

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

BUILDING DATA

OCCUPANCY: A2 (RESTAURANT)
FIRE SPRINKLERED: YES
CONSTRUCTION: V-B
SITE AREA: 40,000 S.F.
BUILDING AREA: 4,492 S.F.
FAR: 11%
ZONING: SU-2/EGC (EAST GATEWAY CORRIDOR ZONE)

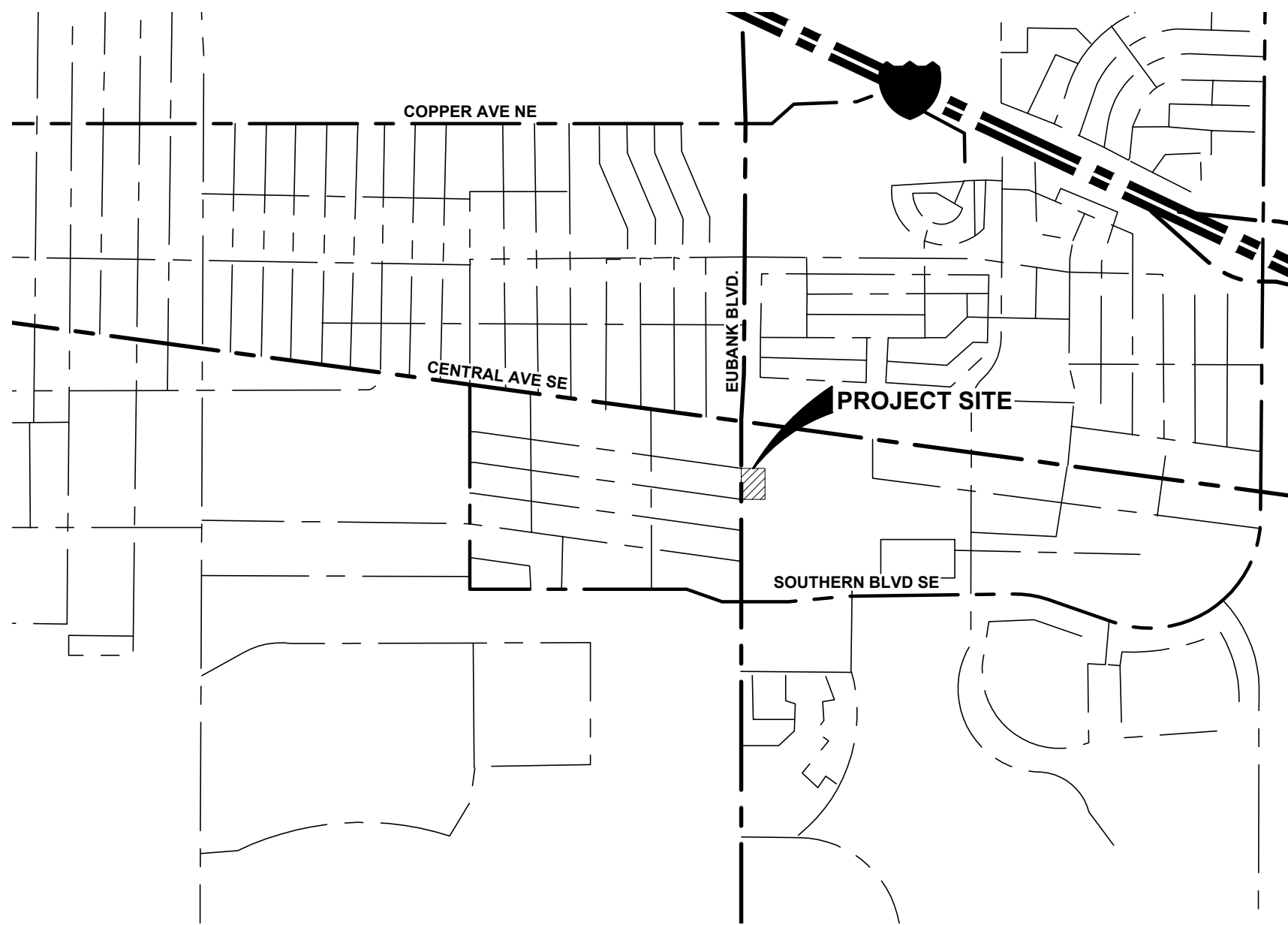


5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998
PHONE: (404) 765-8000
FAX: (404) 684-8550

CHICK-FIL-A AT CENTRAL & EUBANK

TRACT B-1-A-2, OF THE PLAT OF TRACTS B-1-A-1 AND B-1-A-2, VIDEO ADDITION,
WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123



VICINITY MAP
NTS

Deviations Requested - Staff Summary Tables

- Table 1: Commercial Building & Lot Standards -

#	Page	Requirement		Proposed	Difference between Required & Proposed	Deviation & Classification
		Name	Amount			
1	5 – 36	Building Front Façade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56 = 86.5 feet difference, or 30%	30% - Major
2	5 – 36	Front-Yard Setback	10 feet- maximum	24.75 feet from building	14.75 feet, 147.5%- of the standard.	50% deviation is 15- feet. The EPC cannot grant deviations- >50%*

- Table 2: General Design Regulations -

#	Page	Requirement		Proposed	Difference between Required & Proposed	Deviation Classification
		Name	Amount			
3	5 – 46	Building Façade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50% 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5 - 56 = 86.5 feet difference, or 30%	30% - Major
4	5 – 48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces	12 extra spaces, a third of the standard	36% - Major
5	5 – 55	Drive-up windows and Ordering Panels at Rear of Building	—	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the	non-dimensional standard requiring review
6	5 – 56	No portion of queuing lane within 40 feet of street-facing façades	—	Queuing lane is within 25 feet of street façade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.

DRAWING INDEX

- 0 TITLE SHEET
- 1 SITE PLAN
- 2 LANDSCAPE PLAN
- 2A LANDSCAPE DETAILS
- 3 GRADING PLAN
- 4 UTILITY PLAN
- 5 PHOTOMETRIC SITE PLAN
- 6 EXTERIOR ELEVATIONS
- 7 EXTERIOR ELEVATIONS
- 8 REFUSE PLAN & ELEVATIONS
- 9 SITE DETAILS
- 10 EXHIBIT "A" DELIVERY TRUCK ROUTE

EXISTING SHOPPING CENTER PARKING:

EXISTING HOME DEPOT (OVERALL PARKING LOT AREA): PARKING SPACES = 717

* NOTE: 717 TOTAL PARKING SPACES INCLUDES 95
WITHIN CHICK-FIL-A PROPOSED DEVELOPMENT AREA.

HOME DEPOT REQUIRED PARKING STALLS:
102,025 SQ. FT. HOME DEPOT BUILDING = 510
9,000 SQ. FT. EXISTING MISC. BUILDING = 45
TOTAL REQUIRED PARKING SPACES PER CITY PARKING ORDINANCE = 555

* NOTE: 67 EXCESS PARKING SPACES AVAILABLE WITHIN
THE HOME DEPOT PARCEL WITH THE REMOVAL OF 95
PARKING SPACES WITHIN CHICK-FIL-A PROPOSED
DEVELOPMENT AREA.

CHICK-FIL-A WILL BE ELIMINATING 95 PARKING SPACES FROM THE TOTAL OVERALL
LOT AREA. PROPOSED CHICK-FIL-A DEVELOPMENT WILL ADD 45 PARKING SPACES
TO NEW LOT AREA RESULTING IN A TOTAL NET LOSS OF 50 PARKING SPACES
BEING ELIMINATED FROM THE TOTAL OVERALL SHOPPING CENTER.

TOTAL OVERALL EXISTING PARKING SPACES = 717 SPACES
TOTAL OVERALL PARKING SPACES ELIMINATED BY CFA CARVE OUT = 50 SPACES
TOTAL OVERALL PARKING SPACES AFTER CFA DEVELOPMENT = 667 SPACES
TOTAL OVERALL PARKING SPACES REQUIRED BY CITY ORDINANCE = 555 SPACES

CHICK-FIL-A SITE PARKING REQUIREMENTS:

STANDARD SPACES REQUIRED: 1 SP / 4 SEATS = 119 / 4 = 30 SP. REQ'D
STANDARD SPACES PROVIDED: 42 SPACES
HANDICAP SPACES: 3 SPACES
TOTAL SPACES PROVIDED: 45 SPACES

MAXIMUM PARKING ALLOWED BY EGSDP
33 SPACES PLUS 50%: 49 SPACES

TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED: 2 SPACES

TOTAL BICYCLE SPACES REQUIRED - 1 PER 20 PARKING SPACES
43/20 = 2.15 3 REQUIRED
TOTAL BICYCLE SPACES PROVIDED: 5 SPACES

LANDLORD NOTES:

- 1. CHICK-FIL-A CONTRACTORS SHALL CONTACT BOB BURNSIDE,
CONSTRUCTION MANAGER AT THE HOME DEPOT, 2 WEEKS PRIOR TO
PROJECT START DATE, 714-749-6993. SUPERINTENDENT SHALL SUPPLY
BOB BURNSIDE WITH WEEKLY STATUS REPORTS AND PICTURES OF
PROGRESS TO BOB_BURNSIDE@HOMEDEPOT.COM

ARCHITECT:

INTERPLAN LLC
220 E CENTRAL PKWY, STE 4000
ALTAMONTE SPRINGS, FL 32701
PHONE: (407) 645-5008

CONTACT: JONATHAN FIESTA
EMAIL: JFIESTA@INTERPLANLLC.COM

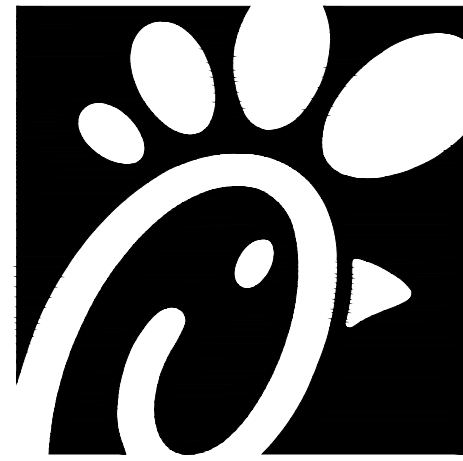
CIVIL ENGINEER:

MERRICK AND COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO, 80111
PHONE: (303) 751-0741

CONTACT: KRISTOFER WIEST
EMAIL: KRIS.WIEST@MERRICK.COM

CROSS ACCESS EASEMENT:

DRIVEWAY EASEMENT AGREEMENT, DATED APRIL 06, 2000 AND RECORDED
JUNE 06, 2000 BOOK A6, PAGE 4682, BERNALILLO COUNTY, NEW MEXICO



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-
2998



FOR AND ON BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
CENTRAL & EUBANK
210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

FSR# 3235

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 65121229

PRINTED FOR CONSTRUCTION

DATE

DRAWN BY KEA

SHEET

1229-C0.0_COVER

SHEET NUMBER

01

OF XX



Know what's below.
Call before you dig.

CHICK-FIL-A SITE SPECIFIC PARKING CALCULATION	
PATIO SEATING	12
REGULAR STALL SIZE	9'X19 & 8.5x19
COMPACT STALL SIZE	8'X15'
MOTORCYCLE PARKING	4'X8' MIN.
DRIVE AISLE	
PARKING FORMULA	1/4 SEATS 11 9/4 = 30 STALL REQUIRED
PARKING REQUIRED	30
PARKING ALLOWED BY EGSDP 33 SPACES PLUS	48 SPACES
50 (MAXIMUM)	(DEVIATION 4)
TOTAL PARKING PROVIDED	45 (DEVIATION 4)
MOTORCYCLE PARKING	2
HANDICAP PARKING	2
BICYCLE SPACES REQUIRED.	
1 PER 20 PARKING	3
SPACES 45/20 - 2 25	
TOTAL BICYCLE PARKING PROVIDED	5

Deviations Requested - Staff Summary Tables

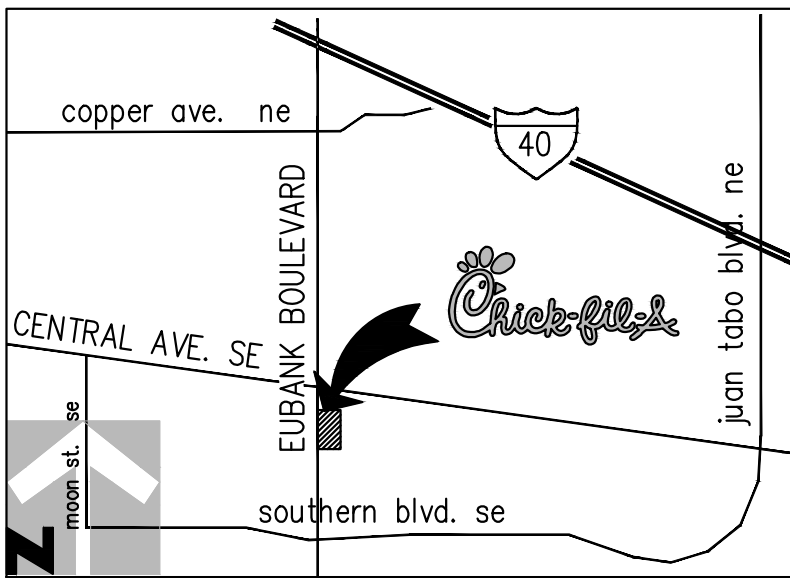
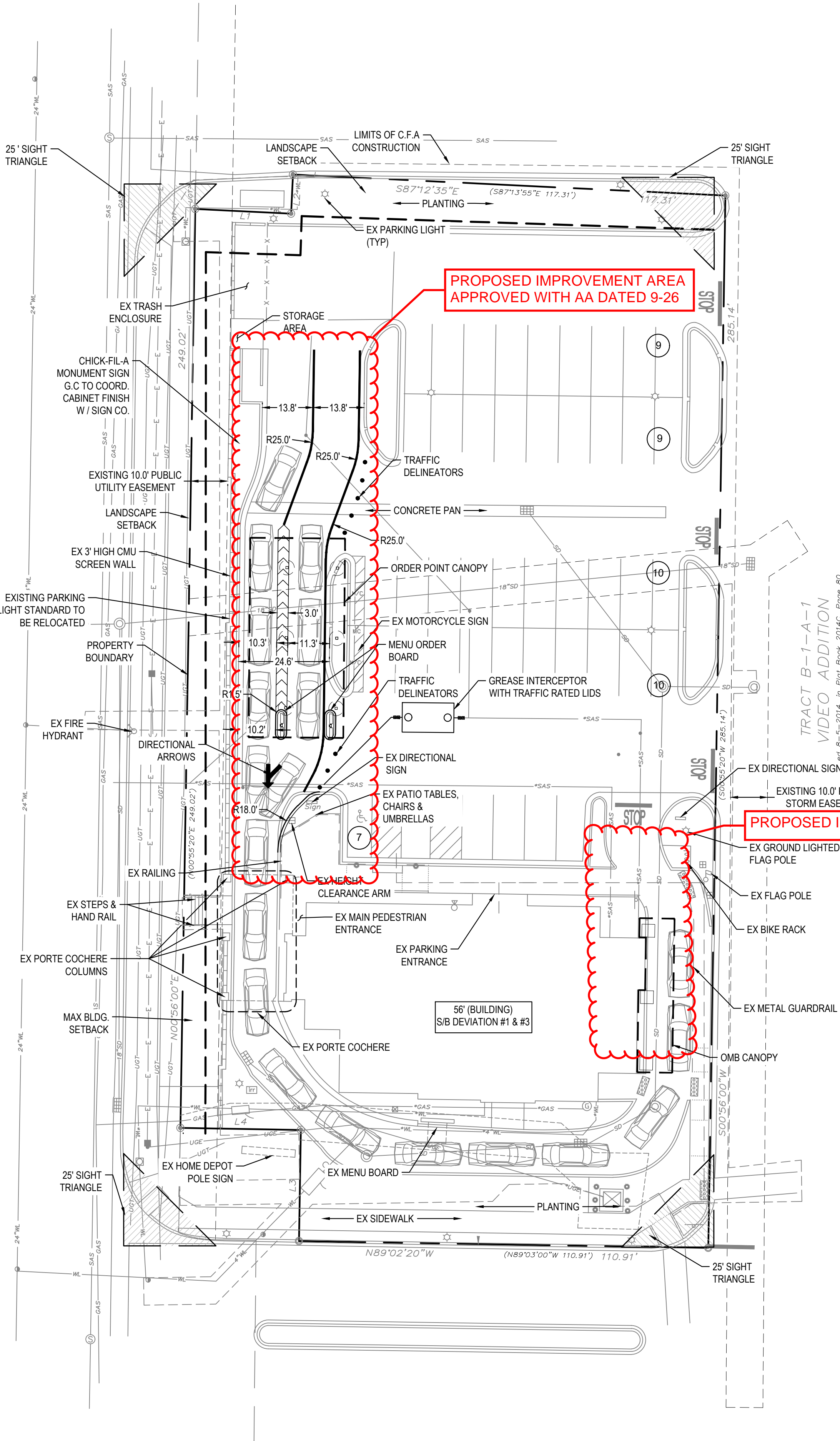
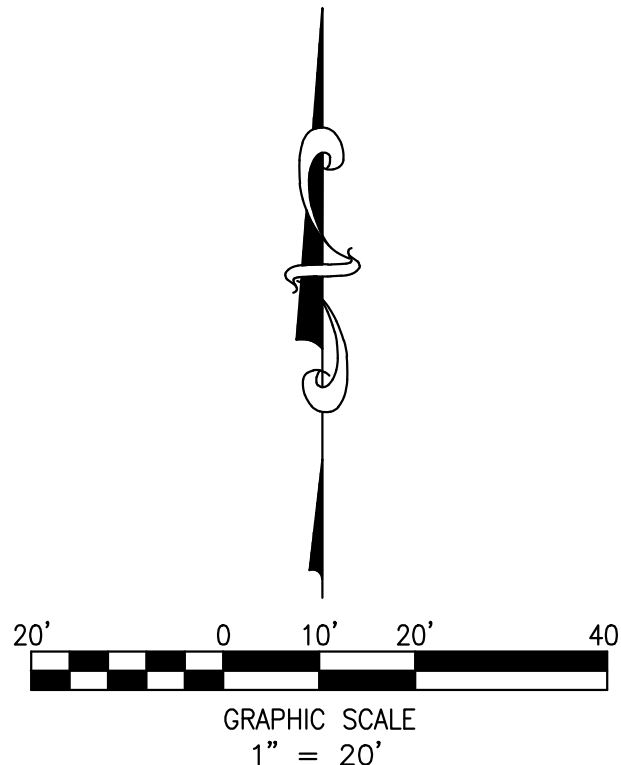
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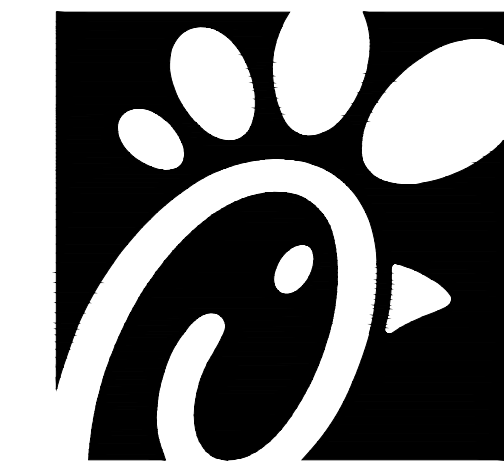


LEGEND

PROPERTY LINE	---
BUILDING LINE	---
NEW CURBS	---
NEW SIDEWALK	---
EXISTING CURBS AND SIDEWALKS	---
EASEMENT	---

NOTES

- PERMANENT ACCESS DRIVE EASEMENT. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER, 2012) STATES WITHIN SECTION 3.2 THAT THE OWNER OF TRACT B-1-- A-1 "HEREBY GRANTS TO THE OUTPARCEL OWNER (TRACT B-1-- A-2), AS CRANTEE, FOR THE BENEFIT OF THE OUTPARCEL OWNER AND ITS RESPECTIVE PERMITTEES APPURTENANT TO THE OUTPARCEL, A PERPETUAL NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC UPON, OVER AND ACROSS THAT PORTION OF THE COMMON AREA LOCATED ON THE HOME DEPOT PARCEL (TRACT B-1-- A-1) SHOWN ON EXHIBIT "B" AS THE PERMANENT ACCESS DRIVE"
- RECIPROCAL STORM DRAINAGE EASEMENT. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER, 2012) STATES WITHIN SECTION 3.5 THAT THE OWNER OF TRACT B-1-- A-1 AND THE OWNER OF TRACT B-1-- A-2 RECIPROCALLY GRANT TO ONE ANOTHER "A NON-EXCLUSIVE EASEMENT OVER AND UNDER ITS PARCEL FOR SURFACE WATER DRAINAGE OVER AND THROUGH THE DRAINAGE PATTERNS AND STORM WATER DRAINAGE SYSTEMS THAT ARE ESTABLISH FROM TIME TO TIME AMONG THE PARCELS."
- GRANT OF UTILITY EASEMENTS. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER, 2012) STATES WITHIN SECTION 3.1 (a) THAT THE OWNER OF TRACT B-1-- A-1 AND OWNER OF TRACT B-1-- A-2 RECIPROCALLY CRANT TO ONE ANOTHER "A NON-EXCLUSIVE AND PERPETUAL EASEMENT UNDER, THROUGH AND ACROSS THE COMMON AREA OF THE HOME DEPOT PARCEL (TRACT B-1-- A-1) OR THE OUTPARCEL (TRACT B-1-- A-2), AS APPLICABLE (EXCLUSIVE OF ANY PORTION WITHIN A BUILDING AREA), FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF UTILITY LINES."
- THE "DRIVEWAY EASEMENT AGREEMENT" DATED JUNE 6, 2008 RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO AS DOCUMENT NO. 2000055083 (BOOK A-6, PAGE-4862) PROVIDES VEHICULAR AND PEDESTRIAN CROSS ACCESS EASEMENT BETWEEN LOT B-1A-1 AND LOT B-1A-2 AND THE "COSTCO PARCEL" LEGALLY DESCRIBED AS "TRACT A AND TRACT C-1 OF PLAT OF MANZANO MESA".
- ON ADJOINING TRACT A-1 OF THE COSTCO DEVELOPMENT PLAT THERE IS AN EXISTING 70'X185' PRIVATE ACCESS EASEMENT FOR THE BENEFIT AND USE OF TRACT B-1, VIDEO ADDITION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THERE OF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 9, 1994 IN VOLUME 94C, FOLIO 263 FILED: FEBRUARY 20, 2001 (2001C-56).
- AS SHOWN ON THE PLAT FILED IN PLAT BOOK 94C, PAGE 263 THERE IS A RECIPROCAL ACCESS EASEMENT BY THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D: EACH GRANTED TO THE OTHER RECIPROCAL EASEMENT FOR CROSS ACCESS AND VEHICULAR PARKING ON AND OVER TRACT B1 FOR THE BENEFIT OF TRACTS D AND ON AND OVER TRACT D FOR THE BENEFIT OF TRACT B1. THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D GRANTED TO THE OWNER OF TRACT C VEHICULAR ACCESS ACROSS TRACTS B1 AND D RESPECTIVELY FOR PURPOSES OF INGRESS AND EGRESS.
- DESIGN GROUND-- MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-- MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT 11' DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PMN ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
- LOT NUMBERS TBD UPON RECORDATION OF PENDING SUBDIVISION PLAT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN AS MAY BE REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).
- SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
- APPLICANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS. AN EXISTING OVERHEAD ELECTRIC DISTRIBUTION IS LOCATED ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT.



Chick-fil-A

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5200 Buffington Road
Atlanta, Georgia 30349
2998



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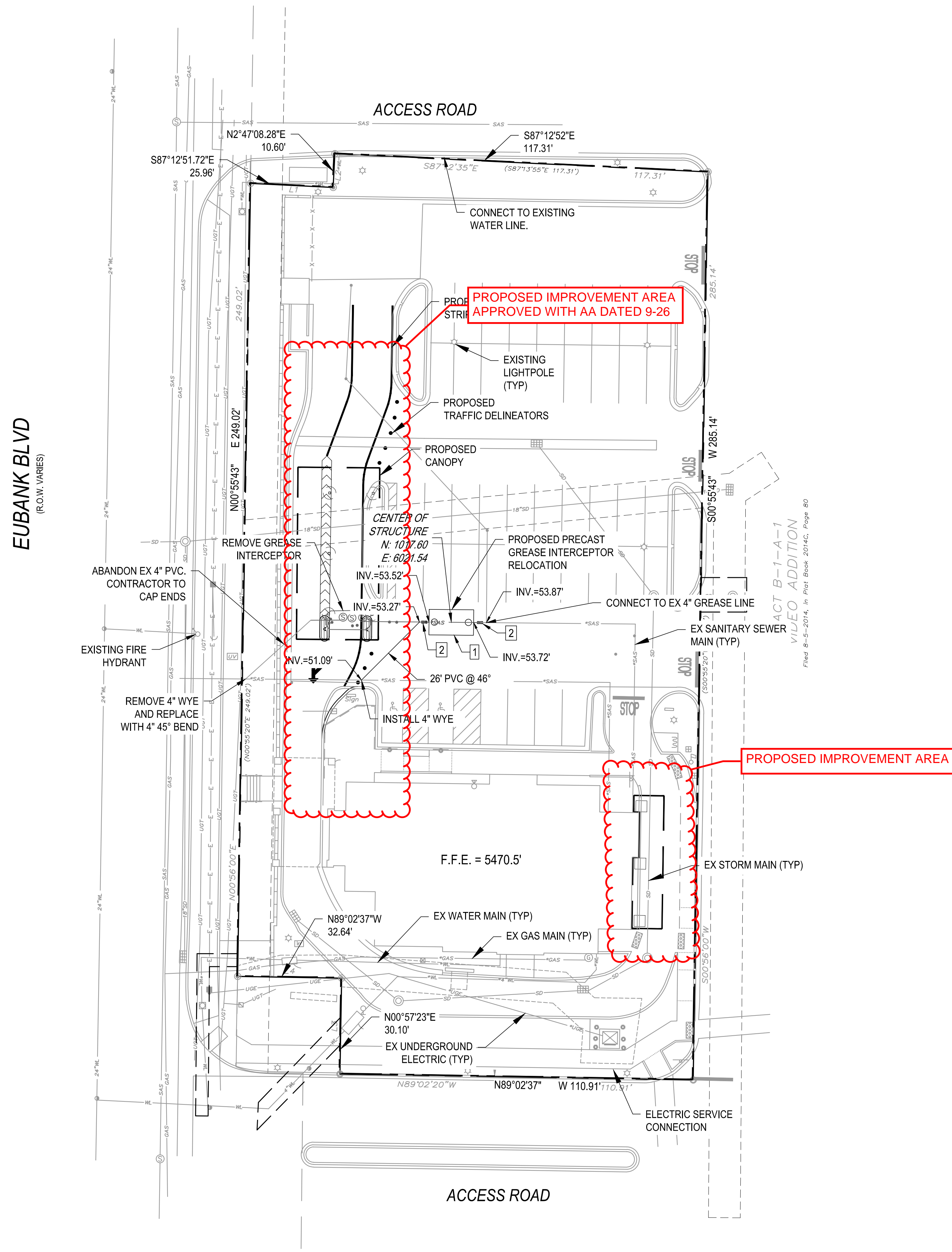
FSR# 3235

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: Vx.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	65121229
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DATE	
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1229-C-1.0-SITE PLAN	
SHEET NUMBER	



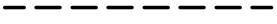











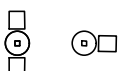




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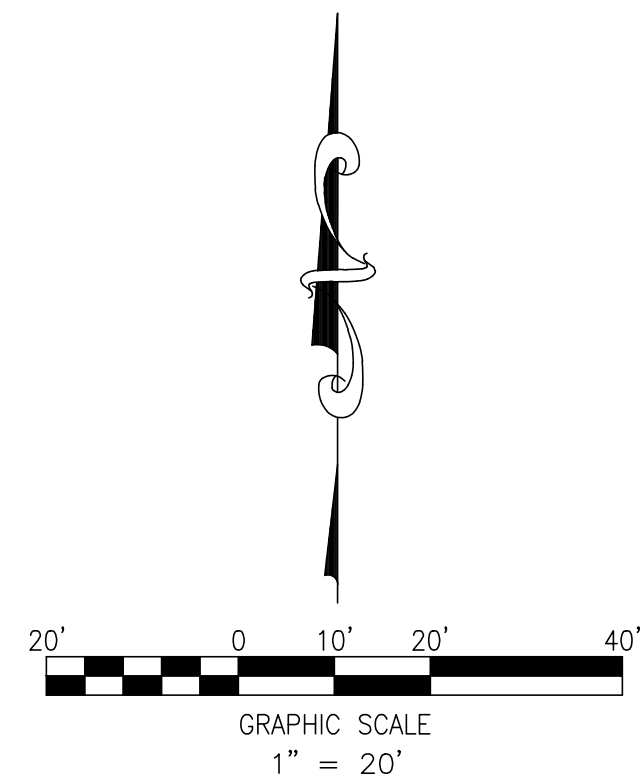
1. CONTRACTOR TO FIELD VERIFY VERTICAL & HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES, INCLUDING EXISTING IRRIGATION LINES ALONG EUBANK BLVD. REFER TO C-3.2 FOR STORM SEWER PLAN & PROFILE.
2. REFER TO C-5.0 - C-5.3 FOR CIVIL STANDARD DETAILS.
3. ALL SANITARY AND STORM PIPES TO BE REMOVED.
4. CONTRACTOR TO DISCUSS TEMPORARY POWER WITH PMM.
5. CONTRACTOR TO COORDINATE WITH HOME DEPOT FOR THE REMOVAL AND ABANDONMENT OF EXISTING UNDERGROUND ELECTRIC LINES & LIGHT POLES. ALL ELEVATIONS AND INVERTS ARE 545X.XX.
6. PAD TRANSFORMER TO BE INSTALLED BY PMM.
7. MINIMUM COVER ON WATER & FIRE LINE SHALL BE 4.0' BELOW FINISHED GRADE. PER CITY OF ALBUQUERQUE UNDERLINE DESIGN SPECIFICATION.
8. FOR ROOF DRAIN INVERTS, SLOPES AND LENGTHS REFER TO C-3.2.
9. CONTRACTOR TO ENSURE THAT ELECTRIC SERVICE TO EXISTING PYLON SIGN WILL NOT BE INTERRUPTED. TEMPORARY POWER TO EXISTING PYLON SIGN MAY BE NECESSARY TO ENSURE THAT PYLON SIGN WILL REMAIN ILLUMINATED.
10. FOR EXISTING LIGHT POLES TO BE REMOVED CONTRACTOR TO PRESERVE & SAVE LIGHT POLES AND FIXTURES. LIGHT POLES REMOVED ALONG EUBANK TO BE REUSED FOR INSTALLATION OF LIGHT POLES ALONG NORTH ACCESS. ALL OTHER LIGHT POLES AND FIXTURES TO BE RETURNED TO HOME DEPOT.
11. THE REMOVAL WILL BE ACCORDING TO THE EXISTING SERVICES TO REMAIN IN PLACE AND OPERATING UNTIL A SWITCH OVER CAN BE COMPLETED IN ONE EVENING BETWEEN 11 PM TO 5 AM. IN ADDITION, PHASING WITH COMMERCIAL DRIVE MUST BE COMPLETED PER SHEET C-1.1A - C-1.1B.

LEGEND:

	PROPERTY LINE
	PROPOSED FIRE SERVICE
	PROPOSED 3/4" WATER SERVICE
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED GAS
	PROPOSED ELECTRIC
	PROPOSED TELEPHONE
	PROPOSED ROOF DRAIN
	PROPOSED STORM LINE
	WATER METER
	GREASE TRAP
	STORM INLET
	STORM MANHOLE
	PROPOSED LIGHT POLE
	COLORLED & TEXTURED CONCRETE
	EX STORM MANHOLE
	EX SANITARY MANHOLE
	EX STORM INLET

PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- | | |
|---|--|
| 1 | 1200 GALLON PRECAST GREASE INTERCEPTOR. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE OR MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE INTERCEPTOR MEETS WASTEWATER PROVIDER AND DEPARTMENT OF HEALTH SPECIFICATIONS PRIOR TO INSTALLATION. |
| 2 | 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE) |



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FOR AND ON-BEHALF OF
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CHICK-FIL-A CENTRAL & EUBANK

FSR# 3235

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RELEASE: vX.YY.MM

REVISION SCHEDULE

<u>NO.</u>	<u>DATE</u>	<u>DESCRIPTION</u>
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CONSULTANT PROJECT # 65121229

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1229-C-2.0-UTILITY PLAN

SHEET NUMBER

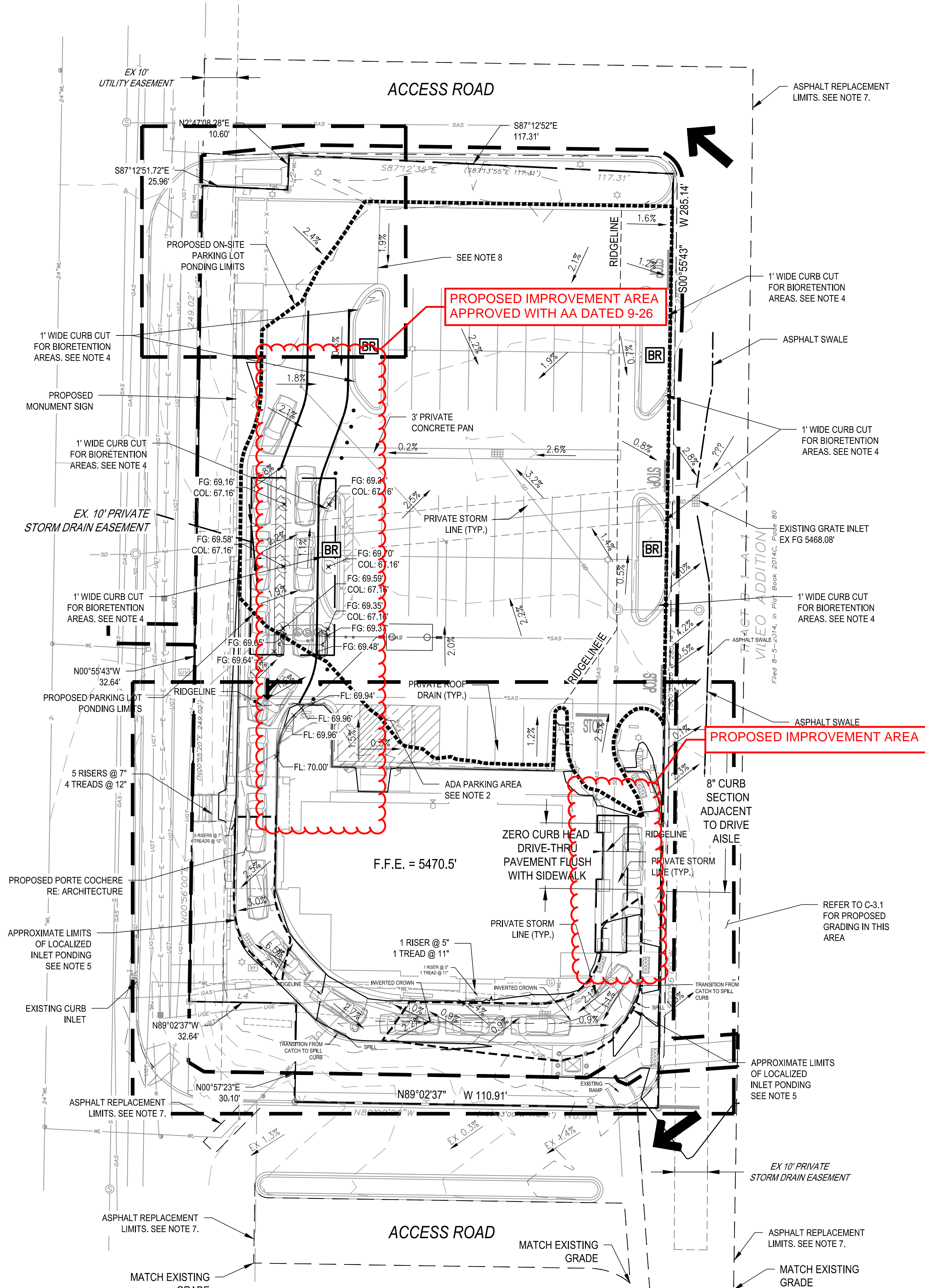
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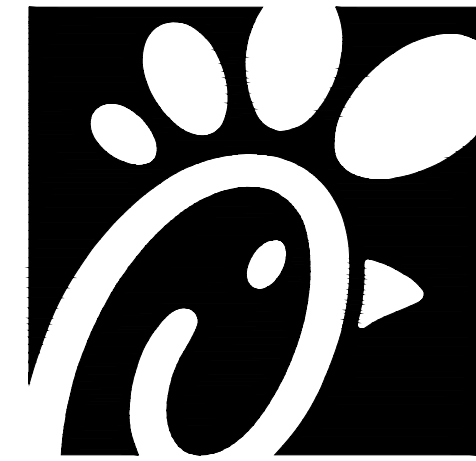
- ALL ELEVATIONS SHOWN ARE 5400'XX'
- ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
- REFER TO SHEET PS-1.0 UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
- CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
- LOCALIZED INLET PONDING DEPTH TO BE A MAXIMUM OF 12 INCHES.
- CONTRACTOR TO MATCH EXISTING GRADES AND MAINTAIN EXISTING DRAINAGE PATTERNS FOR ALL OFF-SITE ASPHALT REPLACEMENT.
- CONTRACTOR TO MATCH OFF-SITE DRAINAGE PATTERNS AND ELEVATIONS AT EXISTING LIP LINE UNLESS SPECIFIED OTHERWISE.
- REFER TO SHEET C-3.1 FOR TRASH ENCLOSURE AND BUILDING DETAIL GRADING.

EUBANK BLVD
(ROW VARIES)



LEGEND:

---	PROPERTY LINE
---	OFF-SITE ASPHALT REPLACEMENT LIMIT
---	ASPHALT SWALE
---	PARKING LOT PONDING LIMITS
---	STORM INLET PONDING LIMITS
---	RIDGELINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
FL 69.41' x	FLOWLINE SPOT ELEVATION
FF 70.50' x	FINISHED FLOOR SPOT ELEVATION
FG 70.39' x	FINISHED GRADE SPOT ELEVATION
TC 70.50' x	TOP OF CURB SPOT ELEVATION
EG 69.57' x	EXISTING GRADE SPOT ELEVATION
EX FL 70.18' x	EXISTING FLOWLINE SPOT ELEVATION
1.1%	PROPOSED SLOPE ARROWS
EX 2.1%	EXISTING SLOPE ARROWS
○	PROPOSED LIGHT POLE
■	COLOR & TEXTURED CONCRETE RE: ARCHITECTURE
⊕	PROPOSED STORM MANHOLE
⊕	PROPOSED STORM INLET
←	EMERGENCY OVERFLOW PATHWAY
BR	6" DEPRESSED BIORENTION LANDSCAPE AREA (TYP.) SEE NOTE 4



Chick-fil-A

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5970 GREENWOOD PLAZA BLVD
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303-751-0741

FOR AND ON BEHALF OF
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1229-C-3.0 GRADING
PLAN

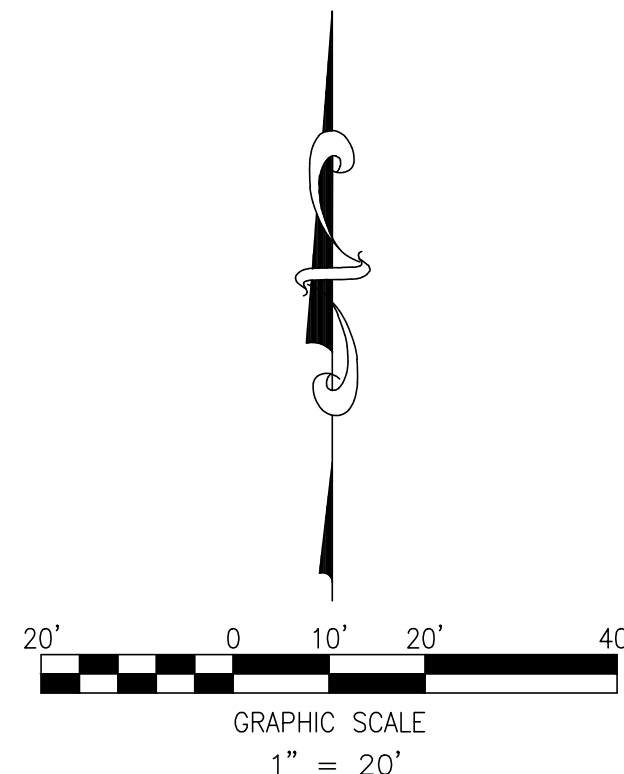
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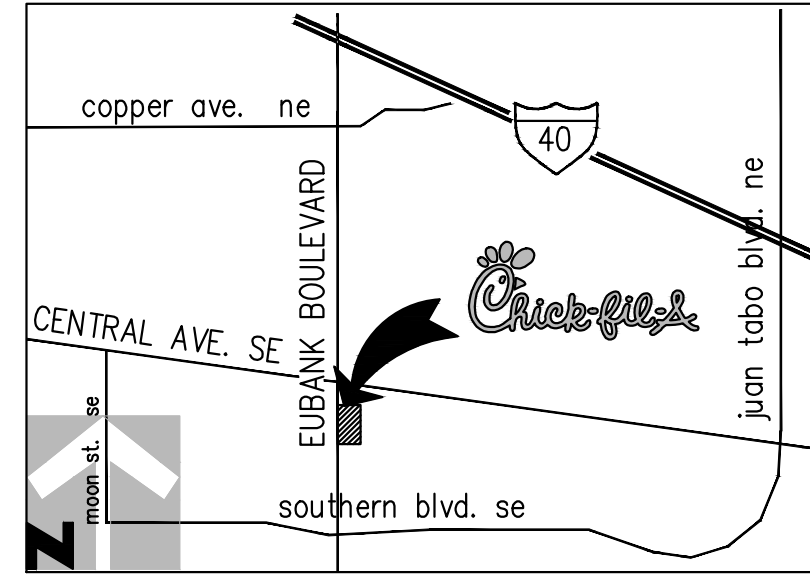
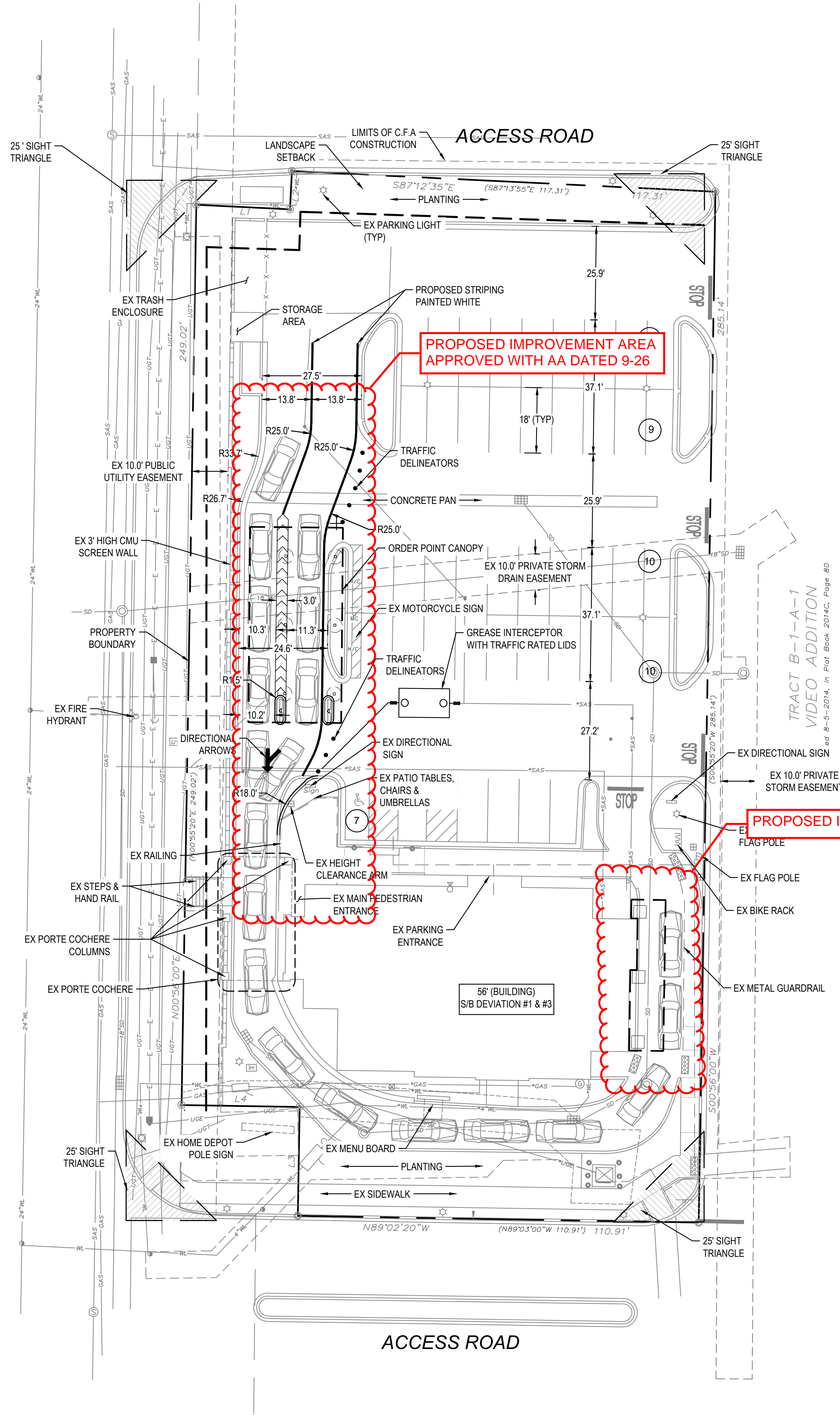
Know what's below.
Call before you dig.





Know what's below.
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EUBANK
BLVD
(R.O.W. VARIES)



LEGAL DESCRIPTION

TRACT LETTERED B-ONE-A (B-1-A) OF THE PLAT FOR THE VIDEO ADDITION, TRACTS B-1-A AND B-1-B, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO, NEW MEXICO, ON AUGUST 23, 1999 IN PLAT BOOK 99C, PAGE 239

EXECUTIVE SUMMARY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF CENTRAL AVE. & EUBANK BLVD. THE PROPOSED IMPROVEMENTS TO THE EXISTING CHICK-FIL-A SITE WILL INCREASE THE AMOUNT OF AVAILABLE STACKING WITHIN THE DRIVE THRU LANE. IN ADDITION, A CANOPY WILL BE INSTALLED OVER THE RELOCATED ORDER POINTS AND THE MEAL DELIVERY WINDOW AT THE EXISTING BUILDING. THE CANOPIES ARE BEING INSTALLED FOR TEAM MEMBER SAFETY, AND INCLUDE HEAT, FANS, AND LIGHTING. TRAFFIC FLOWS WITHIN THE PROJECT SITE WILL NOT BE SIGNIFICANTLY ALTERED AND THEREFORE THERE ARE NO FORESEEN IMPACTS TO THE ADJACENT USERS.

NOTES

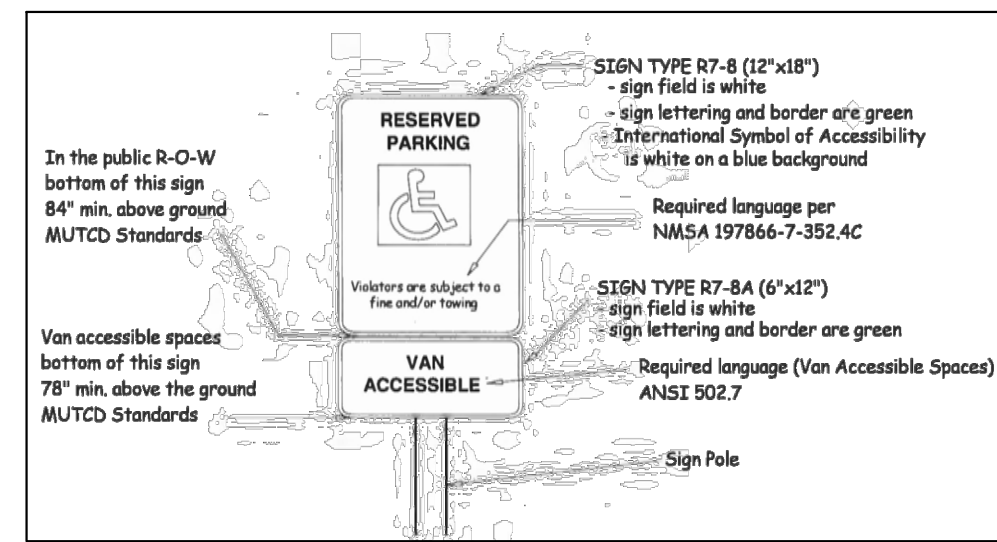
1. THE HEIGHT OF THE PROPOSED PRECAST GREASE INTERCEPTOR WILL BE 0.2' ABOVE FINISHED GRADE OR MATCH SIDEWALK GRADES WHERE REQUIRED
2. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
4. COLORED & TEXTURED CONCRETE WALK IN DRIVE-THRU TO UTILIZE INTEGRAL COLORING AS OPPOSED TO STAINED CONCRETE. COLOR FOR CROSSWALKS TO BE DAVID CONCRETE COLOR ADOBE. CROSSWALK PATTERN TO BE 2'X2' SCORED DIAMOND.

LEGEND

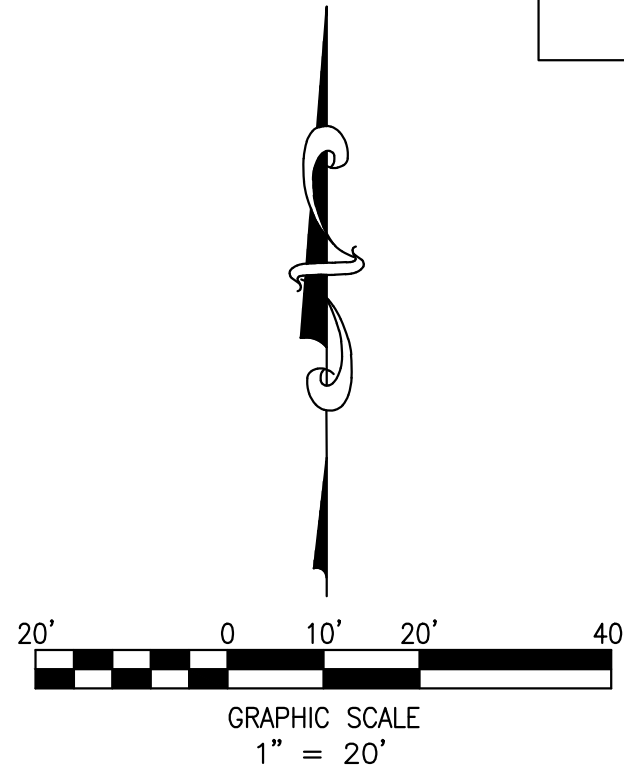
PROPERTY LINE	---
BUILDING LINE	=====
NEW CURBS	=====
NEW SIDEWALK	=====
EXISTING CURBS AND SIDEWALKS	=====
EASEMENT	-----

SITE DATA TABLE	
TYPE OF DEVELOPMENT	RESTAURANT
SIZE OF DEVELOPMENT	0.92 ACRES
PATIO SEATING	12
BICYCLE SPACES REQUIRED	3
BICYCLE SPACES PROVIDED	5
MOTORCYCLE PARKING	2

SITE PARKING	
PARKING REQUIRED	30
STANDARD PARKING PROVIDED	43
HANDICAP PARKING PROVIDED	2
TOTAL PARKING PROVIDED	45



PARKING SIGN DETAILS



FOR REVIEW

CHICK-FIL-A CENTRAL & EUBANK 210 EUBANK BLVD. SE ALBUQUERQUE, NM 87123

FSR#0000

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
X	XX/XX/XX	XXXXXXXXXXXX

CONSULTANT PROJECT #	65121229
PRINTED FOR	FOR REVIEW
DATE	06/14/2022
DRAWN BY	KA
SHEET	1229-C-4.0_TRAFFIC CIRCULATION PLAN
SHEET NUMBER	C2.0