



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Chick-fil-A, Inc		Phone:
Address: 5200 Buffington Road		Email:
City: Atlanta	State: GA	Zip: 30349
Professional/Agent (if any): Merrick & Company (Kristofer Wiest)		Phone: 303.353.3695
Address: 5970 Greenwood Plaza Blvd		Email: Kris.Wiest@merrick.com
City: Greenwood Village	State: CO	Zip: 80111
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Major Amedment to previously approved Site Plan (Case Number 14EPC-40027). Modifications include addition of an Order Point and Meal Delivery Canopy (2 total), rerouting of a portion of the sanitary service and minor stripping modifications within the Property.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: B-1-A-2	Block:	Unit:
Subdivision/Addition: Video Addition	MRGCD Map No.:	UPC Code: 102105601945720241
Zone Atlas Page(s): L-21-Z	Existing Zoning: SU-2/EGC	Proposed Zoning: SU-2/EGC
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.9183

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Case Number 14EPC-40027

Signature:	Date: 05/16/2022
Printed Name: Kristofer Wiest	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		



June 30, 2022

Reference: Chick-fil-A FSU #03235 Central & Eubank
210 Eubank Boulevard SE
Albuquerque, NM 87123
Letter of Authorization

To Whom It May Concern:

Please accept this letter as authorization for Interplan LLC, to act as agent in correspondence and representation of all approval and permitting matters required for Chick-fil-A at the location referenced above.

If you have any questions, please contact me at 714-866-1444.

Sincerely,

Kari Teresa
Principal Program Lead
Chick-fil-A, Inc.

Subscribed and sworn to before me this see attached day of _____, 20____.

Notary Public _____
Seal

My Commission Expires:

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
 } ss
County of Orange }

On August 9, 2022, before
me, SARAH KING, a
Notary Public, personally appeared

KARI TERESA,
who proved to me on the basis of satisfactory evidence to be the
person(s) whose name(s) is subscribed to the within
instrument and acknowledged to me that he/she/they executed
the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the
entity upon behalf of which the person(s) acted, executed the
instrument.

I certify under PENALTY OF PERJURY under the laws of the
State of California that the foregoing paragraph is true and
correct.

WITNESS my hand and official seal.

[Signature]
Notary Signature



(This area for official notarial seal)

Justification Letter

The existing Site Development Plan located at 210 Eubank Blvd SE Albuquerque, NM meets the requirements per IDO Section 14-16-6-4(Z)(1)(a). Pertaining to the requirements per IDO Section 14-16-6-4(Z)(1)(a), the Site Plan for the minor amendment meets the IDO requirements: The Site Plan clearly specifies the requested changes while meeting the original requirements. Per the thresholds in Table 6-4-4, the requested changes are within the thresholds for a minor amendment. The proposed changes will not require any major public infrastructure changes that would impact circulations patterns on the site. Acknowledged that no changes, waivers of variances can be granted for a minor amendment. Take note: a copy of the Official Notice of Decision associated with the prior approval couldn't not be located by the staff; therefore, there is no Official Notice of Decision for the Site Plan included in this Administrative Amendment.

CODE INFORMATION

BUILDING CODE:
INTERNATIONAL BUILDING CODE 2009
PLUMBING CODE:
INTERNATIONAL PLUMBING CODE 2009
MECHANICAL CODE:
INTERNATIONAL MECHANICAL CODE 2009
ELECTRICAL CODE:
NATIONAL ELECTRICAL CODE 2011
FIRE CODE:
INTERNATIONAL FIRE CODE 2009

BUILDING DATA

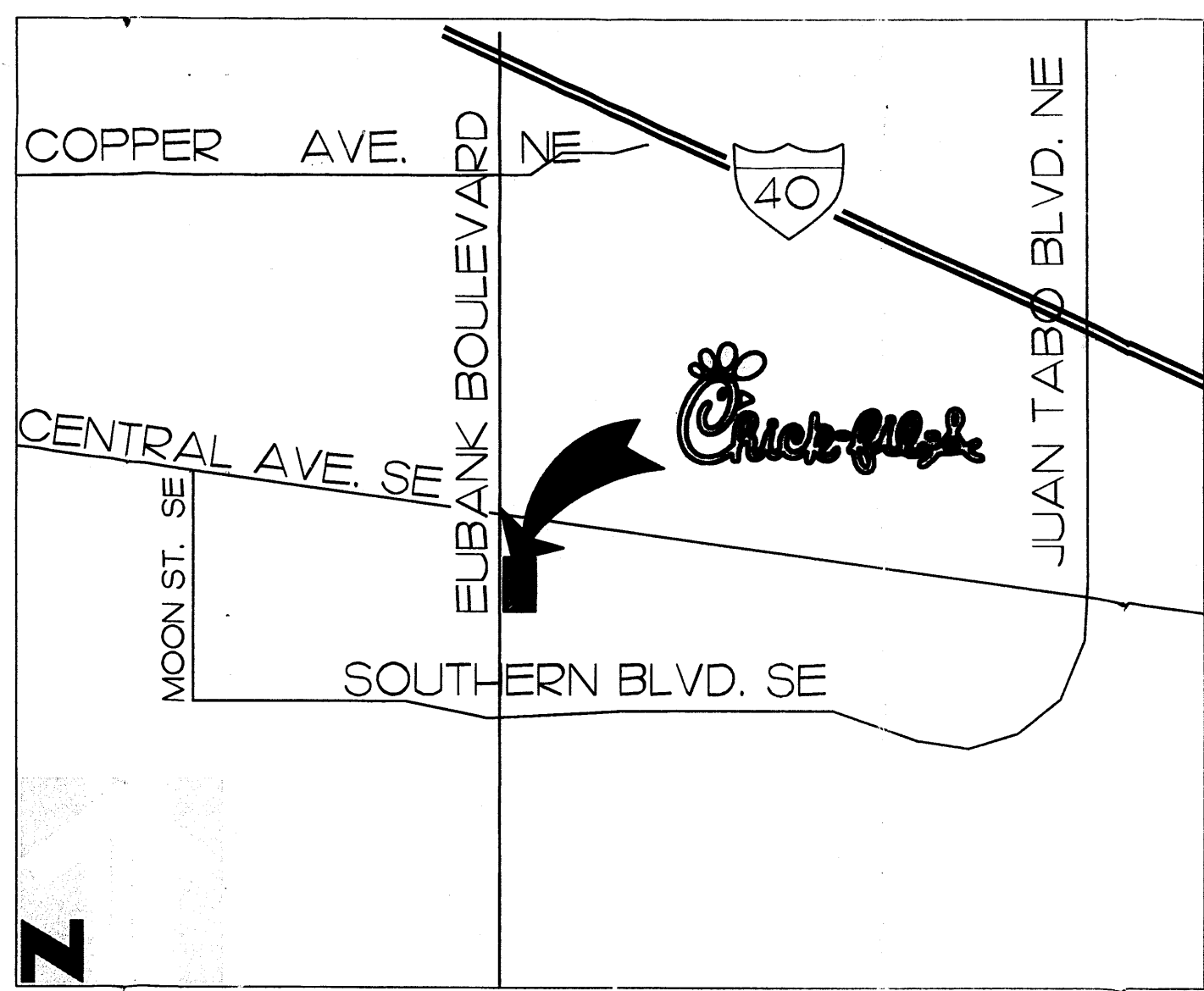
OCCUPANCY: A2 (RESTAURANT)
FIRE SPRINKLERED: YES
CONSTRUCTION TYPE: V-B
SITE AREA: 40,000 S.F.
BUILDING AREA: 4,492 S.F.
FAR: 11 %
ZONING: SU-2/EGC (EAST GATEWAY CORRIDOR ZONE)



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998
PHONE: (404) 765-8000
FAX: (404) 684-8550

SO8A

210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123



VICINITY MAP
NOT TO SCALE

Architect:

C.R.H.O.
195 SOUTH "C" STREET 200
TUSTIN, CA. 92780
PHONE: (714) 832-1834
FAX: (714) 832-1910
CONTACT: RUSSELL HATFIELD
E-MAIL:
RUSSELL@CRHO.COM

Civil Engineer:

MERRICK AND COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO. 80111
PHONE: (303) 751-0741
CONTACT: TROY KELTS
E-MAIL:
TROY.KELTS@MERRICK.COM

CROSS ACCESS EASEMENT:

DRIVEWAY EASEMENT AGREEMENT, DATED APRIL 06, 2000 AND RECORDED
JUNE 06, 2000 BOOK A6, PAGE 4682, BERNALILLO COUNTY, NEW MEXICO

Drawing Index

- 0 TITLE SHEET
- 1 SITE PLAN
- 2 LANDSCAPE PLAN
- 2A LANDSCAPE DETAILS
- 3 GRADING PLAN
- 4 UTILITY PLAN
- 5 PHOTOMETRIC SITE PLAN
- 6 EXTERIOR ELEVATIONS
- 7 EXTERIOR ELEVATIONS
- 8 REFUSE PLAN & ELEVATIONS
- 9 SITE DETAILS
- 10 EXHIBIT "A" DELIVERY TRUCK ROUTE

EXISTING SHOPPING CENTER PARKING:

EXISTING HOME DEPOT (OVERALL PARKING LOT AREA) PARKING SPACES = 717

* NOTE: 717 TOTAL PARKING SPACES INCLUDES 95
WITHIN CHICK-FIL-A PROPOSED DEVELOPMENT AREA.

HOME DEPOT REQUIRED PARKING STALLS:
102,025 SQ. FT. HOME DEPOT BUILDING 510
9,000 SQ. FT. EXISTING MISC. BUILDING 45
TOTAL REQUIRED PARKING SPACES PER CITY PARKING ORDINANCE = 555

* NOTE: 67 EXCESS PARKING SPACES AVAILABLE WITHIN
THE HOME DEPOT PARCEL WITH THE REMOVAL OF 95
PARKING SPACES WITHIN CHICK-FIL-A PROPOSED
DEVELOPMENT AREA.

CHICK-FIL-A WILL BE ELIMINATING 95 PARKING SPACES FROM THE TOTAL OVERALL
LOT AREA. PROPOSED CHICK-FIL-A DEVELOPMENT WILL ADD 45 PARKING SPACES
TO NEW LOT AREA RESULTING IN A TOTAL NET LOSS OF 50 PARKING SPACES
BEING ELIMINATED FROM THE TOTAL OVERALL SHOPPING CENTER.

TOTAL OVERALL EXISTING PARKING SPACES = 717 SPACES
TOTAL OVERALL PARKING SPACES ELIMINATED BY CFA CARVE OUT = 50 SPACES
TOTAL OVERALL PARKING SPACES AFTER CFA DEVELOPMENT = 667 SPACES
TOTAL OVERALL PARKING SPACES REQUIRED BY CITY ORDINANCE = 555 SPACES

Chick-fil-A SITE PARKING REQUIREMENTS:

STANDARD SPACES REQUIRED: 1 SP. / 4 SEATS = 119 / 4 = 30 SP. REQ'D.

STANDARD SPACES PROVIDED: 42 SPACES
HANDICAP SPACES: 3 SPACES
TOTAL SPACES PROVIDED: 45 SPACES

MAXIMUM PARKING ALLOWED BY EGSDP
33 SPACES PLUS 50%: 49 SPACES

TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED: 2 SPACES

TOTAL BICYCLE SPACES REQUIRED - 1 PER 20 PARKING SPACES*
43/20 = 2.15: 3 REQUIRED
TOTAL BICYCLE SPACES PROVIDED: 5 SPACES

Landlord Notes:

1. CHICK-FIL-A CONTRACTOR SHALL CONTACT BOB BURNSIDE,
CONSTRUCTION MANAGER AT THE HOME DEPOT, 2 WEEKS PRIOR TO
PROJECT START DATE. 714-749-6993. SUPERINTENDENT SHALL SUPPLY
BOB BURNSIDE WITH WEEKLY STATUS REPORTS AND PICTURES OF
PROGRESS TO BOB_BURNSIDE@HOMEDEPOT.COM

Deviations Requested- Staff Summary Tables

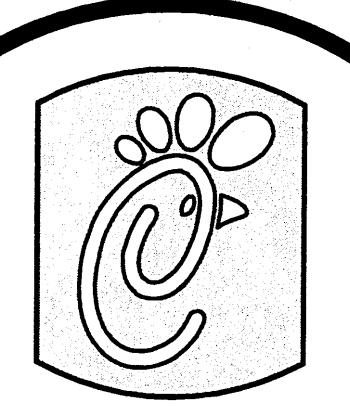
- Table 1: Commercial Building & Lot Standards -

		Requirement				
#	Page	Name	Amount	Proposed	Difference between Required & Proposed	Deviation & Classification
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2	5-36	Front Yard Setback	10 feet maximum	24.75 feet from building	14.75 feet, 147.5% of the standard.	50% deviation is 15 feet. The EPC cannot grant deviations > 50%*

- Table 2: General Design Regulations -

		Requirement				
#	Page	Name	Amount	Proposed	Difference between Required & Proposed	Deviation Classification
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4	5-48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces.	12 extra spaces, a third of the standard	36%- Major
5	5-55	Drive-up windows and Ordering Panels at Rear of Building	--	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the building	non-dimensional standard requiring review
6	5-56	No portion of queuing lane within 40 feet of street-facing façades	--	Queuing lane is within 25 feet of street facing facade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope.
Two deviations are still to non-dimensional standards.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
C	07/23/14	EF
D	08/27/14	EF
E	09/16/14	EF
F	09/26/14	EF
G	10/24/14	EF
H	11/07/14	EF
I	11/21/14	EF
J	12/22/14	CD
K	01/05/15	EF
L	01/09/15	CD
M	02/09/15	EF

C • R • H • O

Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
CHICK-FIL-A #03235
RESTAURANT
CENTRAL & EUBANK

210 Eubank Blvd SE
ALBUQUERQUE, NM
87123

SHEET TITLE
TITLE SHEET

VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By : ---
Checked By: ---

Sheet

0

1000897

GENERAL NOTES

1. PERMANENT ACCESS DRIVE EASEMENT. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER 2012) STATES WITHIN SECTION 3.2 THAT THE OWNER OF TRACT B-1-A-1 HEREBY GRANTS TO THE OUTPARCEL OWNER (TRACT B-1-A-2), AS GRANTEE FOR THE BENEFIT OF THE OUTPARCEL OWNER AND ITS RESPECTIVE PERMITTEES APPURTENANT TO THE OUTPARCEL, A PERPETUAL NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC UPON, OVER AND ACROSS THAT PORTION OF THE COMMON AREA LOCATED ON THE HOME DEPOT PARCEL (TRACT B-1-A-1) SHOWN ON EXHIBIT "B" AS THE PERMANENT ACCESS DRIVE.
2. RECIPROCAL STORM DRAINAGE EASEMENT. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER 2012) STATES WITHIN SECTION 3.5 THAT THE OWNER OF TRACT B-1-A-1 AND THE OWNER OF TRACT B-1-A-2 RECIPROCALLY GRANT TO ONE ANOTHER "A NON-EXCLUSIVE EASEMENT OVER AND UNDER ITS PARCEL FOR SURFACE WATER DRAINAGE OVER AND THROUGH THE DRAINAGE PATTERNS AND STORM WATER DRAINAGE SYSTEMS THAT ARE ESTABLISHED FROM TIME TO TIME AMONG THE PARCELS."
3. GRANT OF UTILITY EASEMENTS. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER 2012) STATES WITHIN SECTION 3.1(6) THAT THE OWNER OF TRACT B-1-A-1 AND OWNER OF TRACT B-1-A-2 RECIPROCALLY GRANT TO ONE ANOTHER "A NON-EXCLUSIVE AND PERPETUAL EASEMENT UNDER, THROUGH AND ACROSS THE COMMON AREA OF THE HOME DEPOT PARCEL (TRACT B-1-A-1) OR THE OUTPARCEL (TRACT B-1-A-2), AS APPLICABLE (EXCLUSIVE OF ANY PORTION WITHIN A BUILDING AREA), FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF UTILITY LINES."
4. THE "DRIVEWAY EASEMENT AGREEMENT" DATED JUNE 6, 2006 RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO AS DOCUMENT NO. 2006055083 (BOOK A-6, PAGE 4962) PROVIDES VEHICULAR AND PEDESTRIAN CROSS ACCESS EASEMENT BETWEEN LOT B-1-A-1 AND LOT B-1-A-2 AND THE "COSTCO PARCEL" LEGALLY DESCRIBED AS "TRACT A AND TRACT C-1 OF PLAT OF MANZANO MESA".
5. ON ADJOINING TRACT A-1 OF THE COSTCO DEVELOPMENT PLAT THERE IS AN EXISTING 10'X185' PRIVATE ACCESS EASEMENT FOR THE BENEFIT AND USE OF TRACT B-1, VIDEO ADDITION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THERE OF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 9, 1994 IN VOLUME 34C, FOLIO 263 FILED: FEBRUARY 20, 2001 (2001C-56).
6. AS SHOWN ON THE PLAT FILED IN PLAT BOOK 34C, PAGE 263 THERE IS A RECIPROCAL ACCESS EASEMENT BY THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D. EACH GRANTED TO THE OTHER RECIPROCAL EASEMENT FOR CROSS ACCESS AND VEHICULAR PARKING ON AND OVER TRACT B1 FOR THE BENEFIT OF TRACTS D AND ON AND OVER TRACT D FOR THE BENEFIT OF TRACT B1. THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D GRANTED TO THE OWNER OF TRACT C VEHICULAR ACCESS ACROSS TRACTS B1 AND D RESPECTIVELY FOR PURPOSES OF INGRESS AND EGRESS.
7. DESIGN GROUND-MOUNTED SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PMN ELECTRIC SERVICE GUIDE AT WWW.PMN.COM FOR SPECIFICATIONS.
8. LOT NUMBERS TIED UPON RECORDATION OF PENDING SUBDIVISION PLAT.
9. THE DEVELOPER SHALL BE RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN AS MAY BE REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).
10. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
11. APPLICANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS. AN EXISTING OVERHEAD ELECTRIC DISTRIBUTION IS LOCATED ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT.

LEGEND

PROPERTY LINE	---
BUILDING LINE	---
NEW CURBS	---
NEW SIDEWALK	---
EXISTING CURBS AND SIDEWALKS	---
COLOR AND TEXTURED CONCRETE AT PEDESTRIAN CROSSING	---
PARKING LIGHT FIXTURE	---
EASEMENT	---

Deviations Requested- Staff Summary Tables

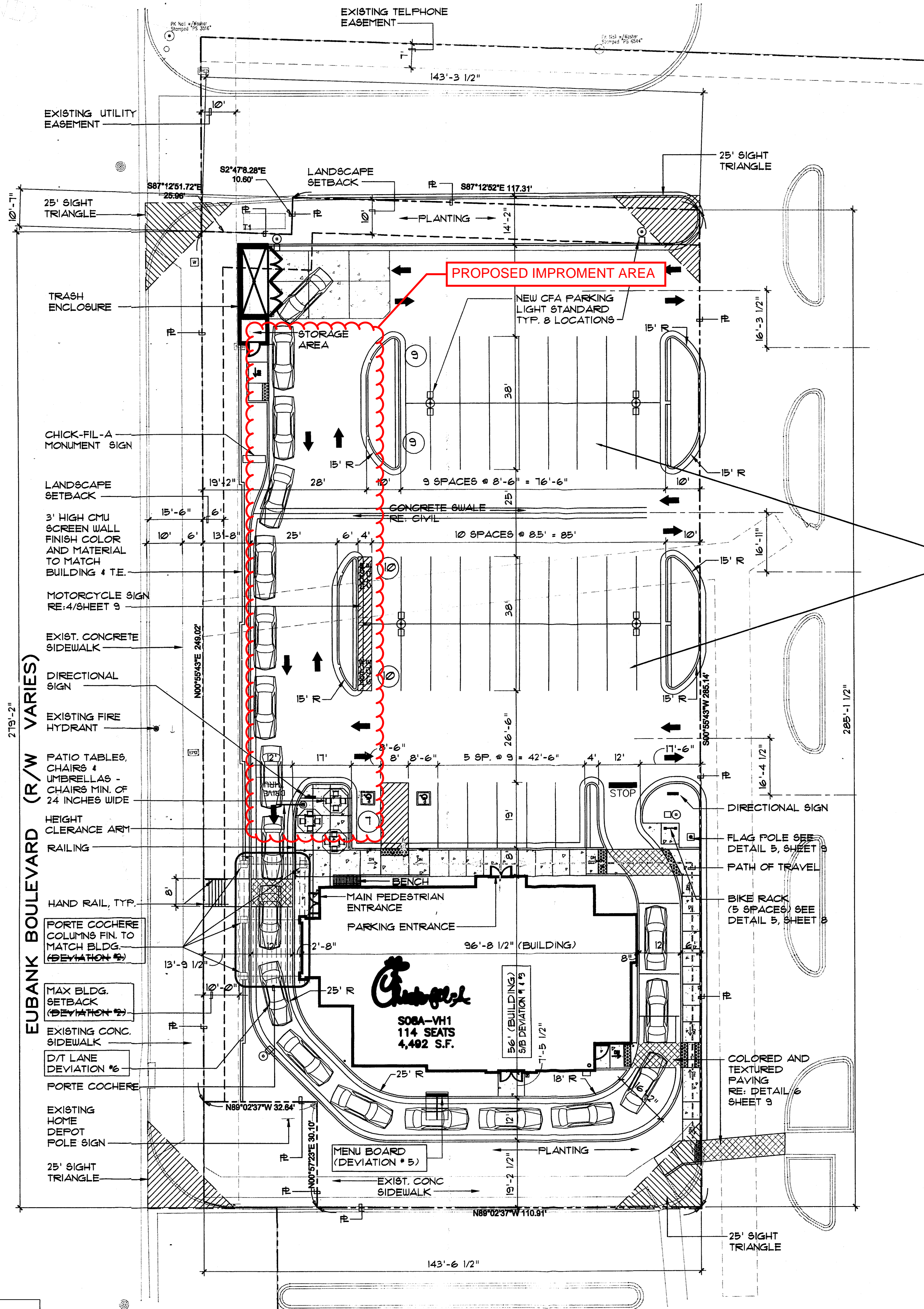
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- Table 2: General Design Regulations -

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Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.



PRELIMINARY SITE PLAN

Chick-fil-A SITE SPECIFIC PARKING CALCULATION	
PATIO SEATING	12
REGULAR STALL SIZE	9'X19' & 8.5x19
COMPACT STALL SIZE	8'X15'
MOTORCYCLE PARKING	4'X8' MIN.
DRIVE AISLE	--
PARKING FORMULA	1/4 SEATS 119/4 = 30 STALL REQUIRED
PARKING REQUIRED	30
PARKING ALLOWED BY EGSDP 33 SPACES PLUS 50% (MAXIMUM)	48 SPACES (DEVIATION #4)
TOTAL PARKING PROVIDED	45 (DEVIATION #4)
MOTORCYCLE PARKING	2
HANDICAP PARKING	2
BICYCLE SPACES REQUIRED. 1 PER 20 PARKING SPACES 45/20 = 2.25	3
TOTAL BICYCLE PARKING PROVIDED	5

PARKING (DEVIATION #4)

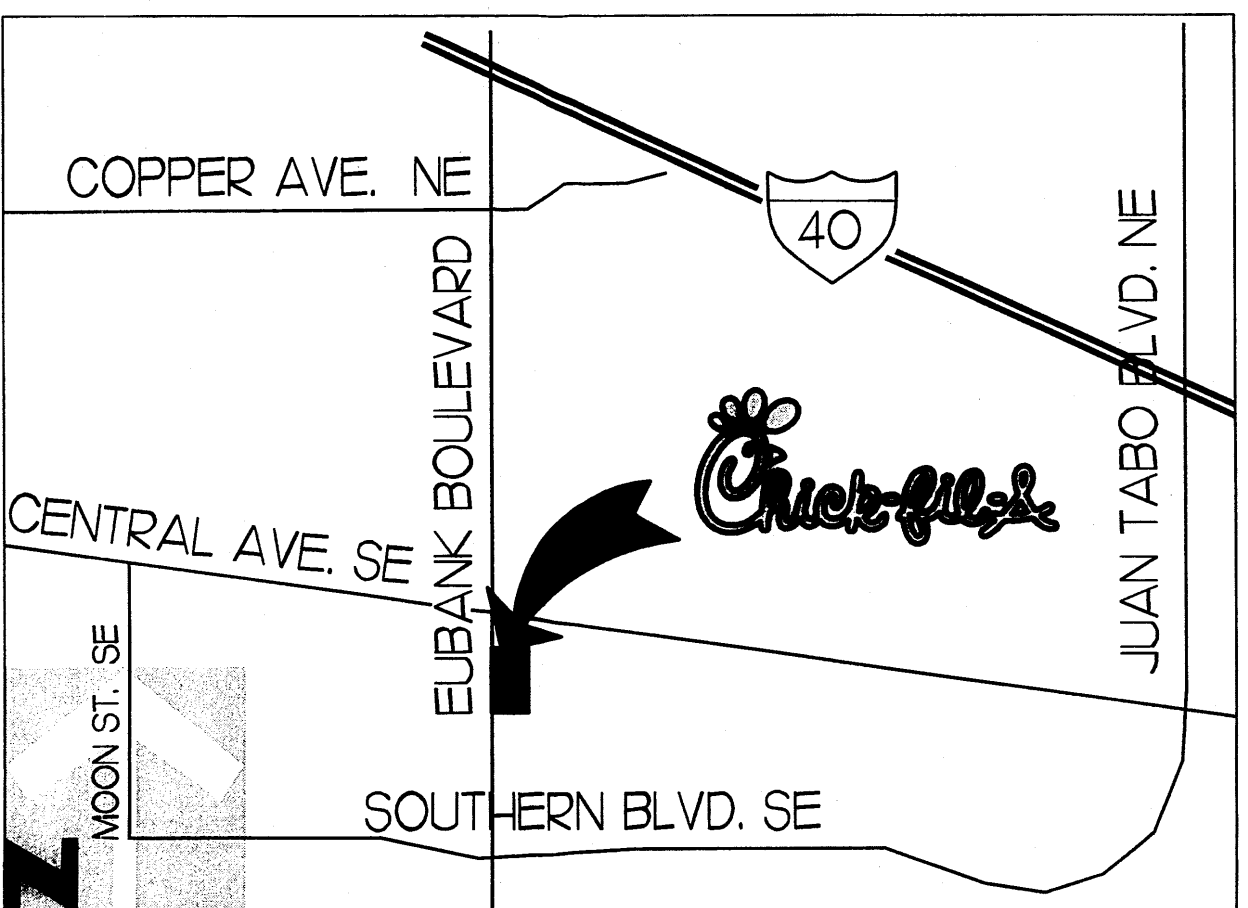
PROJECT NUMBER: CHICK-FIL-A 1000897
Application Number: 14 EPC- 400 27 9-11-14
PLAT APPROVAL

City Approvals:

City Surveyor	NA	Date	
Real Property Division (conditional)	NA	Date	
Environmental Health Department (conditional)	NA	Date	10-15-14
Traffic Engineering, Transportation Division	NA	Date	10/15/14
ABCWMA	NA	Date	10/15/14
Carroll S. Dumont	NA	Date	10-15-14
Parks and Recreation Department	NA	Date	3-9-15
AMAFCA	NA	Date	
City Engineer	NA	Date	
DRB Chairperson, Planning Department	NA	Date	

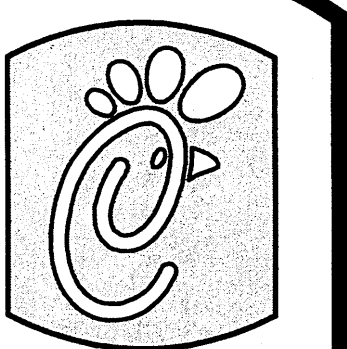
conditional (include signature line when applicable)
* - if there is a vacation involved with the plat
** - if the plat involves any known or existing landfill issues

revised 02/12/13



VICINITY MAP

NOT TO SCALE



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△	08/27/14	EF

Mark	Date	By
△	09/16/14	EF

Mark	Date	By
△	08/26/14	EF

Mark	Date	By
△	10/24/14	EF

Mark	Date	By
△	11/07/14	EF

Mark	Date	By
△	11/21/14	EF

Mark	Date	By
△	12/22/14	EF

Mark	Date	By
△	01/05/15	EF

Mark	Date	By
△	01/09/15	EF

Mark	Date	By
△	02/09/15	EF

Mark	Date	By
△	02/17/15	EF

C · R · H · O
Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
CHICK-FIL-A #03235
RESTAURANT
CENTRAL & EUBANK

210 Eubank Blvd SE
ALBUQUERQUE, NM
87123

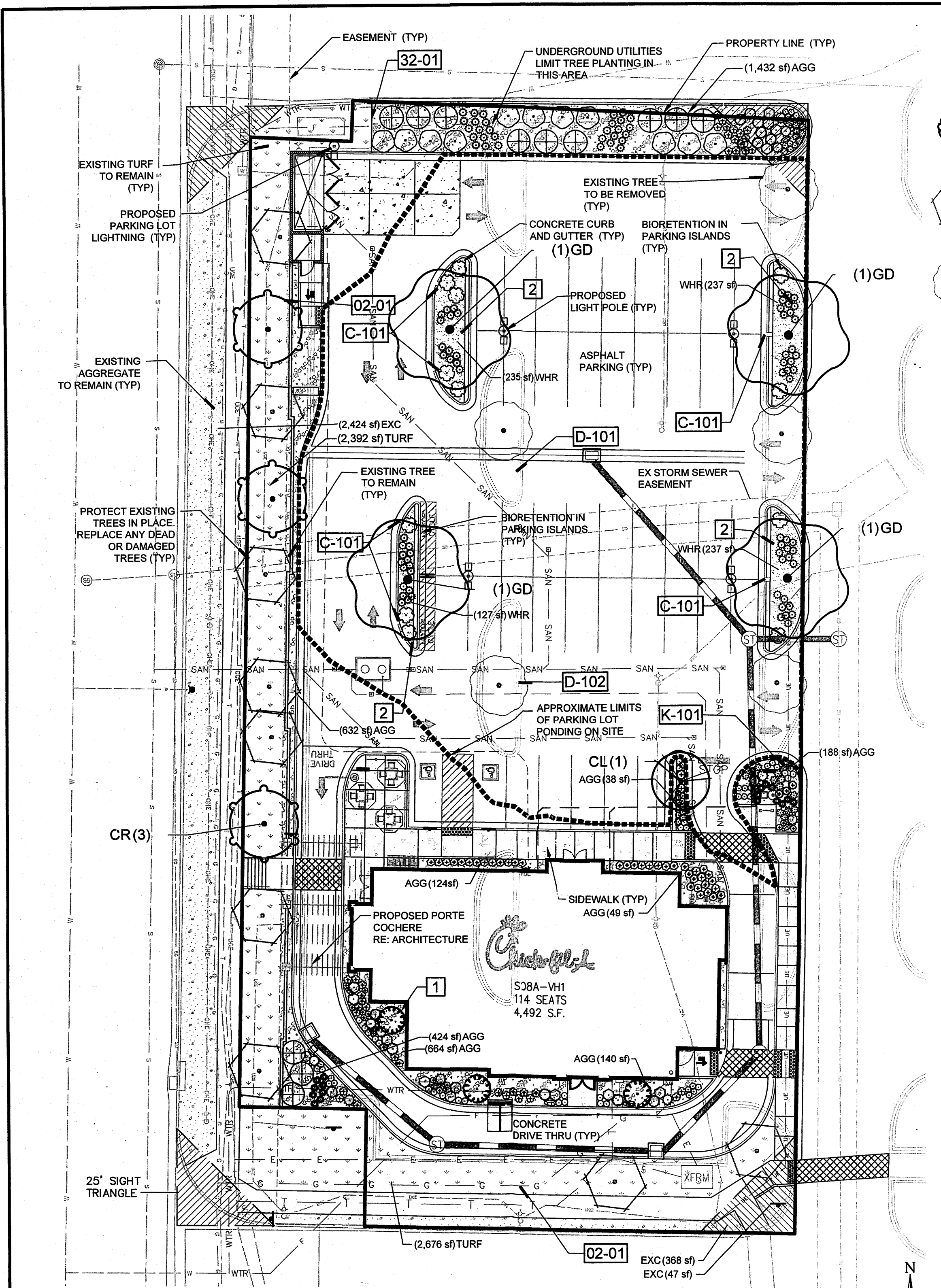
SHEET TITLE
SITE PLAN

VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By : AM
Checked By : RH

Sheet

1



LANDSCAPE PLAN

SCALE: 1" = 20'

Deviations Requested- Staff Summary Tables

- Table 1: Commercial Building & Lot Standards -

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PLANT SCHEDULE					
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	CR	3	CELTIS RETICULATA / NETLEAF HACKBERRY	B&B	2" CAL
	FN	3	CERCOCARPUS LEDIFOLIUS / CURLLEAF MOUNTAIN MAHOGANY	MULTI STEM	1.5" CAL
	CL	1	CHILOPSIS LINEARIS / DESERT WILLOW CHITALPA	B&B	2" CAL
	EX-RET	9	EXISTING TREE TO REMAIN / PROTECT DURING CONSTRUCTION	EX	
	GD	4	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2.5" CAL
	EX-REM	5	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	AL	12	AMORPHA CANESCENS / LEADPLANT	1 GAL	
	CMF	12	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	1 GAL	
	ES	13	ERICAMERIA NAUSEOSA SPECIOSA / DWARF BLUE RABBITBRUSH	1 GAL	
	HP	12	HESPERALOE PARVIFLORA / RED YUCCA	1 GAL	
	PPB	12	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	1 GAL	
	RG	11	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	1 GAL	
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	BB	23	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
	NT	17	NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS	1 GAL	
	PR	96	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS	1 GAL	
	SP	38	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES' / LITTLE BLUESTEM GRASS	1 GAL	
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	ACS	14	AGASTACHE CANA 'SONORAN SUNSET' / SONORAN SUNSET HYSSOP	1 GAL	
	GA	31	GAILLARDIA ARISTATA / BLANKET FLOWER	1 GAL	
	MR	37	MAHONIA REPENS / CREEPING MAHONIA	1 GAL	
	PPP	33	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	1 GAL	
	SR	5	SALVIA GREGGII 'RASPBERRY' / AUTUMN SAGE	1 GAL	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	AGG	3,758 SF	AGGREGATE / 1.5" - 2" AND 3/4" MIX 2/3 1.5" TO 2" WASHED RIVER ROCK, 30% WASHED 3/4" LOCAL RIVER ROCK. REUSE EXISTING COBBLE AS FEASIBLE	MULCH	
	EXC	2,839 SF	EXISTING AGGREGATE TO REMAIN	MULCH	
	TURF	4,378 SF	EXISTING TURF TO REMAIN / REPAIR AS NECESSITATED	SOD	
	WHR	834 SF	ON-SITE WATER HARVESTING / BIORETENTION - LARGE COBBLE 6" DEPRESSION. RE: CIVIL	ROCK	

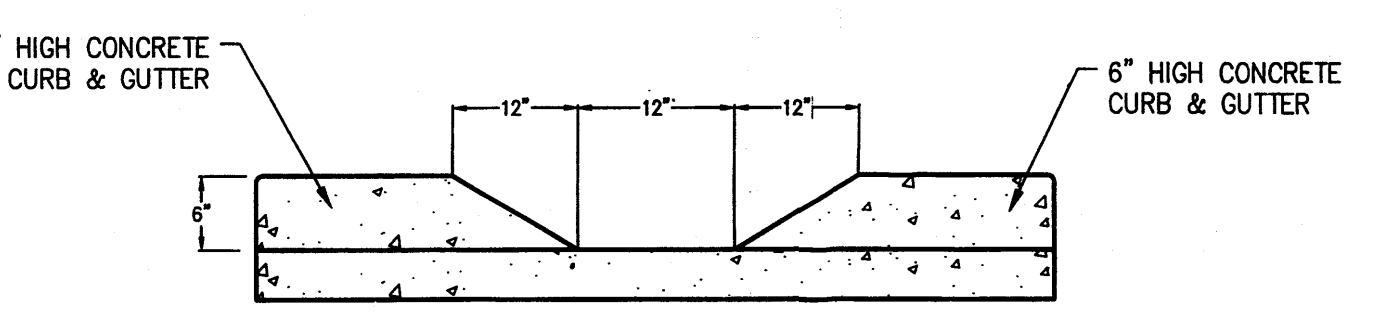
REFERENCE NOTES SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
1	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.		
2	BIORETENTION / ON-SITE WATER HARVESTING AREAS. 6" DEPRESSION WITH ADAPTABLE PLANTS THAT CAN WITHSTAND PERIODIC INUNDATION. RE: CIVIL FOR GRADING.		
02 EXISTING CONDITIONS			
SYMBOL	DESCRIPTION	QTY	DETAIL
02-01	EXISTING SOD AND IRRIGATION TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION. REPAIR/REPLACE AND DAMAGED SOD OR IRRIGATION COMPONENTS.		
32 EXTERIOR IMPROVEMENTS			
SYMBOL	DESCRIPTION	QTY	DETAIL
32-01	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	13 LF	
CURB			
SYMBOL	DESCRIPTION	QTY	DETAIL
C-101	CURB CUT. RE: CIVIL. SEE SHEET 4 FOR CURB CUT DETAIL.		
DEMOLITION			
SYMBOL	DESCRIPTION	QTY	DETAIL
D-101	DEMO ALL EXISTING PLANTS IN ISLANDS. CAP AND REMOVE IRRIGATION AS NECESSARY.		
D-102	DEMO EX CURB. RE: CIVIL		
ROCK			
SYMBOL	DESCRIPTION	QTY	DETAIL
K-101	GRANITE/MOSS ROCK BOULDER-DECORATIVE. 1/2 TON AVG SIZE		

IRRIGATION NOTE:
IRRIGATION: (PROPOSED TO BE A POTABLE SYSTEM)
1. AN IRRIGATION SYSTEM PLAN WILL BE CREATED.
2. SEED MAY BE TEMPORARILY IRRIGATED WITH POP-UP AND ROTOR SPRAY HEADS.
3. TREES, SHRUBS & PERENNIALS IN PLANTING BEDS SHALL BE IRRIGATED WITH A POINT-SOURCE DRIP SYSTEM.
4. A SMART CONTROLLER & RAIN SENSOR SHALL BE INSTALLED.
5. WATER CONSERVATION MEASURES AND COMPONENTS ARE TO BE INSTALLED WITH THE IRRIGATION SYSTEM.

CITY OF ALBUQUERQUE RESPONSIBILITY FOR MAINTENANCE STATEMENT
(1) Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.
(2) Any damage to utility lines resulting from the negligence of the abutting landowner, his agents, or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials, which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way, shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.
(3) Landscaping shall have adequate maintenance. Landscaping which dies shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 days after notification.

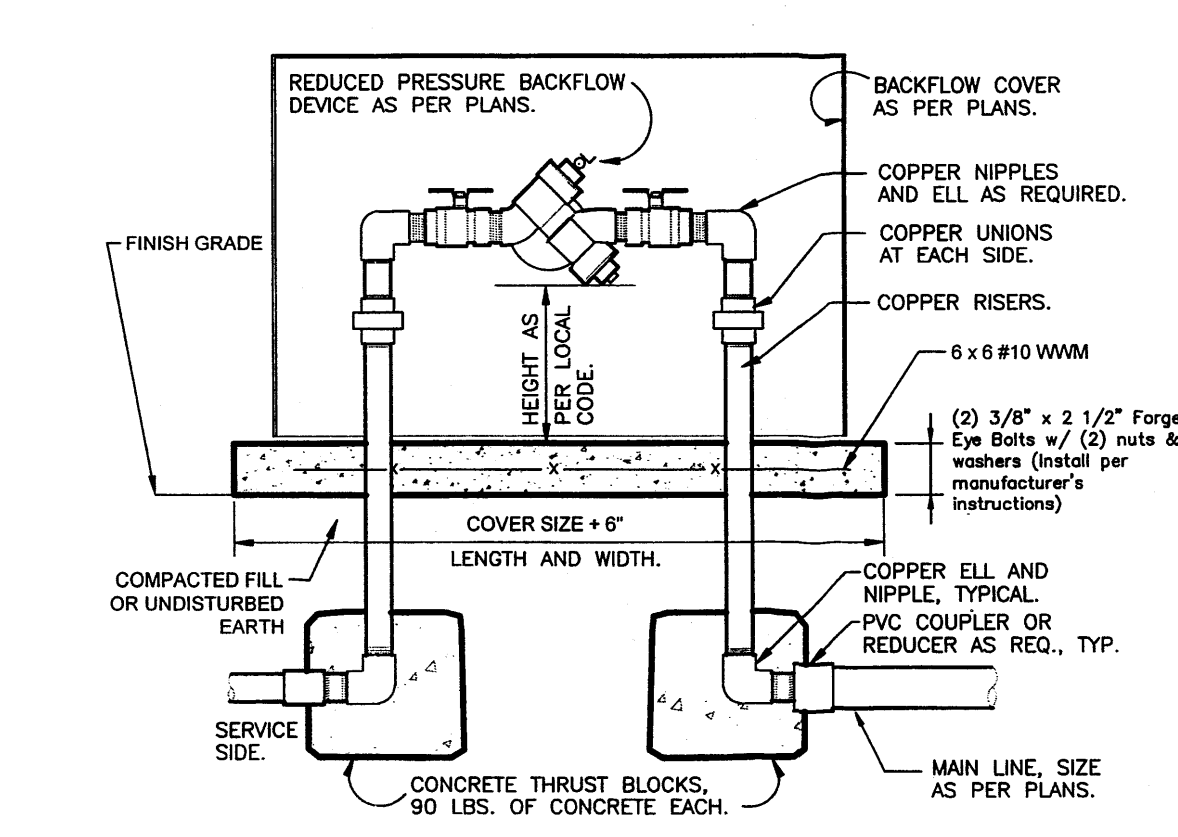
- PLAN NOTES:**
- STREET TREE PROVIDED PER SECTION 6-1-1-1 IN THE FORM OF EXISTING STREET TREES.
 - ALL SOD IS EXISTING TO REMAIN. NO NEW SOD IS PROPOSED.
 - PROVIDE A 2' PARKING OVERHANG FOR ALL PLANTS WHERE APPLICABLE.
 - LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THESE AREAS.
 - ALL IRRIGATION TO COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE FOR ALBUQUERQUE.
 - PROPOSED LANDSCAPING COMPLIES WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE
 - LANDSCAPE BEDS TO BE DEPRESSED AT LEAST 6" BELOW GRADE TO ALLOW FOR RAINWATER HARVESTING.
 - ANY RELOCATED OR EXISTING TREES TO REMAIN SHALL BE REPLACED IF MORTALITY OCCURS.

SITE CATEGORY REQUIREMENTS			
OVERALL LANDSCAPING: 8,450 SF - 21.12%	Site Area: 39,987 SF	Required Landscaping: 6,000 SF	
Groundplane Veg Cover % Provided: 84%	Total Trees: 20 (13 ex) 89	Total Shrubs: 89	
FACADE LANDSCAPING			
Facade	LF of Facade	Trees Req / Prov	Shrubs Req / Prov
West	51	1/1	--
South	77	2/2	--
PARKING BUFFERS / INTERNAL			
Frontage and LF	Bed Width / Coverage %	# of Spaces	Trees Req / Prov
South - 143 LF	6' / 100%	43	4/4
North - 143 LF	6' / 85%		3/4
West - Eubank - 249 LF	10' / 100%		



12" DRAINAGE CURB CUT DETAIL

NOT TO SCALE



RP BACKFLOW W/ ENCLOSURE

1" = 1'-0"

ALL NATIVE AND XERIC PLANTING AREAS TO BE AMENDED FOR DRAINAGE AS NECESSARY AND IN ACCORDANCE WITH CURRENT LANDSCAPE BMPs.

Licensure Notes:

THIS DOCUMENT IS FOR CITY REVIEW AND APPROVAL ONLY.
THIS DOCUMENT IS NOT A CONSTRUCTION DRAWING UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD. PROJECTS REQUIRE A STAMPED SET OF CONSTRUCTION DOCUMENTS FOR LANDSCAPE IMPROVEMENT INSTALLATION.

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Revisions:

Mark	Date	By
D	08/27/14	J0
A	09/16/14	J0
F	09/26/14	J0
G	10/24/14	J0
A	11/07/14	J0
A	11/21/14	J0
A	12/22/14	J0
A	01/05/15	J0
A	01/09/15	J0
A	02/09/15	J0
A	02/17/15	J0

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SHEET TITLE
LANDSCAPE PLAN

DWG EDITION ---

Job No. : 65118257
Store : 03235
Date : 04/10/14
Drawn By : JRO
Checked By: NAM

Sheet
2

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



- | | |
|---|--|
| <p>SHRUB SPACING AS PER PLANS
 BED GRADE OF SHRUB BED TO BE</p> | <p>NOTES:
 1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. AMENDED BACKFILL SHALL BE 3/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.</p> |
|---|--|



-
- 6" HIGH CONCRETE CURB & GUTTER
- 12" 12" 12"
- 6" HIGH CONCRETE CURB & GUTTER
- 6"

12" DRAINAGE CURB CUT DETAIL

NOT TO SCALE

- NOTES:**
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES. CROSS OVER BRANCHES, ANEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. PLANT MOIST AND SHADED UNTIL PLANTING.
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
 8. IF IN A HIGH CITY FLYING INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

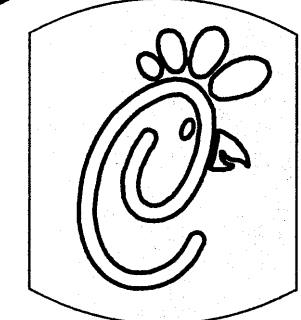


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Revisions:

Mark Date 07/23/14 By JO


Mark	Date	By
\triangle D	08/27/14	JO


Mark Date By
 E 09/16/14 JO

Mark	Date	By
\triangle_F	09/26/14	JO


Mark	Date	By
	10/24/14	JO

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Mark Date By
 12/22/14 JO

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$\triangle K$	01/05/15	JO

Mark	Date	By
	01/09/15	JO

MARK 02/09/15 By JO

Catalina
Lehrer
2-25-15

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ALBUQUERQUE, NM
87123

SHEET TITLE

LANDSCAPE
PLAN
DETAILS

DWG EDITION — — —

Job No. : 6511825Store : 03235

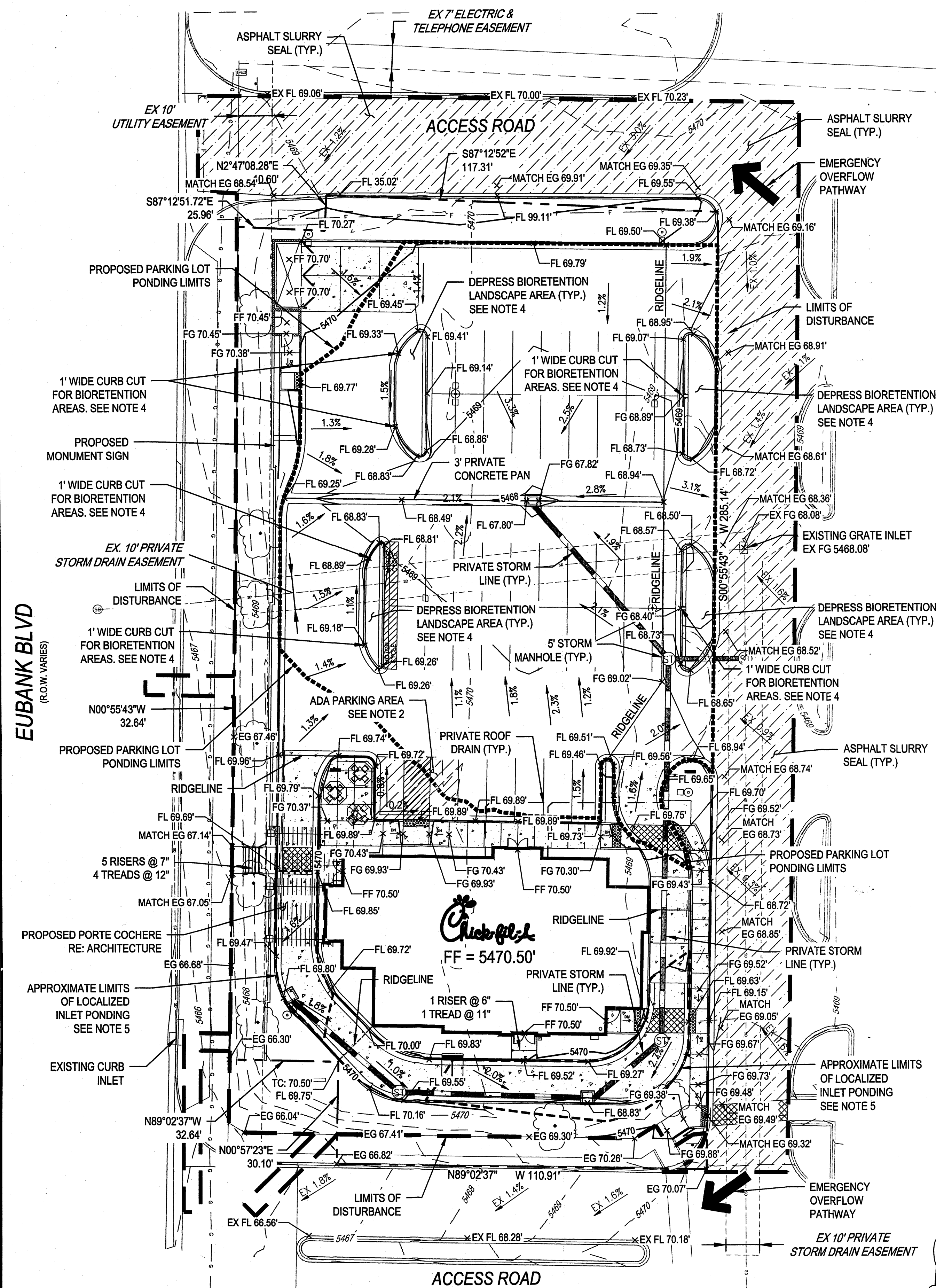
Date : 04/10/1

Drawn By : JRO

Checked By: NAM

Sheet

2A



LEGEND:

---	PROPERTY LINE
----	PARKING LOT PONDING LIMITS
----	STORM INLET PONDING LIMITS
---	LIMITS OF DISTURBANCE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	FLOWLINE SPOT ELEVATION
---	FINISHED FLOOR SPOT ELEVATION
---	TOP OF CURB SPOT ELEVATION
---	EXISTING GRADE SPOT ELEVATION
---	EXISTING FLOWLINE SPOT ELEVATION
---	PROPOSED SLOPE ARROWS
---	EXISTING SLOPE ARROWS
---	PROPOSED LIGHT POLE
---	COLOR & TEXTURED CONCRETE RE: ARCHITECTURE
---	ASPHALT SLURRY SEAL AREA
---	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	EMERGENCY OVERFLOW PATHWAY

DRAINAGE NARRATIVE DESCRIPTION

THE SITE IS CURRENTLY A PAVED PARKING LOT WITH NUMEROUS LANDSCAPE ISLANDS. THE SITE GENERALLY SLOPES FROM WEST TO EAST TOWARDS THE EXISTING GRATE INLET LOCATED IN THE DRIVE AISLE IMMEDIATELY EAST OF THE PROJECT SITE. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 2%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THESE SIDEWALK ELEVATIONS ARE CONSIDERABLY LOWER THAN THE PARKING LOT, WITH A 2-3 FOOT DIFFERENCE IN ELEVATION. THE MAJOR TOPOGRAPHIC ITEM LOCATED WITHIN 100 FEET OF THE SITE IS THE EXISTING GRATE INLET LOCATED IN THE DRIVE AISLE DIRECTLY EAST OF THE SITE. THE EXISTING CONDITIONS ALLOW FOR CONSIDERABLE PARKING LOT PONDING AROUND THIS INLET. ENCROACHING APPROXIMATELY 85 FEET ONTO THE SITE. THE CURRENT PONDING VOLUME LOCATED ON SITE IS APPROXIMATELY 17,766 CUBIC FEET. THERE IS ALSO AN EXISTING INLET ALONG THE EAST CURBLINE OF EUBANK BOULEVARD LOCATED IN THE SOUTHWEST CORNER OF THE SITE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. AN ON-SITE STORM SEWER SYSTEM WILL BETTER ROUTE RUNOFF TO THE EXISTING STORM SEWER SYSTEM. A SERIES OF PVC PIPES & STORM STRUCTURES WILL BE UTILIZED TO CAPTURE DEVELOPED RUNOFF. MOST IMPORTANTLY, THE PROPOSED GRADING CONCEPT WILL INCREASE THE AMOUNT OF PONDING FOR THE PROPOSED CONDITION. THE PARKING LOT PONDING WILL BE CENTERED AROUND THE PROPOSED STORM INLET, LOCATED AT LOW POINT OF THE PROPOSED CONCRETE PAN. THIS WILL ALLOW FOR A MAJORITY OF THE PONDING VOLUME TO BE CONTAINED IN THE PARKING LOT, AS WELL AS ALLOW FOR INCREASED SLOPES ON SITE. LOCALIZED INLET PONDING AROUND THE OTHER PROPOSED STORM INLETS, WITH A MAXIMUM DEPTH OF 12 INCHES, WILL ADD ADDITIONAL PONDING VOLUME FOR THE PROPOSED CONDITION. THE AMOUNT OF PONDING VOLUME PROVIDED WILL BE APPROXIMATELY 18,350 CUBIC FEET, WHILE SIMULTANEOUSLY DECREASING THE 100 YEAR PONDING ELEVATION. PER THE APPROVED DRAINAGE REPORT, A DISCHARGE RATE OF 0.3 CFS PER ACRE WILL BE MAINTAINED FOR THE SITE. THE EXISTING ORIFICE PLATE WILL BE UTILIZED, AS THE PROPOSED STORM SEWER WILL CONNECT TO THE EXISTING SYSTEM UPSTREAM OF THIS ORIFICE PLATE. WITH THESE PROPOSED ENHANCEMENTS, WITH AN EMPHASIS ON AT A MINIMUM MAINTAINING A PONDING VOLUME NEUTRAL CONCEPT, THE PROPOSED CHICK-FIL-A WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE.

- Table 1: Commercial Building & Lot Standards -

#	Page	Requirement Name	Amount	Proposed	Difference between Required & Proposed	Deviation & Classification
1	5-36	Building Front Facade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56=86.5 feet difference, or 30%	30%- Major
2	5-36	Front Yard-Setback	10-foot maximum	24-75 feet from building	14.75 feet, 147.5% of the standard.	50% deviation is 15 feet. The EPC cannot grant deviations >50%*

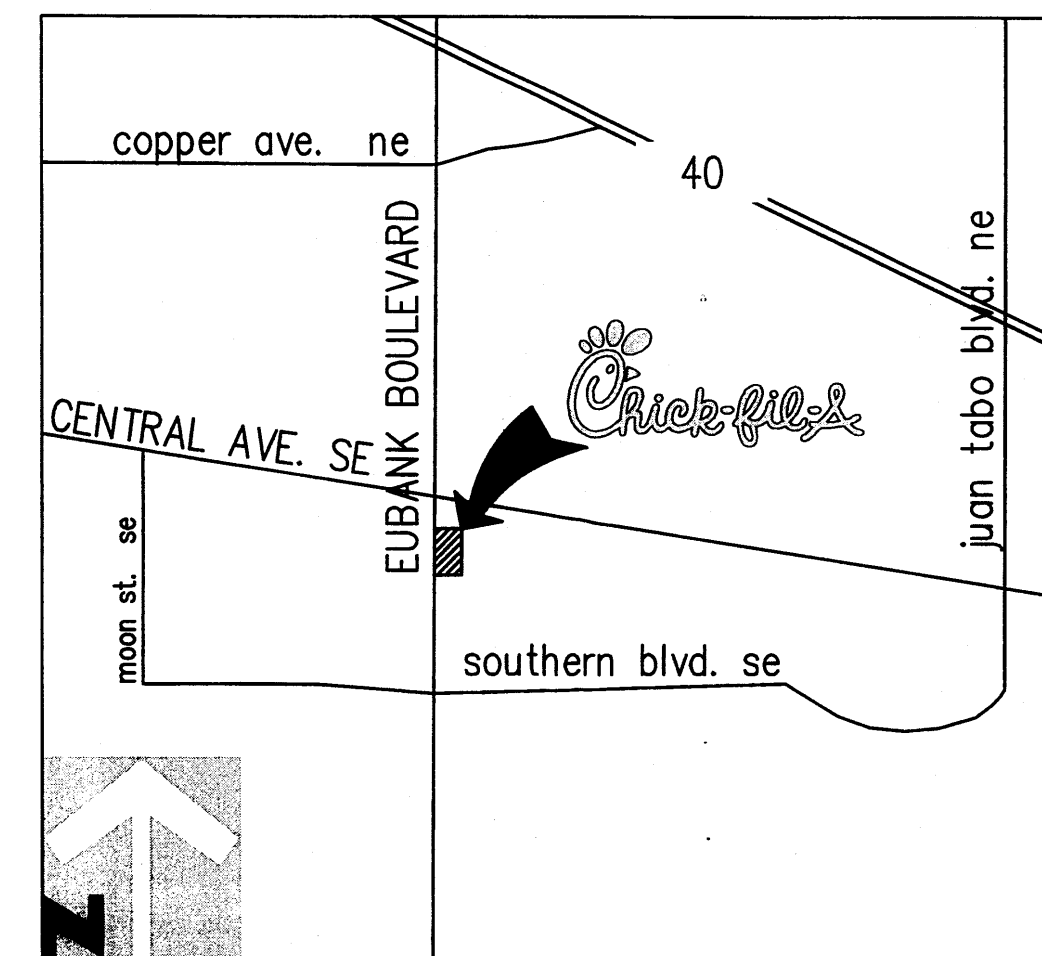
- Table 2: General Design Regulations -

#	Page	Requirement Name	Amount	Proposed	Difference between Required & Proposed	Deviation Classification
3	5-46	Building Facade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56=86.5 feet difference, or 30%	30%- Major
4	5-48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces.	12 extra spaces, a third of the standard	36%- Major
5	5-55	Drive-up windows and Ordering Panels at Rear of Building	--	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the building	non-dimensional standard requiring review
6	5-56	No portion of queuing lane within 40 feet of street-facing facades	--	Queuing lane is within 25 feet of street facing facade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

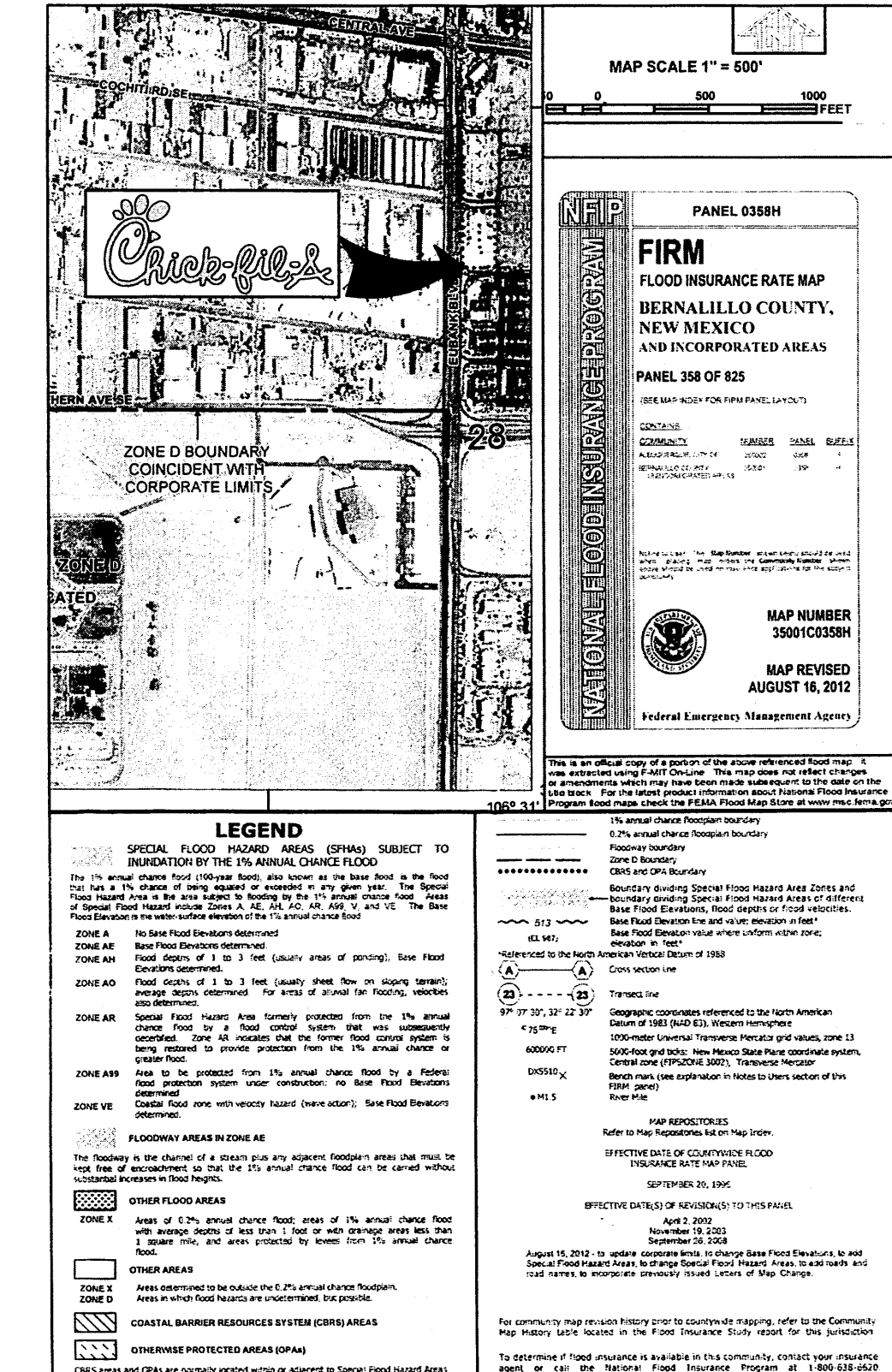
Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still non-dimensional standards.

NOTES

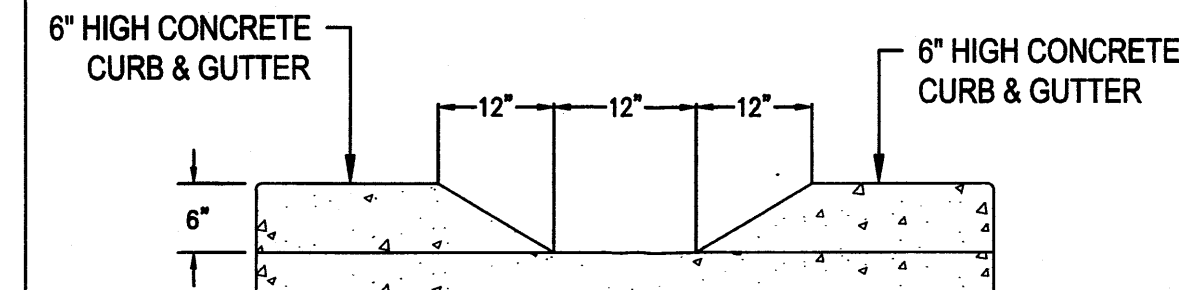
- ALL ELEVATIONS SHOWN ARE 54XX.XX'
- ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION. REFER TO SHEET 4 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
- CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
- LOCALIZED INLET PONDING DEPTH TO BE A MAXIMUM OF 12 INCHES.
- ALL PROPOSED CONSTRUCTION WILL OCCUR INSIDE LIMITS OF DISTURBANCE. EXISTING SITE FEATURES OUTSIDE LIMITS OF DISTURBANCE TO REMAIN.
- ALL OFF-SITE WORK WILL BE COORDINATED WITH HOME DEPOT. ALL UTILITY WORK TO OCCUR DURING OFF-PEAK HOURS TO MINIMIZE DISRUPTION TO HOME DEPOT OPERATION.



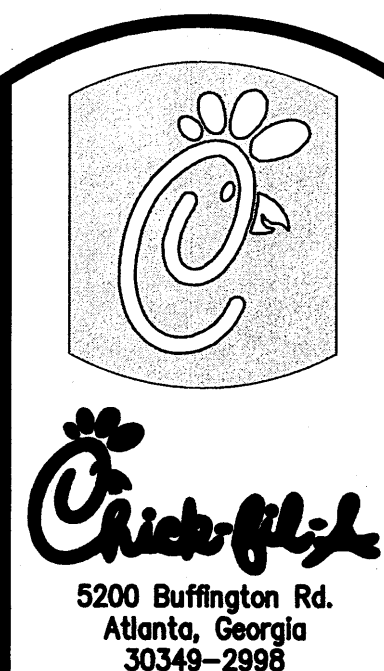
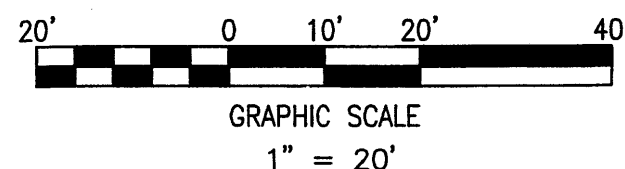
1 VICINITY MAP
NOT TO SCALE



2 FLOOD INSURANCE MAP
NOT TO SCALE



3 12" DRAINAGE CURB CUT DETAIL
NOT TO SCALE



Revisions:	Mark	Date	By
	△	07/23/14	EF
	△	08/27/14	EF
	△	09/16/14	EF
	△	09/26/14	EF
	△	10/24/14	EF
	△	11/07/14	EF
	△	11/21/14	EF
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	△	02/09/15	EF



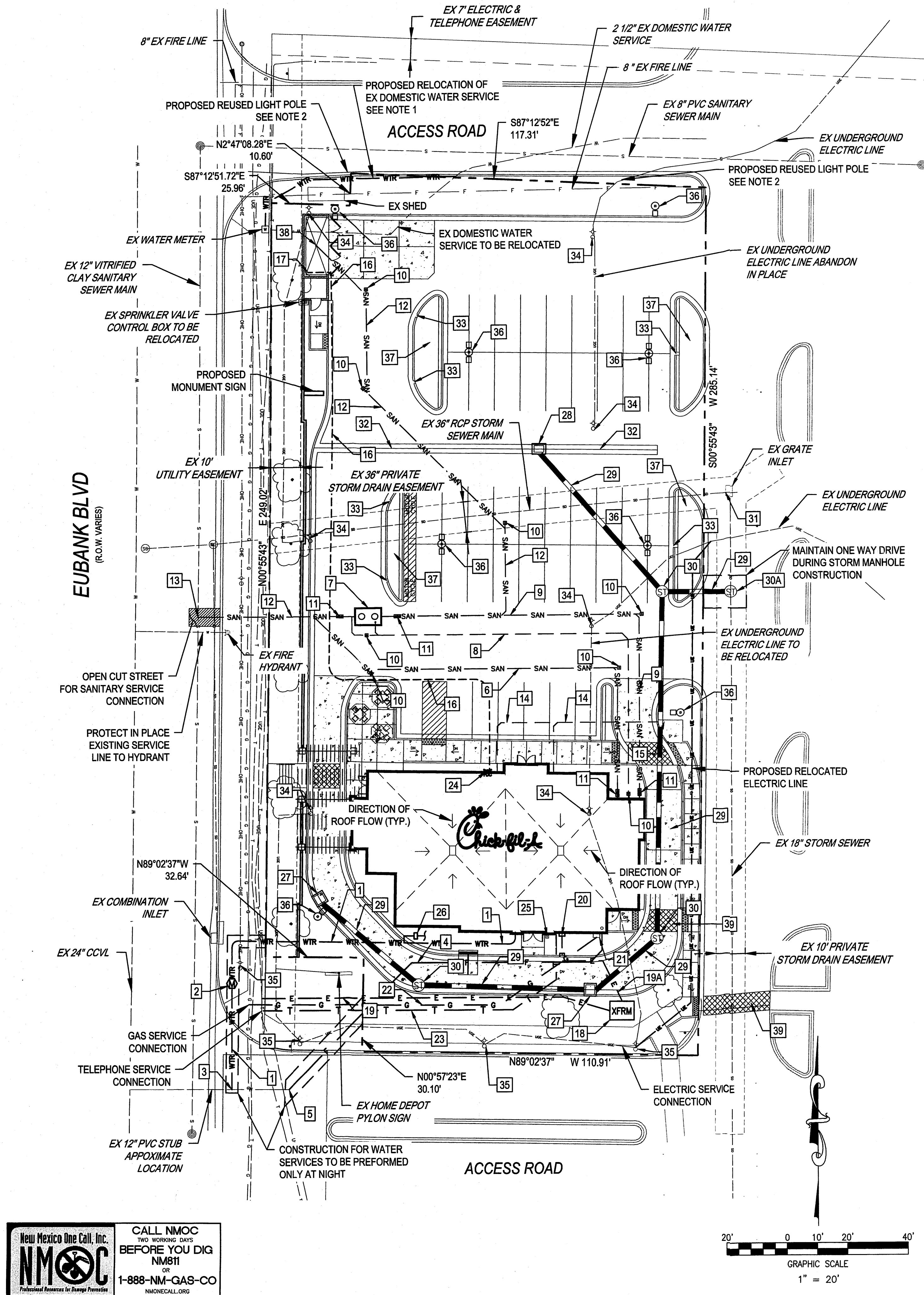
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87123

SHEET TITLE
GRADING PLAN

DWG EDITION ---
Job No. :65118257
Store : 03235
Date :04/10/14
Drawn By : JD
Checked By : TDK

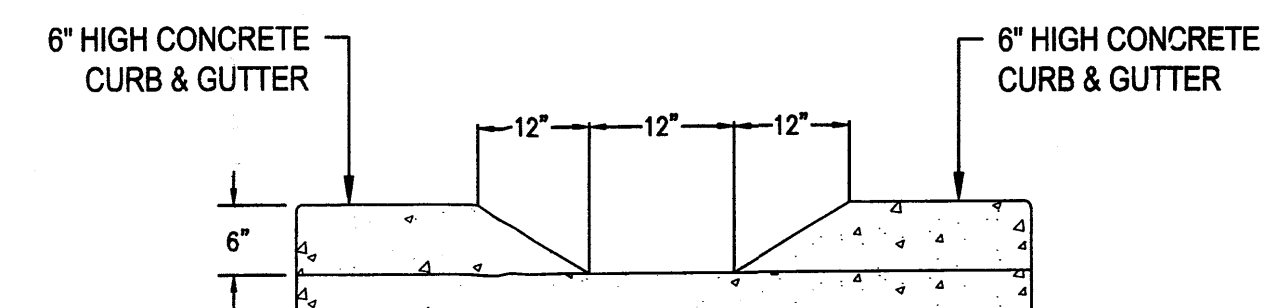
Sheet

3



PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- 1 1/2" TYPE K COPPER DOMESTIC WATER SERVICE (PRIVATE)
- 1 1/2" WATER METER (PRIVATE)
- DOMESTIC WATER SERVICE CONNECTION TO EXISTING STUB
- 4" D.I.P. FIRE SERVICE (PRIVATE)
- PRIVATE FIRE SERVICE CONNECTION TO EX WATER STUB
- 4" PVC RESTROOM WASTE SERVICE LINE (PRIVATE)
- GREASE INTERCEPTOR
- 3" VENT LINE
- 4" PVC KITCHEN WASTE LINE (PRIVATE)
- 4" ONE-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 4" PVC WASTEWATER SERVICE LINE (PRIVATE)
- 4" WASTEWATER SERVICE CONNECTION TO EX SANITARY SEWER MAIN
- 6" PVC ROOF DRAIN PIPE (PRIVATE)
- 6" ROOF DRAIN CONNECTION TO PROPOSED STORM SEWER
- 3/4" TYPE K COPPER WATER SERVICE TO YARD HYDRANT (PRIVATE)
- 3/4" YARD HYDRANT (PRIVATE)
- ELECTRIC TRANSFORMER
- ELECTRIC SERVICE LINE
- ELECTRIC METER
- GAS METER
- GAS SERVICE LINE
- TELEPHONE SERVICE LINE
- FIRE DEPARTMENT CONNECTION
- KNOX BOX
- CONNECT TO IRRIGATION SYSTEM
- TYPE C STORM SEWER INLET (PRIVATE)
- TYPE D STORM SEWER INLET (PRIVATE)
- 18" PVC STORM SEWER LINE (PRIVATE)
- 5' STORM SEWER MANHOLE (PRIVATE)
- 5' STORM SEWER MANHOLE CONNECTION TO EX STORM MAIN (PRIVATE)
- EXISTING ORIFICE PLATE ON OUTFALL OF EX GRATE INLET
- 3" WIDE CONCRETE PAN
- 1" WIDE CURB CUT FOR SURFACE RUNOFF TO BIORETENTION / ON-SITE WATER HARVESTING LANDSCAPE AREAS. SEE DETAIL 1
- EX LIGHT POLE TO BE REMOVED
- EX LIGHT POLE TO BE PROTECTED IN PLACE
- PROPOSED LIGHT POLE
- BIO-RETENTION / ON-SITE WATER HARVESTING AREA RE: LANDSCAPE
- TRASH ENCLOSURE DRAIN. CONNECT TO PROPOSED SANITARY SEWER SYSTEM
- COLOR & TEXTURED CONCRETE AT PEDESTRIAN CROSSING. RE: ARCHITECTURE



NOTE:

- CONTRACTOR TO USE EXTREME CAUTION IN THIS AREA TO ENSURE THAT THE EXISTING SHED WILL BE PROTECTED IN PLACE. CONTRACTOR TO COORDINATE WITH HOME DEPOT STORE MANAGER TO LIMIT THE AMOUNT OF DISTURBANCE TO HOME DEPOT OPERATION. WORK CAN BE COMPLETED AT NIGHT BETWEEN 10PM & 6AM IF NEEDED.
- FOR EXISTING LIGHT POLES TO BE REMOVED CONTRACTOR TO PRESERVE & SAVE LIGHT POLES AND FIXTURES. LIGHT POLES REMOVED ALONG EUBANK TO BE REUSED FOR INSTALLATION OF LIGHT POLES ALONG NORTH ACCESS. ALL OTHER LIGHT POLES AND FIXTURES TO BE RETURNED TO HOME DEPOT.

UTILITY LEGEND:

— F —	PROPOSED FIRE SERVICE
— WTR —	PROPOSED ROOF DRAIN
— SAN —	PROPOSED WATER MAIN
— G —	PROPOSED SANITARY SEWER
— E —	PROPOSED GAS
— T —	PROPOSED ELECTRIC
—	PROPOSED TELEPHONE
—	PROPOSED STORM LINE
—	WATER METER
—	GREASE TRAP
—	STORM INLET
—	STORM MANHOLE
—	PROPOSED LIGHT POLE
—	COLOR & TEXTURED CONCRETE
—	EXISTING STORM MANHOLE
—	EXISTING SANITARY MANHOLE
—	EXISTING STORM INLET
—	EX FIRE HYDRANT
—	EX LIGHT POLE
—	EX SPRINKLER CONTROL VALVE/BOX
—	EX WATER METER
—	EX OVERHEAD ELECTRIC LINE
—	EX UNDERGROUND ELECTRIC LINE
—	EX WATER LINE
—	EX TELEPHONE SERVICE LINE
—	EX STORM LINE
—	EX SANITARY SEWER LINE
—	EX FIRE LINE
—	EX GAS LINE

MATERIALS TABLE

TYPE	QUANTITY	TYPE	QUANTITY
4" D.I.P.	62 LINEAR FEET	5' STORM SEWER MANHOLE	4
3/4" TYPE K COPPER PIPE	223 LINEAR FEET	TYPE C STORM SEWER INLET	2
1-1/2" TYPE K COPPER	102 LINEAR FEET	TYPE D STORM SEWER INLET	1
4" PVC SANITARY	237 LINEAR FEET	ONE-WAY CLEANOUT	5
3" PVC SANITARY	118 LINEAR FEET	TWO-WAY CLEANOUT	4
6" PVC ROOF DRAIN	75 LINEAR FEET	CURB CUTS	6
GAS SERVICE	125 LINEAR FEET		
ELECTRIC SERVICE	45 LINEAR FEET		
TELEPHONE SERVICE	121 LINEAR FEET		
18" PVC STORM PIPE	305 LINEAR FEET		

Deviations Requested- Staff Summary Tables

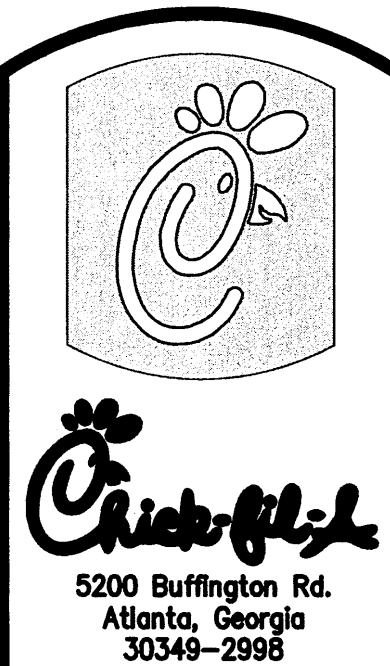
- Table 1: Commercial Building & Lot Standards -

#	Page	Requirement	Amount	Proposed	Difference between Required & Proposed	Deviation & Classification
1	5-36	Building Front Facade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56=86.5 feet difference, or 30%	30%- Major
2	5-36	Front Yard Setback	10-feet minimum	24.75-feet from building	14.75-feet, 147.5% of the standard.	50% deviation is 15 feet. The EPC cannot grant deviations > 50%.

- Table 2: General Design Regulations -

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4	5-48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces.	12 extra spaces, a third of the standard	36%- Major
5	5-55	Drive-up windows and Ordering Panels at Rear of Building	--	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the building	non-dimensional standard requiring review
6	5-56	No portion of queuing lane within 40 feet of street-facing facades	--	Queuing lane is within 25 feet of street facing facade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
07/23/14 EF

Mark Date By
08/27/14 EF

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09/16/14 EF

Mark Date By
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10/24/14 EF

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Mark Date By
11/21/14 EF

Mark Date By
12/22/14 EF

Mark Date By
01/05/15 EF

Mark Date By
01/09/15 EF

Mark Date By
02/09/15 EF

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #03235
CENTRAL & EUBANK
210 EUBANK
BOULEVARD SE
ALBUQUERQUE, NM
87123

SHEET TITLE

UTILITY PLAN

DWG EDITION

Job No. : 65118257

Store : 03235

Date : 04/10/14

Drawn By : JD

Checked By : TDK

Sheet

Deviations Requested- Staff Summary Tables

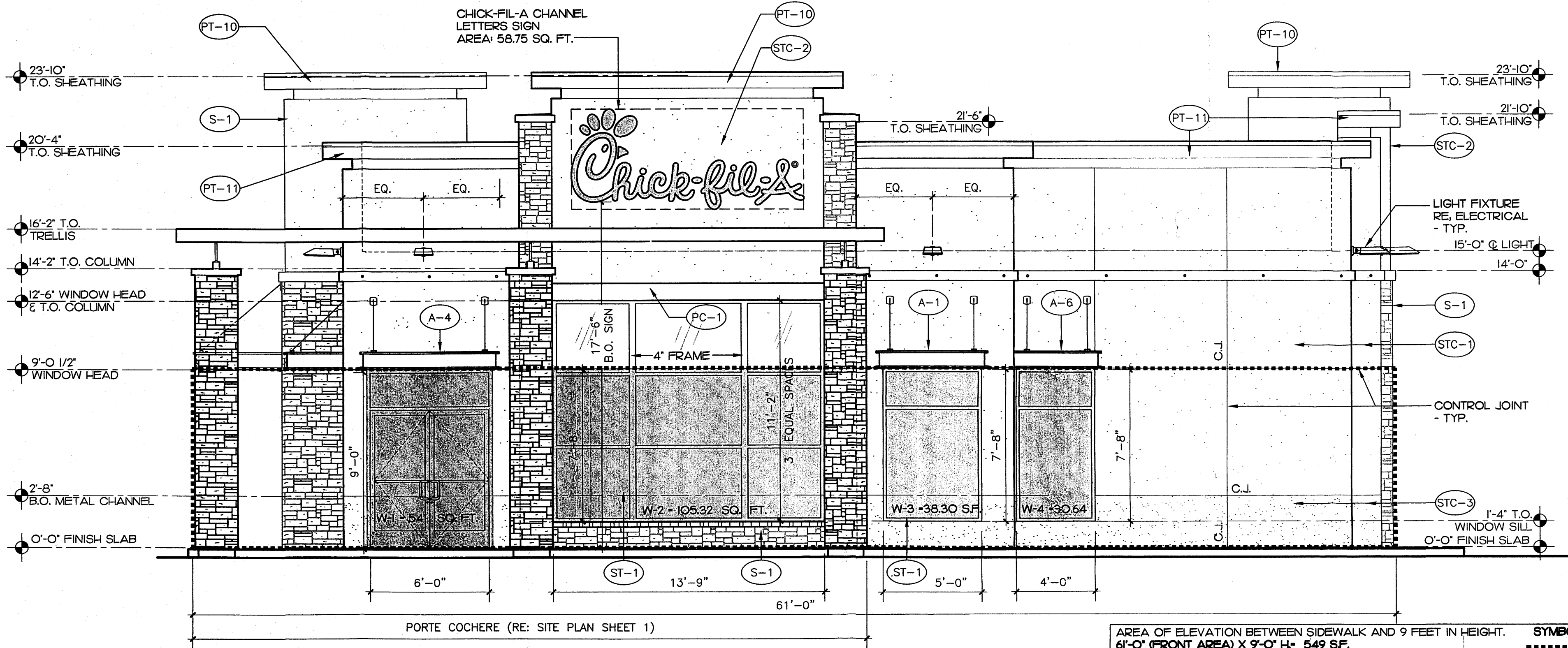
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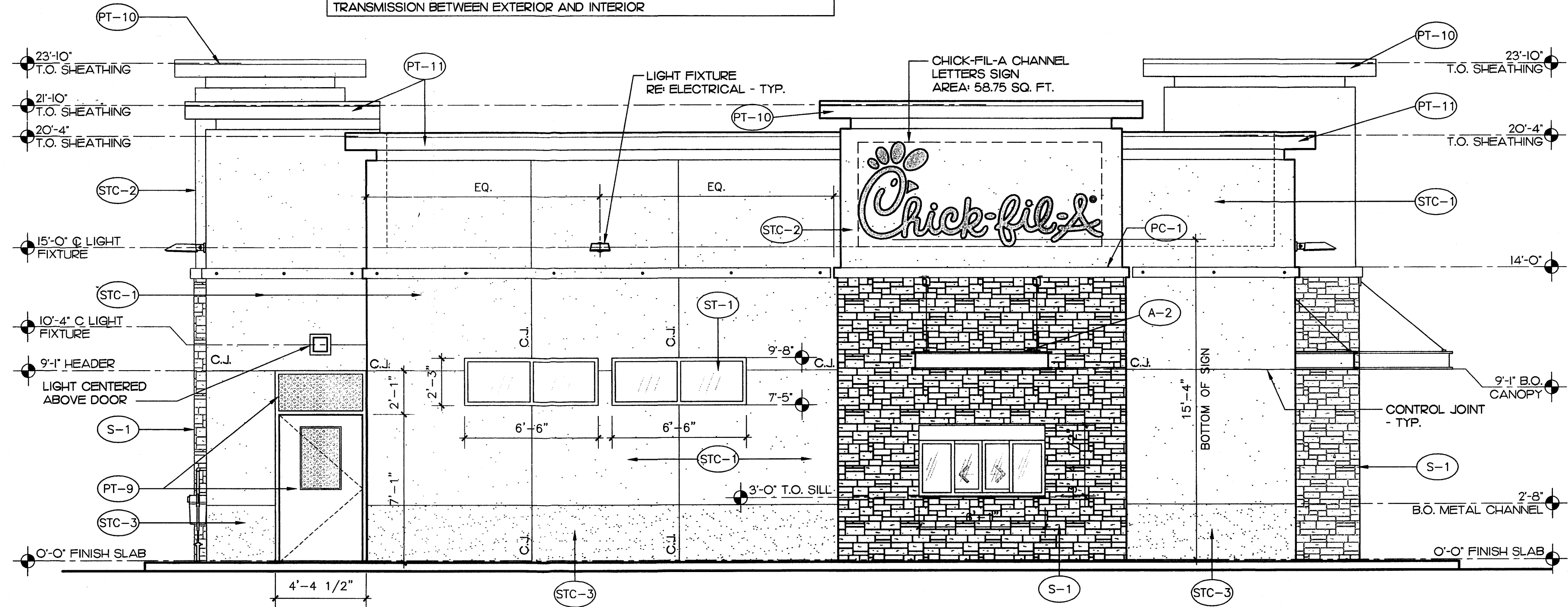
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Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.



1 WEST ELEVATION (FRONT ELEVATION)
1/4" = 1'-0"

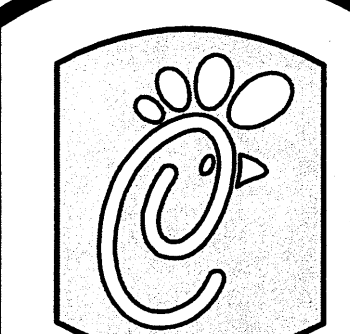


2 EAST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES - FOR STD REFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS		
STC-1	STUCCO #1 TO MATCH SHERWIN WILLIAMS #SW7565 'OYSTER BAR'	A-1 ALUMINUM AWNING - LO OVER BLADE COLOR - DARK BRONZE SIZE 5'-8" LENGTH (V.L.F.) x 3'-0" DEPTH
STC-2	STUCCO #2 TO MATCH SHERWIN WILLIAMS #SW7549 'STUDIO TAUPÉ'	A-2 ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 6'-9" LENGTH (V.L.F.) x 4'-6" DEPTH
STC-3	STUCCO #3 TO MATCH SHERWIN WILLIAMS #SW2823 'ROCKWOOD CLAY'	A-3 ALUMINUM AWNING - LO OVER BLADE COLOR - DARK BRONZE SIZE 11'-3" LENGTH (V.L.F.) x 3'-0" DEPTH
ST-1	STD REFRONT YKK - YES 45 COLOR - DARK BRONZE (MATE)	A-4 ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 7'-0" LENGTH (V.L.F.) x 4'-6" DEPTH
PF-7	PAINT #7 SHERWIN WILLIAMS, #SW2807 'ROCKWOOD (MEDIUM BROWN)' SEMI GLOSS FINISH	A-5 ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 8'-0" LENGTH (V.L.F.) x 4'-6" DEPTH
PF-9	PAINT #9 SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR - DARK BRONZE (SEMI GLOSS)	A-6 ALUMINUM AWNING - LO OVER BLADE COLOR - DARK BRONZE SIZE 4'-5" LENGTH (V.L.F.) x 3'-0" DEPTH
PT-10	PAINT #10 SHERWIN WILLIAMS - #SW7549 'STUDIO TAUPÉ', FLAT FINISH	S-1 STONE VENEER CORONADO STONE PRO-LEDGE 'CROSSROADS'
PT-11	PAINT #11 SHERWIN WILLIAMS - #SW7565 'OYSTER BAR', FLAT FINISH	

SIGN NOTES:
BODY: S/F CUSTOM FABRICATED ALUMINUM CABINET CONSTRUCTED OF .040 WITH .080 ALUMINUM BACKS. ALUMINUM RETURNS STAPLED TO BACKS.
FACES: .1875 ROHM & HAAS #2793 RED ACRYLIC
RETURNS: 5" DEEP RETURNS PAINTED TO MATCH BUILDING SURFACE.
STANDOFF: 1/2" STAND OFF HARDWARE
REGISTERED: .1875 CLEAR ACRYLIC FLAG WITH ARLOH #2500-253 CARDINAL RED VINYL ATTACHED TO BACK OF 'A'
ILLUMINATION: RED LED LIGHTING WITH REMOTE TRANSFORMERS.
SIGNAGE IN THE SU-2/EG-C ZONE REFERS TO THE CH-ZONE AND THE GENERAL SIGNAGE REGULATIONS, EXCEPT THAT THE LETTER HEIGHT IS NOT REGULATED.

NOTES:
1. ADVERTISING SIGNAGE ON WINDOWS SHALL NOT BE ALLOWED PER EGSDP REQUIREMENTS
2. ALL ROOF TOP EQUIPMENT SHALL BE BEHIND PARAPETS AND BELOW TOP OF PARAPETS



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

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△	11/21/14	EF
△	12/22/14	CD
△	01/05/15	EF
△	01/09/15	CD
△	02/09/15	EF

C · R · H · O

Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
CHICK-FIL-A #03235
RESTAURANT
CENTRAL & EUBANK

210 Eubank Blvd SE
ALBUQUERQUE, NM
87123

SHEET TITLE
EXTERIOR
ELEVATIONS

VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By :
Checked By: R.H.

Sheet

6

Deviations Requested- Staff Summary Tables

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SIGN NOTES:

BODY: S/F CUSTOM FABRICATED ALUMINUM CABINET CONSTRUCTED OF .040 WITH 0.80 ALUMINUM BACKS. ALUMINUM RETURNS STAPLED TO BACKS.

FACES: .1875 ROHM & HAAS #2793 RED ACRYLIC

RETURNS: 5" DEEP RETURNS PAINTED TO MATCH BUILDING SURFACE.

STANDOFF: 1/2" STAND OFF HARDWARE

REGISTERED: .1875 CLEAR ACRYLIC FLAG WITH ARLO #2500-253 CARDINAL RED VINYL ATTACHED TO BACK OF 'A'

ILLUMINATION: RED LED LIGHTING WITH REMOTE TRANSFORMERS.

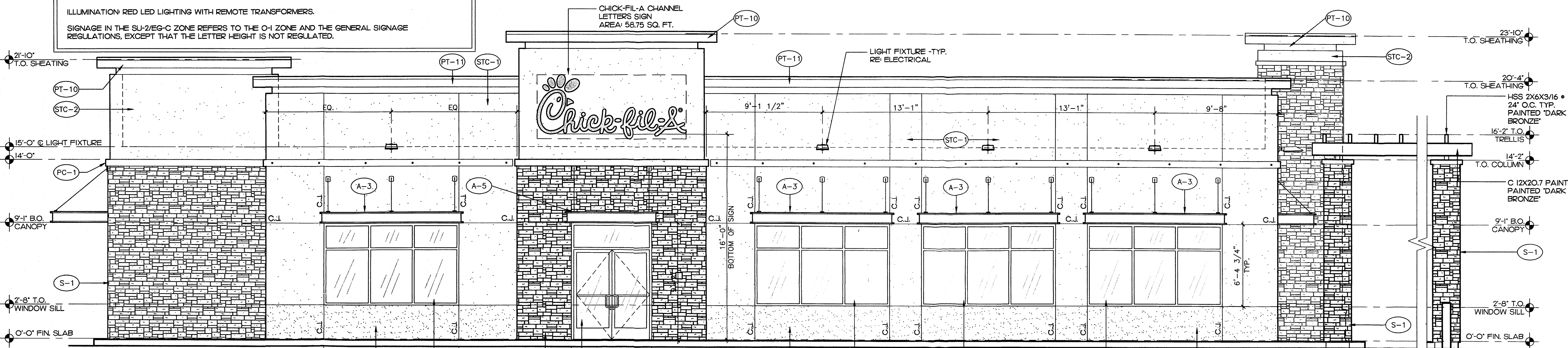
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EXTERIOR FINISHES - FOR STORE REFRONTING LAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS			
(STC-1)	STUCCO #1 TO MATCH SHERWIN WILLIAMS #SW7565 'OYSIER BAR'	(A-1)	ALUMINUM AWNING - LOUVER BLADE COLOR - DARK BRONZE SIZE 5'-8" LENGTH (V.L.F.) x 3'-0" DEPTH
(STC-2)	STUCCO #2 TO MATCH SHERWIN WILLIAMS #SW7549 'STUDIO TAUPÉ'	(A-2)	ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 6'-9" LENGTH (V.L.F.) x 4'-6" DEPTH
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(ST-1)	STO REFRONT YKK - YES 45 COLOR - DARK BRONZE (MATE)	(A-4)	ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 7'-0" LENGTH (V.L.F.) x 4'-6" DEPTH
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(PT-10)	PAINT #10 SHERWIN WILLIAMS - #SW7549 'STUDIO TAUPÉ', FLAT FINISH	(S-1)	STONE VENEER CORONADO STONE PRO LEDGE 'CORONADO'
(PT-11)	PAINT #11 SHERWIN WILLIAMS - #SW7565 'OYSIER BAR', FLAT FINISH		

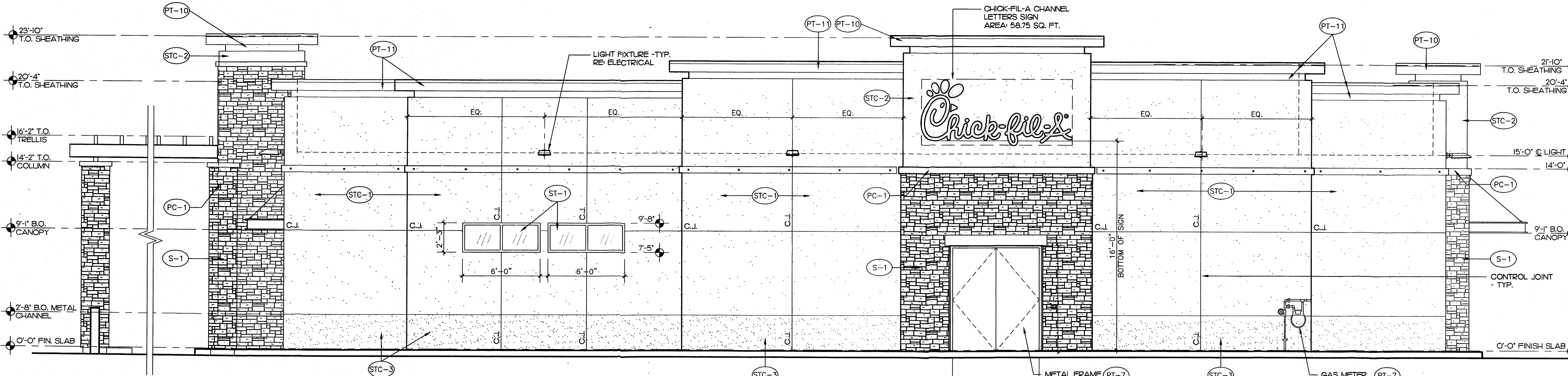


1 NORTH ELEVATION

1/4" = 1'-0"

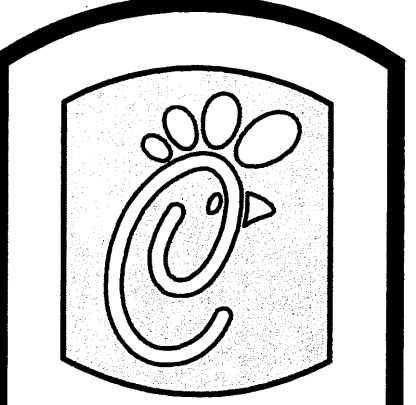
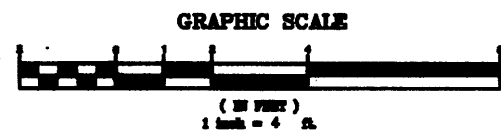
NOTES:

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2. ALL ROOF TOP EQUIPMENT SHALL BE BEHIND PARAPETS AND BELOW TOP OF PARAPETS



2 SOUTH ELEVATION

1/4" = 1'-0"



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△	07/23/14	EF
△	08/27/14	EF
△	09/16/14	EF
△	09/26/14	EF
△	10/24/14	EF
△	11/07/14	EF
△	11/21/14	EF
△	12/22/14	CD
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△	01/09/15	CD
△	02/09/15	EF

C · R · H · O

Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
CHICK-FIL-A #03235
RESTAURANT
CENTRAL & EUBANK

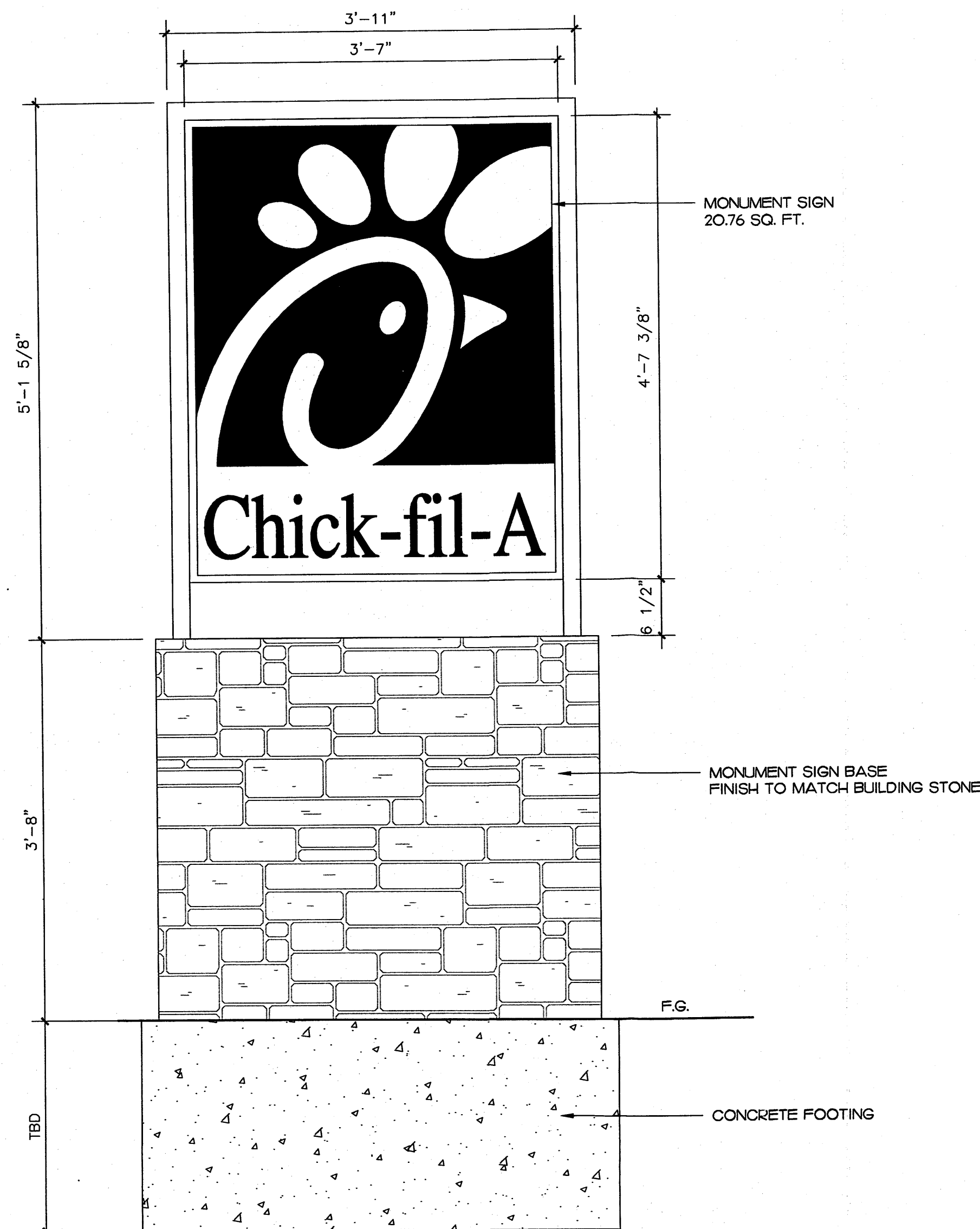
210 Eubank Blvd SE
ALBUQUERQUE, NM
87123

SHEET TITLE
EXTERIOR
ELEVATION

VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By : -
Checked By: R.H.

Sheet



SIGN SPECIFICATIONS:

MAIN CABINET: FABRICATED .080 ALUMINUM 1'-3" DEEP, WITH 1 1/2" RETAINERS AND RETURNEDS PAINTED DARK BRONZE.

FACES: MAIN CABINET WHITE LEXAN WITH APPLIED FIRST SURFACE 3M RED #3630-53 TRANSLUCENT VINYL.

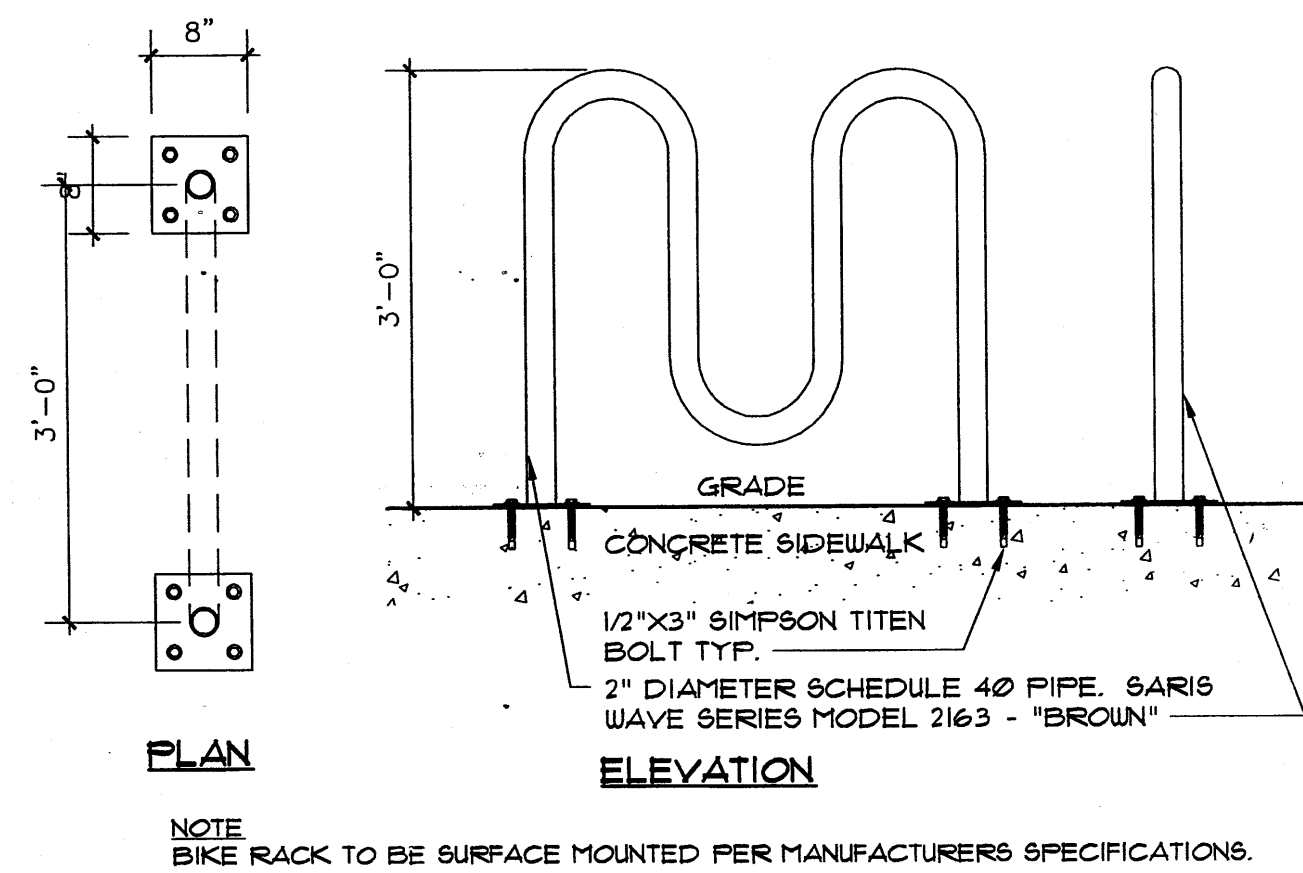
ILLUMINATION: INTERNAL T12 CW/40 FLOURESCENT LAMPS FOR MAIN CABINET.

BASE: ALUMINUM FRAME CLAD IN HARDI BACKER BOARD AND STONE VENEER TO MATCH BUILDING (TO BE DONE BY OTHERS)

SWITCH: COVERED DISCONNECT SWITCH.

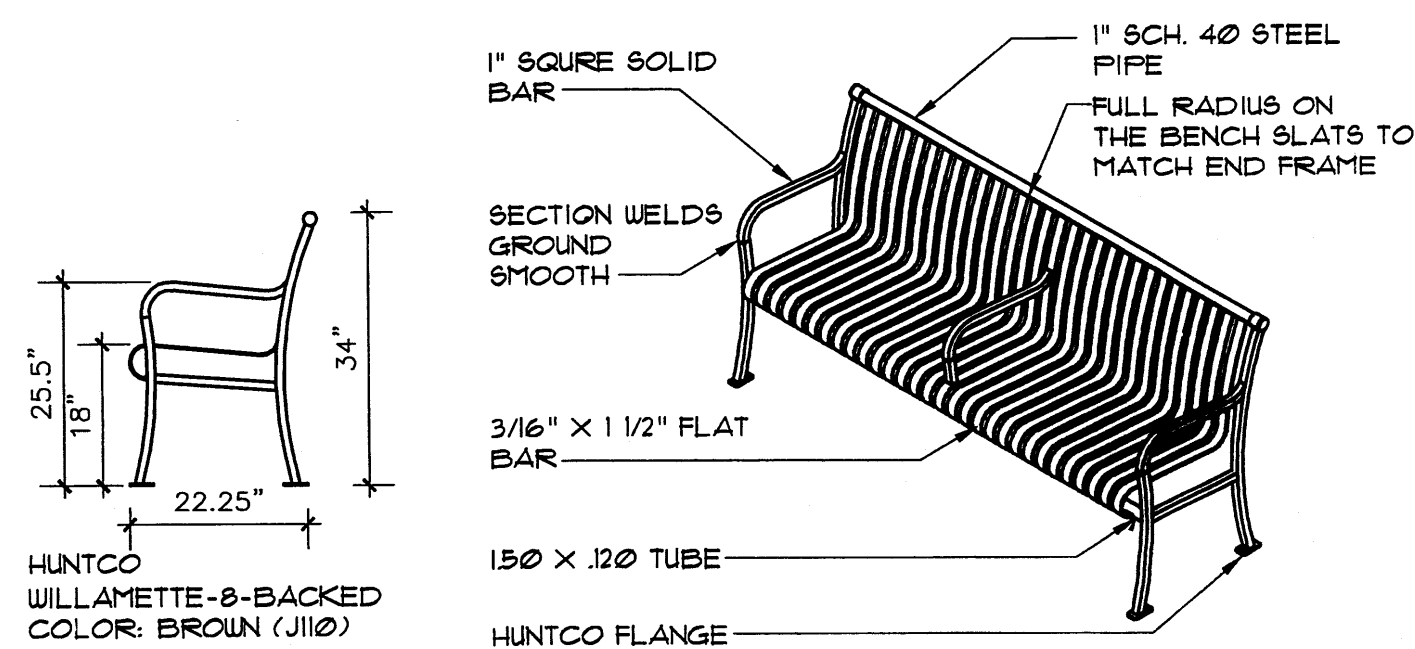
8 POLE BASE DETAIL

3/4" = 1'-0"



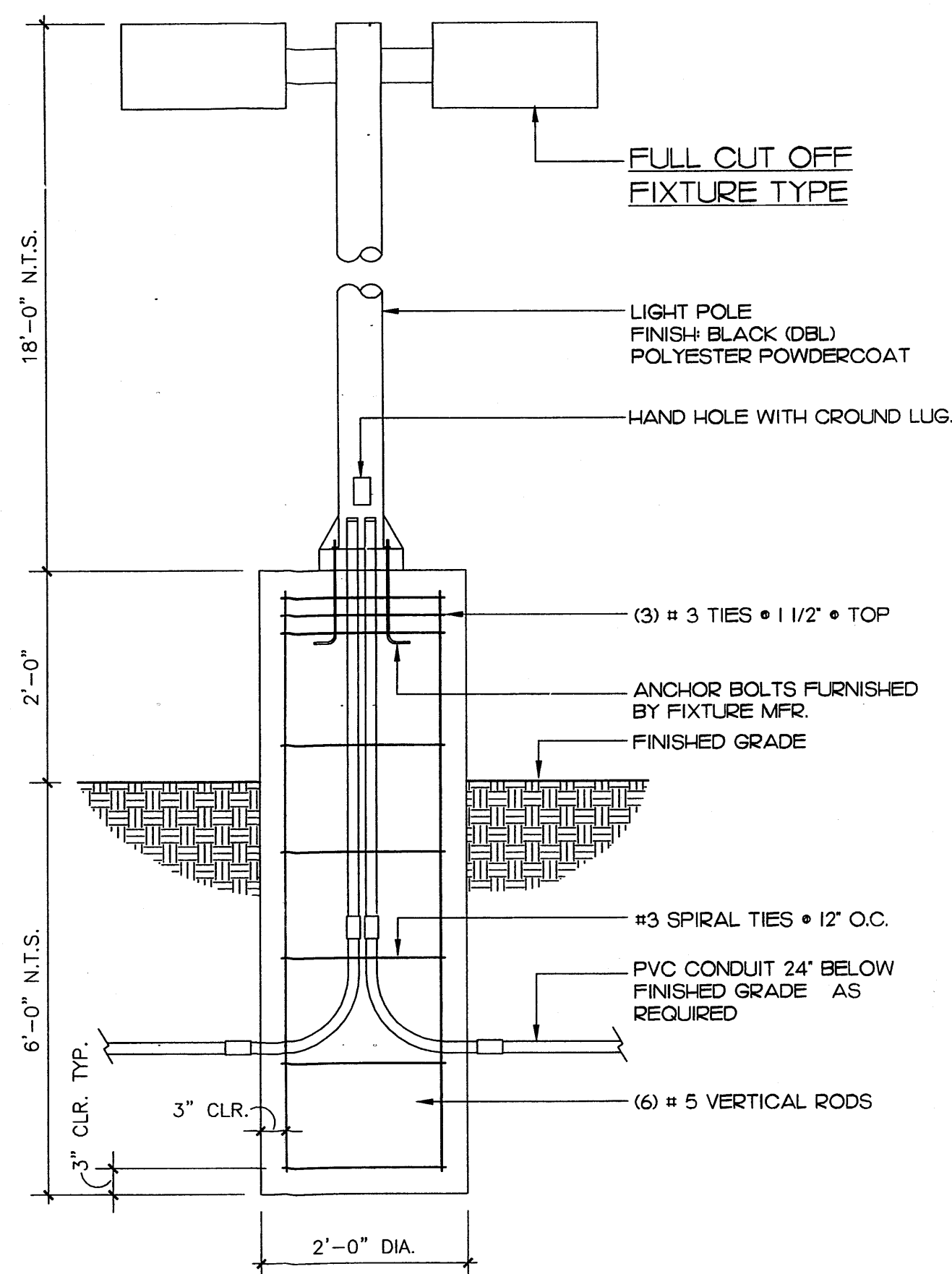
5 SURFACE MOUNTED BIKE RACK DETAIL

3/4" = 1'-0"



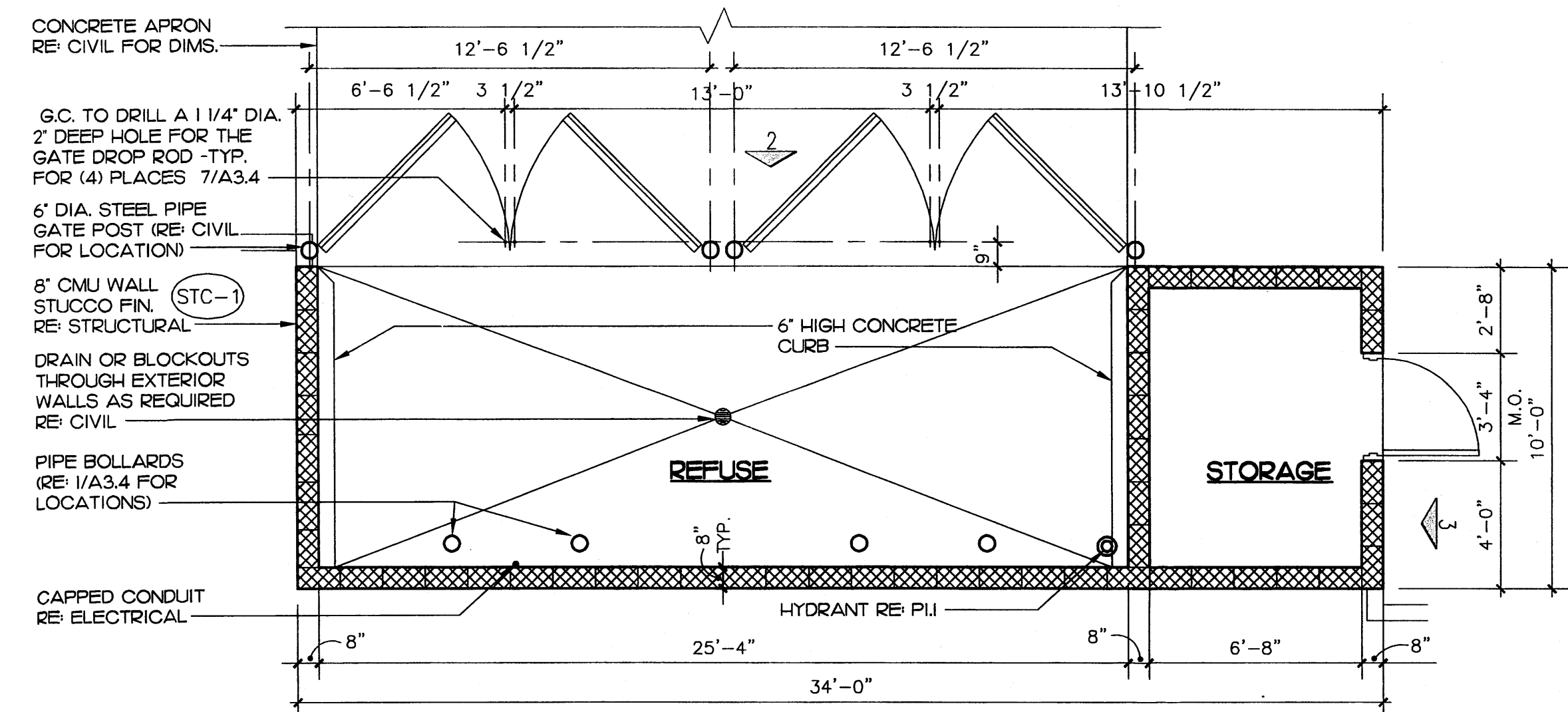
6 BENCH DETAIL

3/4" = 1'-0"



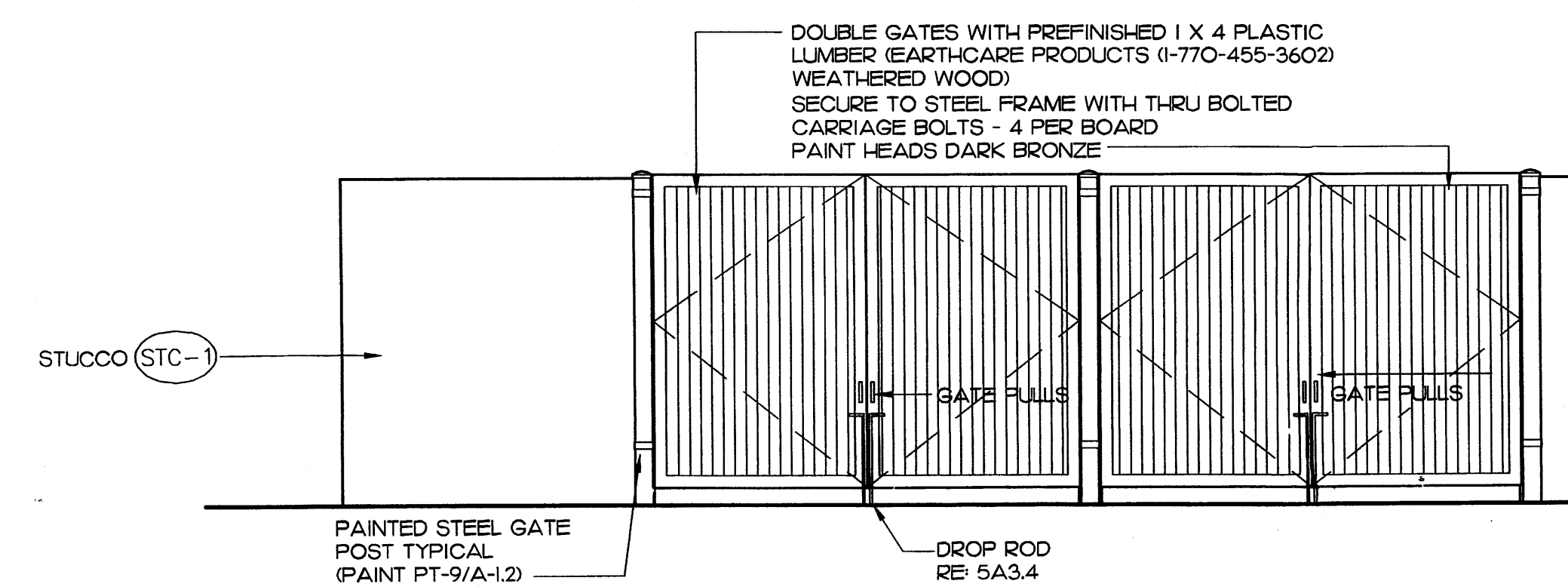
7 POLE BASE DETAIL

3/4" = 1'-0"



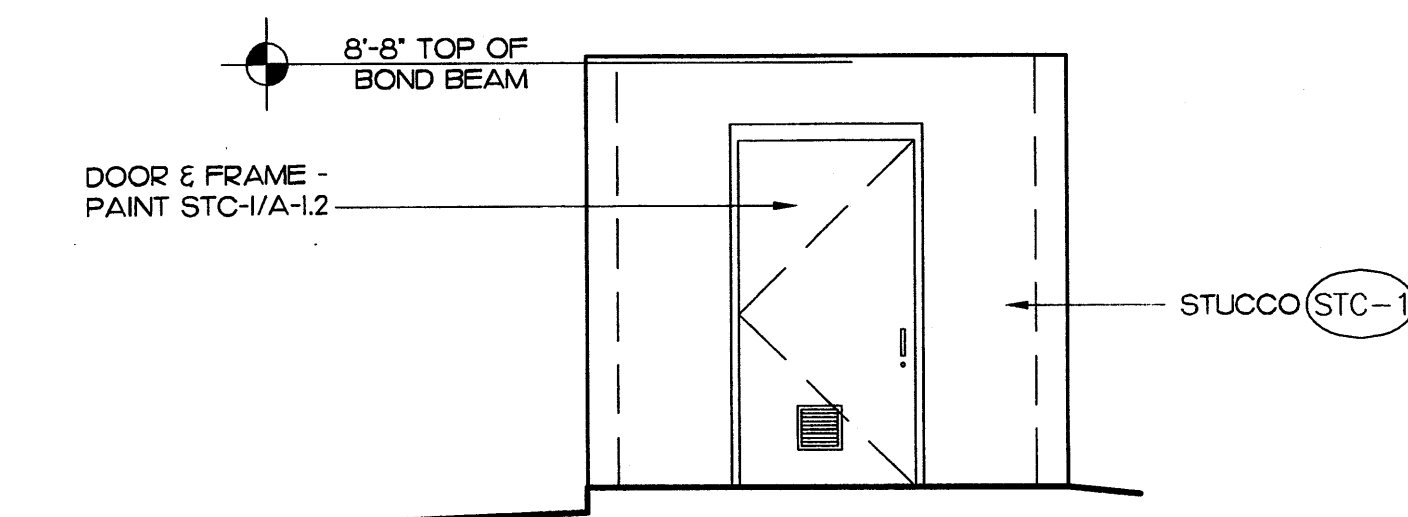
1 FLOOR PLAN

1/4" = 1'-0"



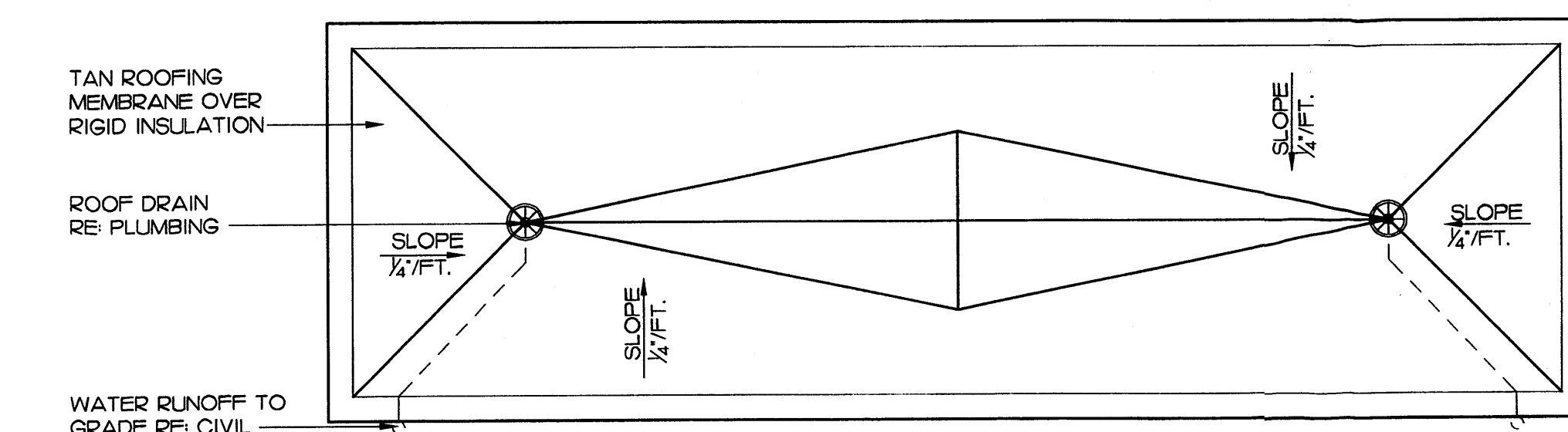
2 FRONT ELEVATION

1/4" = 1'-0"



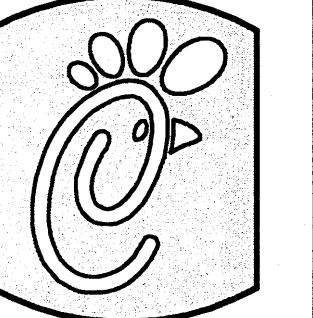
3 SIDE ELEVATION

1/4" = 1'-0"



4 ROOF PLAN

1/4" = 1'-0"



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△	02/23/14	EF
Mark	Date	By
△	08/27/14	EF
Mark	Date	By
△	09/16/14	EF
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C · R · H · O

Architecture Interior Planning
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STORE
CHICK-FIL-A #03235
RESTAURANT
CENTRAL & EUBANK

210 Eubank Blvd SE
ALBUQUERQUE, NM
87123

SHEET TITLE
REFUSE
ENCLOSURE

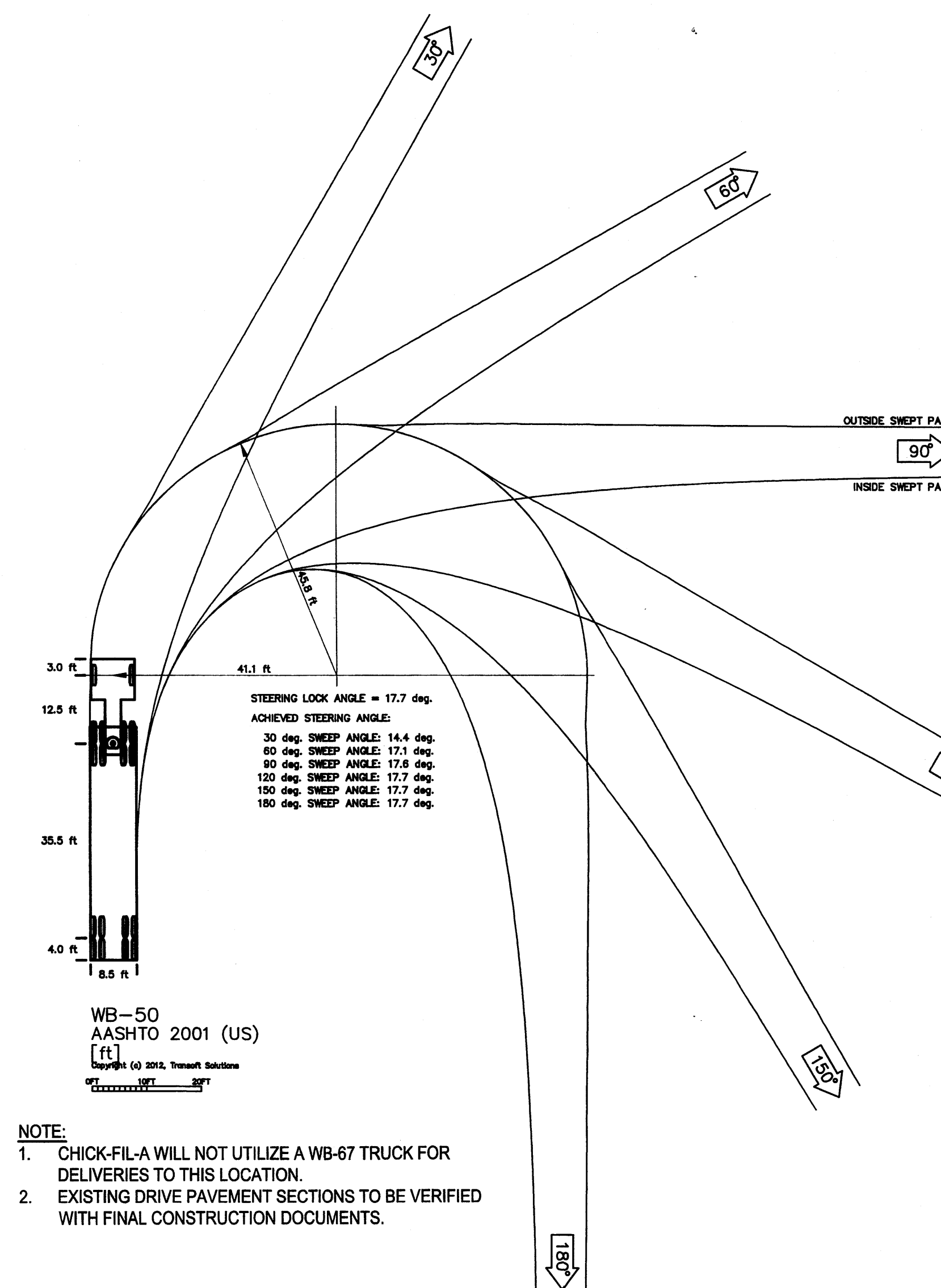
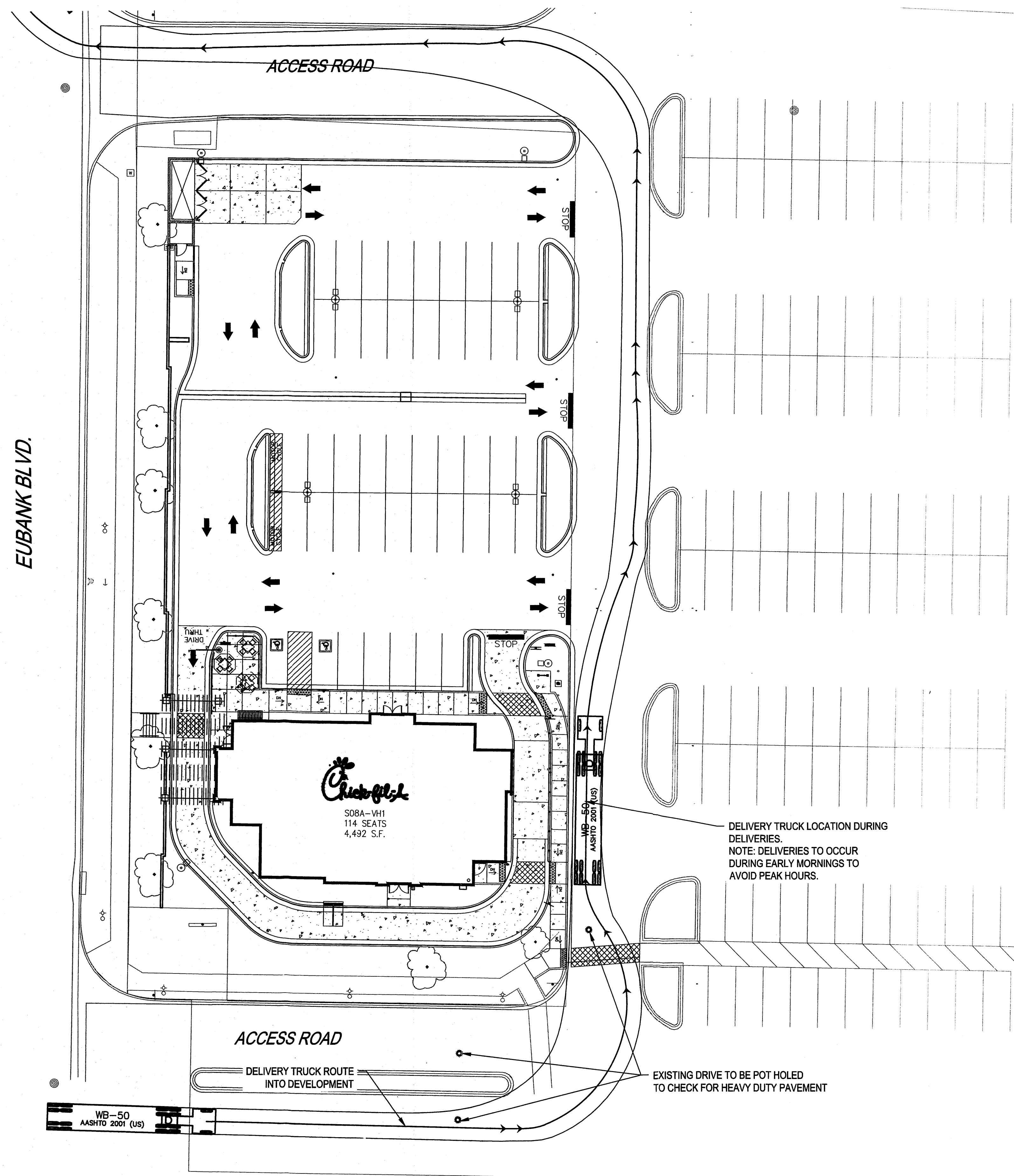
VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By : A.M.
Checked By: R.H.

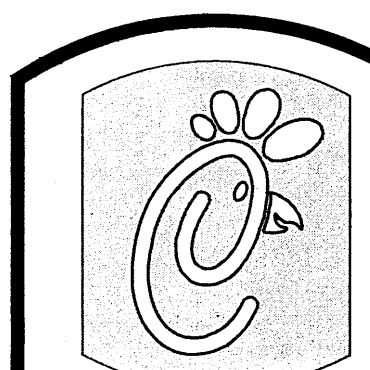
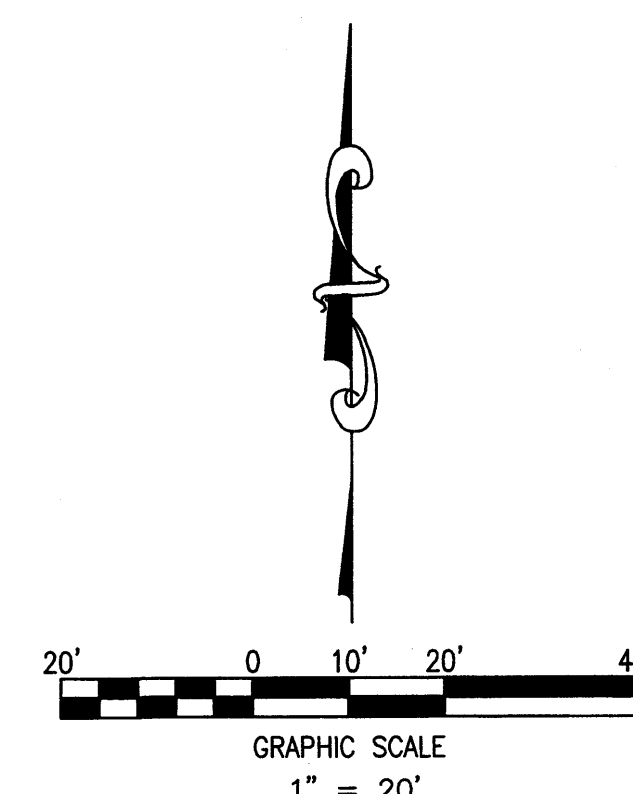
Sheet

8

EUBANK BLVD.



- NOTE:
1. CHICK-FIL-A WILL NOT UTILIZE A WB-67 TRUCK FOR DELIVERIES TO THIS LOCATION.
 2. EXISTING DRIVE PAVEMENT SECTIONS TO BE VERIFIED WITH FINAL CONSTRUCTION DOCUMENTS.



Chick-fil-A
5200 Buffington Rd.
Atlanta, Georgia
30348-2998

Revisions:
Mark Date By
A 07/23/14 EF

Mark Date By
A 08/27/14 EF

Mark Date By
A 09/16/14 EF

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A 09/26/14 EF

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A 10/24/14 EF

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A 11/07/14 EF

Mark Date By
A 11/21/14 EF

Mark Date By
A 12/22/14 EF

Mark Date By
A 01/05/15 EF

Mark Date By
A 01/09/15 EF

Mark Date By
A 02/09/15 EF

Catalina
Lehrer
2/25/15

MERRICK
& COMPANY
5200 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #03235
CENTRAL & EUBANK

210 EUBANK
BOULEVARD SE
ALBUQUERQUE, NM
87123

SHEET TITLE
DELIVERY
TRUCK ROUTE

DWG EDITION ---

Job No. : 65118257
Store : 03235
Date : 04/10/14
Drawn By : JD
Checked By: TDK

Sheet

10



BUILDING DATA

OCCUPANCY: A2 (RESTAURANT)
FIRE SPRINKLERED: YES
CONSTRUCTION: V-B
SITE AREA: 40,000 S.F.
BUILDING AREA: 4,492 S.F.
FAR: 11%
ZONING: SU-2/EGC (EAST GATEWAY CORRIDOR ZONE)



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998
PHONE: (404) 765-8000
FAX: (404) 684-8550

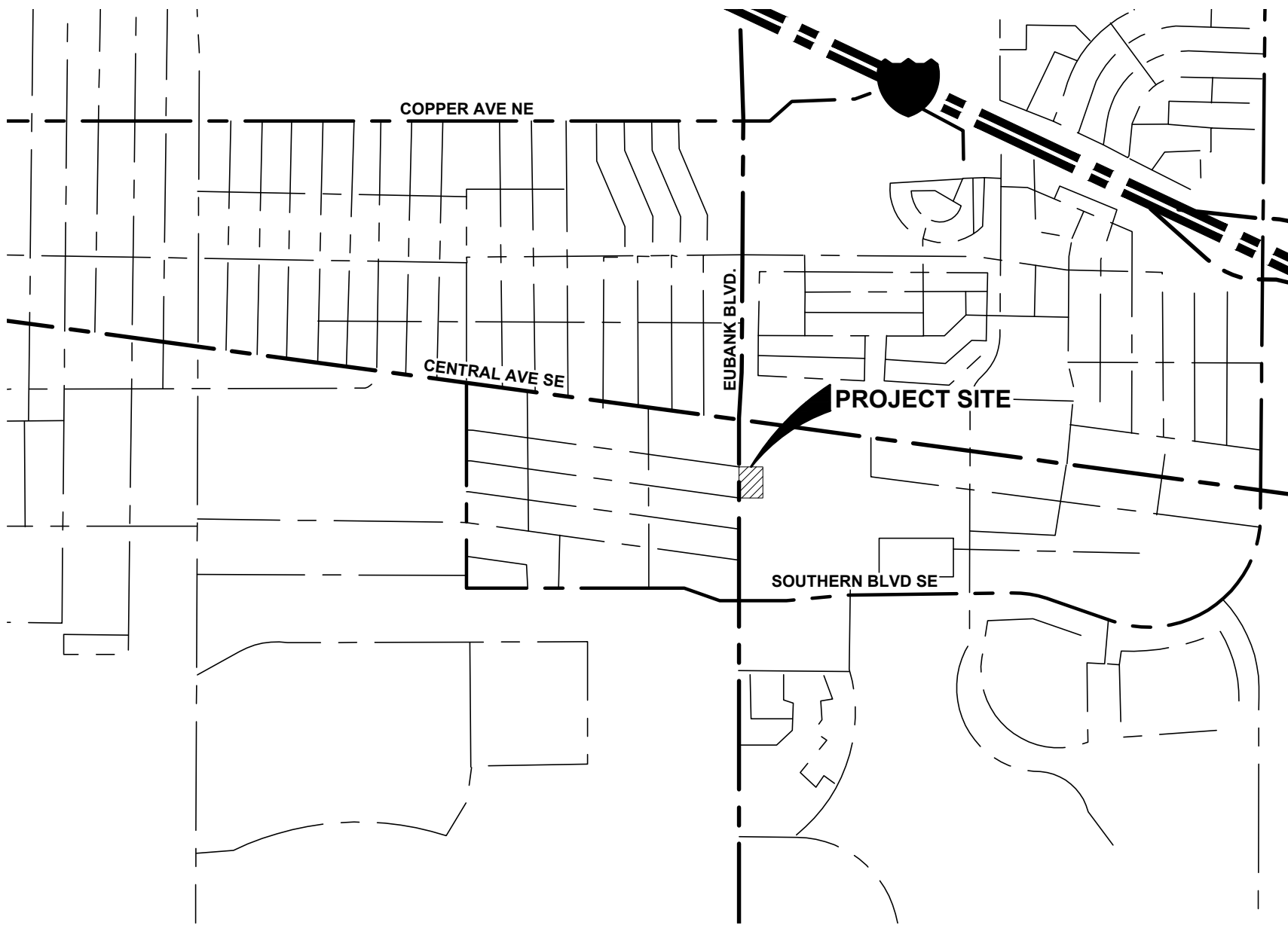
DRAWING INDEX

- 0 TITLE SHEET
- 1 SITE PLAN
- 2 LANDSCAPE PLAN
- 2A LANDSCAPE DETAILS
- 3 GRADING PLAN
- 4 UTILITY PLAN
- 5 PHOTOMETRIC SITE PLAN
- 6 EXTERIOR ELEVATIONS
- 7 EXTERIOR ELEVATIONS
- 8 REFUSE PLAN & ELEVATIONS
- 9 SITE DETAILS
- 10 EXHIBIT "A" DELIVERY TRUCK ROUTE

CHICK-FIL-A AT CENTRAL & EUBANK

TRACT B-1-A-2, OF THE PLAT OF TRACTS B-1-A-1 AND B-1-A-2, VIDEO ADDITION,
WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123



VICINITY MAP
NTS

EXISTING SHOPPING CENTER PARKING:

EXISTING HOME DEPOT (OVERALL PARKING LOT AREA): PARKING SPACES = 717

* NOTE: 717 TOTAL PARKING SPACES INCLUDES 95
WITHIN CHICK-FIL-A PROPOSED DEVELOPMENT AREA.

HOME DEPOT REQUIRED PARKING STALLS:
102,025 SQ. FT. HOME DEPOT BUILDING = 510
9,000 SQ. FT. EXISTING MISC. BUILDING = 45
TOTAL REQUIRED PARKING SPACES PER CITY PARKING ORDINANCE = 555

* NOTE: 67 EXCESS PARKING SPACES AVAILABLE WITHIN
THE HOME DEPOT PARCEL WITH THE REMOVAL OF 95
PARKING SPACES WITHIN CHICK-FIL-A PROPOSED
DEVELOPMENT AREA.

CHICK-FIL-A WILL BE ELIMINATING 95 PARKING SPACES FROM THE TOTAL OVERALL
LOT AREA. PROPOSED CHICK-FIL-A DEVELOPMENT WILL ADD 45 PARKING SPACES
TO NEW LOT AREA RESULTING IN A TOTAL NET LOSS OF 50 PARKING SPACES
BEING ELIMINATED FROM THE TOTAL OVERALL SHOPPING CENTER.

TOTAL OVERALL EXISTING PARKING SPACES = 717 SPACES
TOTAL OVERALL PARKING SPACES ELIMINATED BY CFA CARVE OUT = 50 SPACES
TOTAL OVERALL PARKING SPACES AFTER CFA DEVELOPMENT = 667 SPACES
TOTAL OVERALL PARKING SPACES REQUIRED BY CITY ORDINANCE = 555 SPACES

CHICK-FIL-A SITE PARKING REQUIREMENTS:

STANDARD SPACES REQUIRED: 1 SP / 4 SEATS = 119 / 4 = 30 SP. REQ'D
STANDARD SPACES PROVIDED: 42 SPACES
HANDICAP SPACES: 3 SPACES
TOTAL SPACES PROVIDED: 45 SPACES

MAXIMUM PARKING ALLOWED BY EGSDP
33 SPACES PLUS 50%: 49 SPACES

TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED: 2 SPACES

TOTAL BICYCLE SPACES REQUIRED - 1 PER 20 PARKING SPACES
43/20 = 2.15 3 REQUIRED
TOTAL BICYCLE SPACES PROVIDED: 5 SPACES

LANDLORD NOTES:

- CHICK-FIL-A CONTRACTORS SHALL CONTACT BOB BURNSIDE,
CONSTRUCTION MANAGER AT THE HOME DEPOT, 2 WEEKS PRIOR TO
PROJECT START DATE, 714-749-6993. SUPERINTENDENT SHALL SUPPLY
BOB BURNSIDE WITH WEEKLY STATUS REPORTS AND PICTURES OF
PROGRESS TO BOB_BURNSIDE@HOMEDEPOT.COM

Deviations Requested - Staff Summary Tables

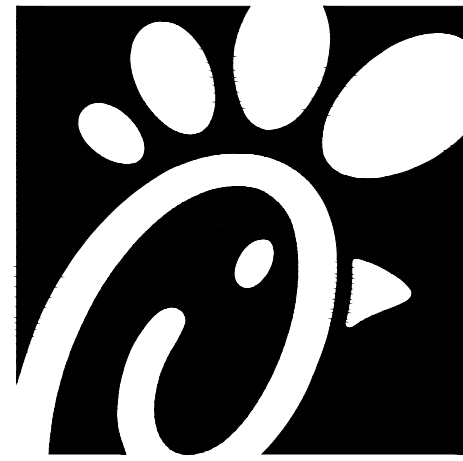
- Table 1: Commercial Building & Lot Standards -

#	Page	Requirement		Proposed	Difference between Required & Proposed	Deviation & Classification
		Name	Amount			
1	5 – 36	Building Front Façade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56 = 86.5 feet difference, or 30%	30% - Major
2	5 – 36	Front-Yard-Setback	10 feet- maximum	24.75 feet from building	14.75 feet, 147.5%- of the standard.	50% deviation is 15- feet. The EPC cannot grant deviations- >50%*

- Table 2: General Design Regulations -

#	Page	Requirement		Proposed	Difference between Required & Proposed	Deviation Classification
		Name	Amount			
3	5 – 46	Building Façade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50% 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5 - 56 = 86.5 feet difference, or 30%	30% - Major
4	5 – 48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces	12 extra spaces, a third of the standard	36% - Major
5	5 – 55	Drive-up windows and Ordering Panels at Rear of Building	—	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the	non-dimensional standard requiring review
6	5 – 56	No portion of queuing lane within 40 feet of street-facing façades	—	Queuing lane is within 25 feet of street façade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-
2998



FOR AND AND ON-BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
CENTRAL & EUBANK
210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

FSR#0000

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

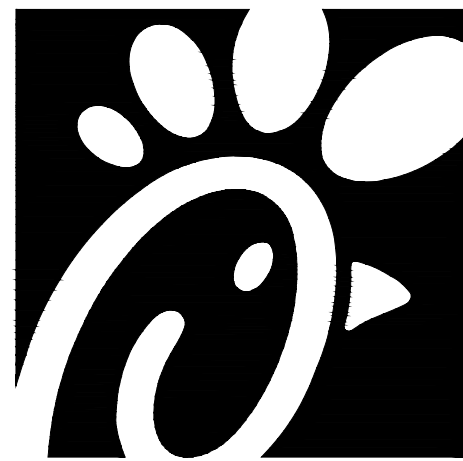
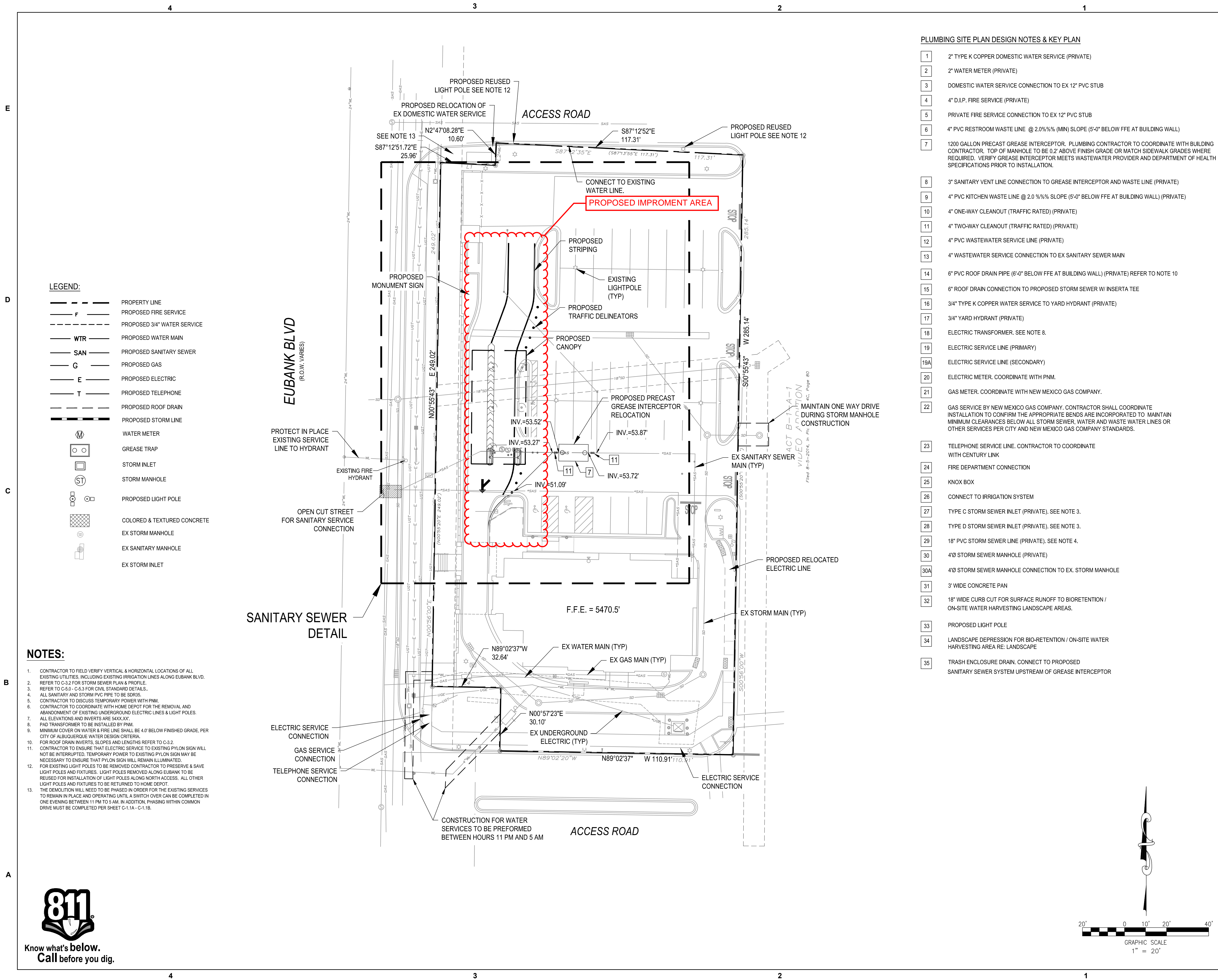
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NO.	DATE	DESCRIPTION
X	XX/XX/XX	XXXXXXXXXXXX

PROJECT STATUS

CONSULTANT PROJECT #	#####
PRINTED FOR	XXXXXXXXXX
DATE	MM/DD/YYYY
DRAWN BY	XXX
SHEET	
1229-C0.0_COVER	
SHEET NUMBER	

01

OF XX



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-
2998



FOR AND ON-BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A CENTRAL & EUBANK

FSR#0000

BUILDING TYPE / SIZE: P12 LS LRC
RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
X	XX/XX/XX	XXXXXXXXXXXX

CONSULTANT PROJECT # #####

PRINTED FOR XXXXXXXX.

DATE MM/DD/YY

DRAWN BY _____ X.

SHEET

1229-C-2.0-UTILITY PL

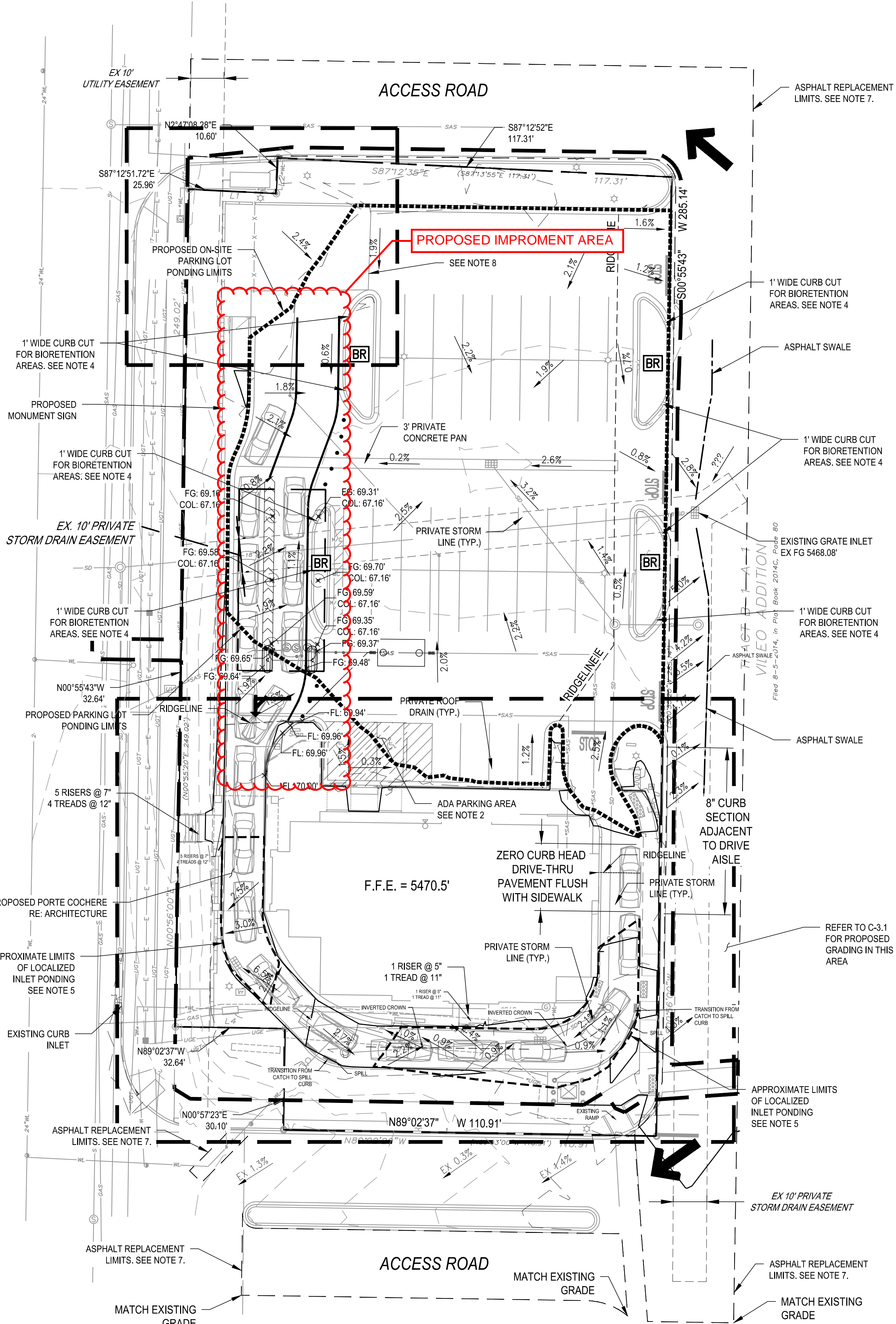
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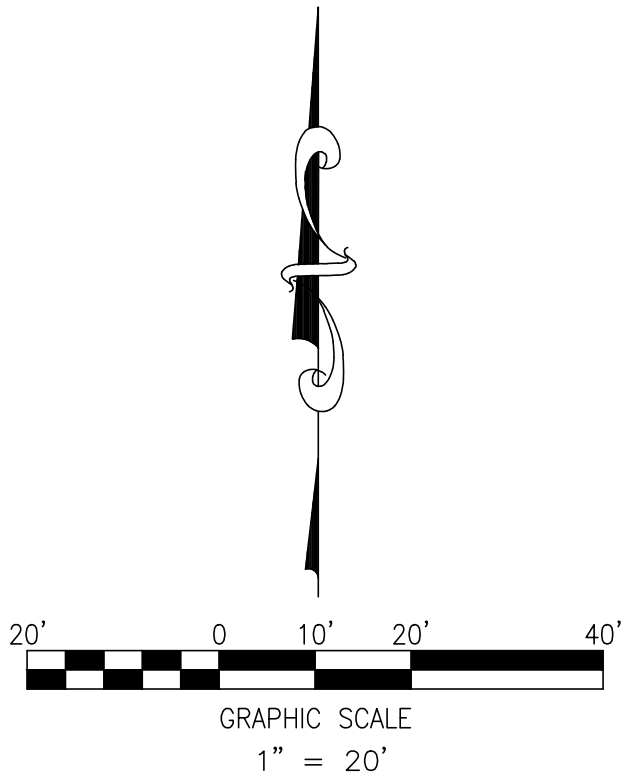
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5/16/2022 1:56 PM
00-LS-0000-A101-SHEET NAME

- NOTES**
- ALL ELEVATIONS SHOWN ARE 5400'XX'
 - ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
 - REFER TO SHEET PS-1.0 UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
 - CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
 - LOCALIZED INLET PONDING DEPTH TO BE A MAXIMUM OF 12 INCHES.
 - CONTRACTOR TO MATCH EXISTING GRADES AND MAINTAIN EXISTING DRAINAGE PATTERNS FOR ALL OFF-SITE ASPHALT REPLACEMENT.
 - CONTRACTOR TO MATCH OFF-SITE DRAINAGE PATTERNS AND ELEVATIONS AT EXISTING LIP LINE UNLESS SPECIFIED OTHERWISE.
 - REFER TO SHEET C-3.1 FOR TRASH ENCLOSURE AND BUILDING DETAIL GRADING.

EUBANK BLVD
(ROW VARIES)



- LEGEND:**
- PROPERTY LINE
 - OFF-SITE ASPHALT REPLACEMENT LIMIT
 - ASPHALT SWALE
 - PARKING LOT PONDING LIMITS
 - STORM INLET PONDING LIMITS
 - RIDGELINE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - FLOWLINE SPOT ELEVATION
 - FINISHED FLOOR SPOT ELEVATION
 - FINISHED GRADE SPOT ELEVATION
 - TOP OF CURB SPOT ELEVATION
 - EXISTING GRADE SPOT ELEVATION
 - EXISTING FLOWLINE SPOT ELEVATION
 - PROPOSED SLOPE ARROWS
 - EXISTING SLOPE ARROWS
 - PROPOSED LIGHT POLE
 - COLORED & TEXTURED CONCRETE RE: ARCHITECTURE
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM INLET
 - EMERGENCY OVERFLOW PATHWAY
 - 6" DEPRESSED BIORENTION LANDSCAPE AREA (TYP.) SEE NOTE 4



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

MERRICK®
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

FOR AND AND ON-BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
CENTRAL & EUBANK

FSR#0000
BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
X	XX/XX/XX	XXXXXXXXXXXX

PROJECT STATUS

CONSULTANT PROJECT #	#####
PRINTED FOR	XXXXXXXXXX
DATE	MM/DD/YYYY
DRAWN BY	XXX
SHEET	

1229-C-3.0 GRADING
PLAN

SHEET NUMBER
04

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☐ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ The approved Site Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ The approved Site Development Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Noted in the Justification Letter
that staff couldn't locate an Official
Notice of Decision

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan