



CHICK-FIL-A #3484 CANOPY PROGRAM

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

IMPERVIOUS / PERVIOUS AREA TABULATION

CATAGORY	2015 CONSTRUCTION PLAN	2022 CANOPY PROGRAM IMPROVEMENT	NET INCREASE/ DECREASE 2022 CANOPY PROGRAM	REMARKS
1. IMPERVIOUS AREA : a. BUILDING AREA: b. SHADE STRUCTURE: c. CONCRETE / NON-PERVIOUS AREA: d. AREA SUBTOTAL:	4,526 S.F. 0 S.F. (NO CANOPY) 4,244 S.F.	4,526 S.F. • 1,542 S.F. **2,283 S.F. 8,851 S.F. (57.24%)	+131 S.F. +0.84%	• DENOTES NEW CANOPY AREA SUBTRACTED FROM THE ASPHALT / CONC. PAVEMENT AREA, AS STORM WATER IS COLLECTED FROM THE CANOPY ROOF TOP AND DIRECTED TO DAYLIGHT ON TO THE PAVEMENT AREA BELOW. ** DENOTES NEW NON-PERVIOUS AREA (PORTION OF NEW CANOPY) COVERING EXISTING PERVIOUS LANDSCAPE AREA RESULTING IN A 0.84% LOSS OF PERVIOUS AREA FOR THIS SITE.
2. PERVIOUS AREA: a. LANDSCAPE / PLANTING AREA: b. AREA SUBTOTAL: c. TOTAL SITE AREA:	6,805 S.F. 6,805 S.F. (43.55%)	6,614 S.F. (42.71%) 15,625 S.F. (100%)	-191 S.F. -0.84%	** ALL STORM WATER WILL DRAIN OFF THE CANOPIES ONTO THE NON-PERVIOUS CONCRETE DRIVE BELOW.



1 KEY PLAN
NO SCALE



PROJECT DIRECTORY

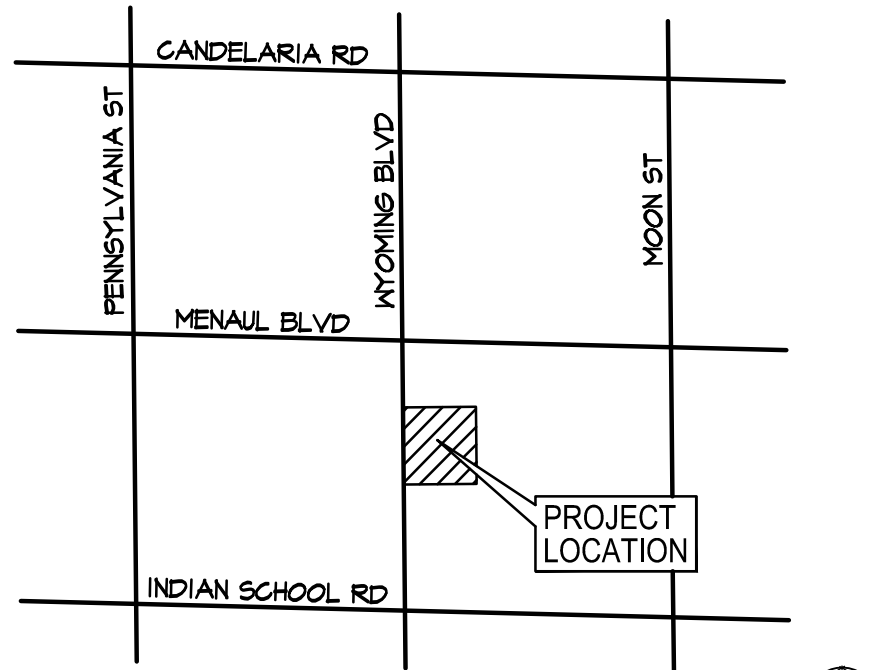
OWNER:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30344
TROY TRIPP, DIRECTOR OF CONST.
troutripp@cfacorp.com
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SCOTTSDALE, ARIZONA 85255
MICHAEL ANDERSON, CFM
(480) 771-1800

MUNICIPALITY:
CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
600 2ND STREET NW
ALBUQUERQUE, NM 87102
MEGAN JONES
mjones@cabq.gov
(505) 924-3334

VICINITY MAP

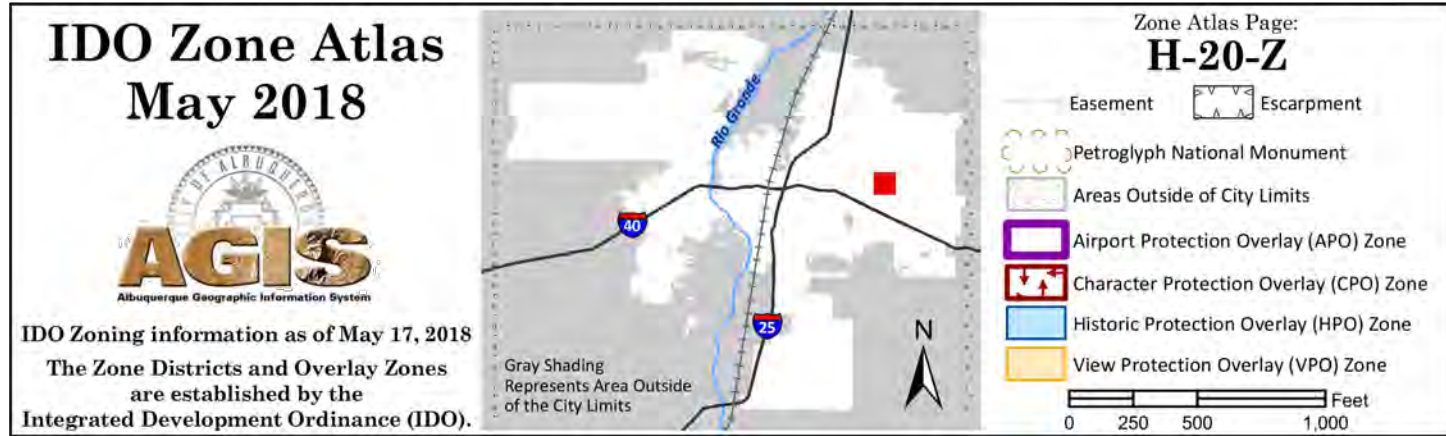


VICINITY MAP
SCALE: 1" = 300'-0"

SHEET INDEX

ARCHITECTURAL	T-0	TITLE SHEET
	A-1	SITE PLAN ADMINISTRATIVE AMENDMENT (RECORD COPY)
	A-2	PROJECT DATA & OVERALL SITE PLAN
	A-3	ENLARGED CANOPY PLAN
	A-4	CANOPY ELEVATION PLAN
	A-5	LANDSCAPE REPLACEMENT PLAN
	C-2.0	RECORD COPY SITE PLAN (FOR REFERENCE ONLY)
	L-1.0	RECORD COPY LANDSCAPE PLAN (FOR REFERENCE ONLY)
	G3.0	RECORD COPY GRADING PLAN (FOR REFERENCE ONLY)
	DN-1.0	RECORD COPY DRAINAGE MAP (FOR REFERENCE ONLY)

IDO ZONE ATLAS MAP



PROJECT DATA

- PROJECT NAME: CHICK-FIL-A, #3484
- PROJECT ADDRESS: 2274 WYOMING BLVD. NE ALBUQUERQUE, NM 87112
- PROJECT WORKSCOPE: INSTALLATION OF STEEL FRAMED FACE TO FACE AND MEAL DELIVERY CANOPY (EMPLOYEE SHADE STRUCTURE) WITH MINOR ELECT. / PLUMB. WORK.
- PARCEL NO: 102005401114131346
- ZONING: MXM COMMERCIAL
- USE: EXIST. FAST FOOD RESTAURANT (NO CHANGE)
- PROPERTY AREA:
a. ACCESS EASEMENT: 19,432 S.F. (.46 ACRES)
b. PROPERTY AREA: 15,625 S.F. (.35 ACRES)
c. TOTAL AREA: 35,551 S.F. (.81 ACRES)
- TYPE OF CONSTRUCTION:
a. NEW MEAL DELIVERY CANOPY IIB
b. NEW FACE TO FACE CANOPY IIB
- OCCUPANCY:
a. NEW MEAL DELIVERY CANOPY A-2
b. NEW FACE TO FACE CANOPY U (ACCESSORY USE TO A-2)
- BUILDING AREA:
a. NEW MEAL DELIVERY CANOPY 50. FT. x 55.2 S.F. 2,772 S.F. 1/2
b. NEW FACE TO FACE CANOPY 113.2 S.F. 1/2
c. TOTAL AREA: 1,665 S.F. 1/2
- AREA OF CONSTRUCTION: 1,665 S.F. 1/2
- CANOPY HEIGHT:
a. MEAL DELIVERY CANOPY: 9'-6" BOTT. OF CANOPY
b. FACE TO FACE CANOPY: 9'-6" BOTT. OF CANOPY
- BUILDING SETBACKS:
a. NORTH PROP. LINE: 0'-0" (WYOMING BLVD NE)
b. WEST PROP. LINE: 5'-0"
c. SOUTH PROP. LINE: 0'-0"
d. EAST PROP. LINE: 0'-0"

LEGAL DESCRIPTION

PARCEL NUMBERED THREE (3), AMENDED SUMMARY PLAT OF THE WYOMING MALL, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 12, 1978, IN PLOT BOOK DB, PAGE 165 AND RE-RECORDED OCTOBER 18, 1978, IN PLOT BOOK DM, PAGE 11.

SPECIAL INSPECTIONS

SWPP GENERAL NOTE

NOTE TO CITY / COUNTY ENGINEERING DEPT. THE CONSTRUCTION OF THIS PROJECT DOES NOT REQUIRE ANY CUT / FILL OR GRADING. ALL FOOTINGS REGARDLESS OF TYPE ARE EXCAVATED ON THE FIRST DAY OF CONSTRUCTION, EXCESS DIRT HAULED OFF IMMEDIATELY AND DISPOSED OF PER CITY / COUNTY REQUIREMENTS. ALL TRENCHING IS DUG, ELECTRICAL AND OR GAS LINES INSTALLED, TRENCH IS BACKFILLED ON THE SAME DAY. NO GRADING ELEVATIONS CHANGES OCCUR NOR DISTURBANCE OF ANY WATER DRAINAGE PATTERNS. PERVIOUS OR NON-PERVIOUS AREAS ARE NOT AFFECTED, THEREFORE A STORM WATER PREVENTION PLAN IS NOT REQUIRED FOR THIS PROJECT.

GENERAL NOTES

- PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
- WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
- ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.
- UPON INSTALLATION OF FOOTINGS, IT SHALL BE THE G.C. RESPONSIBILITY TO OBTAIN THE SERVICES OF A LAND SURVEYOR TO PROVIDE TOP OF ASPHALT/CONC. DIVE TOPO POINTS TO THE CANOPY FABRICATOR PRIOR TO CANOPY FABRICATION. SAID LAND SURVEYOR SHALL PROVIDE A DRAWING DEPICTING TOPO POINTS, NO EXCEPTIONS TAKEN.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO SEE THAT CONCRETE TRUCKS DO NOT WASH THEIR TRUCKS DOWN ON SHOPPING CENTER PROPERTY OR ANY ADJACENT LAND TO THE SHOPPING CENTER. ARRANGEMENTS SHALL BE MADE TO HAUL CONCRETE MIX OFF SITE IN A LEGAL AND ACCEPTABLE MANNER PER LOCAL JURISDICTION APPLICABLE LAWS.

GOVERNING CODES

BUILDING: 2015 NEW MEXICO COMMERCIAL BUILDING CODE
MECHANICAL: 2021 NEW MEXICO MECHANICAL CODE
PLUMBING: 2021 NEW MEXICO PLUMBING CODE
ELECTRICAL: 2018 I.E.C.C. WITH NEW MEXICO AMENDMENTS
ELECTRICAL: 2017 NEW MEXICO ELECTRICAL CODE
FUEL / GAS: 2015 NEW MEXICO FUEL/GAS CODE WITH NM AMENDMENTS
FIRE: 2015 NEW MEXICO FIRE CODE
ACCESSIBLE: 2015 NEW MEXICO BUILDING CODE

APPROVAL BLOCK

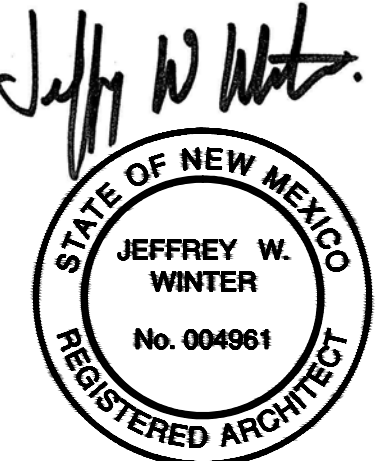


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THESE PLANS AND SPECIFICATIONS, AS WELL AS CHICK-FIL-A, INC. NAME AND LOGO, TRADEMARKS AND DESIGNS ARE THE EXCLUSIVE PROPERTY OF CHICK-FIL-A CORPORATION. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT CHICK-FIL-A'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

esencia

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Tempe, Arizona 85283
Telephone 480-755-0959



07-26-2023

Revision Schedule

Rev	Date	By	Description
1	4-14-23	ZT	Building Dept. Comments
2	7-19-23	SA	Building Dept. Comments

Project Name: CANOPY PROGRAM

CHICK-FIL-A
STORE #3484
2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

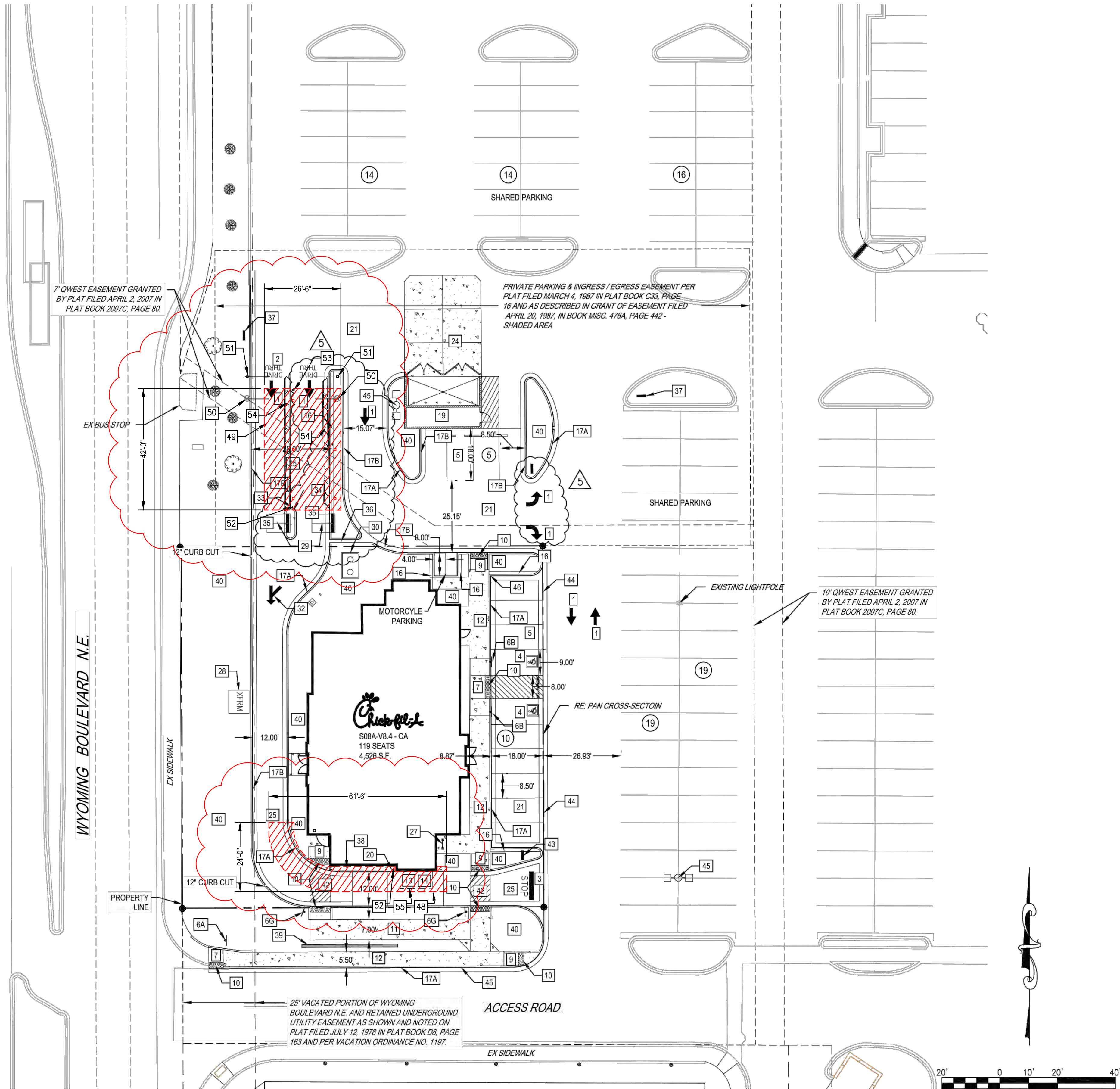
Issue Date: 2-08-2023

Drawn By: ZT
Job Number: 19060

Sheet Title:
Title Sheet

Scale: As indicated

Sheet Number:
T-0



SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBLE PARKING SYMBOL
- 5 STANDARD PARKING STALL
- 6 DIRECTIONAL SIGNAGE
- 6A STOP SIGN
- 6B ACCESSIBLE SIGN
- 6G "CAUTION - WATCH FOR PEDESTRIANS" SIGN
- 7 SIDEWALK HANDICAP RAMP
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK w/ CURB & GUTTER
- 13 DRIVE THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 16 18" STEP-OFF CURB
- 17 24" CONCRETE CURB & GUTTER
- 17A SPILLING SECTION
- 17B CATCHING SECTION
- 19 REFUSE ENCLOSURE FOUNDATION PLAN
- 20 PICK UP WINDOW BOLLARD
- 21 TYPICAL PAVEMENT SECTION
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING @ DRIVE THRU LANE
- 27 BIKE RACK
- 28 ELECTRIC TRANSFORMER
- 29 CANOPY ORDERING STATION
- 30 GREASE INTERCEPTOR
- 32 DRIVE THRU DIRECTIONAL GRAPHICS
- 33 DRIVE THRU ORDER POINT BOLLARD
- 34 DRIVE THRU ORDER POINT ISLAND CURB
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 1" CONCRETE CHASE
- 37 DRIVE-THRU SIGN REFER TO SIGNAGE PLANS
- 38 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 39 RETAINING WALL RE: SHEET C-3.0
- 40 LANDSCAPED AREA
- 42 COLORED CONCRETE AT PEDESTRIAN CROSSING
- 43 THANK YOU SIGN REFER TO SIGNAGE PLANS
- 44 3" CONCRETE PAN
- 45 LIGHT POLE
- 46 4" CURB FACE
- 47 8" CURB FACE

- NOTES:
1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
 2. ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
 3. REFER TO SHEET C-5.0 - C-5.2 FOR CIVIL DETAILS.
 4. REFER TO ARCHITECTURE PLANS FOR BIKE RACK MODEL & SPECIFICATIONS.
 5. REFER TO ARCHITECTURAL & STRUCTURAL PLANS FOR RETAINING WALL DETAILS.
 6. COLORED & TEXTURED CONCRETE TO UTILIZE INTEGRAL COLORING AS OPPOSED TO STAINED CONCRETE. COLOR FOR CROSSWALKS TO BE A DARK RED COLOR.
 7. FOR ALL SIGNAGE REFER TO THE SIGNAGE PLANS FOR DETAILS AND SPECIFICATIONS.
 8. REFER TO PS-1.0 FOR SITE UTILITIES.
 9. REFER TO ARCHITECTURE PLANS FOR REFUSE ENCLOSURE PLANS.

- 1 C-4.0
- 2 C-4.0
- 3 C-4.0
- 4 C-4.0
- 5 C-4.0
- 6 C-4.0

- 7 C-4.0
- 9 C-4.0
- 10 C-4.0
- 11 C-4.0
- 12 C-4.1
- 13 C-4.1
- 14 C-4.1

- 17 C-4.1

- 20 C-4.1
- 21 C-4.1
- 24 C-4.1
- 25 C-4.2

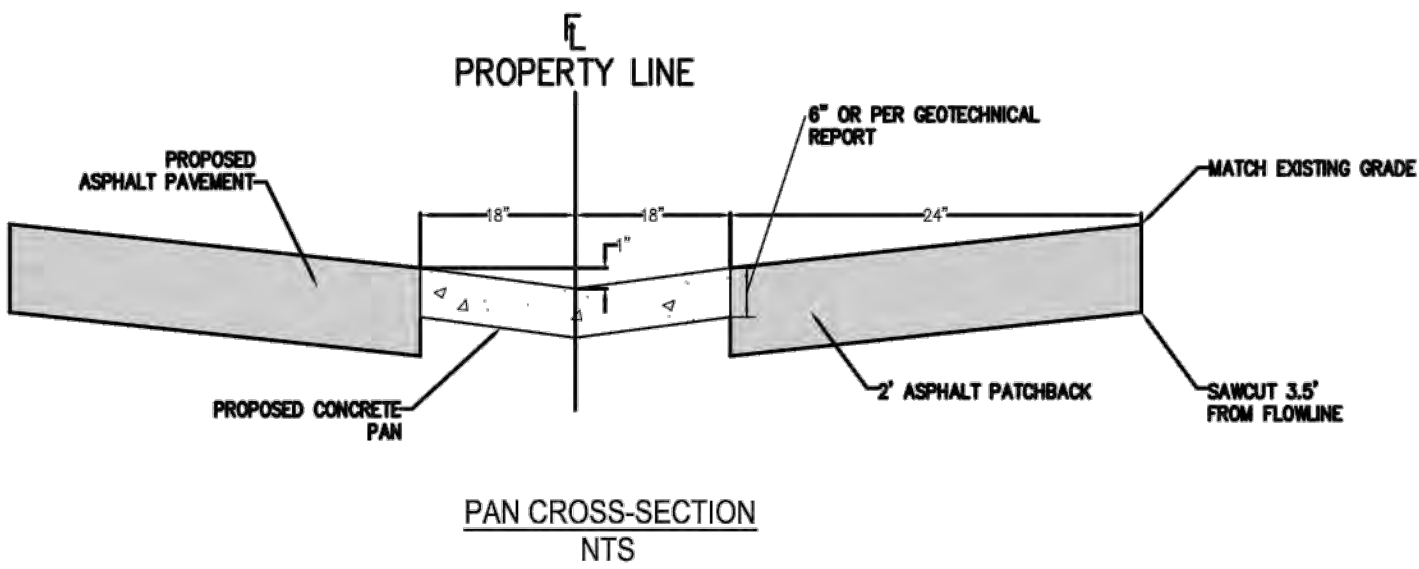
- 33 C-4.2
- 34 C-4.2
- 35 C-4.2
- 36 C-4.2

- 44 C-4.2
- 46 C-4.1
- 47 C-4.1

- 48 DASHED LINE INDICATING OUTLINE OF PROPOSED MEAL DELIVERY CANOPY
- 49 DASHED LINE INDICATING OUTLINE OF PROPOSED FACE TO FACE CANOPY
- 50 DASHED LINE INDICATING EXISTING CLEARANCE BAR TO BE REMOVED
- 51 LOCATION OF NEW CLEARANCE BAR TO BE INSTALLED PER CHICK-FIL-A STANDARDS
- 52 EXISTING BOLLARD TO BE REMOVED
- 53 LOCATION OF NEW BOLLARD TO BE INSTALLED, SEE DETAIL ON SHEET A-2
- 54 NEW STRIPING FOR TEAM MEMBER WALKWAY
- 55 EXISTING AWNING TO BE REMOVED

- SITE PLAN CHANGES:
1. INSTALLATION OF STEEL FRAMED MEAL DELIVERY CANOPY: 576 S.F.
 2. INSTALLATION OF STEEL FRAMED WITH FABRIC FACE TO FACE CANOPY: 1,113 S.F.
 3. (2) CLEARANCE BARS TO BE REMOVED
 4. (2) CLEARANCE BARS TO BE INSTALLED
 5. (2) BOLLARDS TO BE REMOVED
 6. (1) BOLLARD TO BE INSTALLED
 7. NEW 24" WIDE TEAM MEMBER DEMARCATION STRIPING. MIN. (2) COATS TRAFFIC RATED PAINT, COLOR: PER CFA STANDARDS
 8. EXISTING AWNING ABOVE PICK UP WINDOW TO BE REMOVED

SUBMITTED FOR
REFERENCE ONLY



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
3	05/01/2015	AGENCY REV.
4	06/05/2015	WASTE REV.
5	08/05/2015	OWNER REV.

Seal

For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

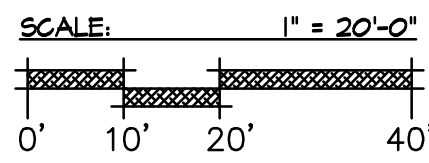
SITE PLAN
ADMINISTRATIVE
AMENDMENT

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

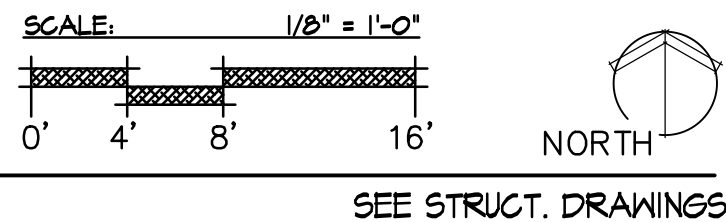
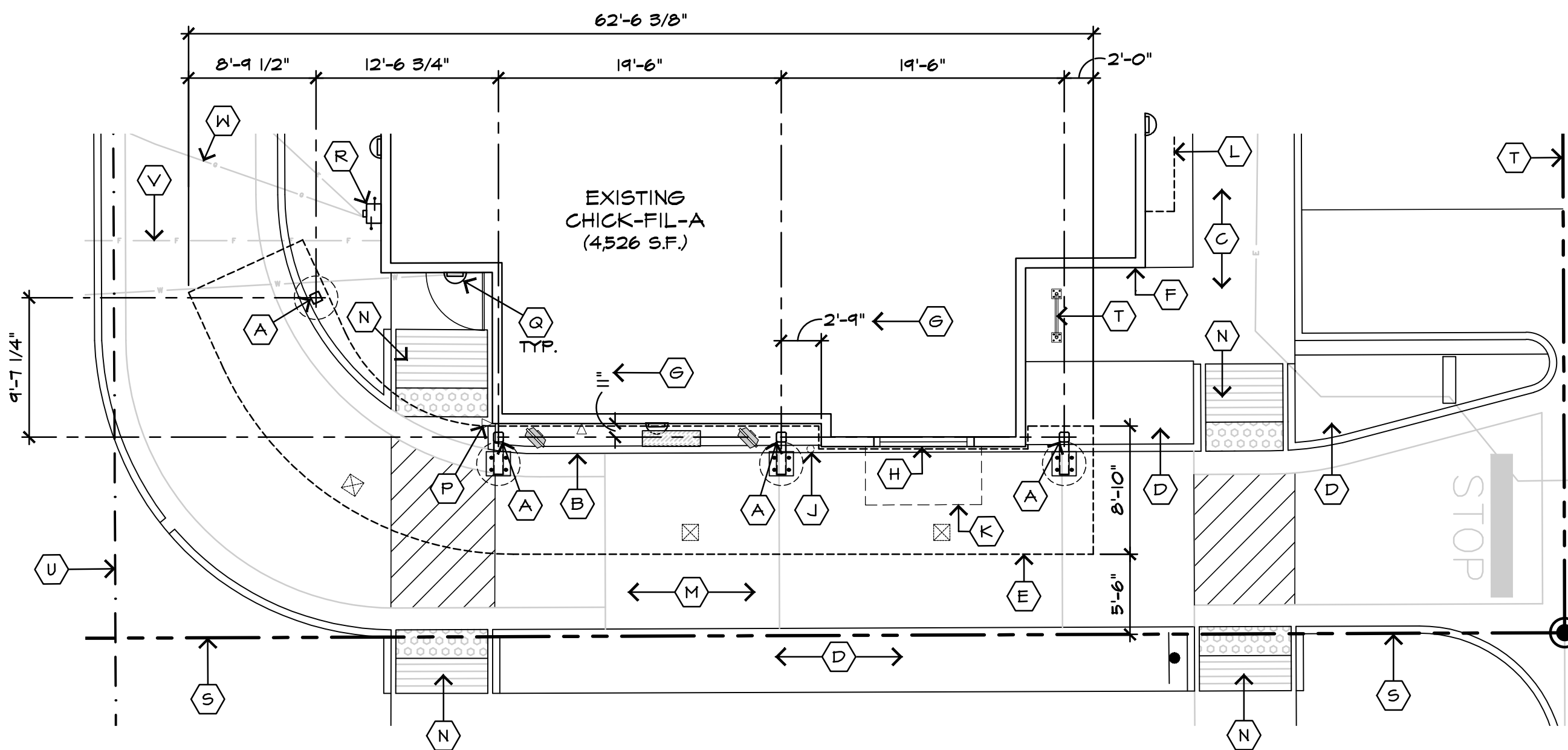
Sheet

A-1



1 SITE PLAN
SCALE: 1" = 20'-0"

A-2



1 ENLARGED CANOPY PLAN - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

- LEGEND
- CANOPY LIGHTS
 - FANS
 - HEATERS

- GENERAL NOTES
- THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.
 - COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.
 - WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.
 - COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.
 - G.C. TO CONFIRM SIZE, DEPTH, AND LOCATION OF ALL UNDERGROUND UTILITIES / STORM WATER PIPING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - G.C. SHALL CONFIRM DIMENSIONS OF CURBS AND EXACT LOCATION OF PICK-UP WINDOW PRIOR TO CONSTRUCTION.

- CONSTRUCTION NOTES - MEAL DELIVERY
- NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONC. SURFACES.
 - EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONC. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONC. CURBING (TYP.).
 - EXISTING A.D.A. COMPLIANT CONCRETE WALKWAY TO REMAIN.
 - EXISTING LANDSCAPING AREA / LANDSCAPE PLANTER TO REMAIN.
 - DASHED LINE INDICATING OUTLINE OF CANOPY. REFER TO CANOPY SHOP DRAWINGS WITH-IN THIS SET.
 - FACE OF EXISTING EXTERIOR BUILDING WALL. DO NOT DISTURB.
 - X/Y DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.
 - EXISTING MEAL DELIVERY PICK UP WINDOW. DO NOT DISTURB.
 - EXISTING BOLLARD TO BE REMOVED.
 - DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. GC TO REPAIR EXIST. EXTERIOR WALL AS REQUIRED APPLY TOUCH-UP PAINT FIELD MATCH EXIST. COLOR AND WALL FINISH. PROVIDE FLUSH TRANSITION FOR ALL PATCH WORK.
 - EXISTING AWNING TO REMAIN, INDICATED BY DASHED LINE.
 - EXISTING DRIVE THRU LANE TO REMAIN, TYP.
 - EXIST. A.D.A. COMPLIANT CONC. CURB RAMP TO REMAIN. DO NOT DISTURB.
 - EXISTING SECURITY CAMERA TO REMAIN (HEIGHT 12'-0").
 - EXISTING SECURITY LIGHTS TO REMAIN (HEIGHT 14'-0").
 - LOCATION OF EXISTING ELECTRICAL AND/OR GAS EQUIPMENT TO REMAIN.
 - EXISTING TENANT / LANDLORD LEASE LINE SHOWN FOR REFERENCE, SEE SITE PLAN.
 - EXISTING BIKE PARKING LOOPS TO REMAIN. DO NOT DISTURB.
 - EXISTING UTILITY EASEMENT LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
 - LOCATION OF EXISTING 4" FIRE LINE. GC TO FIELD VERIFY EXACT LOCATION PRIOR TO COMMENCING CONSTRUCTION. RE-ROUTE FIRE LINE AROUND CANOPY FOOTING AS NEEDED.
 - LOCATION OF EXISTING GAS LINE TO REMAIN. DO NOT DISTURB. GC TO FIELD VERIFY EXACT LOCATION PRIOR TO COMMENCING CONSTRUCTION.



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(404) 765 - 8000

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Jeffrey W. Winter

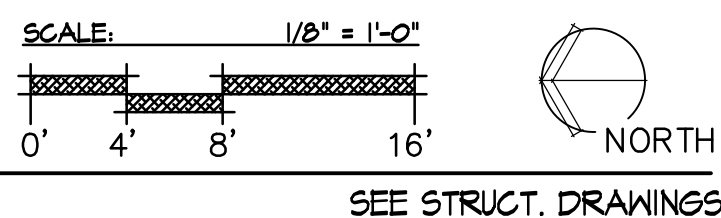
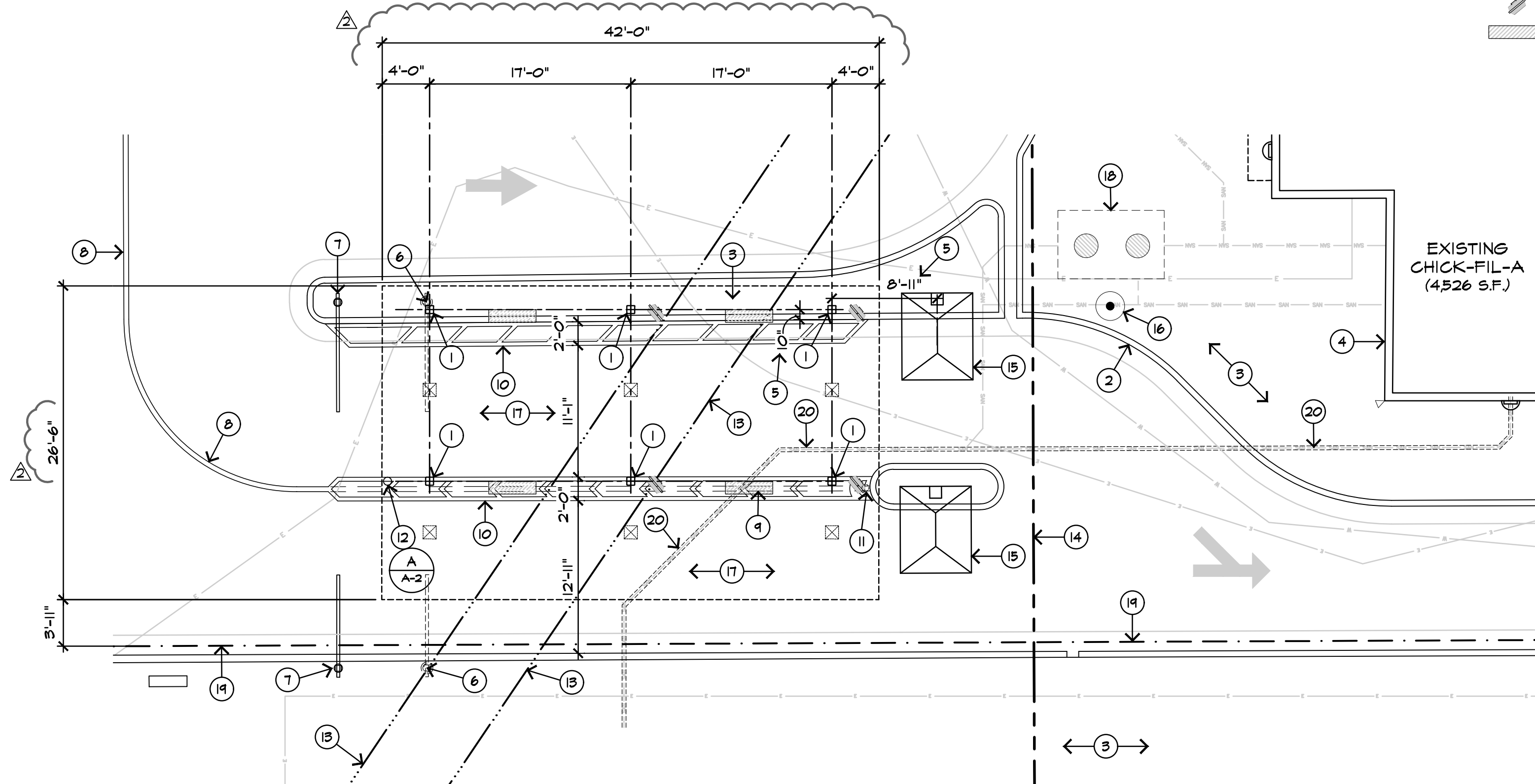


07-26-2023

Revision Schedule

Rev	Date	By	Description
1	7-19-23	SA	Building Dept. Comments

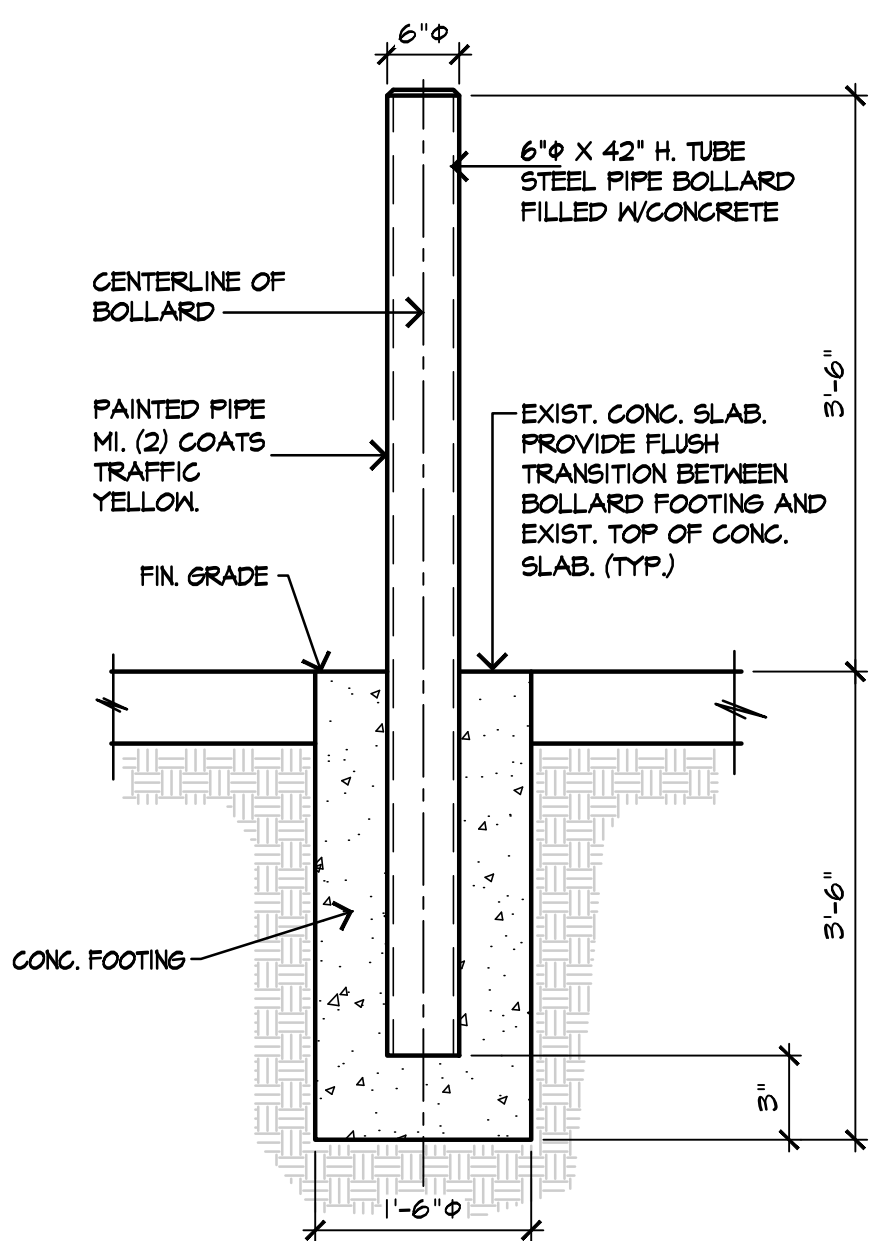
- LEGEND
- CANOPY LIGHTS
 - FANS
 - HEATERS



2 ENLARGED CANOPY PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.
- COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.
- WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.
- COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.
- G.C. TO CONFIRM SIZE, DEPTH, AND LOCATION OF ALL UNDERGROUND UTILITIES / STORM WATER PIPING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- G.C. SHALL CONFIRM DIMENSIONS OF CURBS AND EXACT LOCATION OF PICK-UP WINDOW PRIOR TO CONSTRUCTION.



A TYPICAL BOLLARD DETAIL
SCALE: 3/4" = 1'-0"

CONSTRUCTION NOTES - FACE TO FACE

- NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONC. SURFACES.
- EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONC. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONC. CURBING (TYP.).
- EXISTING LANDSCAPING AREA / LANDSCAPE PLANTER TO REMAIN.
- FACE OF EXISTING EXTERIOR BUILDING WALL - DO NOT DISTURB.
- X/Y DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION OF COLUMN STARTING POINT. NOTIFY CHICK-FIL-A PROJECT TEAM OF ANY DISCREPANCIES IMPACTING OTHER CONSTRUCTION PHASES OR RELATED CONDITIONS.
- DASHED LINE INDICATING EXISTING CLEARANCE BAR TO BE REMOVED, RELOCATE AS SHOWN ON PLAN.
- LOCATION OF NEW CLEARANCE BAR TO BE INSTALLED PER CHICK-FIL-A STANDARDS.
- EXISTING STRIPING TO REMAIN. DO NOT DISTURB.
- EXISTING STRIPING TO BE REMOVED. INDICATING BY DASHED LINE.
- NEW 24" WIDE TEAM MEMBER DEMARCATION STRIPING. MIN. (2) COATS TRAFFIC RATED PAINT, COLOR. PER CFA STANDARDS.
- EXISTING BOLLARD TO BE REMOVED. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED MATCH PLANT PALLET, PROVIDE FLUSH TRANSITION BETWEEN ALL EXIST. AND NEW CONC. FINISHES.
- LOCATION OF NEW BOLLARD. PER CHICK-FIL-A DESIGN STANDARD INSTALL 24" FROM FACE OF CLEARANCE BAR AND/OR LAST CANOPY COLUMN AS SHOWN ON DRAWINGS. REFER TO DETAIL.
- EXISTING GWEST EASEMENT FOR REFERENCE ONLY, SEE SITE PLAN.
- EXISTING TENANT / LANDLORD LEASE LINE SHOWN FOR REFERENCE, SEE SITE PLAN.
- EXISTING DRIVE THRU ORDER POINT MENU BOARD. DO NO DISTURB.
- LOCATION OF EXISTING FLAG POLE TO REMAIN. DO NOT DISTURB.
- EXISTING DRIVE THRU LANE TO REMAIN, TYP.
- EXISTING GREASE INTERCEPTOR TO REMAIN. GC TO VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.
- EXISTING UTILITY EASEMENT LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
- EXISTING 4" WASTEWATER LINE TO REMAIN. DO NOT DISTURB. GC TO VERIFY EXACT LOCATION PRIOR TO COMMENCING CONSTRUCTION.

Project Name: CANOPY PROGRAM

CHICK-FIL-A
STORE #3484

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

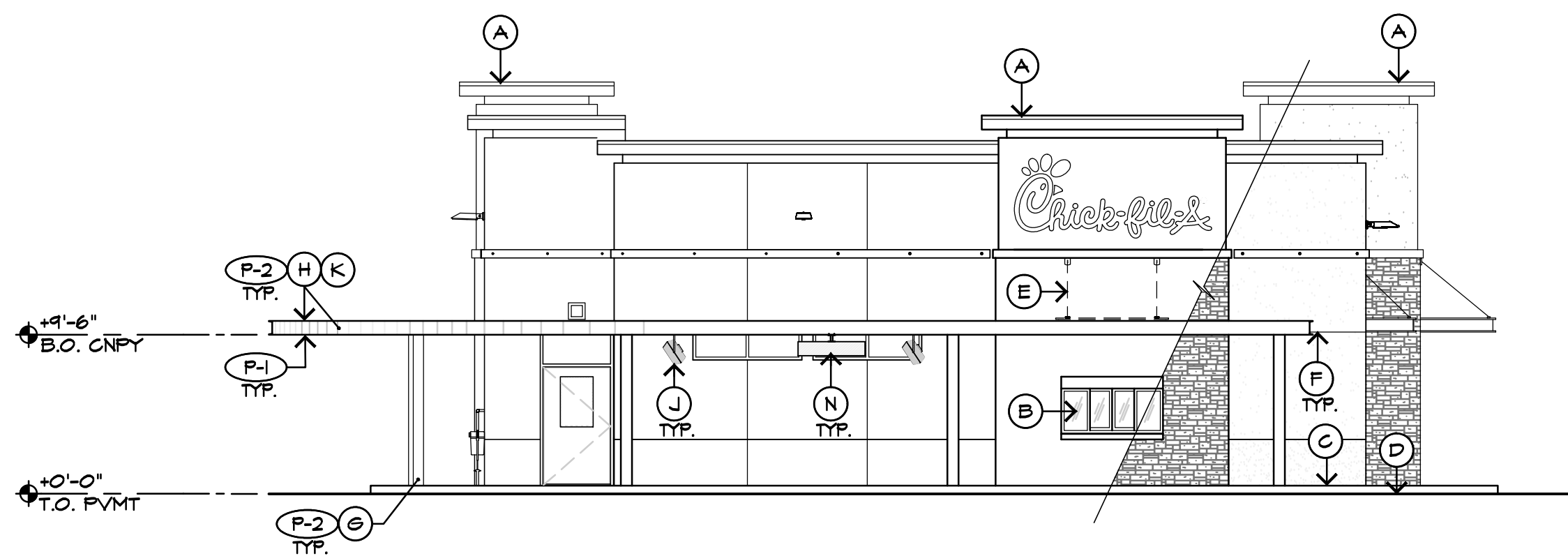
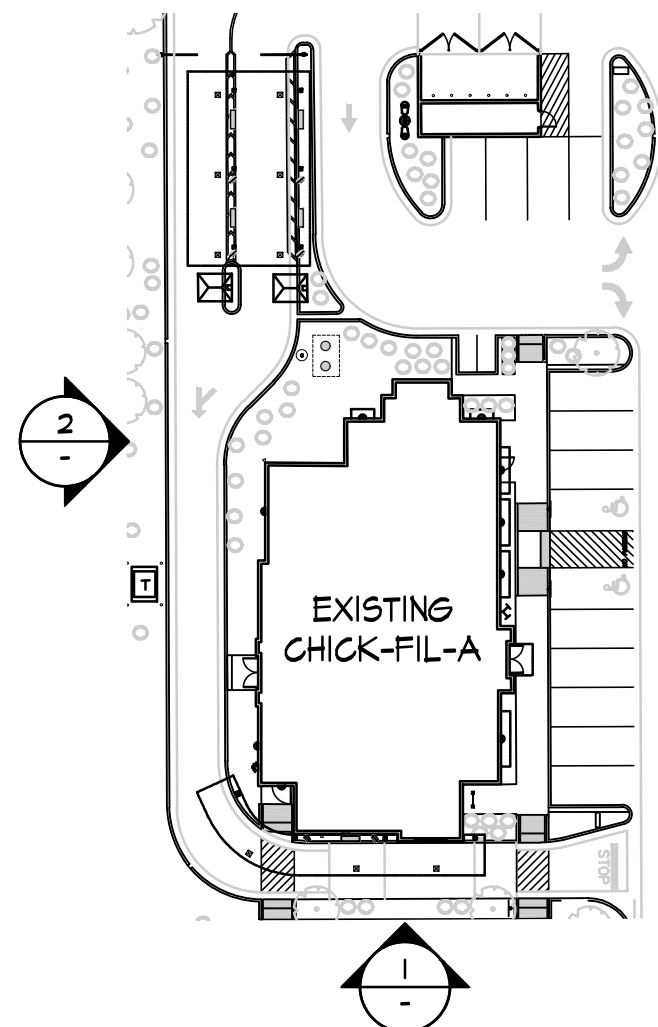
Issue Date: 2-08-2023
Drawn By: ZT
Job Number: 19060

Sheet Title:
Enlarged Canopy Plan

Scale: As indicated

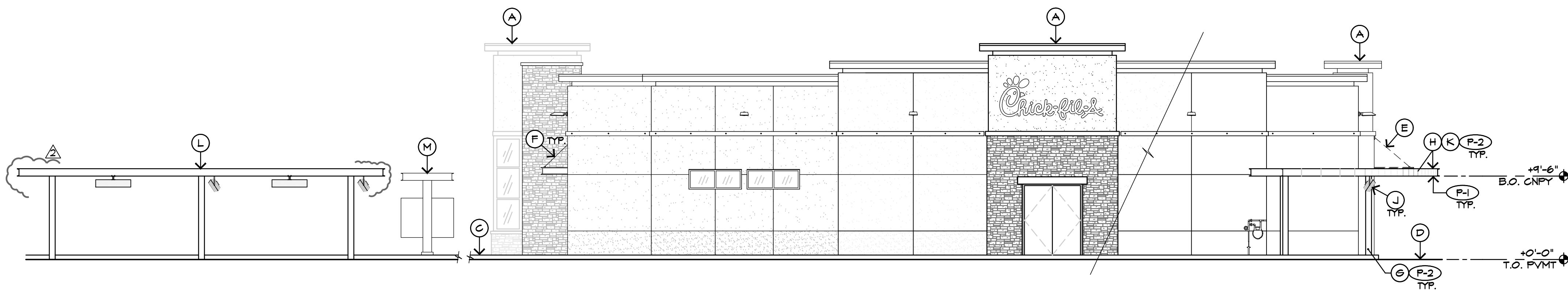
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A-3



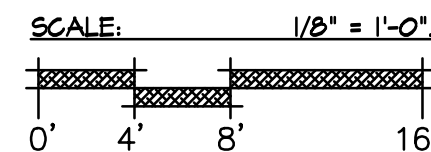
1 REAR ELEVATION (SOUTH) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



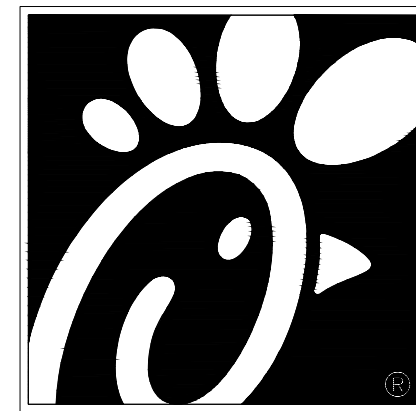
2 SIDE ELEVATION (WEST) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



CONSTRUCTION NOTES - MEAL DELIVERY

- EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- MEAL DELIVERY PICK UP WINDOW. NO CHANGE.
- TOP OF EXISTING A.D.A. COMPLIANT CONCRETE WALKWAY TO REMAIN.
- TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. S.C. SHALL REPAIR OR REPLACE EXISTING FINISHES AS REQUIRED. MATCH EXISTING GROUT, VENEER.
- EXISTING AWNING TO REMAIN. NO CHANGE.
- NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE. REFER TO STRUCTURAL DRAWINGS FOR MORE DETAIL.
- NEW CANOPY ROOF DECK / FASCIA. UNDERSIDE TO BE COLOR: HIGH GLOSS WHITE - SEE FINISH SCHEDULE. ROOF DECK / FASCIA TO BE COLOR: DARK BRONZE - SEE FINISH SCHEDULE.
- NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE. REFER TO ELECT. DRAWINGS FOR FURTHER DETAILS.
- NEW MEAL DELIVERY METAL CANOPY - SEE FINISH SCHEDULE. REFER TO CANOPY DRAWINGS FOR FURTHER DETAILS.
- NEW FACE TO FACE METAL CANOPY. REFER TO CANOPY DRAWINGS FOR FURTHER DETAILS.
- EXISTING ORDER MENU BOARD TO REMAIN. NO CHANGE.
- NEW CANOPY OVERHEAD HEATER BY SUPREME SCHWANK. MODEL: 2312-N/L OUTDOOR. REFER TO PLUMB/ELECT. DRAWINGS FOR FURTHER DETAILS.



Chick-fil-A
5200 BUFFINGTON ROAD.
ATLANTA, GEORGIA 30349
(404) 765 - 8000

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Jeffrey W. Winter



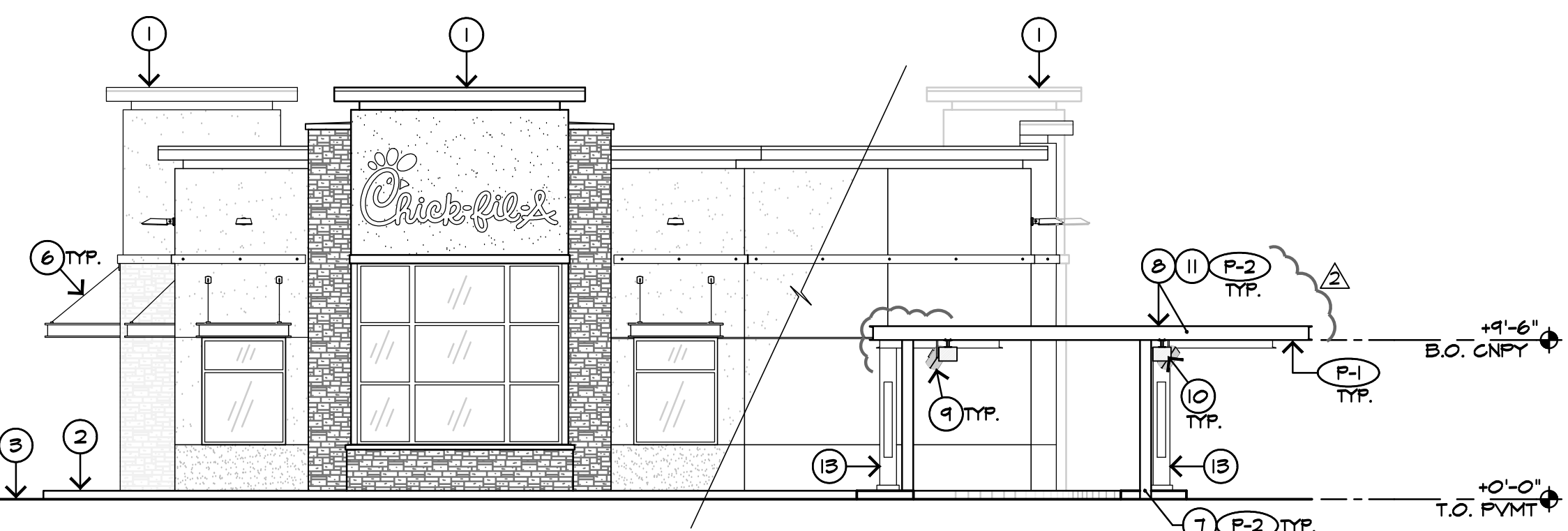
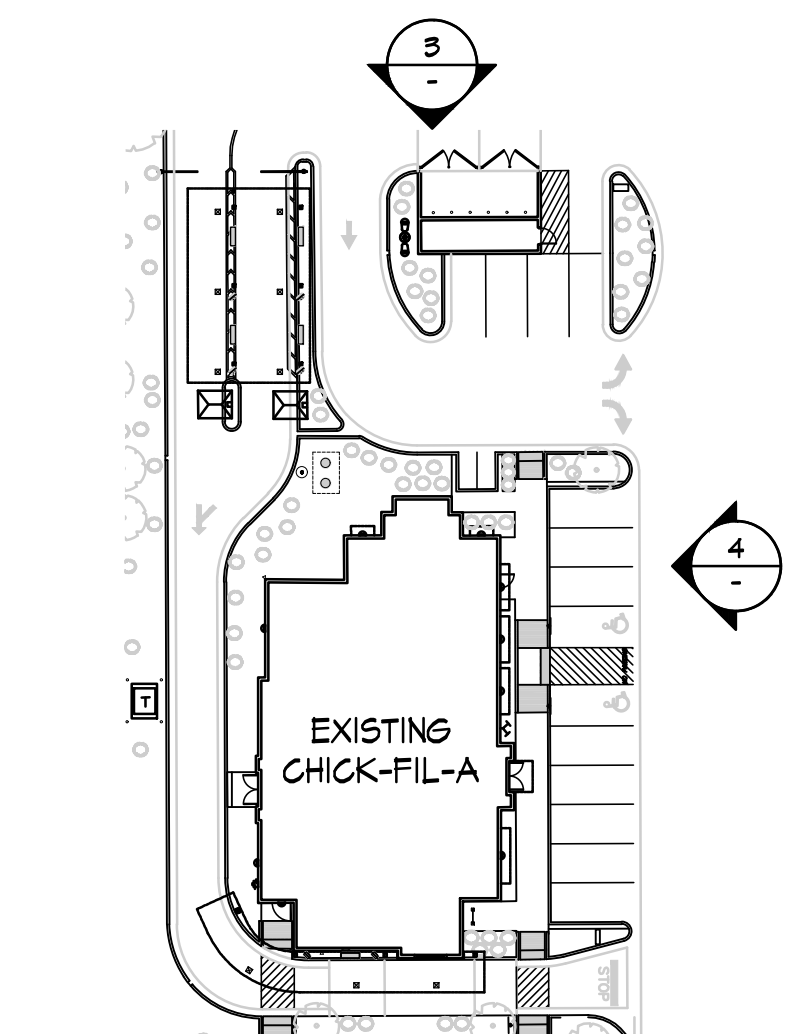
07-26-2023

Revision Schedule

Rev	Date	By	Description
1	7-19-23	SA	Building Dept. Comments

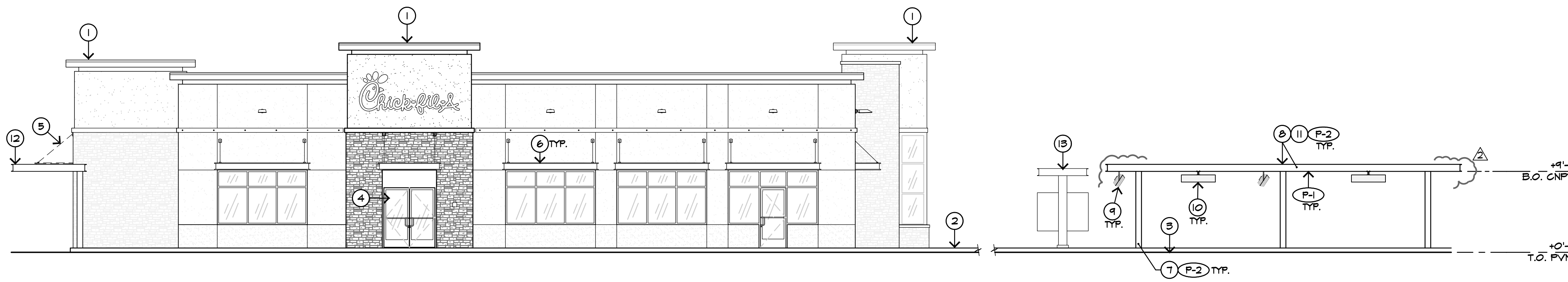
CONSTRUCTION NOTES - FACE TO FACE

- EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- TOP OF EXISTING A.D.A. COMPLIANT CONCRETE WALKWAY TO REMAIN.
- TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- EXISTING MAIN ENTRY.
- DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. S.C. SHALL REPAIR OR REPLACE EXISTING FINISHES AS REQUIRED. MATCH EXISTING GROUT, VENEER.
- EXISTING AWNING TO REMAIN. NO CHANGE.
- NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE. REFER TO STRUCTURAL DRAWINGS FOR MORE DETAIL.
- NEW CANOPY ROOF DECK / FASCIA. UNDERSIDE TO BE COLOR: WHITE - SEE FINISH SCHEDULE. ROOF DECK / FASCIA TO BE COLOR: DARK BRONZE - SEE FINISH SCHEDULE.
- NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE. REFER TO ELECT. DRAWINGS.
- NEW CANOPY OVERHEAD HEATER BY SUPREME SCHWANK. MODEL: 2352 N OUTDOOR. REFER TO PLUMB/ELECT. DRAWINGS FOR FURTHER DETAILS.
- NEW FACE TO FACE METAL CANOPY - SEE FINISH SCHEDULE. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
- NEW MEAL DELIVERY METAL CANOPY. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
- EXISTING ORDER MENU BOARD TO REMAIN. NO CHANGE.



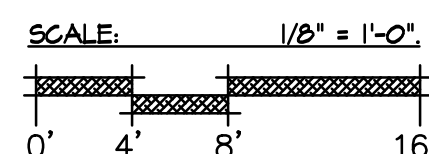
3 FRONT ELEVATION (NORTH) - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



4 SIDE ELEVATION (EAST) - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



FINISH SCHEDULE

MARK #	DESCRIPTION
P-1	LOCATION: CANOPY UNDERSIDE MANUFACTURER: BECKERS PAINT COLOR: 44TN4463 HIGH GLOSS WHITE
P-2	LOCATION: CANOPY ROOF DECK/FASCIA EXPOSED COLUMNS MANUFACTURER: DURA COAT PRODUCTS, INC. COLOR: 145T-2073 OIL RUBBED BRONZE TEXTURED PVDF POWDER COAT FINISH

Project Name: CANOPY PROGRAM

CHICK-FIL-A
STORE #3484

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

Issue Date: 2-08-2023

Drawn By: ZT
Job Number: 19060

Sheet Title:
**Canopy
Elevation Plan**

Scale: As indicated

Sheet Number:
A-4

SEE APPROVED RECORD COPY
LANDSCAPE PLANS WITHIN THIS
SET FOR FURTHER DETAILS.

LANDSCAPE GENERAL NOTES

- G.C. SHALL VERIFY EXISTING ON SITE CONDITION OF THE CONSTRUCTION AREA. SCOPE OF WORK SHALL BE TO OBTAIN A COPY OF THE EXISTING APPROVED LANDSCAPE PLAN, INVENTORY LANDSCAPING AGAINST PLAN, AND REPLACE ALL LANDSCAPING BEING REMOVED WITH LIKE SPECIES SHRUBBERY.
- G.C. SHALL PRUNE EXISTING LANDSCAPING AS REQUIRED (TREES) FOR INSTALLATION OF CANOPY STRUCTURE.
- G.C. SHALL REPLACE ANY ADDITIONAL DYING, DEAD OR MISSING LANDSCAPING NOT SHOWN ON THIS PLAN.
- ALL UNDERGROUND IRRIGATION LINES SHALL BE FIELD LOCATED AND MODIFIED TO MAINTAIN WATER TO EXISTING PLANT LIFE AND NEW REPLACEMENT PLANTS. WORK SHALL CONFORM TO PREVIOUS APPROVED LANDSCAPE PLAN AND DETAILS ON FILE WITH THE CITY OF MAUMELLE.
- G.C. SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING LANDSCAPING FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND SHALL BE RESPONSIBLE TO REPLACE ANY DAMAGED LANDSCAPING DURING ENTIRE CONSTRUCTION PHASE.
- NO SUBSTITUTIONS FOR PLAN SPECIES ARE ALLOWED UNLESS APPROVED BY THE PLANNING DEPARTMENT W/ OWNERS CONSENT.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH AMERICAN STANDARD FOR NURSERY STOCK, ALL LANDSCAPING SHALL BE OBTAINED FROM A LICENSED NURSERY IN THE STATE OF ARKANSAS.

LANDSCAPE KEYNOTES

- HATCHED AREA INDICATING AREA OF MISSING OR DEAD LANDSCAPING. G.C. TO REINSTALL. ALL DEAD, DYING, OR MISSING LANDSCAPING PER THE APPROVED LANDSCAPE PLAN. G.C. TO VERIFY CONDITION OF IRRIGATION SYSTEM, MAKE ALL REQUIRED REPAIRS TO MAINTAINING PLANT SPECIES LIFE. REFER TO RECORD COPY OF LAST KNOWN APPROVED LANDSCAPE DRAWINGS INCLUDED WITHIN THIS SET MARKED AS "FOR REFERENCE ONLY" FOR FURTHER REQUIREMENTS. LANDSCAPING BORDERING THE EXISTING DRIVE THRU LANE SHALL BE MAINTAINED BETWEEN 3' AND 4' IN HEIGHT BY CHICK-FIL-A. NO EXCEPTIONS TAKEN.
- EXISTING ELECTRICAL TRANSFORMER TO REMAIN. DO NOT DISTURB.
- EXISTING EASEMENT SHOWN FOR REFERENCE. SEE SITE PLAN.
- EXISTING SHOPPING CENTER PROPERTY LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
- EXISTING FIRE HYDRANT TO REMAIN. DO NOT DISTURB.
- EXISTING LIGHT POLE TO REMAIN. DO NOT DISTURB.
- EXISTING STREET LIGHT TO REMAIN. DO NOT DISTURB.
- EXISTING OVERHEAD ELECTRICAL TO REMAIN. DO NOT DISTURB.
- EXISTING BUS STOP TO REMAIN. DO NOT DISTURB.



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Jeffrey W. Winter



07-26-2023

Revision Schedule

Rev	Date	By	Description
1	4-14-23	ZT	Building Dept. Comments
2	7-19-23	SA	Building Dept. Comments

Project Name: CANOPY PROGRAM

**CHICK-FIL-A
STORE #3484**

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM 87112

Issue Date: 2-08-2023

Drawn By: ZT
Job Number: 19060

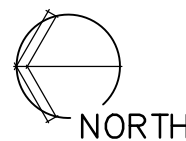
Sheet Title: **Landscape
Replacement
Plan**

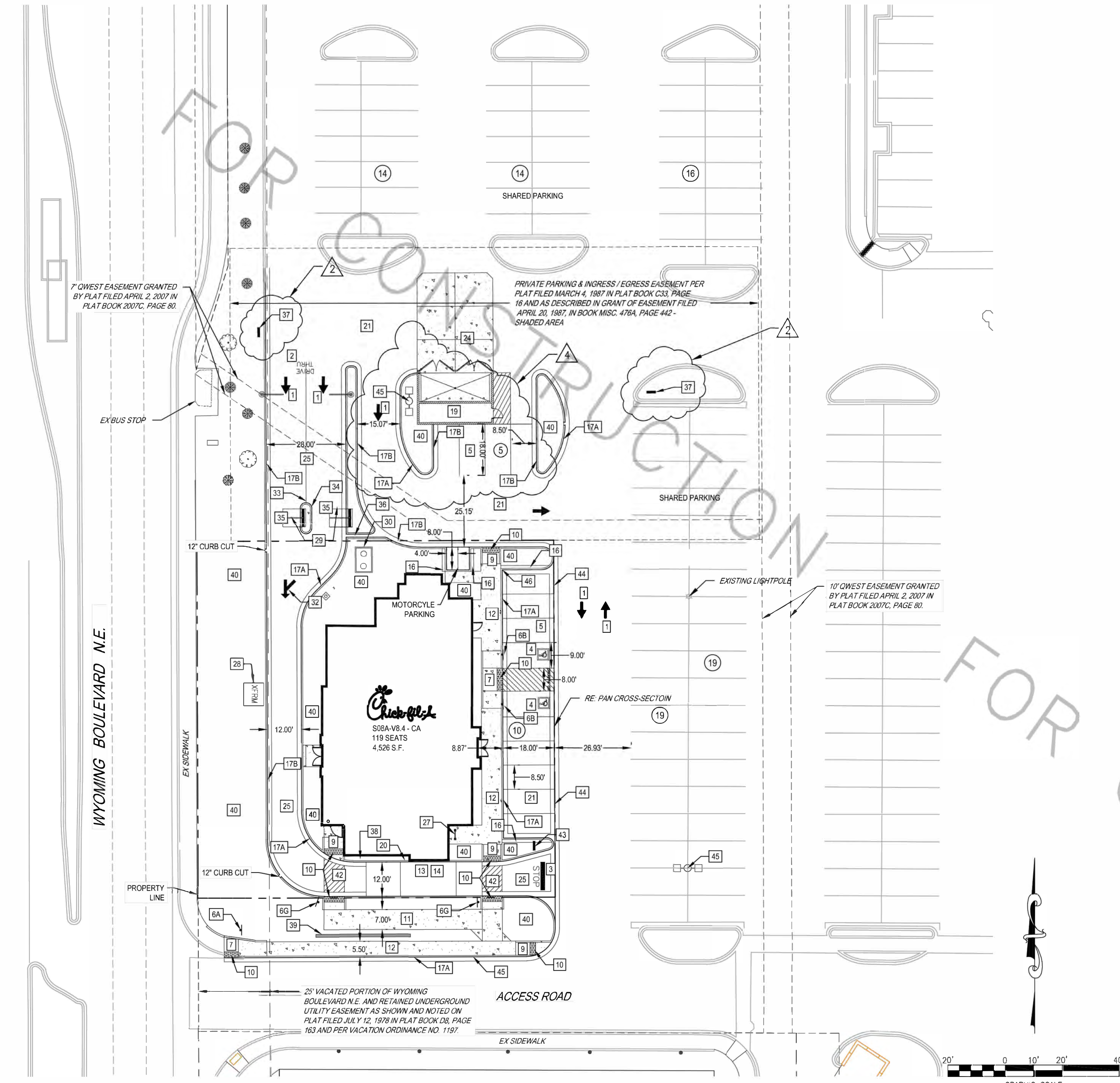
Scale: As indicated

Sheet Number:
A-5

1 LANDSCAPE REPLACEMENT PLAN
SCALE: 1" = 10'-0"

SCALE: 1" = 10'-0"
0' 5' 10' 20'





SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBLE PARKING SYMBOL
- 5 STANDARD PARKING STALL
- 6 DIRECTIONAL SIGNAGE

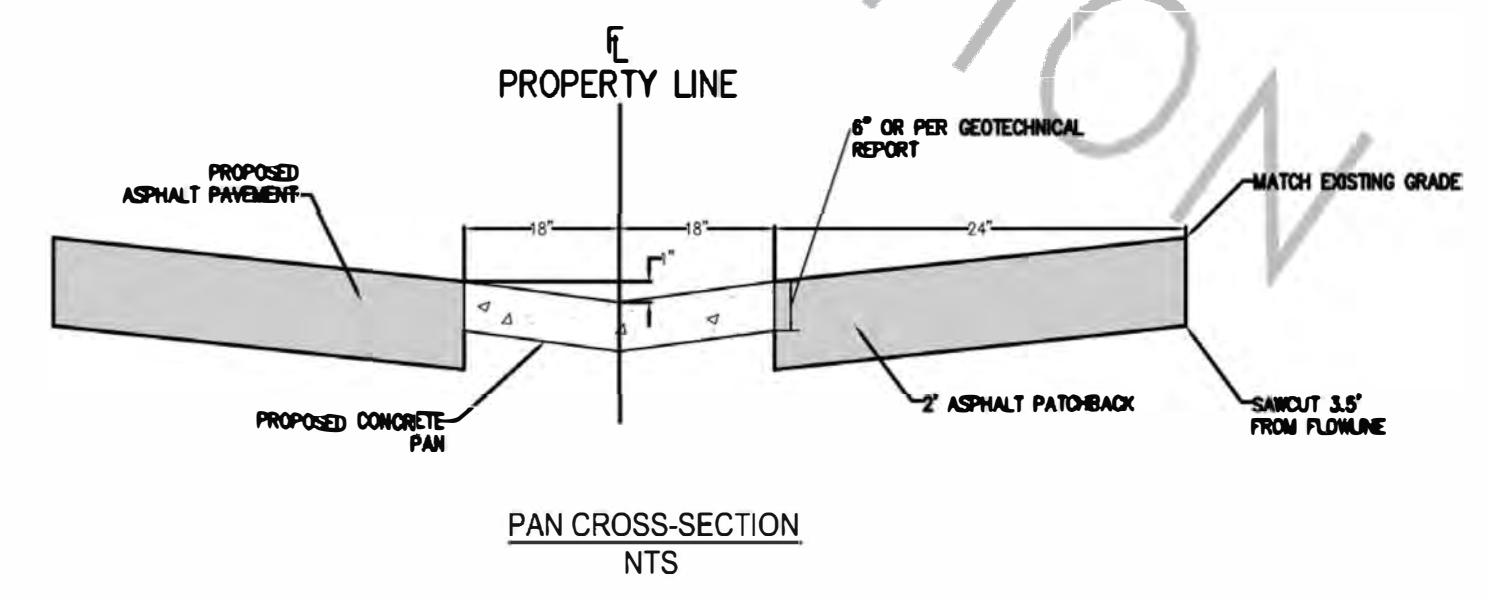
ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION.

- 6A STOP SIGN
- 6B ACCESSIBLE SIGN
- 6G "CAUTION - WATCH FOR PEDESTRIANS" SIGN

- 7 SIDEWALK HANDICAP RAMP
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK w/ CURB & GUTTER
- 13 DRIVE THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 16 18" STEP-OFF CURB
- 17 24" CONCRETE CURB & GUTTER
- 17A SPILLING SECTION
- 17B CATCHING SECTION

- 19 REFUSE ENCLOSURE FOUNDATION PLAN
- 20 PICK UP WINDOW BOLLARD
- 21 TYPICAL PAVEMENT SECTION
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING @ DRIVE THRU LANE
- 27 BIKE RACK
- 28 ELECTRIC TRANSFORMER
- 29 CANOPY ORDERING STATION
- 30 GREASE INTERCEPTOR
- 32 DRIVE THRU DIRECTIONAL GRAPHICS
- 33 DRIVE THRU ORDER POINT BOLLARD
- 34 DRIVE THRU ORDER POINT ISLAND CURB
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 1" CONCRETE CHASE
- 37 DRIVE-THRU SIGN REFER TO SIGNAGE PLANS
- 38 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 39 RETAINING WALL RE: SHEET C-3.0
- 40 LANDSCAPED AREA
- 42 COLORED CONCRETE AT PEDESTRIAN CROSSING
- 43 THANK YOU SIGN REFER TO SIGNAGE PLANS
- 44 3" CONCRETE PAN
- 45 LIGHT POLE
- 46 4" CURB FACE
- 47 8" CURB FACE

- NOTES:
- 1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
 - 2. ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
 - 3. REFER TO SHEET C-5.0 - C-5.2 FOR CIVIL DETAILS.
 - 4. REFER TO ARCHITECTURE PLANS FOR BIKE RACK MODEL & SPECIFICATIONS.
 - 5. REFER TO ARCHITECTURAL & STRUCTURAL PLANS FOR RETAINING WALL DETAILS.
 - 6. COLORED & TEXTURED CONCRETE TO UTILIZE INTEGRAL COLORING AS OPPOSED TO STAINED CONCRETE. COLOR FOR CROSSWALKS TO BE A DARK RED COLOR.
 - 7. FOR ALL SIGNAGE REFER TO THE SIGNAGE PLANS FOR DETAILS AND SPECIFICATIONS.
 - 8. REFER TO PS-1.0 FOR SITE UTILITIES.
 - 9. REFER TO ARCHITECTURE PLANS FOR REFUSE ENCLOSURE PLANS.



SUBMITTED FOR
REFERENCE ONLY

5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
2 04/01/2015
OWNER REV

Mark Date By
3 05/01/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE
SITE PLAN

VERSION: H-V2
ISSUE DATE: 11-2014

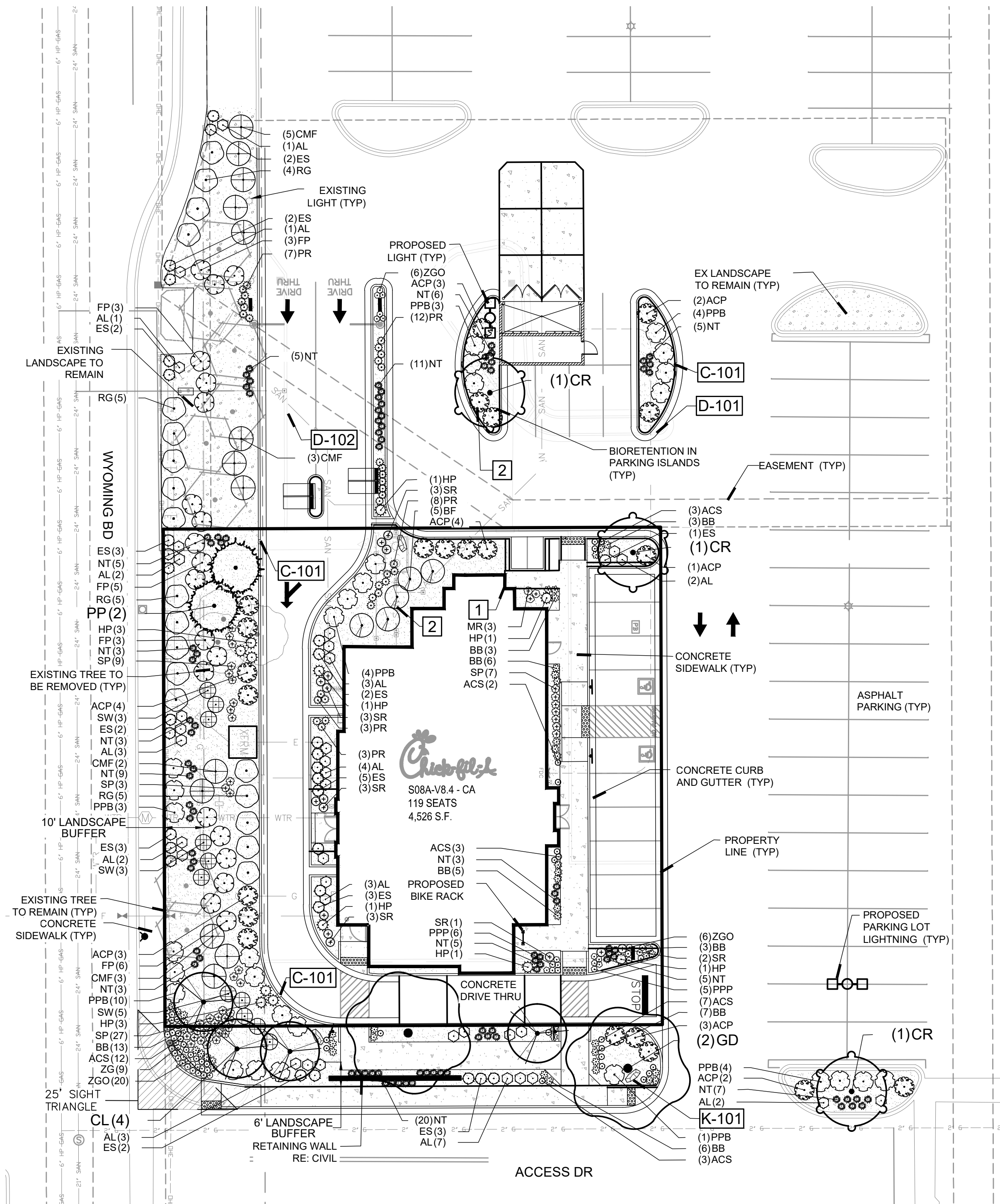
Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By : TDK

Sheet
C-2.0

New Mexico One Call, Inc.

Professional Resources for Damage Prevention

CALL NMOC
TWO WORKING DAYS
BEFORE YOU DIG
NM811
OR
1-888-NM-GAS-CO
NMOCALL.ORG



LANDSCAPE PLAN

SCALE: 1" = 20'

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.		
2	BIORETENTION / ON-SITE WATER HARVESTING AREAS. 6" DEPRESSION WITH ADAPTABLE PLANTS THAT CAN WITHSTAND PERIODIC INUNDATION. RE: CIVIL FOR GRADING.		
SYMBOL	CURB DESCRIPTION	QTY	DETAIL
C-101	CURB CUT, RE: CIVIL. SEE SHEET 4 FOR CURB CUT DETAIL.		
SYMBOL	DEMOLITION DESCRIPTION	QTY	DETAIL
D-101	DEMO ALL EXISTING PLANTS IN ISLANDS. CAP AND REMOVE IRRIGATION AS NECESSARY.		
D-102	DEMO EX CURB. RE: CIVIL		
SYMBOL	ROCK DESCRIPTION	QTY	DETAIL
K-101	GRANITE/MOSS ROCK BOULDER-DECORATIVE. 1/2 TON AVG SIZE	4	

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
CR	3	3	CELTIS RETICULATA / NETLEAF HACKBERRY	B&B	2" CAL
CL	4	4	CHILOPSIS LINEARIS / DESERT WILLOW CHITALPA	B&B	2" CAL
EX-RET	8		EXISTING TREE TO REMAIN / PROTECT DURING CONSTRUCTION	EX	
GD	2	2	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2.5" CAL
PP	2	2	PINUS EDULIS / PINON PINE	6' B&B	
EX-REM	3		REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
AL	34	34	AMORPHA CANESCENS / LEADPLANT	1 GAL	
ACP	22	22	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO' / MANZANITA	1 GAL	
BF	5	5	BERBERIS FENDLERI / FENDLER'S BARBERRY	1 GAL	
CMF	13	13	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	1 GAL	
ES	30	30	ERICAMERIA NAUSEOSA SPECIOSA / DWARF BLUE RABBITBRUSH	1 GAL	
FP	20	20	FALLUGIA PARADOXA / APACHE PLUME	1 GAL	
HP	12	12	HESPERALOE PARVIFLORA / RED YUCCA	1 GAL	
PPB	29	29	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	1 GAL	
RG	19	19	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	1 GAL	
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
BB	46	46	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
NT	90	90	NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS	1 GAL	
PR	33	33	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS	1 GAL	
SP	46	46	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES' / LITTLE BLUESTEM GRASS	1 GAL	
SW	11	11	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
ACS	30	30	AGASTACHE CANA 'SONORAN SUNSET' / SONORAN SUNSET HYSOPO	4" POT	
MR	3	3	MAHONIA REPENS / CREEPING MAHONIA	1 GAL	
PPP	11	11	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	4" POT	
SR	15	15	SALVIA GREGGII 'RASPBERRY' / AUTUMN SAGE	1 GAL	
ZGO	32	32	ZAUSCHNERIA GARRETTII 'ORANGE CARPET' / HUMMINGBIRD TRUMPET	4" POT	
ZG	9	9	ZINNIA GRANDIFLORA 'GOLD ON BLUE' / ROCKY MOUNTAIN ZINNIA	4" POT	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
EXC	2,773 SF		EXISTING LANDSCAPE TO REMAIN	MULCH	
MULCHES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
AGG	7,229 SF		AGGREGATE / 1.5" - 2" AND 3/4" MIX 2/3 1.5" TO 2" WASHED RIVER ROCK, 30% WASHED 3/4" LOCAL RIVER ROCK. REUSE EXISTING COBBLE AS FEASIBLE	MULCH	

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS.
- DIAPHRANE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL.
- ALL EMITTERS PER IRRIGATION PLAN UNLESS OTHERWISE NOTED.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS AS NECESSARY.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- ALL NATIVE AND XERIC PLANTING AREAS TO BE AMENDED FOR DRAINAGE AS NECESSARY AND IN ACCORDANCE WITH CURRENT LANDSCAPE BMPs.

Utilities Note:

DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.

Licensure Notes:

THIS DOCUMENT IS FOR CITY REVIEW AND APPROVAL ONLY.

THIS DOCUMENT IS NOT A CONSTRUCTION DRAWING UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD. PROJECTS REQUIRE A STAMPED SET OF CONSTRUCTION DOCUMENTS FOR LANDSCAPE IMPROVEMENT INSTALLATION.

IRRIGATION NOTE:

- IRRIGATION: (PROPOSED TO BE A POTABLE SYSTEM)
- AN IRRIGATION SYSTEM PLAN WILL BE CREATED.
- SEED MAY BE TEMPORARILY IRRIGATED WITH POP-UP AND ROTOR SPRAY HEADS.
- TREES, SHRUBS & PERENNIALS IN PLANTING BEDS SHALL BE IRRIGATED WITH A POINT-SOURCE DRIP SYSTEM.
- A SMART CONTROLLER & RAIN SENSOR SHALL BE INSTALLED.
- WATER CONSERVATION MEASURES AND COMPONENTS ARE TO BE INSTALLED WITH THE IRRIGATION SYSTEM.

CITY OF ALBUQUERQUE RESPONSIBILITY FOR MAINTENANCE STATEMENT

- Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.
- Any damage to utility lines resulting from the negligence of the abutting landowner, his agents, or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials, which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way, shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.
- Landscaping shall have adequate maintenance. Landscaping which dies shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 days after notification.

PLAN NOTES:

- STREET TREE PROVIDED PER SECTION 6-1-1-1 IN THE FORM OF EXISTING STREET TREES.
- ALL SOD IS EXISTING TO REMAIN. NO NEW SOD IS PROPOSED.
- PROVIDE A 2' PARKING OVERHANG FOR ALL PLANTS WHERE APPLICABLE.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THESE AREAS.
- ALL IRRIGATION TO COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE FOR ALBUQUERQUE.
- PROPOSED LANDSCAPING COMPLIES WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE (RE: SEC. 6-1-1)
- LANDSCAPE BEDS TO BE DEPRESSED AT LEAST 6" BELOW GRADE TO ALLOW FOR RAINWATER HARVESTING.
- ANY RELOCATED OR EXISTING TREES TO REMAIN SHALL BE REPLACED IF MORTALITY OCCURS.

SITE CATEGORY REQUIREMENTS

OVERALL ON-SITE LANDSCAPING: 6,805 SF - 43.52%	Site Area: 15,625 SF
Groundplane Veg Cover % Provided: 77%	Required Landscaping: 2,344 SF
	15%
	19 (8 ex) 184

FACADE LANDSCAPING

Facade	LF of Facade	Trees Req / Prov	Shrubs Req / Prov
West	95	2 / 2	-
South	53	1 / 1	-
North	53	1 / 1	-

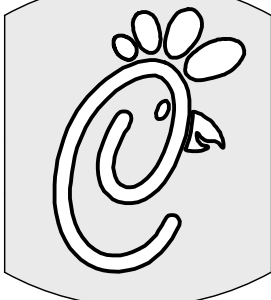
PARKING BUFFERS / INTERNAL

Frontage and LF	Bed Width / Coverage %	# of Spaces	Trees Req / Prov	Shade Trees Req / Prov
South - 125 LF	6' / 82%	43	4 / 4 (1 per 10)	3 / 3
West - Wyoming Bd - 125 LF	6' / 82%			

STREET TREES (1 - 30 LF)

Frontage and LF	Trees Req / Provided
West - 125 LF	4 / 5 (2 ex)

SUBMITTED FOR
REFERENCE ONLY



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



For and on behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE

CHICK-FIL-A
FSU #03484
WYOMING BLVD.

2274 WYOMING BLVD.
ALBUQUERQUE, NM
87112

SHEET TITLE

LANDSCAPE
PLAN

DWG EDITION

Job No. : 65118374

Store : 03484

Date : 12/15/14

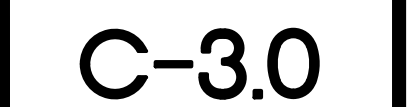
Drawn By : JRO

Checked By: NAM

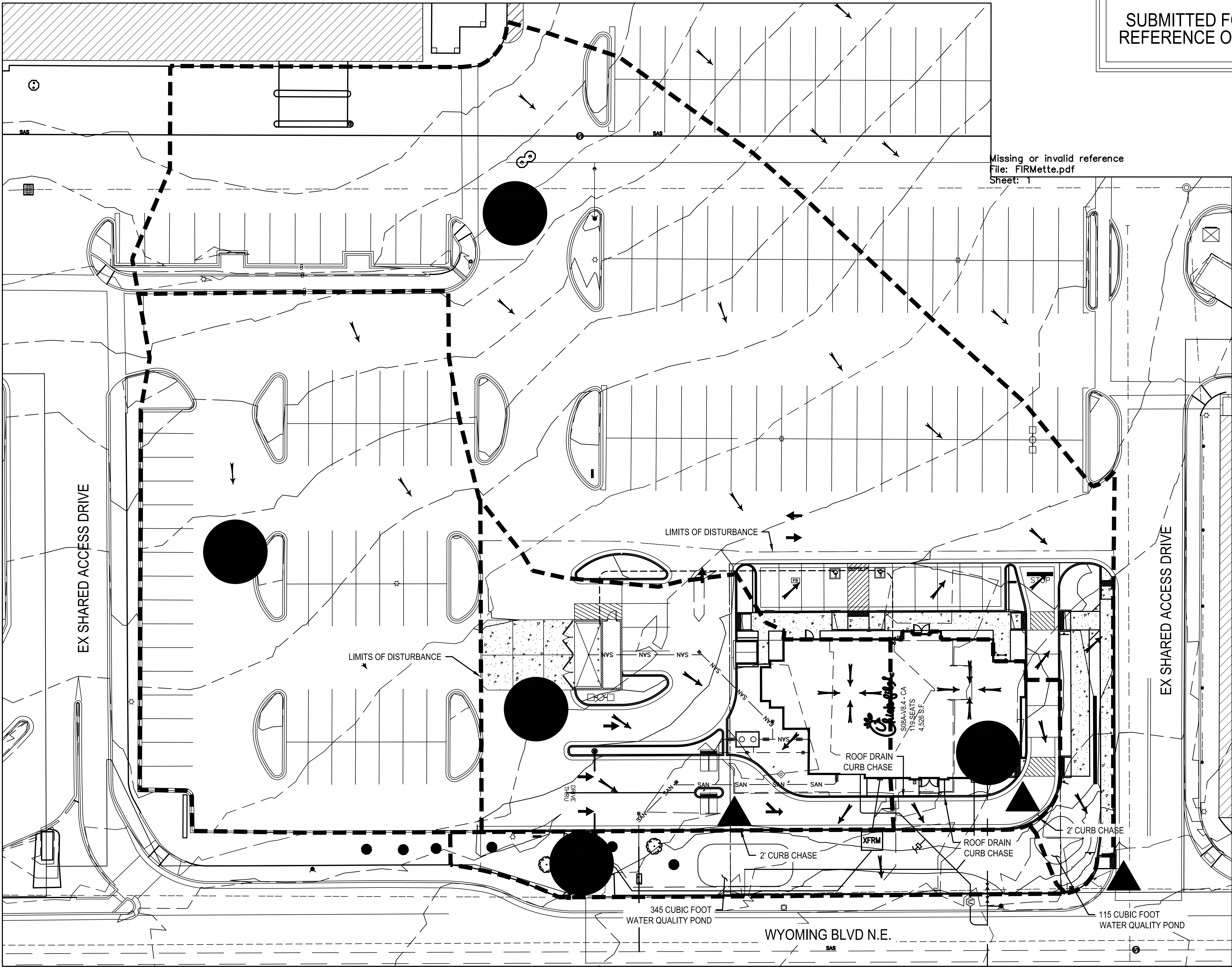
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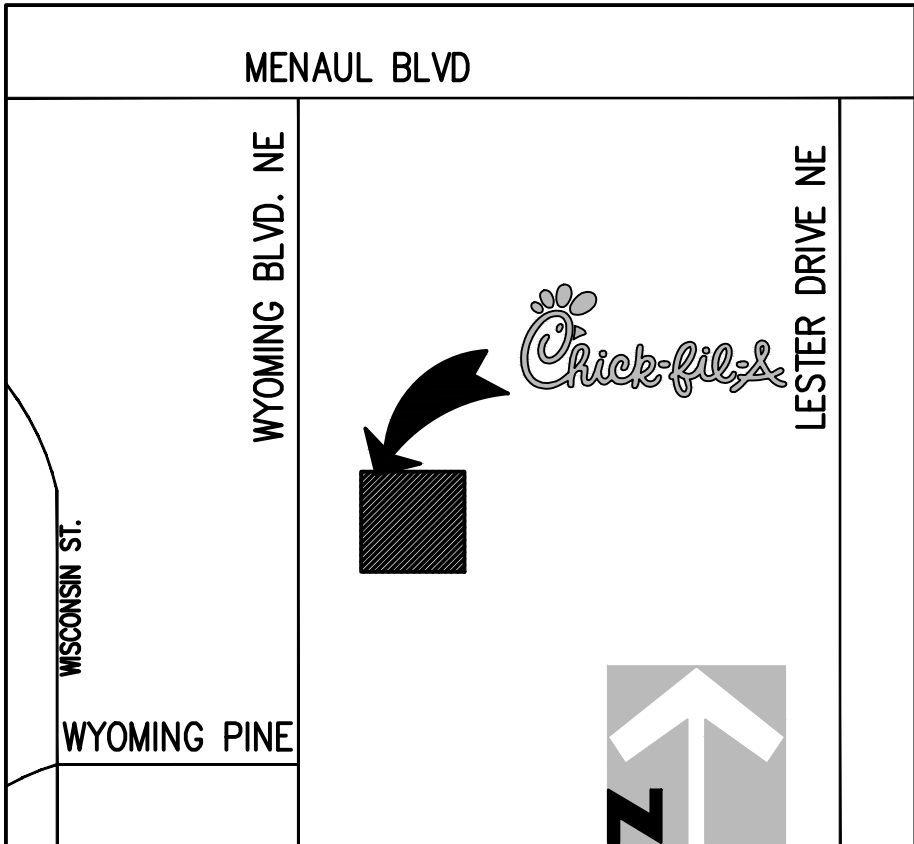
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- LEGEND:
- 5555 PROPOSED MAJOR CONTOUR
 - 5555 PROPOSED MINOR CONTOUR
 - 5555 - EXISTING MAJOR CONTOUR
 - 5555 - EXISTING MINOR CONTOUR
 - FLOW ARROWS
 - OFFSITE FLOW ARROWS
 - - - - - PROPERTY LINE
 - - - - - DRAINAGE BASIN BOUNDARY LINE
 - ▲ DESIGN POINT
 - BASIN IDENTIFICATION
 - BASIN Q2
 - BASIN Q100
 - BASIN AREA (ACRES)

Basin	Land Treatment (ac)			
	A	B	C	D
A-1a	0	0	0.03	0.55
A-1b	0	0	0.04	0.28
A-2	0	0	0.006	0.092
A-3	0	0	0.08	1.05
A-4	0	0	0.12	0

Developed Runoff Summary Table					
	A-1a	A-1b	A-2	A-3	A-4
100 YR PEAK RUNOFF (cfs)	2.86	1.54	0.48	5.55	0.41
10 YR PEAK RUNOFF (cfs)	1.92	1.03	0.32	3.72	0.24
2 YEAR PEAK RUNOFF (cfs)	1.15	0.60	0.19	2.20	0.09

DRAINAGE NARRATIVE DESCRIPTION
THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

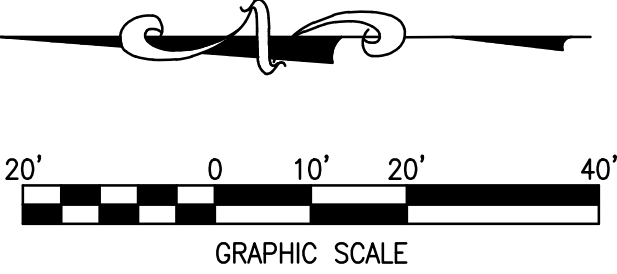
THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. THE PROPOSED SITE WILL FLOW FROM THE NORTHEAST TO THE SOUTHWEST. THE SITE AREA LOCATED NORTH OF THE BUILDING WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE LOCATED WITHIN THE DRIVE-THRU. THE CURB CHASE WILL DIRECT RUNOFF INTO THE NORTHERN RETENTION POND. THE NORTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE NORTHERN SIDE OF THE PROPERTY. THIS DOES NOT INCLUDE THE OFFSITE AREA THAT WILL DRAIN THROUGH THE PROPOSED SITE. THE POND IS SIZED TO RETAIN 345 CUBIC FEET (THE FIRST 0.34" FROM 0.28 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE SOUTHERN PORTION OF THE SITE WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE. THE CURB CHASE WILL DIRECT RUNOFF INTO THE SOUTHERN RETENTION POND. THE SOUTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE SOUTHERN SIDE OF THE PROPERTY. THE POND IS SIZED TO RETAIN 115 CUBIC FEET (THE FIRST 0.34" FROM 0.092 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE EASTERN PORTION OF THE SITE WILL SHEET FLOW TOWARDS A PAN, WHERE IT WILL THEN FLOW INTO THE SHARED ACCESS DRIVE LOCATED SOUTH OF THE BUILDING. ALL DEVELOPED RUNOFF THAT ENTERS WYOMING BOULEVARD WILL FLOW TO AN EXISTING INLET LOCATED APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

- SHEET REFERENCES**
- REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION DETAILS.
 - REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
 - REFER TO SHEET C-3.2 FOR EROSION CONTROL PLANS.

LEGAL DESCRIPTION
PARCEL NUMBERED THREE (3), AMENDED SUMMARY PLAT OF THE 'WYOMING MALL, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 12, 1978, IN PLOT BOOK D8, PAGE 163 AND RE-RECORDED OCTOBER 18, 1978, IN PLOT BOOK D8, PAGE 11.

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Revisions:

Mark	Date	By
2	04/01/2015	OWNER REV
3	05/01/2015	AGENCY REV.
4	06/05/2015	WASTE REV.

Seal

For and on Behalf of
MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

DRAINAGE MAP

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet

DN-1.0