

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

USABLE OPEN SPACE CALCULATIONS:
PER THE HUNING CASTLE & RAYNOLDS ADDITION
SECTOR DEVELOPMENT PLAN, SECTION CLD, PART 7,
USABLE OPEN SPACE REQUIREMENTS SHALL BE AS
PROVIDED IN THE R-2 ZONE IN THE COMP. CITY
ZONING CODE.

REQUIREMENT: 400SF OF USABLE OPEN SPACE PER
EFFICIENCY/1 BEDROOM DWELLING UNIT

58 EFFICIENCY/1 BEDROOM UNITS ON LOT 5 = 23,200 SF RECD OPEN SPACE
LOT 5 LANDSCAPED AREA = 16,070 SF
LOT 5 USABLE OPEN SPACE:
WALKWAYS = 6,140 SF
COMMUNITY PATIO = 700 SF
BALCONIES = 2,320 SF
2ND LEVEL ROOF PATIO = 1,574 SF
TOTAL LOT 5 USABLE OPEN SPACE = 26,804 SF

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.
- [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS.
- [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB. ANY AREA NOT DIMENSIONED IS EXISTING TO REMAIN.
- [D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS; THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAVEMENT) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [F] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS.
- [G] FUTURE BUILDING MOUNTED SIGNAGE IN ADDITION TO THOSE SHOWN ON THE EXTERIOR ELEVATIONS SHALL BE SUBMITTED AND APPROVED VIA ADMINISTRATIVE AMENDMENT. FUTURE SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION AND ALL APPLICABLE ZONING AND SECTOR DEVELOPMENT PLAN REQUIREMENTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.
- [E] PROPOSED SITE LIGHTING SHALL MATCH THE EXISTING ON-SITE.

RADIUS INFORMATION:

NOTE: RADIIUS NOT NOTED ARE EXISTING TO REMAIN.

- 1 = 2'-0" 5 = 10'-0" 9 = 30'-0"
2 = 3'-0" 6 = 15'-0" 10 = 35'-0"
3 = 4'-0" 7 = 20'-0" 11 = 40'-0"
4 = 5'-0" 8 = 25'-0" 12 = 46'-0"

EXISTING SITE DEVELOPMENT DATA:

EXISTING SITE DEVELOPMENT PLAN INFORMATION:

THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS FOR LOT 5 ONLY OF COUNTRY CLUB SUBDIVISION. LOTS 1 THRU 4 OF COUNTRY CLUB SUBDIVISION AND TRACT A-1-A OF LAGUNA SUBDIVISION ARE TO REMAIN AS EXISTING.

PROPOSED LEGAL DESCRIPTION:

LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:

BLDG. A AND B (EXISTING):
1720 CENTRAL AVE., S.W.
ALBUQUERQUE, N.M.
BLDG. 1 (EXISTING):
1718 CENTRAL AVE., S.W.
ALBUQUERQUE, N.M.
BLDG. 3 (EXISTING):
1716 CENTRAL AVE., S.W.
ALBUQUERQUE, N.M.

BLDG. C (EXISTING):
1710 CENTRAL AVE., S.W.
ALBUQUERQUE, N.M.
BLDG. 2 (EXISTING):
1720 CENTRAL AVE., S.W.
ALBUQUERQUE, N.M.

LAND AREA:

3.37 ACRES (146,975 SQ. FT. - TOTAL DEVELOPMENT)
1.63 ACRES (71,003 SQ. FT. - PROPOSED DEVELOPMENT)
(LOT 5 ONLY)

SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION
NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1
THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION
NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT
A-1-A.

BUILDING AREAS:

EXISTING BUILDING A 1,467 SF.
EXISTING BUILDING B 2,900 SF.
EXISTING BUILDING C 4,216 SF.
EXISTING BUILDING 1 5,834 SF. TOTAL
EXISTING BUILDING 2 24,932 SF. TOTAL
PROPOSED BUILDING 3 50,319 SF. TOTAL
TOTAL BUILDING AREA = 89,668 SF.
TOTAL EXISTING
RESIDENTIAL UNITS: 81 TOTAL UNITS
TOTAL RESIDENTIAL
UNITS ON SITE: 81 TOTAL UNITS

KEYED NOTES:

- [1] EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING STATION TO REMAIN.
[2] EXISTING TREE WELL TO REMAIN.
[3] EXISTING LANDSCAPING TO REMAIN.
[4] EXISTING LANDSCAPING TO BE REMOVED.
[5] EXISTING WATER/LANDSCAPE FEATURE WITH BENCH SEATING TO REMAIN.
[6] EXISTING ASPHALT PAVED DRIVE AISLE, WIDTH AS DIMENSIONED, TO REMAIN.
[7] EXISTING ASPHALT PAVED DRIVE AISLE TO BE REMOVED.
[8] EXISTING CONCRETE SIDEWALK TO REMAIN.
[9] EXISTING GRANITE PAVEMENT WALK TO REMAIN.
[10] EXISTING PARKING AND PAINTED STRIPING TO REMAIN.
[11] EXISTING CRUSHER FINES WALKWAY TO REMAIN.
[12] EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
[13] EXISTING FIRE HYDRANT TO REMAIN.
[14] EXISTING FIRE DEPARTMENT FDC.
[15] EXISTING FIRE DEPARTMENT PVI.
[16] EXISTING BACKFLOW PREVENTER.
[17] EXISTING WATER METER TO REMAIN.
[18] EXISTING PAINTED STRIPED PEDESTRIAN CONNECTION.
[19] EXISTING CROSS WALK STRIPING TO REMAIN.
[20] EXISTING CROSS WALK STRIPING TO BE REMOVED.
[21] PROPOSED CROSSWALK STRIPING.
[22] EXISTING HANDICAP PAINTED PAVEMENT SIGN TO REMAIN.
[23] EXISTING PAINTED STRIPED HANDICAP AISLE TO REMAIN.
[24] EXISTING BUILDING TO REMAIN.
[25] EXISTING SITE LIGHTING TO REMAIN.
[26] EXISTING BIKE RACK TO REMAIN.
[27] EXISTING BIKE RACK TO BE REMOVED- REDUCE BY 8
[28] EXISTING 20'-0" WATERLINE EASEMENT TO REMAIN.
[29] EXISTING BUS STOP TO REMAIN.
[30] EXISTING POLE SIGN TO REMAIN.
[31] EXISTING STEEL & FIBERGLASS GRATING YARD WALL TO REMAIN.
[32] EXISTING GREASE INTERCEPTOR TO REMAIN.
[33] EXISTING SITE FURNITURE TO REMAIN.
[34] EXISTING OVERHEAD STRING LIGHTING TO REMAIN.
[35] EXISTING SIDEWALK CULVERT TO REMAIN.
[36] EXISTING HORIZONTAL WOOD SLAT FENCE TO REMAIN AT WEST PROPERTY LINE.
[37] EXISTING CMU WALL TO REMAIN.
[38] EXISTING IRRIGATION CONTROL VALVE BOX.
[39] EXISTING IRRIGATION BACKFLOW PREVENTER.
[40] EXISTING RELOCATED TREE WELL. SEE LANDSCAPING.
[41] EXISTING TREE WELL, TYPICAL. SEE LANDSCAPING.
[42] PROPOSED LANDSCAPING.
[43] PROPOSED HANDICAP PAINTED PAVEMENT SIGN. SEE DETAIL SHEET 8.
[44] EXISTING STAMPED COLORED CONCRETE HANDICAP AISLE. SEE DETAIL SHEET 8.
[45] PROPOSED ASPHALT PAVING.
[46] PROPOSED GRANITE PAVEMENT WALK TO MATCH EXISTING.
[47] RELOCATE SITE LIGHTING.
[48] PROPOSED SITE LIGHTING LOCATION. HEIGHT TO BE 16'-0" MAX.
[49] PROPOSED BIKE RACK TO MATCH EXISTING.
[50] PROPOSED CONCRETE SIDEWALK 6'-0" WIDE MINIMUM.
[51] EXISTING RESIDENTIAL CONCRETE STAIRS (18" ABOVE FF) WITH CONCRETE STAIRS AND PAINTED STEEL HANDRAILS BOTH SIDES.
[52] EXISTING 2'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
[53] EXISTING 5'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
[54] EXISTING ELECTRICAL TRANSFORMER WITH ELEVATED CONCRETE PAD AND LANDSCAPING SCREENING.
[55] PROPOSED PAINTED PARKING STRIPING.
[56] EXISTING WATER METER.
[57] EXISTING ELECTRICAL EQUIPMENT YARD.
[58] EXISTING FIRE HYDRANT.
[59] EXISTING REMOTE FIRE DEPARTMENT FDC WITH CONCRETE FILLED STEEL BOLLARDS.
[60] EXISTING REMOTE FIRE DEPARTMENT FDC WITH CONCRETE FILLED STEEL BOLLARDS.
[61] EXISTING BACKFLOW PREVENTER WITH CONCRETE FILLED STEEL BOLLARDS.

CHANGES PER TOL COMMENTS

09/15/2022

1. ADD ADA ACCESS AISLE-8'-0" PER NEW KEYED NOTE #84
2. SIGN INFORMATION INCLUDED IN NEW DETAIL A5/AA01
3. KEYED NOTE #84 INCLUDES NOTES REQUIRING 'NO PARKING' TEXT AND REFERENCES 66-1-4.1.B NMSA 1978
4. 'MC' REFERENCE HAS BEEN REMOVED
5. NEW KEYED NOTE #85 AND #86 INCLUDE REFERENCE TO MOTORCYCLE AND HC PARKING SIGNAGE. INCLUDES REFERENCE TO DETAIL A5/TCL01. ADA AND MOTORCYCLE SIGN DETAILS ARE INCLUDED IN DETAIL A5/AA01

ADMINISTRATIVE AMENDMENT NOTES:

- A. THE PURPOSE OF THIS ADMINISTRATIVE AMENDMENT IS TO MAKE REVISIONS TO THE EXISTING PARKING LOT LOCATED AT THE NORTH WEST CORNER OF THE PROPERTY. SAID CHANGES INCLUDING THE FOLLOWING:
- REVISE PARKING LAYOUT- ELIMINATE 4 STANDARD PARKING SPACES- RELOCATE 5.
- REALLOCATE PARKING AREA AS USABLE OPEN SPACE
- RELOCATE EXISTING PARKING LOT PEDESTRIAN CROSSING
- B. CHANGES TO SITE DEVELOPMENT PLAN DO NOT MEET THE THRESHOLD FOR NEW HEARING- REPRESENT LESS THAN 10% OF OVERALL SITE
- C. REVISION TO SITE DEVELOPMENT PLAN INCLUDES UPDATES TO THE PARKING CALCULATIONS BASED ON THE CURRENT ADDITION OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO)

CURRENT ZONING PER INTEGRATED DEVELOPMENT ORDINANCE:

MX-M, NS-PT

REVISED PARKING CALCULATIONS

FOLLOWING CALCULATIONS BASED ON CURRENT VERSION OF INTEGRATED DEVELOPMENT ORDINANCE:

Use per Table 5-5-3	Unit Count	Gross Square Footage	Spaces 1	Spaces 2	Parking Requirement per IDO	Actual Spaces per use	Required Spaces Per use
Residential use	81				Spaces per 1,000 SF UC-MS-PT	81	
Office Space		11,817	2.5		Spaces per 1,000 SF UC-MS-PT	33,292	33
Restaurant/Bar/Tap Room		5,000	5		Spaces per 1,000 SF UC-MS-PT	25	25
Retail		2,837	2.5		Spaces per 1,000 SF UC-MS-PT	6,242	6
Total (Plus in calculation of events and functions)							146:355
							146

Reductions
Shared Parking 5-502(b) Table 5-5-3 Residential/Office: 1.5; 2x15-21.5; 3-47 spaces/250-118 spaces
Proximity to Transit: 5-5-3 (b)(1); 30% reduction for proximity to transit stop 15B-504d spaces

Total spaces required under current IDO guidelines

Total spaces required under pre-IDO guidelines

Total spaces provided

Required Motorcycle Parking Table 5-5-4

Required Motorcycle Parking under pre-IDO guidelines

Provide Motorcycle Parking (Increase by 2 spaces)

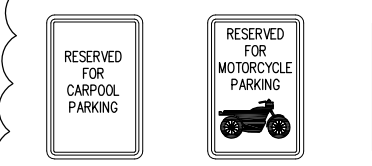
Required Bicycle Parking Table 5-5-5

Required Bicycle Parking under pre-IDO guidelines

Provide Bicycle Parking (Reduced by 5 spaces)

KEYED NOTES: (continued)

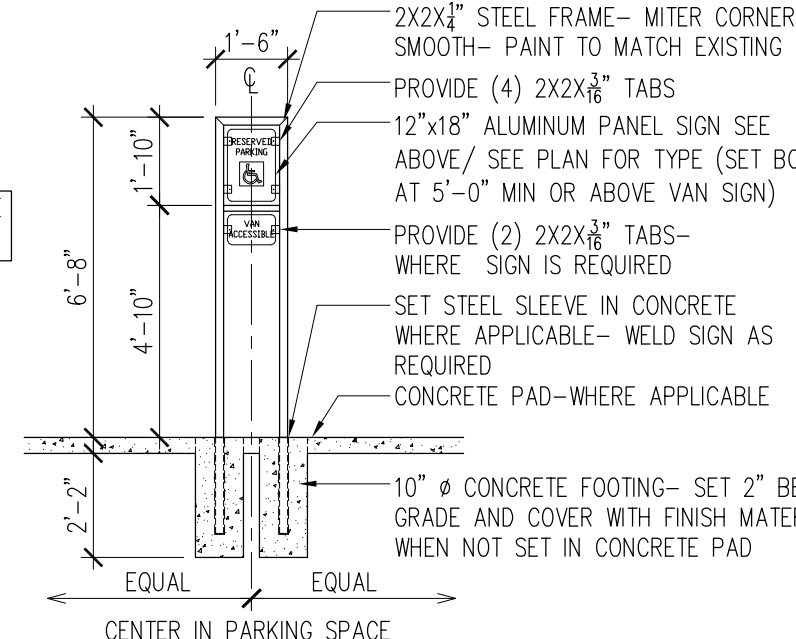
- [57] EXISTING CONCRETE CURB & GUTTER. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
[58] EXISTING GRANITE PAVEMENT PATIO WITH 7'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
[59] EXISTING WATER/FIREPLACE/LANDSCAPING FEATURE. SEE LANDSCAPING.
[60] EXISTING HANDICAP RAMPED CURB. SEE DETAIL SHEET 8.
[61] EXISTING HANDICAP PARKING SIGNS. SEE DETAIL SHEET 8. "VAN" WHERE NOTED.
[62] EXISTING CONCRETE RAMP AT 1:12 SLOPE MAX. WITH PAINTED STEEL HANDRAILS ON BOTH SIDES.
[63] EXISTING COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
[64] EXISTING "COMPACT" PARKING SPACES 7'-6"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
[65] EXISTING 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH END.
[65.1] NEW 4'-0" WIDE X 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH-SEE DETAIL A5/AA01
[66] EXISTING SITE FURNITURE.
[67] EXISTING AUTOMATED GATE WITH FIRE DEPARTMENT KNOX BOX AND PEDESTRIAN GATE.
[68] EXISTING RETAINING WALL.
[69] EXISTING BUILDING OVERHANG ABOVE WITH REQUIRED 13'-6" HEIGHT CLEARANCE FOR FIRE APPARATUS.
[70] PAINTED ACCESS AISLE STRIPING.
[71] EXISTING STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION TO MATCH EXISTING.
[72] RETAINAGE POND AREA, REFER TO CONCEPTUAL G&D PLAN.
[73] 3'-0" WIDE LEAVE-OUT IN CURB. REFER TO CONCEPTUAL G&D PLAN.
[74] EXISTING AREA DRAIN.
[75] EXISTING CONCRETE STAIR WITH HANDRAILS.
[76] EXISTING MANHOLE. REFER TO CONCEPTUAL G&D PLAN.
[77] EXISTING SIDEWALK CULVERT.
[78] EXISTING STEEL POLE UP TO 14'-0" AFF FOR STRING LIGHT EXTENSION.
[79] RECYCLING AREA
[80] GAS METER
[81] FIRE LANE ACCESS TO FDC
[82] PROPOSED CONCRETE CURB EXTENSION.
[83] EXISTING CONCRETE CURB TO BE REMOVED
[84] NEW MIN. 8'-0" WIDE X18'-0" LONG ADA VAN ACCESS ISLE-PROVIDE PAINTED 'NO PARKING' IN CAPITAL LETTERS PER 66-1-4.1.B NMSA 1978
[85] NEW HC SIGN PER DETAIL A5/AA01
[86] NEW MOTORCYCLE PARKING SIGN PER A5/AA01



CARPOOL PARKING SIGN
MOTORCYCLE PARKING SIGN
HC PARKING SIGN

WHITE SYMBOL ON BLUE BACKGROUND
SIGN FIELD= WHITE
SIGN LETTERING AND BORDER = GREEN
PROVIDE REQUIRED LANGUAGE PER NMSA 1978 66-7-352.4C-VIOLATORS ARE SUBJECT TO A FINE AND OR TOWING
6"x12" VAN ACCESSIBLE SIGN ONLY REQ'D AT HC VAN PARKING LOCATION(S)

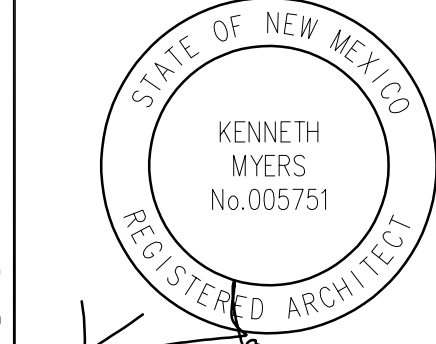
LOCATE CENTER OF STRUCTURE
12" FROM BACK OF WALK



A5 New Post Sign Detail
1/4"=1'-0"

COUNTRY CLUB PLAZA I
1716 CENTRAL AVE., SW
ALBUQUERQUE, NM 87104

Architect Stamp:



REMBE
urban design + development

1716 Central SW, Suite A
Albuquerque NM 87104
t: 505.243.0188

Project: CCP
Drawn By: KMA
Checked By: KMA
Phase: COA SUBMITTAL
Date: 09/02/2022
Project Number: 2102

OVERALL SITE PLAN-
FOR ADMINISTRATIVE
AMENDMENT

Sheet Number:

AA01

Architectural Site Plan
Scale: 1"=30'-0"

