
 - d. TOTAL PARKING PROVIDED: 27 SPACES
 - e. TOTAL PARKING REQUIRED: 27 SPACES
 - f. MOTORCYCLE PARKING: 2 SPACES
- NOTE: PARKING SPACES REFLECT THE REQUIREMENTS ASSOCIATED WITH THE MASTER SITE PLAN, IN WHERE CROSS ACCESS AND CROSS PARKING AGREEMENTS BETWEEN TENANTS AND ADJACENT PARCELS ARE MAINTAINED.

APPROVAL BLOCK:



Chick-fil-A
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ATLANTA, GEORGIA 30349
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esencia

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Jeffrey W. Winter



12-09-2021

Revision Schedule

Rev	Date	By	Description

Project Name: CANOPY PROGRAM

**CHICK-FIL-A
STORE #3484**

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

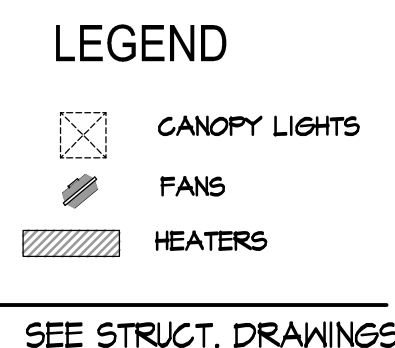
Issue Date: 12-09-2021

Drawn By: ZT
Job Number: 19060

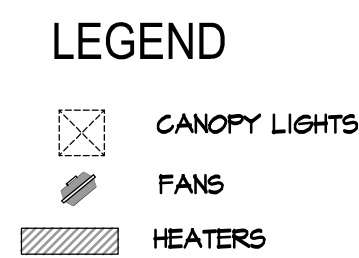
Sheet Title: **Project Data
Overall Site Plan**

Scale: As indicated

Sheet Number: **A-2**



2 ENLARGED CANOPY PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

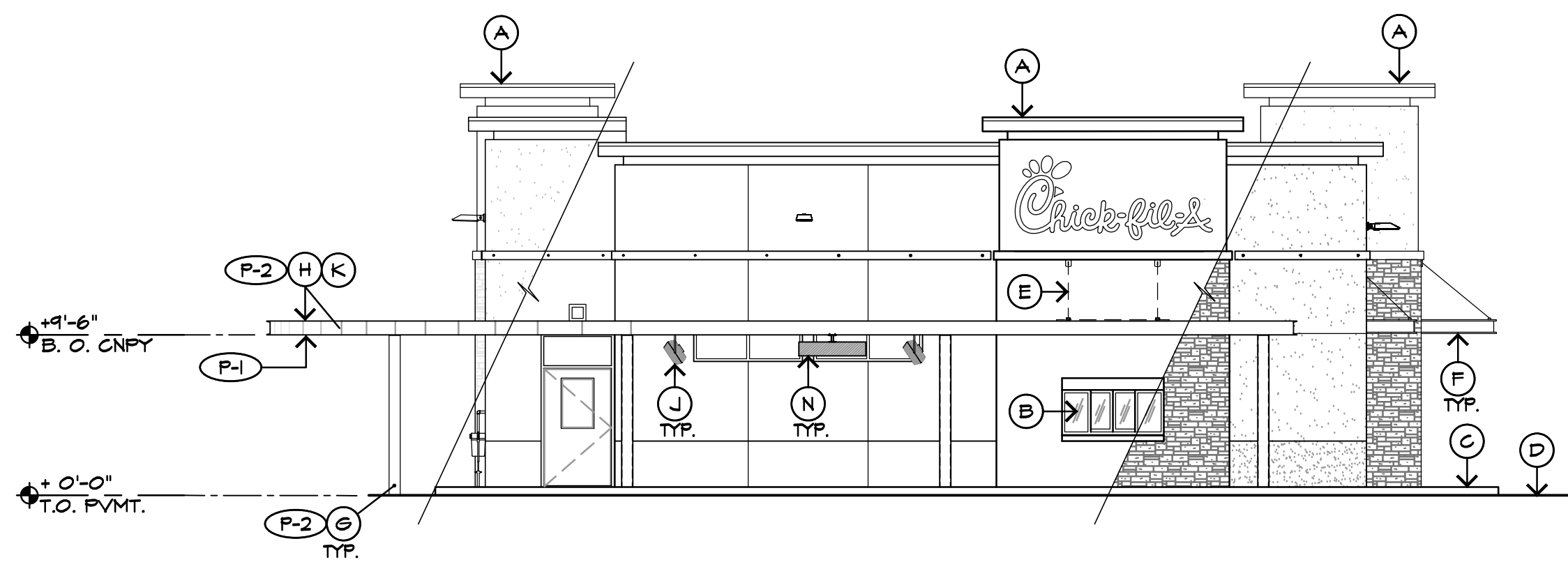
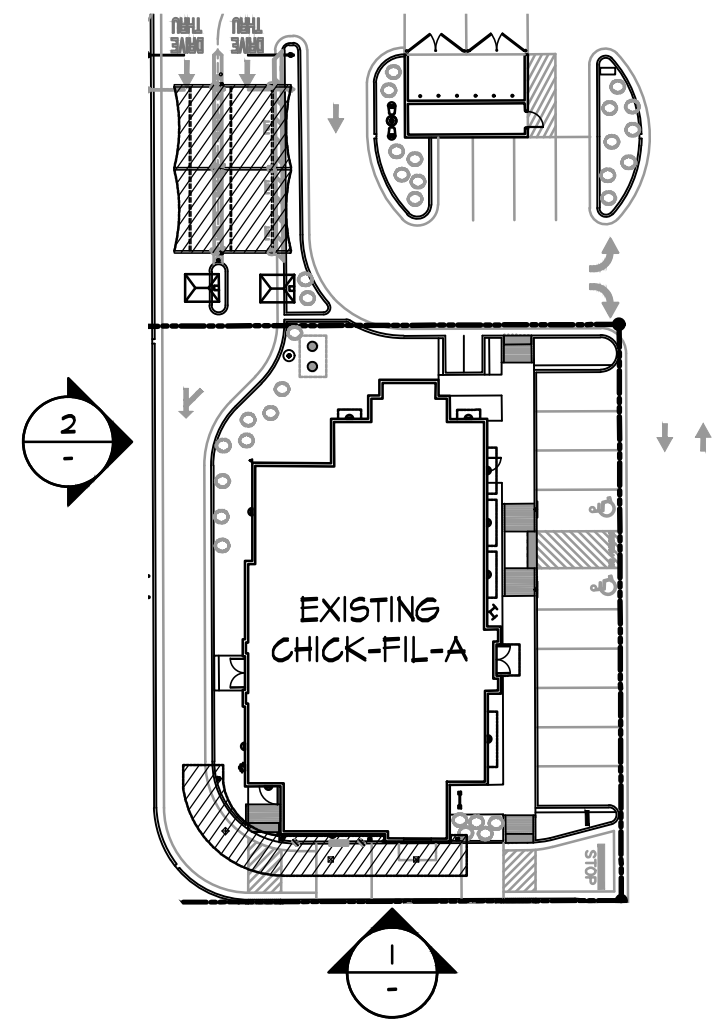


2 ENLARGED CANOPY PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

- 
- NORTH

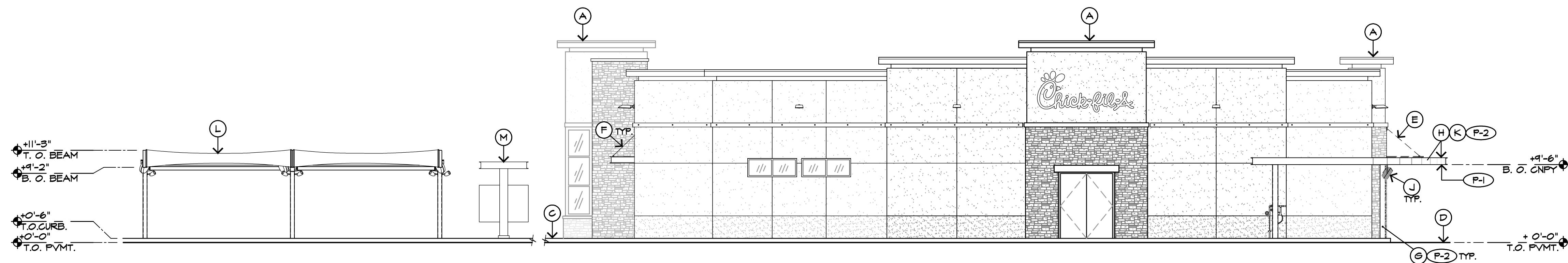
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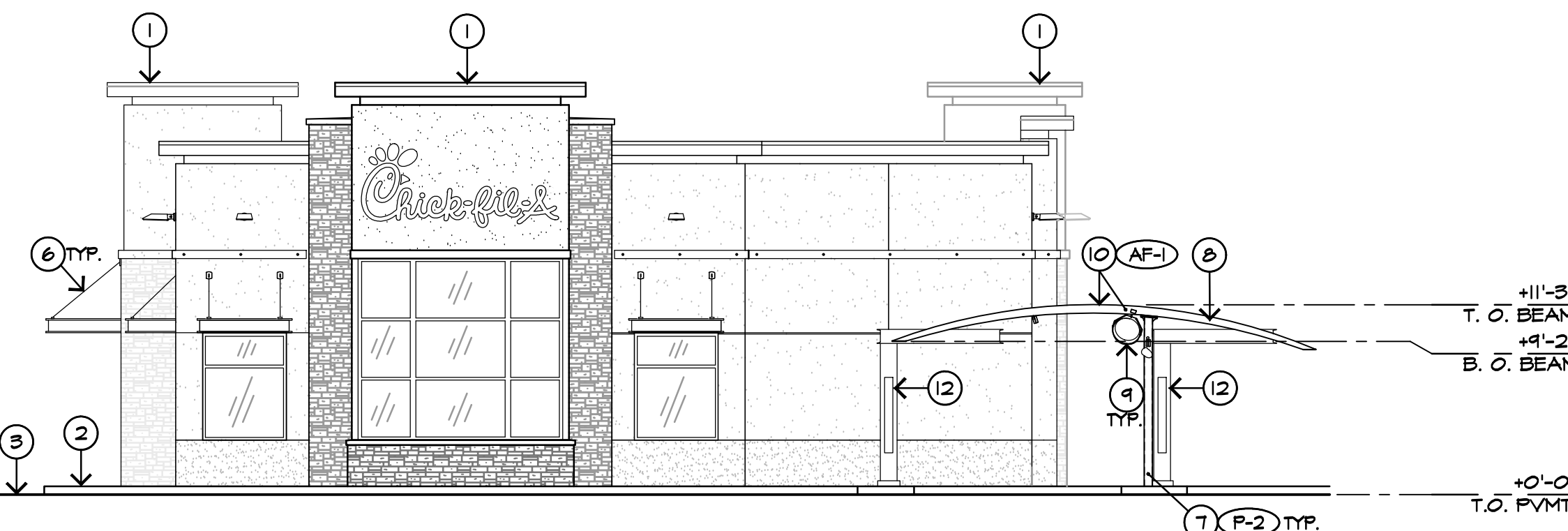
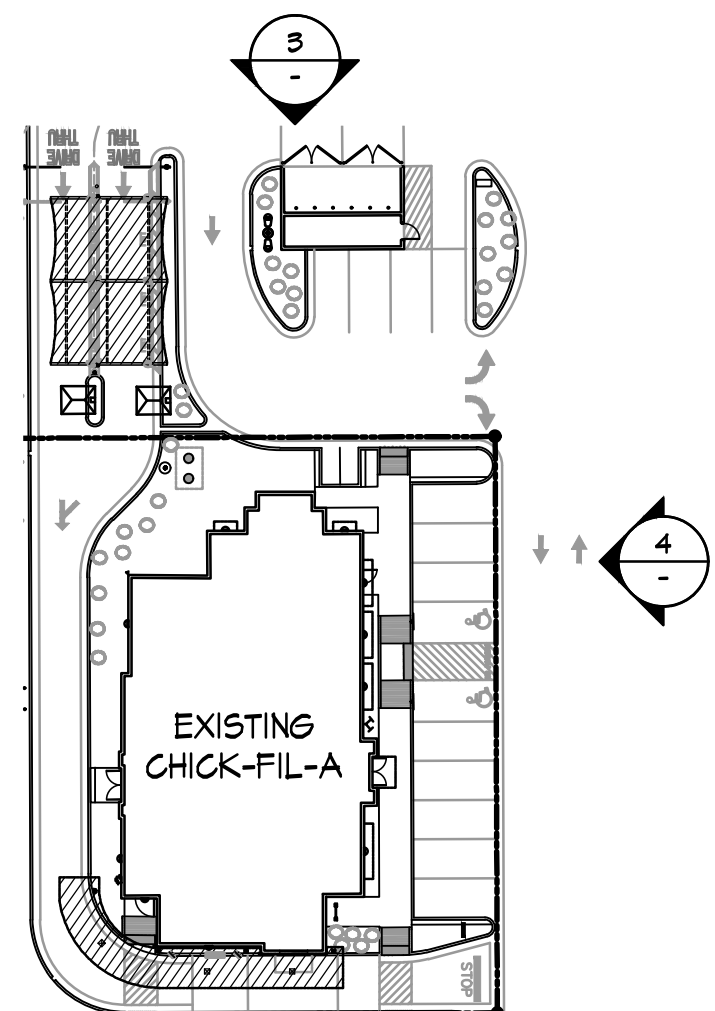
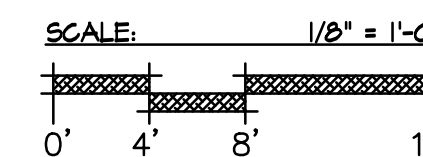
1 REAR ELEVATION (SOUTH) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



2 SIDE ELEVATION (WEST) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



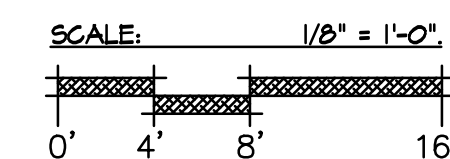
3 FRONT ELEVATION (NORTH) - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



4 SIDE ELEVATION (EAST) - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



CONSTRUCTION NOTES - MEAL DELIVERY

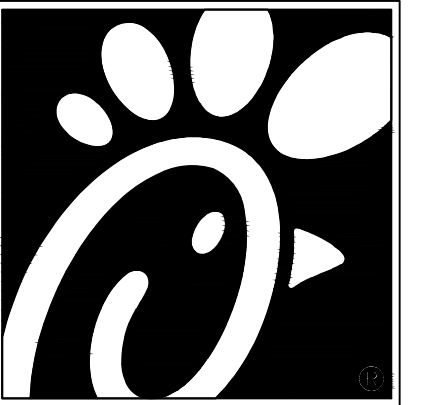
- EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- MEAL DELIVERY PICK UP WINDOW. NO CHANGE.
- TOP OF EXISTING CONCRETE WALKWAY TO REMAIN.
- TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED, G.C. SHALL REPAIR OR REPLACE EXISTING FINISHES AS REQUIRED. MATCH EXISTING GROUT, VENEER.
- EXISTING AWNING TO REMAIN. NO CHANGE.
- NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE. REFER TO STRUCTURAL DRAWINGS FOR MORE DETAIL.
- NEW CANOPY ROOF DECK / FASCIA. UNDERSIDE TO BE COLOR: HIGH GLOSS WHITE - SEE FINISH SCHEDULE. ROOF DECK / FASCIA TO BE COLOR: DARK BRONZE - SEE FINISH SCHEDULE.
- NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE. REFER TO ELECT. DRAWINGS FOR FURTHER DETAILS.
- NEW MEAL DELIVERY METAL CANOPY - SEE FINISH SCHEDULE. REFER TO CANOPY DRAWINGS FOR FURTHER DETAILS.
- NEW FACE TO FACE METAL CANOPY, REFER TO CANOPY DRAWINGS FOR FURTHER DETAILS.
- EXISTING ORDER MENU BOARD TO REMAIN. NO CHANGE.
- NEW CANOPY OVERHEAD HEATER BY SUPREME SCHWANK. MODEL: 2352 N OUTDOOR. REFER TO PLUMB/ELECT. DRAWINGS FOR FURTHER DETAILS.

CONSTRUCTION NOTES - FACE TO FACE

- EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- TOP OF EXISTING CONCRETE WALKWAY TO REMAIN.
- TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- EXISTING MAIN ENTRY.
- DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED, G.C. SHALL REPAIR OR REPLACE EXISTING FINISHES AS REQUIRED. MATCH EXISTING GROUT, VENEER.
- EXISTING AWNING TO REMAIN. NO CHANGE.
- NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE. REFER TO STRUCTURAL DRAWINGS FOR MORE DETAIL.
- NEW CANOPY STEEL SUPPORT BEAM. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL.
- NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE. REFER TO ELECT. DRAWINGS.
- NEW FACE TO FACE METAL CANOPY - SEE FINISH SCHEDULE. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
- NEW MEAL DELIVERY METAL CANOPY. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
- EXISTING ORDER MENU BOARD TO REMAIN. NO CHANGE.
- NEW CANOPY LIGHT FIXTURE. REFER TO SHOP DRAWINGS FOR FURTHER DETAILS.

FINISH SCHEDULE

MARK	#	DESCRIPTION
P-1	LOCATION: MANUFACTURER: COLOR:	CANOPY UNDERSIDE BECKERS PAINT 44TIN4463 HIGH GLOSS WHITE
P-2	LOCATION: MANUFACTURER: COLOR:	CANOPY ROOF DECK/FASCIA EXPOSED COLUMNS DURA COAT PRODUCTS, INC. 19ST-20TS OIL RUBBED BRONZE TEXTURED PVDF POWDER COAT FINISH
AF-1	LOCATION: MANUFACTURER: PRODUCT: COLOR:	CANOPY FABRIC MEHRIES - MEHLER TECHNOLOGIES VALMEX FR 900 FABRIC HEMP - PVC WATERPROOF

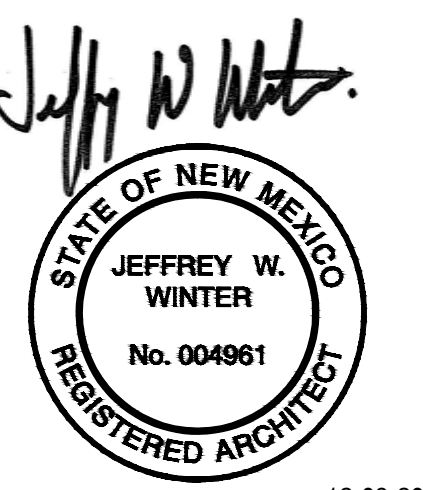


Chick-fil-A
5200 BUFFINGTON ROAD.
ATLANTA, GEORGIA 30349
(404) 765 - 8000

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esencia

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Tempe, Arizona 85283
Telephone 480-755-0959



12-09-2021

Revision Schedule

Rev	Date	By	Description

Project Name: CANOPY PROGRAM

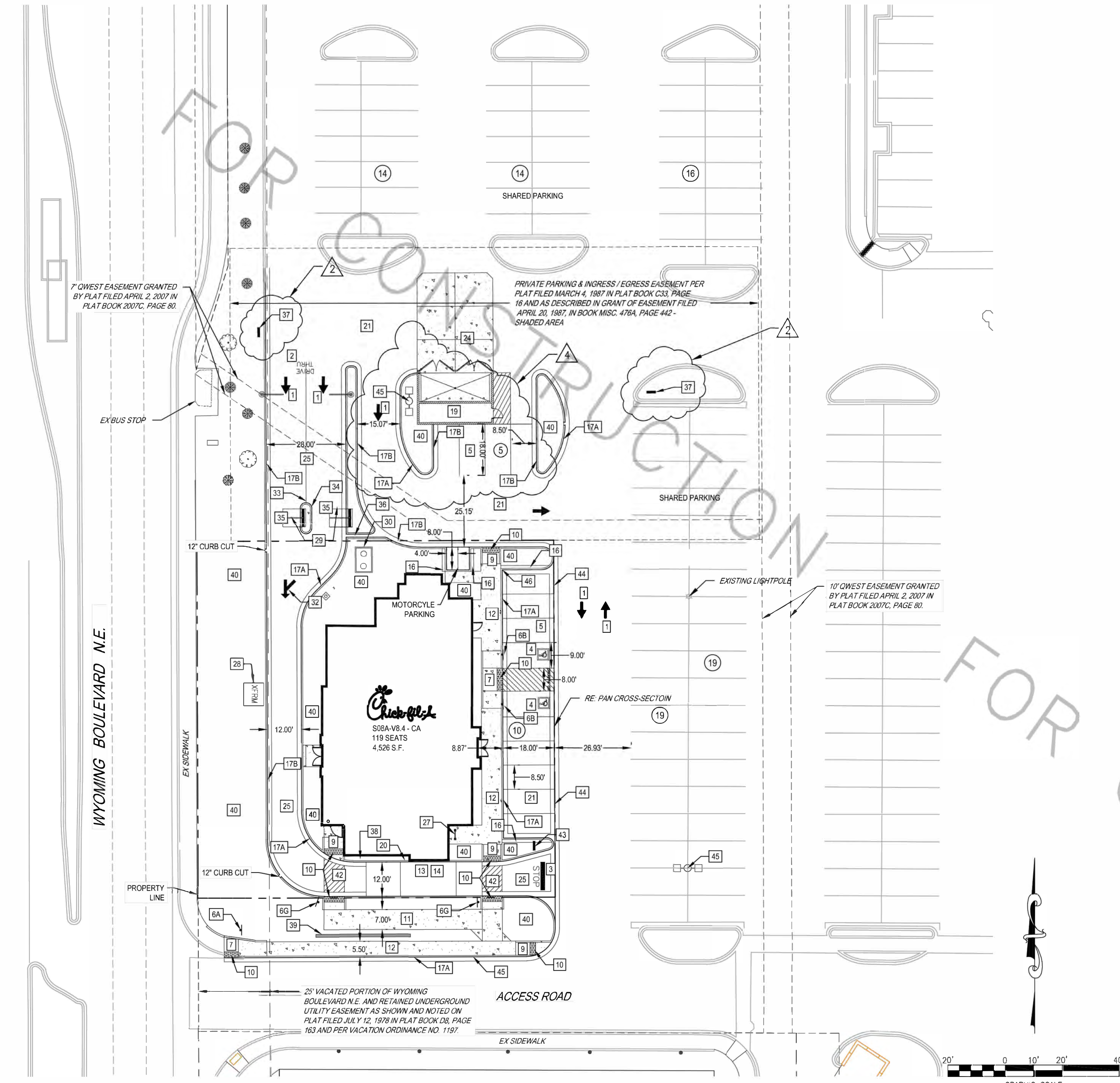
CHICK-FIL-A
STORE #3484

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

Issue Date: 12-09-2021
Drawn By: ZT
Job Number: 19060

Sheet Title:
Elevation Plan
Scale: As indicated

Sheet Number:
A-4



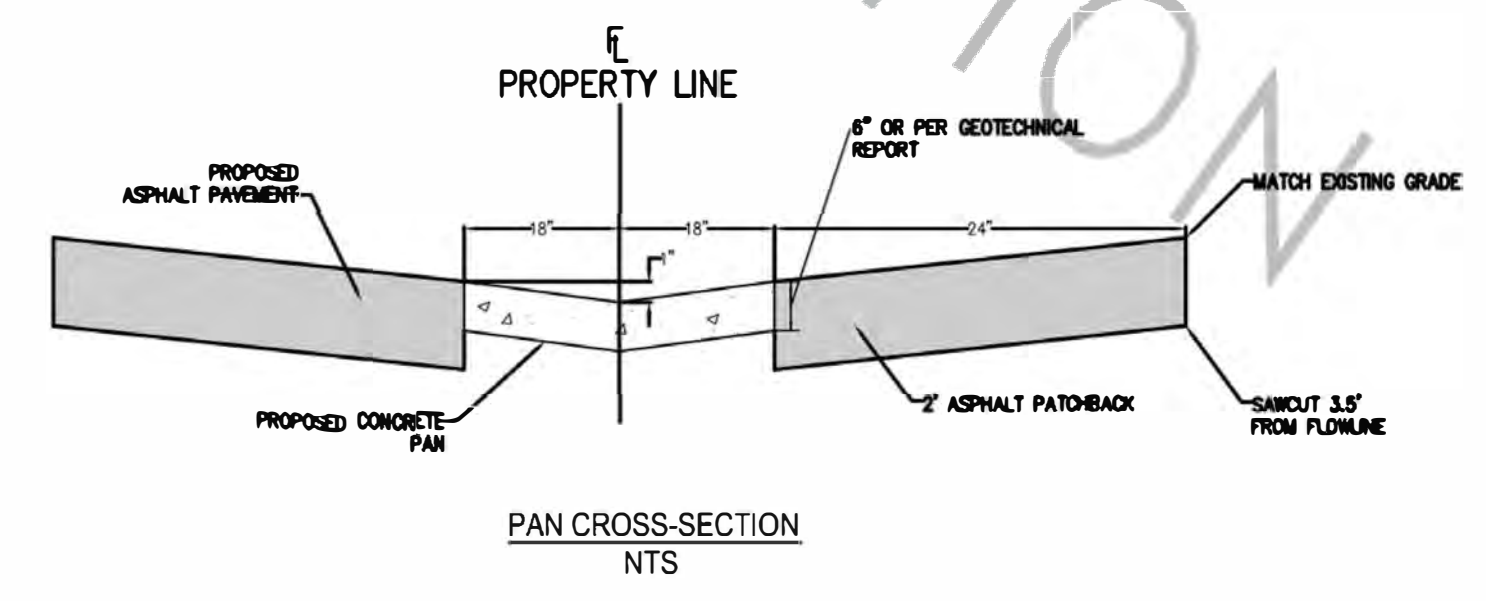
SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBLE PARKING SYMBOL
- 5 STANDARD PARKING STALL
- 6 DIRECTIONAL SIGNAGE

ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION.

- 6A STOP SIGN
- 6B ACCESSIBLE SIGN
- 6G "CAUTION - WATCH FOR PEDESTRIANS" SIGN
- 7 SIDEWALK HANDICAP RAMP
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK w/ CURB & GUTTER
- 13 DRIVE THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 16 18" STEP-OFF CURB
- 17 24" CONCRETE CURB & GUTTER
- 17A SPILLING SECTION
- 17B CATCHING SECTION
- 19 REFUSE ENCLOSURE FOUNDATION PLAN
- 20 PICK UP WINDOW BOLLARD
- 21 TYPICAL PAVEMENT SECTION
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING @ DRIVE THRU LANE
- 27 BIKE RACK
- 28 ELECTRIC TRANSFORMER
- 29 CANOPY ORDERING STATION
- 30 GREASE INTERCEPTOR
- 32 DRIVE THRU DIRECTIONAL GRAPHICS
- 33 DRIVE THRU ORDER POINT BOLLARD
- 34 DRIVE THRU ORDER POINT ISLAND CURB
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 1" CONCRETE CHASE
- 37 DRIVE-THRU SIGN REFER TO SIGNAGE PLANS
- 38 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 39 RETAINING WALL RE: SHEET C-3.0
- 40 LANDSCAPED AREA
- 42 COLORED CONCRETE AT PEDESTRIAN CROSSING
- 43 THANK YOU SIGN REFER TO SIGNAGE PLANS
- 44 3" CONCRETE PAN
- 45 LIGHT POLE
- 46 4" CURB FACE
- 47 8" CURB FACE

- NOTES:
- 1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
 - 2. ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
 - 3. REFER TO SHEET C-5.0 - C-5.2 FOR CIVIL DETAILS.
 - 4. REFER TO ARCHITECTURE PLANS FOR BIKE RACK MODEL & SPECIFICATIONS.
 - 5. REFER TO ARCHITECTURAL & STRUCTURAL PLANS FOR RETAINING WALL DETAILS.
 - 6. COLORED & TEXTURED CONCRETE TO UTILIZE INTEGRAL COLORING AS OPPOSED TO STAINED CONCRETE. COLOR FOR CROSSWALKS TO BE A DARK RED COLOR.
 - 7. FOR ALL SIGNAGE REFER TO THE SIGNAGE PLANS FOR DETAILS AND SPECIFICATIONS.
 - 8. REFER TO PS-1.0 FOR SITE UTILITIES.
 - 9. REFER TO ARCHITECTURE PLANS FOR REFUSE ENCLOSURE PLANS.



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5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
2 04/01/2015
OWNER REV

Mark Date By
3 05/01/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE
SITE PLAN

VERSION: H-V2
ISSUE DATE: 11-2014

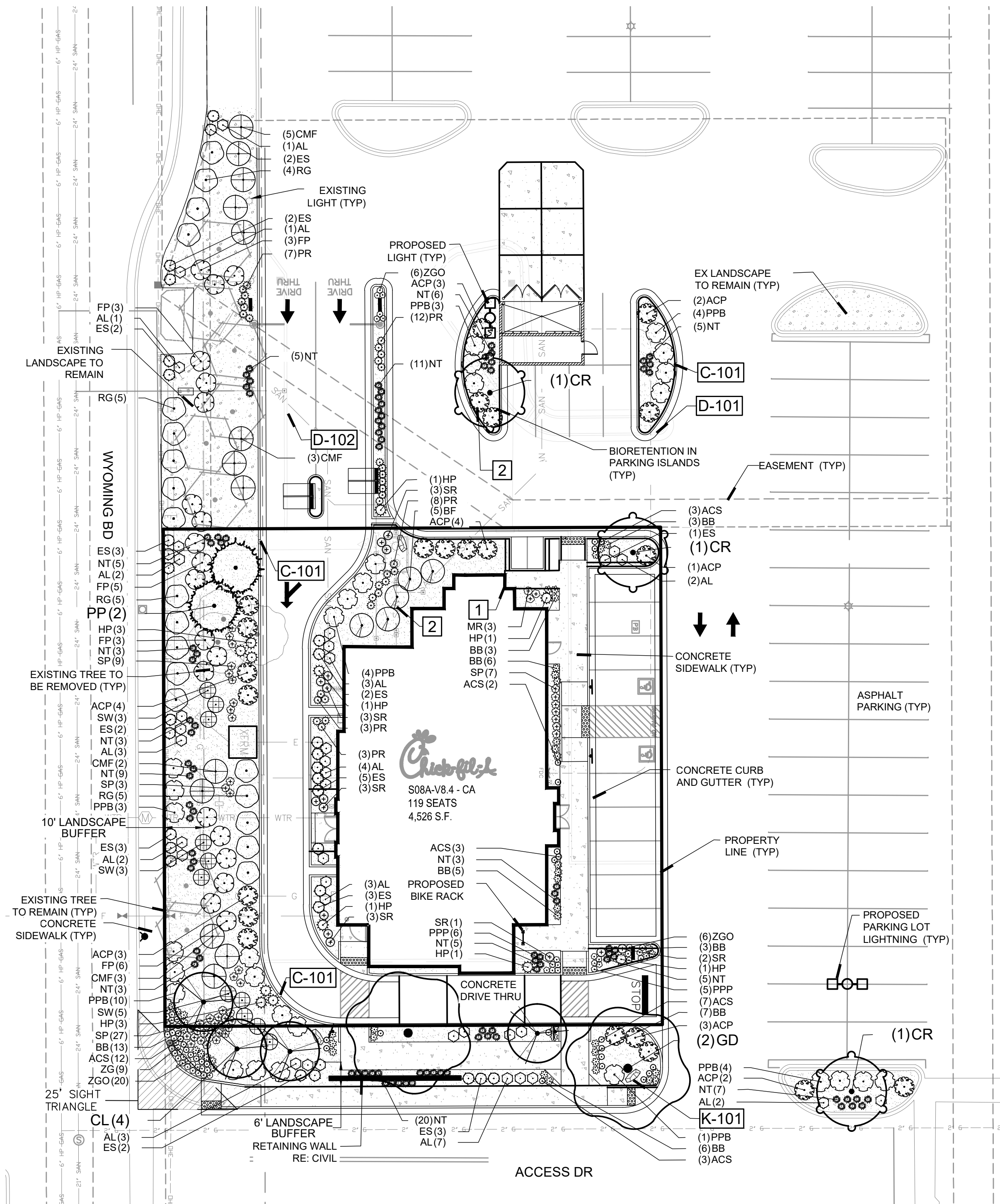
Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By : TDK

Sheet
C-2.0

New Mexico One Call, Inc.

Professional Resources for Damage Prevention

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NM811
OR
1-888-NM-GAS-CO
NMONECALL.ORG



LANDSCAPE PLAN

SCALE: 1" = 20'

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.		
2	BIORETENTION / ON-SITE WATER HARVESTING AREAS. 6" DEPRESSION WITH ADAPTABLE PLANTS THAT CAN WITHSTAND PERIODIC INUNDATION. RE: CIVIL FOR GRADING.		
SYMBOL	CURB DESCRIPTION	QTY	DETAIL
C-101	CURB CUT, RE: CIVIL. SEE SHEET 4 FOR CURB CUT DETAIL.		
SYMBOL	DEMOLITION DESCRIPTION	QTY	DETAIL
D-101	DEMO ALL EXISTING PLANTS IN ISLANDS. CAP AND REMOVE IRRIGATION AS NECESSARY.		
D-102	DEMO EX CURB. RE: CIVIL		
SYMBOL	ROCK DESCRIPTION	QTY	DETAIL
K-101	GRANITE/MOSS ROCK BOULDER-DECORATIVE. 1/2 TON AVG SIZE	4	

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
CR	3		CELTIS RETICULATA / NETLEAF HACKBERRY	B&B	2" CAL
CL	4		CHILOPSIS LINEARIS / DESERT WILLOW CHITALPA	B&B	2" CAL
EX-RET	8		EXISTING TREE TO REMAIN / PROTECT DURING CONSTRUCTION	EX	
GD	2		GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2.5" CAL
PP	2		PINUS EDULIS / PINON PINE	6' B&B	
EX-REM	3		REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
AL	34		AMORPHA CANESCENS / LEADPLANT	1 GAL	
ACP	22		ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO' / MANZANITA	1 GAL	
BF	5		BERBERIS FENDLERI / FENDLER'S BARBERRY	1 GAL	
CMF	13		CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	1 GAL	
ES	30		ERICAMERIA NAUSEOSA SPECIOSA / DWARF BLUE RABBITBRUSH	1 GAL	
FP	20		FALLUGIA PARADOXA / APACHE PLUME	1 GAL	
HP	12		HESPERALOE PARVIFLORA / RED YUCCA	1 GAL	
PPB	29		PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	1 GAL	
RG	19		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	1 GAL	
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
BB	46		BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
NT	90		NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS	1 GAL	
PR	33		PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS	1 GAL	
SP	46		SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES' / LITTLE BLUESTEM GRASS	1 GAL	
SW	11		SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
ACS	30		AGASTACHE CANA 'SONORAN SUNSET' / SONORAN SUNSET HYSOP	4" POT	
MR	3		MAHONIA REPENS / CREEPING MAHONIA	1 GAL	
PPP	11		PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	4" POT	
SR	15		SALVIA GREGGII 'RASPBERRY' / AUTUMN SAGE	1 GAL	
ZGO	32		ZAUSCHNERIA GARRETTII 'ORANGE CARPET' / HUMMINGBIRD TRUMPET	4" POT	
ZG	9		ZINNIA GRANDIFLORA 'GOLD ON BLUE' / ROCKY MOUNTAIN ZINNIA	4" POT	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
EXC	2,773 SF		EXISTING LANDSCAPE TO REMAIN	MULCH	
MULCHES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
AGG	7,229 SF		AGGREGATE / 1.5" - 2" AND 3/4" MIX 2/3 1.5" TO 2" WASHED RIVER ROCK, 30% WASHED 3/4" LOCAL RIVER ROCK. REUSE EXISTING COBBLE AS FEASIBLE	MULCH	

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS.
- DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL.
- ALL EMITTERS PER IRRIGATION PLAN UNLESS OTHERWISE NOTED.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS AS NECESSARY.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- ALL NATIVE AND XERIC PLANTING AREAS TO BE AMENDED FOR DRAINAGE AS NECESSARY AND IN ACCORDANCE WITH CURRENT LANDSCAPE BMPs.

Utilities Note:

DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.

Licensure Notes:

THIS DOCUMENT IS FOR CITY REVIEW AND APPROVAL ONLY.
THIS DOCUMENT IS NOT A CONSTRUCTION DRAWING UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD. PROJECTS REQUIRE A STAMPED SET OF CONSTRUCTION DOCUMENTS FOR LANDSCAPE IMPROVEMENT INSTALLATION.

IRRIGATION NOTE:

- IRRIGATION: (PROPOSED TO BE A POTABLE SYSTEM)
- AN IRRIGATION SYSTEM PLAN WILL BE CREATED.
- SEED MAY BE TEMPORARILY IRRIGATED WITH POP-UP AND ROTOR SPRAY HEADS.
- TREES, SHRUBS & PERENNIALS IN PLANTING BEDS SHALL BE IRRIGATED WITH A POINT-SOURCE DRIP SYSTEM.
- A SMART CONTROLLER & RAIN SENSOR SHALL BE INSTALLED.
- WATER CONSERVATION MEASURES AND COMPONENTS ARE TO BE INSTALLED WITH THE IRRIGATION SYSTEM.

CITY OF ALBUQUERQUE RESPONSIBILITY FOR MAINTENANCE STATEMENT

- Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.
- Any damage to utility lines resulting from the negligence of the abutting landowner, his agents, or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials, which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way, shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.
- Landscaping shall have adequate maintenance. Landscaping which dies shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 days after notification.

PLAN NOTES:

- STREET TREE PROVIDED PER SECTION 6-1-1-1 IN THE FORM OF EXISTING STREET TREES.
- ALL SOD IS EXISTING TO REMAIN. NO NEW SOD IS PROPOSED.
- PROVIDE A 2' PARKING OVERHANG FOR ALL PLANTS WHERE APPLICABLE.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THESE AREAS.
- ALL IRRIGATION TO COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE FOR ALBUQUERQUE.
- PROPOSED LANDSCAPING COMPLIES WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE (RE: SEC. 6-1-1)
- LANDSCAPE BEDS TO BE DEPRESSED AT LEAST 6" BELOW GRADE TO ALLOW FOR RAINWATER HARVESTING.
- ANY RELOCATED OR EXISTING TREES TO REMAIN SHALL BE REPLACED IF MORTALITY OCCURS.

SITE CATEGORY REQUIREMENTS

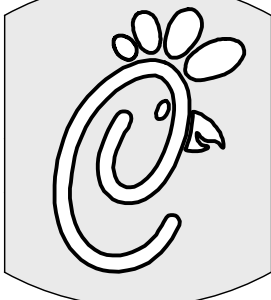
OVERALL ON-SITE LANDSCAPING: 6,805 SF - 43.52%	Site Area: 15,625 SF
Groundplane Veg Cover % Provided: 77%	Required Landscaping: 2,344 SF
	15%
	19 (8 ex) 184

Facade	LF of Facade	Trees Req / Prov	Shrubs Req / Prov
West	95	2 / 2	-
South	53	1 / 1	-
North	53	1 / 1	-

Frontage and LF	Bed Width / Coverage %	# of Spaces	Trees Req / Prov	Shade Trees Req / Prov
South - 125 LF	6' / 82%	43	4 / 4 (1 per 10)	3 / 3
West - Wyoming Bd - 125 LF	10' / 85%			

Frontage and LF	Trees Req / Provided
West - 125 LF	4 / 5 (2 ex)

SUBMITTED FOR
REFERENCE ONLY



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



For and on behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE

CHICK-FIL-A
FSU #03484
WYOMING BLVD.

2274 WYOMING BLVD.
ALBUQUERQUE, NM
87112

SHEET TITLE

LANDSCAPE
PLAN

DWG EDITION

Job No. : 65118374

Store : 03484

Date : 12/15/14

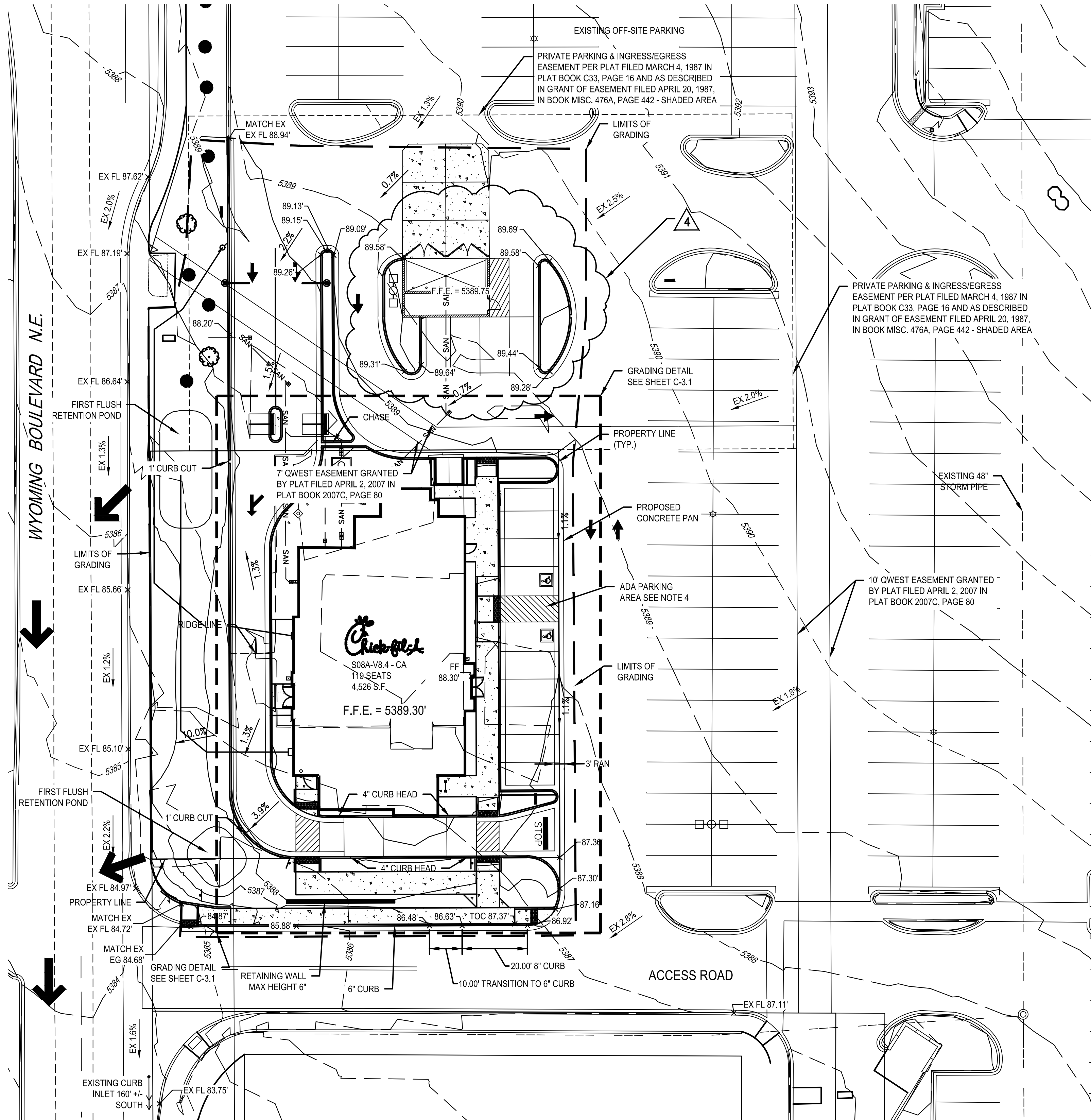
Drawn By : JRO

Checked By: NAM

Sheet

L1.0





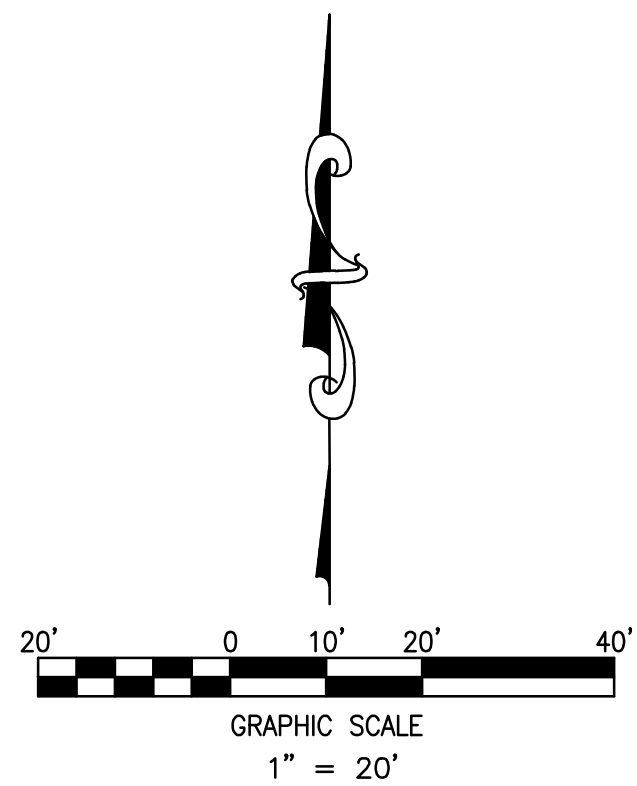
LEGEND:	
	LIMITS OF GRADING
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	FLOWLINE SPOT ELEVATION
	FINISHED FLOOR SPOT ELEVATION
	FINISHED GRADE SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION
	EXISTING GRADE SPOT ELEVATION
	EXISTING FLOWLINE SPOT ELEVATION
	PROPOSED SLOPE ARROWS
	EXISTING SLOPE ARROWS
	EMERGENCY OVERFLOW PATHWAY

- NOTES
- REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
 - ALL ELEVATIONS SHOWN ARE 53XX.XX'.
 - ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE.
 - ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
 - REFER TO PS-1.0 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
 - CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
 - ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
 - TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA
 - REFER TO DN-1.0 FOR DEVELOPED DRAINAGE MAP

DRAINAGE NARRATIVE DESCRIPTION
THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. THE PROPOSED SITE WILL FLOW FROM THE NORTHEAST TO THE SOUTHWEST. THE SITE AREA LOCATED NORTH OF THE BUILDING WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE LOCATED WITHIN THE DRIVE-THRU. THE CURB CHASE WILL DIRECT RUNOFF INTO THE NORTHERN RETENTION POND, THE NORTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE NORTHERN SIDE OF THE PROPERTY. THIS DOES NOT INCLUDE THE OFFSITE AREA THAT WILL DRAIN THROUGH THE PROPOSED SITE. THE POND IS SIZED TO RETAIN 345 CUBIC FEET (THE FIRST 0.34" FROM 0.28 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE SOUTHERN PORTION OF THE SITE WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE. THE CURB CHASE WILL DIRECT RUNOFF INTO THE SOUTHERN RETENTION POND. THE SOUTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE SOUTHERN SIDE OF THE PROPERTY. THE POND IS SIZED TO RETAIN 115 CUBIC FEET (THE FIRST 0.34" FROM 0.092 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE EASTERN PORTION OF THE SITE WILL SHEET FLOW TOWARDS A PAN, WHERE IT WILL THEN FLOW INTO THE SHARED ACCESS DRIVE LOCATED SOUTH OF THE BUILDING. ALL DEVELOPED RUNOFF THAT ENTERS WYOMING BOULEVARD WILL FLOW TO AN EXISTING INLET LOCATED APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.



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Revisions:

Mark	Date	By
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Seal

For and on Behalf of
Merrick & Company

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5970 GREENWOOD PLAZA BLVD
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303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

GRADING PLAN

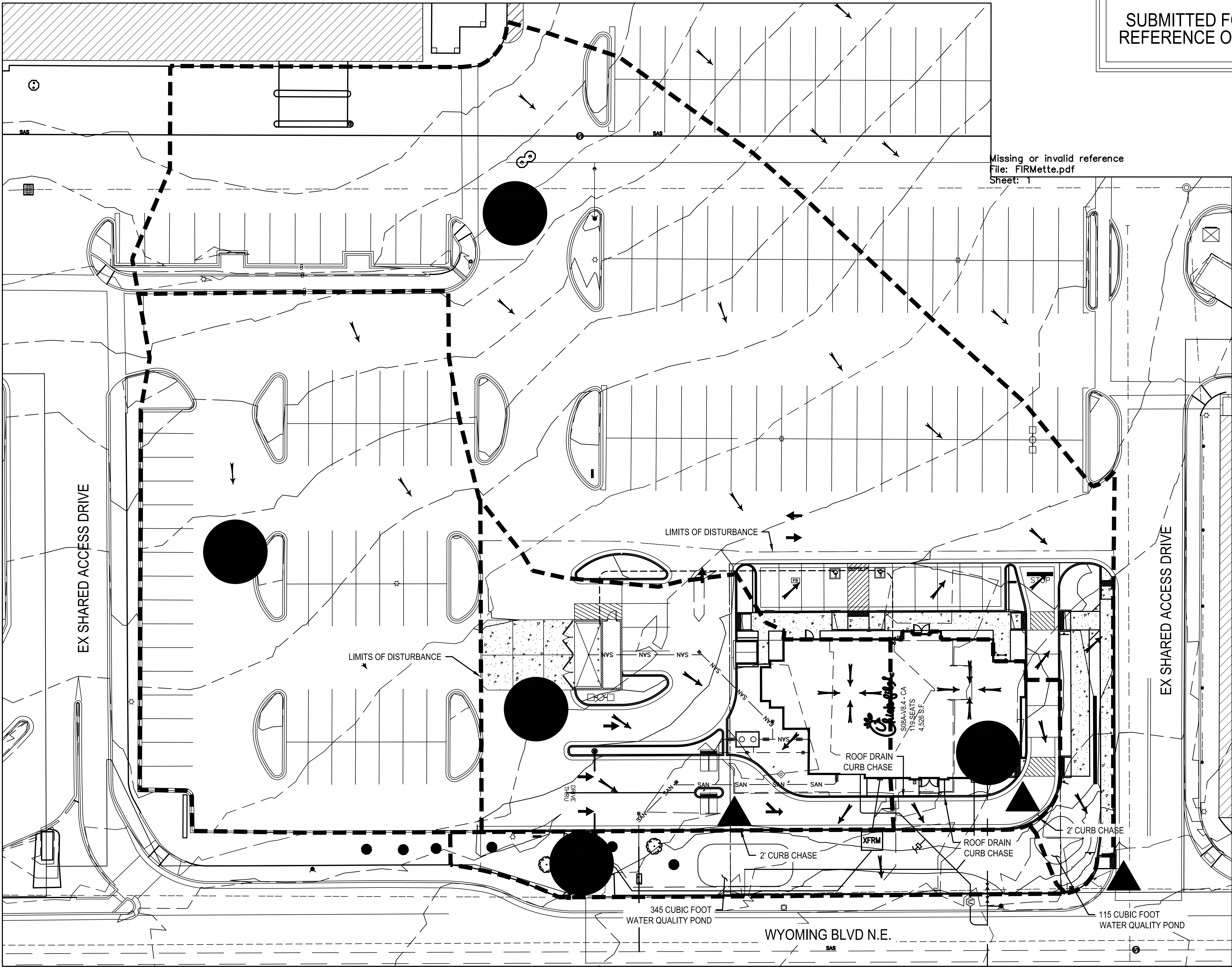
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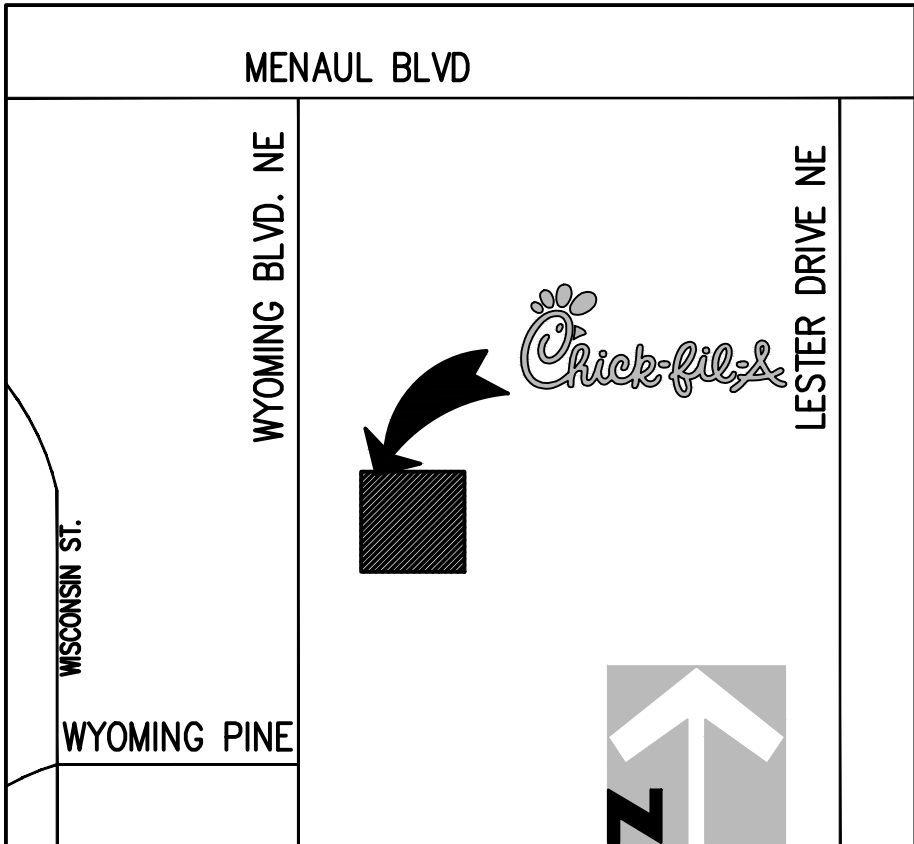
Sheet

C-3.0

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- LEGEND:
- 5555 PROPOSED MAJOR CONTOUR
 - 5555 PROPOSED MINOR CONTOUR
 - 5555 - EXISTING MAJOR CONTOUR
 - 5555 - EXISTING MINOR CONTOUR
 - FLOW ARROWS
 - OFFSITE FLOW ARROWS
 - - - - - PROPERTY LINE
 - - - - - DRAINAGE BASIN BOUNDARY LINE
 - ▲ DESIGN POINT
 - BASIN IDENTIFICATION
 - BASIN Q2
 - BASIN Q100
 - BASIN AREA (ACRES)

Land Treatment (ac)				
Basin	A	B	C	D
A-1a	0	0	0.03	0.55
A-1b	0	0	0.04	0.28
A-2	0	0	0.006	0.092
A-3	0	0	0.08	1.05
A-4	0	0	0.12	0

Developed Runoff Summary Table					
	A-1a	A-1b	A-2	A-3	A-4
100 YR PEAK RUNOFF (cfs)	2.86	1.54	0.48	5.55	0.41
10 YR PEAK RUNOFF (cfs)	1.92	1.03	0.32	3.72	0.24
2 YEAR PEAK RUNOFF (cfs)	1.15	0.60	0.19	2.20	0.09

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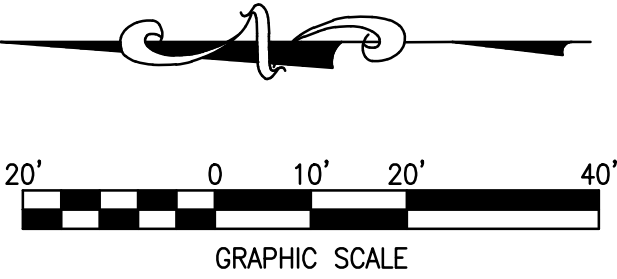
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THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

- SHEET REFERENCES**
- REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION DETAILS.
 - REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
 - REFER TO SHEET C-3.2 FOR EROSION CONTROL PLANS.

LEGAL DESCRIPTION
PARCEL NUMBERED THREE (3), AMENDED SUMMARY PLAT OF THE 'WYOMING MALL, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 12, 1978, IN PLOT BOOK D8, PAGE 163 AND RE-RECORDED OCTOBER 18, 1978, IN PLOT BOOK D8, PAGE 11.

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Revisions:

Mark	Date	By
2	04/01/2015	OWNER REV
3	05/01/2015	AGENCY REV.
4	06/05/2015	WASTE REV.

Seal

For and on Behalf of
MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

DRAINAGE MAP

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet

DN-1.0