

OCCUPANCY: A2 (RESTAURANT) FIRE SPRINKLERED: YES CONSTRUCTION: V-B **SITE AREA:** 40,000 S.F. BUILDING AREA: 4,492 S.F.

FAR: 11% **ZONING:** SU-2/EGC (EAST GATEWAY CORRIDOR ZONE)



5200 BUFFINGTON ROAD ATLANTA, GEORGIA 30349-2998 PHONE: (404) 765-8000 FAX: (404) 684-8550

DRAWING INDEX

- TITLE SHEET SITE PLAN LANDSCAPE PLAN
- UTILITY PLAN PHOTOMETRIC SITE PLAN
- **EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS REFUSE PLAN & ELEVATIONS**

SITE DETAILS EXHIBIT "A" DELIVERY TRUCK ROUTE

> Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



CHICK-FIL-A AT CENTRAL & EUBANK

TRACT B-1-A-2, OF THE PLAT OF TRACTS B-1-A-1 AND B-1-A-2, VIDEO ADDITION, WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

> 210 EUBANK BLVD. SE **ALBUQUERQUE, NM 87123**

PROJECT SITE-SOUTHERN BLVD SE

VICINITY MAP

- Table 2: General Design Regulations -

Deviations Requested - Staff Summary Tables

- Table 1: Commercial Building & Lot Standards -

50% minimum | feet is proposed and is

Amount

Proposed

142.5 feet is 50%. 56

20%

24.75 feet from

Difference between Deviation & Required & Proposed | Classification

30% - Major

50% deviation is 15

feet. The EPC cannot

grant deviations

Lot is 285 feet wide.

142.5-56 = 86.5 feet

difference, or 30%

14.75 feet, 147.5%

of the standard.

Requirement

Building Front Façade

Lot Width Coverage

5-36 Front Yard Setback

Page

		Requirem	ient		Difference between	Deviation Olempia and
#	Page	Name	Amount	Proposed	Required & Proposed	Deviation Classification
3	5 – 46	Building Façade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50% 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5 - 56 = 86.5 feet difference, or 30%	30% - Major
4	5 – 48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces	12 extra spaces, a third of the standard	36% - Major
5	5 – 55	Drive-up windows and Ordering Panels at Rear of Building	—	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the	non-dimensional standard requiring review
6	5 – 56	No portion of queuing lane within 40 feet of street-facing façades	_	Queuing lane is within 25 feet of street façade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to

CIVIL ENGINEER:

2

MERRICK AND COMPANY 5970 GREENWOOD PLAZA BLVD. GREENWOOD VILLAGE, CO, 80111 PHONE: (303) 751-0741

CONTACT: KRISTOFER WIEST EMAIL: KRIS.WIEST@MERRICK.COM

CROSS ACCESS EASEMENT:

ARCHITECT:

220 E CENTRAL PKWY, STE 4000

ALTAMONTE SPRINGS, FL 32701

CONTACT: JONATHAN FIESTA

EMAIL: JFIESTA@INTERPLANLLC.COM

INTERPLAN LLC

PHONE: (407) 645-5008

DRIVEWAY EASEMENT AGREEMENT, DATED APRIL 06, 2000 AND RECORDED JUNE 06, 2000 BOOK A6, PAGE 4682, BERNALILLO COUNTY, NEW MEXICO

EXISTING SHOPPING CENTER PARKING:

EXISTING HOME DEPOT (OVERALL PARKING LOT AREA): PARKING SPACES = 717

* NOTE: 717 TOTAL PARKING SPACES INCLUDES 95 WITHIN CHICK-FIL-A PROPOSED DEVELOPMENT AREA.

HOME DEPOT REQUIRED PARKING STALLS: 102,025 SQ. FT. HOME DEPOT BUILDING 9,000 SQ. FT. EXISTING MISC. BUILDING

THE HOME DEPOT PARCEL WITH THE REMOVAL OF 95

LOT AREA. PROPOSED CHICK-FIL-A DEVELOPMENT WILL ADD 45 PARKING SPACES TO NEW LOT AREA RESULTING IN A TOTAL NET LOSS OF 50 PARKING SPACES

TOTAL OVERALL EXISTING PARKING SPACES TOTAL OVERALL PARKING SPACES ELIMINATED BY CFA CARVE OUT = TOTAL OVERALL PARKING SPACES AFTER CFA DEVELOPMENT = TOTAL OVERALL PARKING SPACES REQUIRED BY CITY ORDINANCE =

CHICK-FIL-A SITE PARKING REQUIREMENTS:

5 SPACES

STANDARD SPACES REQUIRED: 1 SP / 4 SEATS = 119 / 4 = 30 SP. REQ'D STANDARD SPACES PROVIDED: 42 SPACES 3 SPACES **HANDICAP SPACES:** TOTAL SPACES PROVIDED: 45 SPACES MAXIMUM PARKING ALLOWED BY EGSDP 33 SPACES PLUS 50%: 49 SPACES TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES TOTAL MOTORCYCLE SPACES PROVIDED: **TOTAL BICYCLE SPACES REQUIRED - 1 PER 20 PARKING SPACES** 3 REQUIRED

LANDLORD NOTES:

TOTAL BICYCLE SPACES PROVIDED:

CHICK-FIL-A CONTRACTORS SHALL CONTACT BOB BURNSIDE, CONSTRUCTION MANAGER AT THE HOME DEPOT, 2 WEEKS PRIOR TO PROJECT START DATE, 714-749-6993, SUPERINTENDENT SHALL SUPPLY BOB BURNSIDE WITH WEEKLY STATUS REPORTS AND PICTURES OF PROGRESS TO BOB_BURNSIDE@HOMEDEPOT.COM

FOR AND AND ON-BEHALF OF **MERRICK AND COMPANY**

X XX/XX/XX XXXXXXXXXXX

CONSULTANT PROJECT # ######### XXXXXXXX MM/DD/YYYY

1229-C0.0_COVER

SHEET NUMBER

OF XX

CHICK—FIL —A SITE SPEC	IFIC PARKING CALCULATION		
PATIO SEATING	12		
REGULAR STALL SIZE	9'X19 & 8.5x19		
COMPACT STALL SIZE	8'X15'		
MOTORCYCLE PARKING	4'X8' MIN.		
DRIVE AISLE			
PARKING FORMULA	1/4 SEATS		
ANNOTONIOLA	11 9/4 = 30 STALL REQUIRED		
PARKING REQUIRED	30		
PARKING ALLOWED BY EGSDP 33	48 SPACES		
SPACES PLUS			
50 (MAXIMUM)	(DEVIATION 4)		
TOTAL PARKING PROVIDED	45 (DEVIATION /4)		
MOTORCYCLE PARKING	2		
HANDICAP PARKING	2		
BICYCLE SPACES REQUIRED.			
1 PER 20 PARKING	3		
SPACES 45/20 - 2 25			
TOTAL BICYCLE PARKING	. 5		
PROVIDED			

Deviations Requested - Staff Summary Tables

- Table 1: Commercial Building & Lot Standards -

		Requirement			Difference between	Deviation &
#	Page	Name	Amount	Proposed	Required & Proposed	Classification
1	5-36	Building Front Façade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56 = 86.5 feet difference, or 30%	30% - Major
2	5 – 36	Front Yard Setback	10 feet maximum	24.75 feet from building	14.75 feet, 147.5% of the standard.	50% deviation is 15- feet. The EPC cannot- grant deviations- >50%*

- Table 2: General Design Regulations -

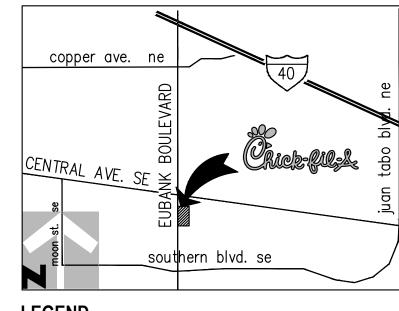
	= = = = = = = = = = = = = = = = = = = =	Requiren	1611		Difference between	De false Olerafferies
Ξ	Paçe	Name	Amount	Proposed	Required & Proposed	Deviation Classification
ę	5-46	Building Façade at Least 50% of Street Fronlage	50% mirimum	142.5 feet is 50% 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5 - 56 = 86.5 feet difference, or 30%	30% - Major
Ę	5-46	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces	12 extra spaces la third of the standard	36% - Major
5	5-55	Envelop windows and Ordering Page's at Rear of Building	_	1 window at rear, 1 window at side, proening panel at side	The side window and ordering panel should be alithe rear of the	non-dimensional standard requiring review
65	5-56	No portion of queuing lane within 40 feet of street-facing façaces	_	Queuing lane is within 25 feet of street ragade	Relocate queuing lans to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to

GRAPHIC SCALE

LIMITS OF C.F.A LANDSCAPE -CONSTRUCTION 25 ' SIGHT SETBACK -**TRIANGLE** → PLANTING → EX PARKING LIGHT PROPOSED IMPROMENT AREA EX TRASH **ENCLOSURE** CHICK-FIL-A ₩ MONUMENT SIGN G.C TO COORD. CABINET FINISH W / SIGN CO. TRAFFIC DELINEATORS EXISTING 10.0' PUBLIC UTILITY EASEMENT CONCRETE PAN ---LANDSCAPE SETBACK EX 3' HIGH CMU -SCREEN WALL 10 - ORDER POINT CANOPY EXISTING PARKING -LIGHT STANDARD TO EX MOTORCYCLE SIGN BE RELOCATED PROPERTY -BOUNDARY TRAFFIC - GREASE INTERCEPTOR WITH TRAFFIC RATED LIDS DELINEATORS EX FIRE HYDRANT — EX DIRECTIONAL EX DIRECTIONAL SIGN **EXISTING 10.0' PRIVATE** - EX PATIO TABLES, STORM EASEMENT CHAIRS & UMBRELLAS — EX GROUND LIGHTED FLAG POLE EX RAILING CLEARANCE ARM = ► EX FLAG POLE HAND RAIL - EX MAIN PEDESTRIAN ENTRANCE ► EX BIKE RACK EX PARKING — EX PORTE COCHERE **ENTRANCE** COLUMNS - EX METAL GUARDRAIL MAX BLDG. -SETBACK EX PORTE COCHERE EX HOME DEPOT -EX MENU BOARD : TRIANGLE

EX SIDEWALK —



LEGEND

PROPERTY LINE	
BUILDING LINE	
NEW CURBS	
NEW SIDEWALK	
EXISTING CURBS AND SIDEWALKS	
EASEMENT	

NOTES

1.PERMANENT ACCESS DRIVE EASEMENT. THE RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF TPARCEL OWNER (TRACT B--1-- A--2), AS CRAN TEE, FOR THE BENEFIT OF THE OU TPARCEL OWNER AND ITS RESPECTIVE PERPETUAL NON -- EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC UPON, OVER AND ACROSS THAT PORTION OF THE COMMON AREA LOCATED ON THE HOME DEPOT PARCEL (TRACT B--1-- A--1) SHOWN ON EXHIBIT "B" AS THE PERMANENT ACCESS DRIVE"

RECIPROCAL STORM DRAINAGE EASEMENT. THE "DECLARATION OF COVENAN TS, CONDITIONS AND RESTRICTIONS RECARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER, 2012) STATES WITHIN SECTION 3.5 THAT THE OWNER OF TRACT B--1-- A--1 AND THE OWNER OF TRACT B--1-- A--2 RECIPROCALLY GRANT TO ONE ANOTHER "A NON -EXCLUSIVE EASEMENT OVER AND UNDER ITS PARCEL FOR SURFACE WATER DRAINACE OVER AND THROUGH THE DRAINAGE PATTERNS AND STORM WATER DRAINAGE SYSTEMS THAT ARE ESTABLISH FROM TIME TO TIME AMONG THE PARCELS.

3. GRANT OF UTILITY EASEMENTS. THE "DECLARATION OF COVEN ANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL "(RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER, 2012) STATES WITHIN SECTION 3.1 (a) THAT THE OWNER OF TRACT B--1-- A--1 AND OWNER OF TRACT B--1-- A--2 RECIPROCALLY CRANT TO ONE ANOTHER "A NON -- EXCLUSIVE AND PERPETUAL EASEMENT UNDER, THROUGH AND ACROSS THE COMMON AREA OF THE HOME DEPOT PARCEL (TRACT B--1-- A--1) OR THE OUTPARCEL (TRACT B--1-- A--2), AS APPLICABLE (EXCLUSIVE OF AN Y POR TION WITHIN A BUILDING AREA), FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF

UTILITY LINES." 4. THE "DRIVEWAY EASEMENT AGREEMENT" DATED JUNE 6, 2006 RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO AS DOCUMEN T NO 2000055083 (BOOK A--6, PACE--4862) PROVIDES VEHICULAR AND PEDESTRIAN CROSS ACCESS EASEMEN T BETWEEN LOT B--1A--1 AND LOT B--1-- A--2 AND THE "COSTCO PARCEL" LEGALLY DESCRIBED AS "TRACT A AND TRACT C--1 OF PLAT

OF MAN Z ANO MESA". 5. ON ADJOINING TRACT A--1 OF THE COSTCO DEVELOPMENT PLAT THERE IS AN EXISTING 70'X185' PRIVATE ACCESS EASEMENT FOR THE BENEFIT AND USE OF TRACT B--1, VIDEO ADDITION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THERE OF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLOW COUNTY, NEW MEXICO ON AUGUST 9, 1994 IN VOLUME 94C, FOLIO 263 FILED: FEBRUARY 20, 2001 (2001C--56).

6. AS SHOWN ON THE PLAT FILED IN PLAT BOOK 94C, PAGE 263 THERE IS A RECIPROCAL ACCESS EASEMENT BY THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D: EACH GRANTED TO THE OTHER RECIPROCAL EASEMENT FOR CROSS ACCESS AND VEHICULAR PARKING ON AND OVER TRACT B1 FOR THE BENEFIT OF TRACTS D AND ON AND OVER TRACT D FOR THE BENEFIT OF TRACT B1. THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D GRANTED TO THE OWNER OF TRACT C VEHICULAR ACCESS ACROSS TRACTS B1 AND D RESPECTIVELY FOR PURPOSES OF INCRESS AND ECRESS.

7. DESIGN GROUND-- MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VECETATION SURROUNDING GROUND--MOUN TED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 1 0 FEET OF CLEARANCE IN FRONT OF THE EQUIPMEN T DOOR AND 5--6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PMN ELECTRIC SERVICE CUIDE AT WWW.PNM. COM FOR SPECIFICATIONS.

8. LOT NUMBERS TBD UPON RECORDATION OF PENDING SUBDIVISION PLAT.

9. THE DEVELOPER SHALL BE RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TR ANSPOR TATION FACILITIES ADJACEN T TO THE PROPOSED SITE DEVELOPMENT PLAN AS MAY BE REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).

10. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBU QUER QUE REQUIREMEN TS, INCLUDINC THE DEVELOPMENT PROCESS MANUAL AND CURREN T ADA CRITERIA.

11. APPLICANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMEN TS. AN EXISTING OVERHEAD ELECTRIC DISTRIBUTION IS LOCATED ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT.



Chick-fil-A **5200 Buffington Road** Atlanta, Georgia 30349



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

FSR#0000

BUILDING TYPE / SIZE: P12 LS LRG

REVISION SCHEDULE

NO. DATE DESCRIPTION X XX/XX/XX XXXXXXXXXXX

CONSULTANT PROJECT # ######## XXXXXXXX MM/DD/YYYY

1229-C-1.0-SITE PLAN

SHEET NUMBER

OF XX

25' SIGHT

TRIANGLE

Know what's below. Call before you dig.



Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

CHICK-FIL-A CENTRAL & EUBANK

SR#0000

BUILDING TYPE / SIZE: P12 LS
RELEASE: VX.YY

REVISION SCHEDULE

NO. DATE DESCRIPTION XXX/XX/XX XXXXXXXXXX

CONSULTANT PROJECT # #########
PRINTED FOR XXXXXXXXX

SHEET NUMBER

4 ()

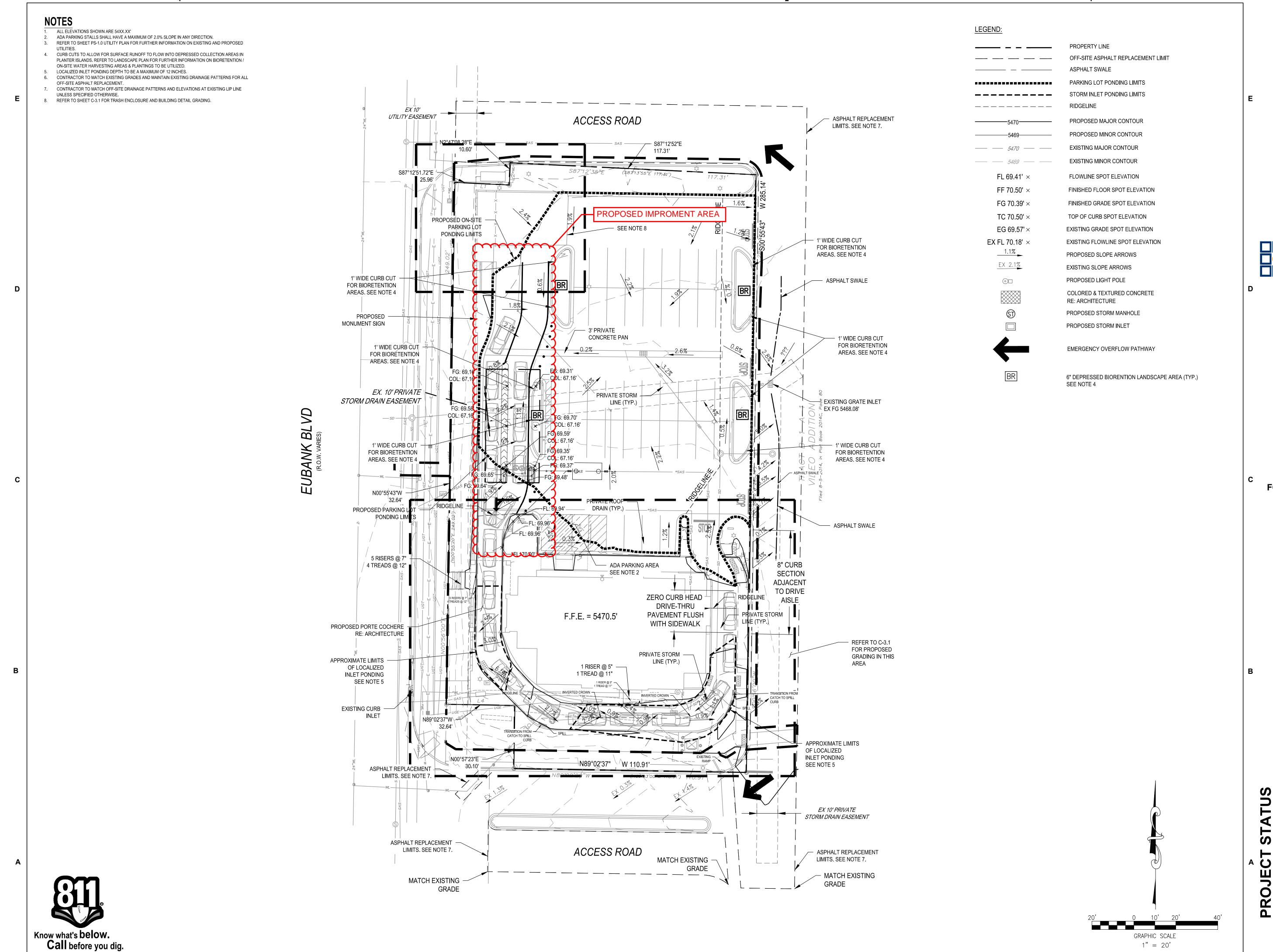
0

MBER **03**

Saved By: KATHERINE, ADAMS
5/16/2022 1:56 PM

Call before you dig.

1" = 20'



2

3

3

4



Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998



FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

REVISION SCHEDULE

X XX/XX/XX XXXXXXXXXXX

CONSULTANT PROJECT # ######## PRINTED FOR XXXXXXXX MM/DD/YYYY

1229-C-3.0_GRADING SHEET NUMBER

copper ave. ne

CENTRAL AVE. SE NAM BOULEVARD

sonthern plyd. se

LEGAL DESCRIPTION

TRACT LETTERED B-ONE-A (B-1-A) OF THE PLAT FOR THE VIDEO ADDITION, TRACTS B-1-A AND B-1-B, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO, NEW MEXICO, ON AUGUST 23, 1999 IN PLAT BOOK 99C, PAGE 239

EXECUTIVE SUMMARY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF CENTRAL AVE. & EUBANK BLVD. THE PROPOSED IMPROVEMENTS TO THE EXISTING CHICK-FIL-A SITE WILL INCREASE THE AMOUNT OF AVAILABLE STACKING WITHIN THE DRIVE THRU LANE. IN ADDITION, A CANOPY WILL BE INSTALLED OVER THE RELOCATED ORDER POINTS AND THE MEAL DELIVERY WINDOW AT THE EXISTING BUILDING. THE CANOPIES ARE BEING INSTALLED FOR TEAM MEMBER SAFETY, AND INCLUDE HEAT, FANS, AND LIGHTING. TRAFFIC FLOWS WITHIN THE PROJECT SITE WILL NOT BE SIGNIFICANTLY ALTERED AND THEREFORE THERE ARE NO FORESEEN IMPACTS TO THE ADJACENT USERS.

NOTES

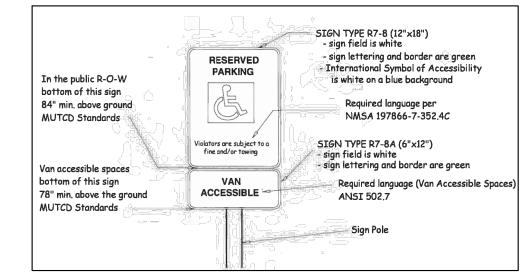
- 1. THE HEIGHT OF THE PROPOSED PRECAST GREASE INTERCEPTOR WILL BE 0.2' ABOVE FINISHED GRADE OR MATCH SIDEWALK GRADES WHERE REQUIRED
- 2. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- 3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGH TRIANGLE.
- 4. COLORED & TEXTURED CONCRETE WALK IN DRIVE-THRU TO UTILIZE INTEGRAL COLORING AS OPPOSED TO STAINED CONCRETE. COLOR FOR CROSSWALKS TO BE DAVID CONCRETE COLOR ADOBE. CROSSWALK PATTERN TO BE 2'X2' SCORED DIAMOND.

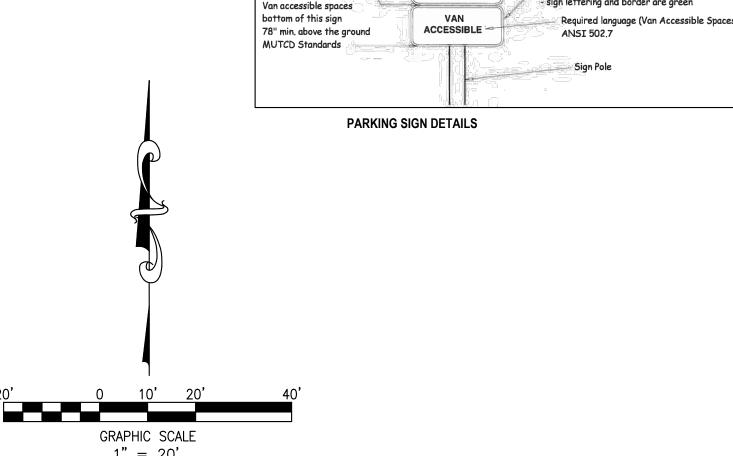
LEGEND

PROPERTY LINE	
BUILDING LINE	
NEW CURBS	
NEW SIDEWALK	
EXISTING CURBS AND SIDEWALKS	
EASEMENT	

SITE DATA TABLI	E
TYPE OF DEVELOPMENT	RESTAURANT
SIZE OF DEVELOPMENT	0.92 ACRES
PATIO SEATING	12
BICYCLE SPACES REQUIRED	3
BICYCLE SPACES PROVIDED	5
MOTORCYCLE PARKING	2

SITE PARKING	
PARKING REQUIRED	30
STANDARD PARKING PROVIDED	43
HAND CAP PARKING PROVIDED	2
TOTAL PARKING PROVIDED	45



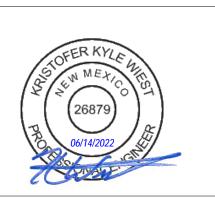






Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349 2998





FOR AND AND ON-BEHALF OF MERRICK AND COMPANY

K-FIL-A L & EUBANK BLVD. SE

CENTI CENTI 210 EUB/

FSR#0000 BUILDING TYPE / SIZE: P12 I S I RG

IILDING TYPE / SIZE: P12 LS ELEASE: vX.YY

REVISION SCHEDULE

NO. DATE DESCRIPTION
X XX/XX/XX XXXXXXXXXXX

CONSULTANT PROJECT #	65121229
PRINTED FOR	FOR REVIEW
DATE	06/14/2022
DRAWN BY	KA

0

1229-C-4.0_TRAFFIC
CIRCULATION PLAN
SHEET NUMBER

2.0

5 OF 12

PLAN.dwg Last Saved By: KATHERINE.ADAN 6/14/2022 1:41 PM

Oo-LS-0000-A101-SHEET NAME

When the rath of the rath of

2